

KITCHEN & TERRACE RENOVATION FOR:  
**OLD OAKS COUNTRY CLUB**

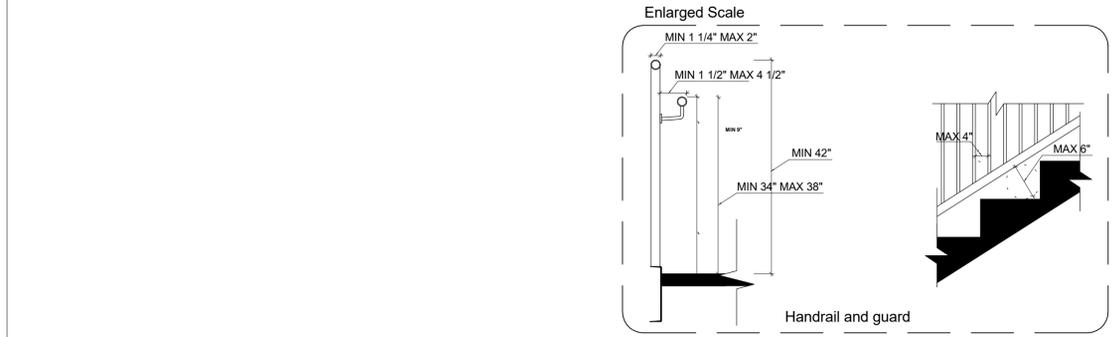
3100 Purchase St, Purchase, NY 10577

Issued to:  
OWNER

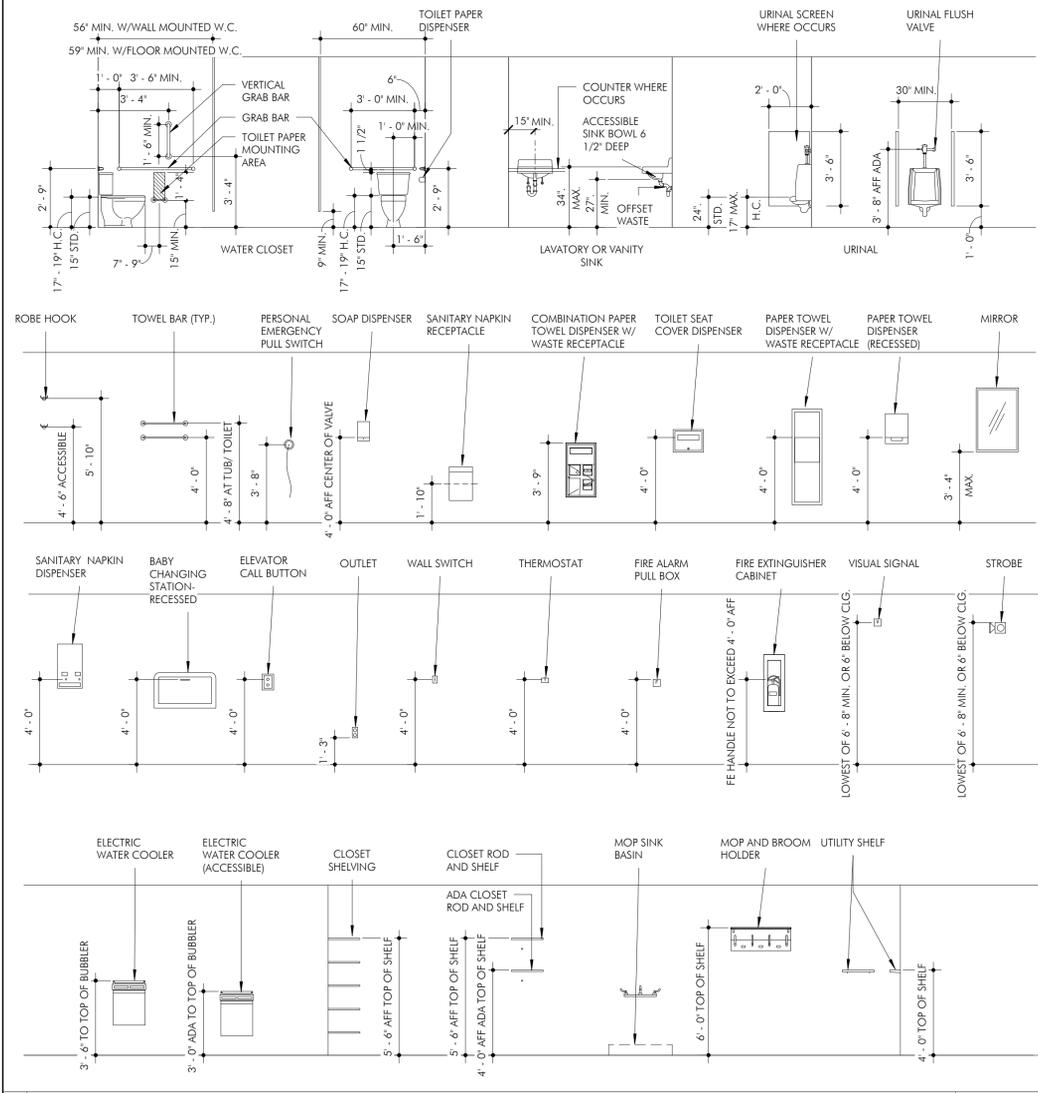
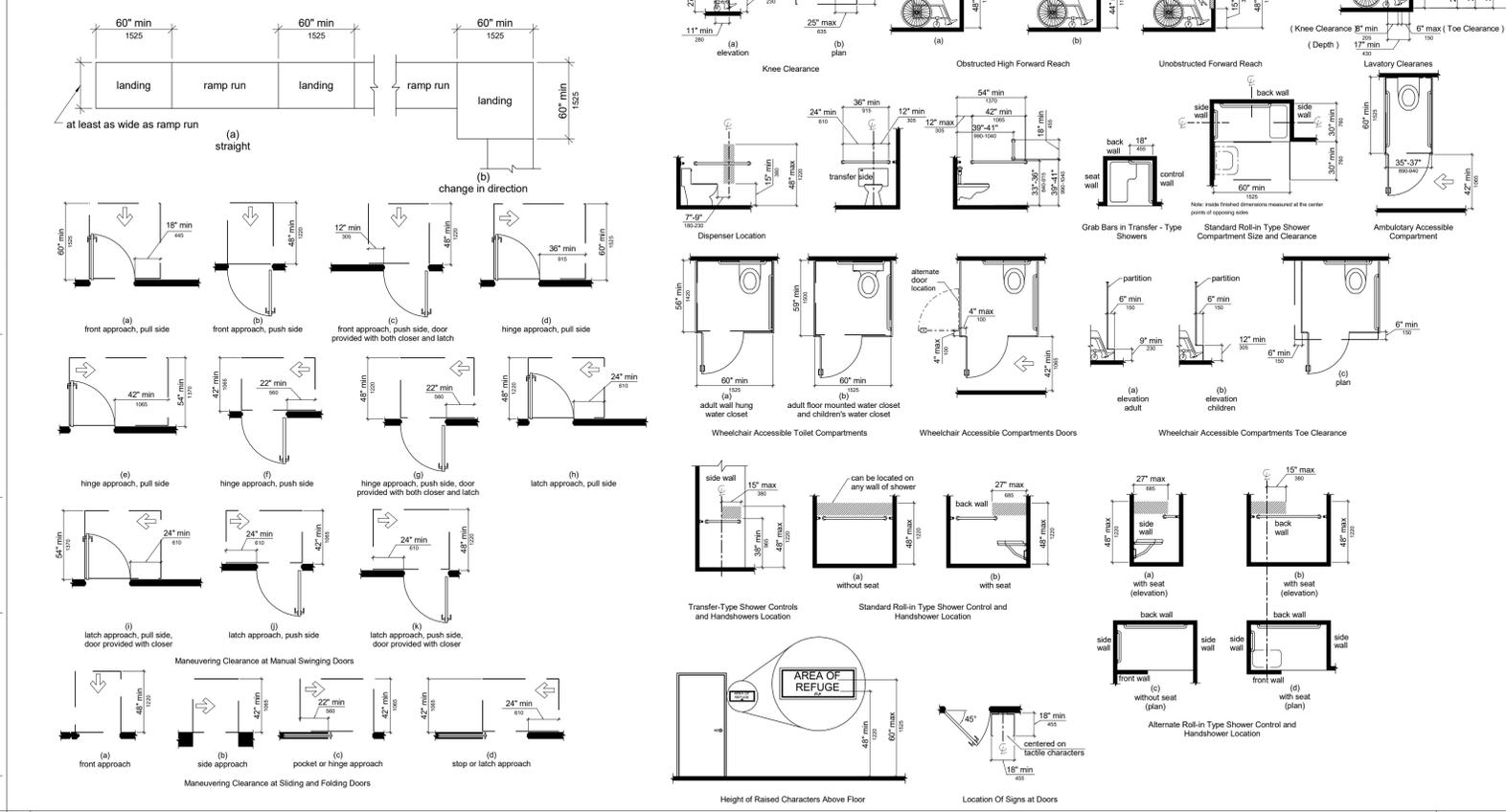
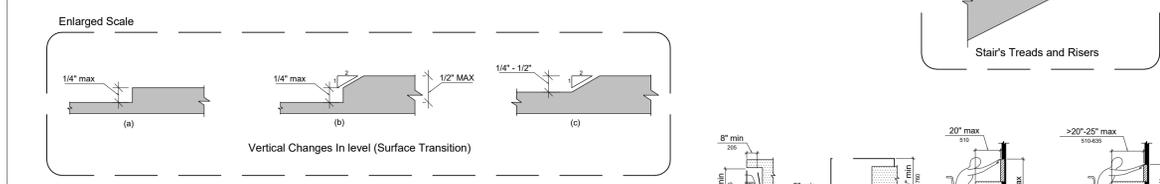
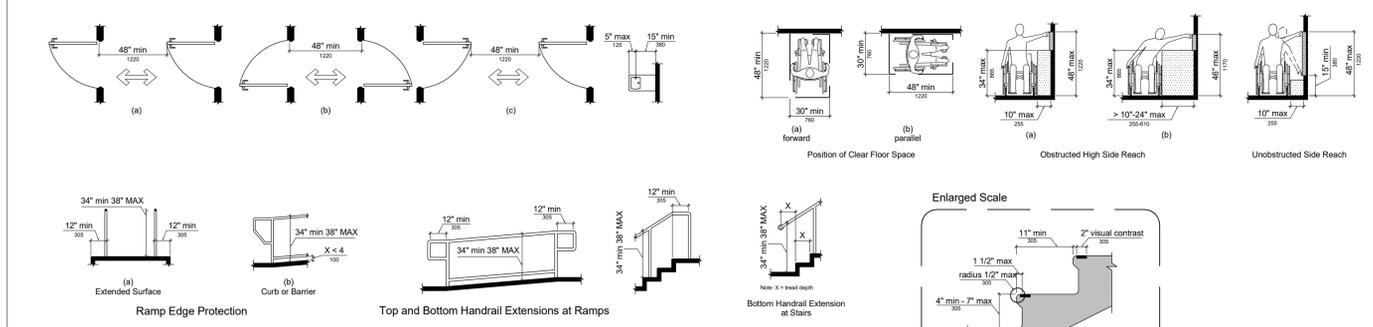
Issued for:  
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09/10/21





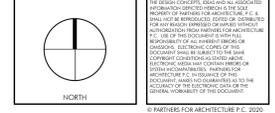
3 TYP. STAIR/RAIL SECTION DETAIL SCALE 1/4" = 1'-0"



2 TYPICAL MOUNTING HEIGHTS SCALE NTS

1 ACCESSIBILITY DETAILS SCALE NTS

ISS/REV	DATE	OWNER	DESCRIPTION
2	2021-09-10	OWNER	ISSUED FOR BIDDING ONLY
1	2021-07-23	OWNER	OWNER REVIEW



**OLD OAKS COUNTRY CLUB**  
 3100 Purchase St, Purchase, NY 10577

TYP. DIMENSIONS & ACCESSIBILITY DETAILS

SEAL & SIGNATURE	DATE: <b>09-20-19</b>
	PROJECT NO.: <b>21-126</b>
	DRAWN BY: <b>Author</b>
	CHECKED BY: <b>Checker</b>
	DRAWING NO.: <b>G101.00</b>
	DATE: 11/19/2019 6:49:41 AM

DIVISION 1: GENERAL REQUIREMENTS

1.01 GENERAL

- A. THE GENERAL CONTRACTOR SHALL FURNISH ALL MATERIAL, EQUIPMENT, LABOR AND OTHER ITEMS AS REQUIRED TO ACCOMPLISH AND COMPLETE THE WORK AS INDICATED IN THE CONTRACT DOCUMENTS AND AS CALLED FOR OR IMPLIED BY THESE DRAWINGS UNLESS OTHERWISE NOTED. THIS SHALL INCLUDE ALL TEMPORARY POWER, LIGHTING, WATER AND OTHER UTILITIES.
B. THE GENERAL CONTRACTOR SHALL INCLUDE IN HIS/HER BID ALL PREMIUM OR OVERTIME WORK AS REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE RESTRICTIONS AS SPECIFIED BY THE OWNER OR IN THE CONTRACT DOCUMENTS.
C. THIS PROJECT IS BID AS 'DESIGN-BUILD'. GENERAL CONTRACTOR HAS TO ACHIEVE DESIGN INTENT SHOWN IN THE ARCHITECTURAL DRAWINGS IN CONSULTATION WITH HIS MECHANICAL, ELECTRICAL AND PLUMBING SUB-CONTRACTORS, WHO WILL ALSO BE RESPONSIBLE TO CREATE ANY DRAWINGS NECESSARY TO SECURE THEIR RESPECTIVE PERMITS. IT IS THEREFORE STRONGLY RECOMMENDED THAT THE GENERAL CONTRACTOR VISITS EACH SITE WITH HIS SUB-CONTRACTORS TO FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS BEFORE PLACING A BID.
D. ALL WORK SHALL CONFORM TO ALL FEDERAL, STATE AND LOCAL BUILDING, FIRE SAFETY, HEALTH AND SAFETY CODES.
E. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUISITION OF ALL PERMITS, CERTIFICATES OF OCCUPANCY AND FOR ALL ASSOCIATED FEES.
F. THE ARCHITECT SHALL VERIFY CONFORMANCE OF PARTITION LOCATIONS WHEN GENERAL CONTRACTOR HAS COMPLETED CHALK LINE LAYOUT. DO NOT INSTALL FRAMING WITHOUT REVIEW FROM ARCHITECT.
G. THE GENERAL CONTRACTOR SHALL CONDUCT REGULAR WEEKLY PROJECT PROGRESS MEETINGS, AND SHALL PROVIDE MEETING MINUTES AND DISTRIBUTE TO ALL PARTIES.

1.02 DOCUMENTS

- A. DO NOT SCALE DRAWINGS. CONSULT ARCHITECT IF DISCREPANCY OCCURS.
B. THE DRAWINGS ARE BASED UPON FIELD MEASUREMENTS AND/OR EXISTING DOCUMENTATION AND MAY CONTAIN INACCURACIES. THE GENERAL CONTRACTOR AND HIS/HER SUB-CONTRACTORS SHALL CONDUCT SITE VISITS AS REQUIRED TO DETERMINE ACCURACY OF DRAWINGS PRIOR TO BID/PRICING. INFORM OWNER/ARCHITECT/ENGINEER OF ALL DISCREPANCIES PRIOR TO BID FINALIZATION AND START OF WORK.
C. ALL PLAN DIMENSIONS ARE FROM FINISH TO FINISH UNLESS OTHERWISE NOTED.
D. THE DOCUMENTS AND THE DESIGN DEPICTED THEREON ARE THE SOLE PROPERTY OF PFA AND SHALL NOT BE REPRODUCED WITHOUT EXPRESSED WRITTEN CONSENT OF PFA.
E. DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND WORK LETTER AGREEMENTS SHALL BE PRICED TO INCLUDE THE MORE STRINGENT REQUIREMENTS UNLESS OTHERWISE SPECIFICALLY DETERMINED BY THE OWNER/ARCHITECT. CONSULT WITH OWNER PRIOR TO BID, PRICING OR START OF WORK FOR DETERMINATION.

1.03 SUBMITTALS

- A. GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR PRODUCT DATA ON ALL MATERIALS, EQUIPMENT, FIXTURES AND COMPONENTS SPECIFIED OR CALLED FOR ON THE DRAWINGS. SUBMITTALS SHALL BE MADE IN (3) THREE COPIES MINIMUM AND SHALL BE FORWARDED TO THE ARCHITECT FOR REVIEW OR DISTRIBUTION. THE ARCHITECT SHALL REVIEW, COMMENT AND RETURN SUBMITTALS WITHIN (7) BUSINESS DAYS.
B. ALL SUBMITTALS SHALL BE FORWARDED TO THE ARCHITECT CONTAINING THE REVIEW STAMP OF THE GENERAL CONTRACTOR INDICATING COMPLIANCE WITH THE CONTRACT DOCUMENTS. SUBMITTALS RECEIVED BY THE ARCHITECT WITHOUT STAMP SHALL BE RETURNED WITHOUT REVIEW.
C. THE ARCHITECT'S REVIEW STAMP SHALL INDICATE THE FOLLOWING ACTION:

REVIEWS MARKED BELOW INDICATES FABRICATION MAY BEGIN.

- A. NO EXCEPTION TAKEN.
B. MAKE CORRECTIONS NOTED.
C. REVIEWED FOR FILE ONLY.

REVIEWS MARKED BELOW INDICATES FABRICATION MAY NOT BEGIN.

- A. REVISED AND RESUBMIT.
B. REJECTED.
C. SUBMIT SPECIFIED ITEM.

D. SUBSTITUTIONS FROM SPECIFIED MATERIALS, EQUIPMENT, FIXTURES AND COMPONENTS SHALL BE SUBMITTED SEPARATE FROM THOSE SPECIFIED AND SHALL BE MARKED AS SUBSTITUTIONS. GENERAL CONTRACTOR SHALL ALLOW FOR SUFFICIENT REVIEW TIME ON ALL SUBSTITUTIONS AND SHALL CONSIDER SCHEDULE WHEN DETERMINING SUBSTITUTIONS. THE ARCHITECT'S REVIEW SHALL INCLUDE DETERMINING COMPARISON TO SPECIFIED ITEM AND SHALL BE RETURNED WITHIN 7 BUSINESS DAYS.

1.04 PROJECT CLOSEOUT

- A. GENERAL CONTRACTOR SHALL PROVIDE MARKED UP CONTRACT DRAWINGS INDICATING CHANGES FROM THE ORIGINAL BID SCOPE TO THE ARCHITECT FOR REVIEW. THE FINAL AS-BUILT DOCUMENTS SHALL BE SUBMITTED TO THE OWNER UPON PROJECT CLOSEOUT. THE SCOPE SHALL INCLUDE ALL TRADES.
B. GENERAL CONTRACTOR SHALL SUBMIT ALL OPERATIONS AND MAINTENANCE MANUALS FOR ALL EQUIPMENT, FIXTURES AND COMPONENTS TO THE OWNER. INFORMATION SHALL INCLUDE ADDRESS AND PHONE NUMBERS OF MANUFACTURERS.
C. PUNCH LIST OF ITEMS NOTED BY ARCHITECT/ENGINEER DURING FINAL INSPECTION SHALL BE COMPLETED PRIOR TO FINAL PAYMENT AND SHALL CONFORM TO CONTRACT DOCUMENTS. ITEMS NOT COMPLETED IN PUNCH LIST ARE SUBJECT TO RETAINMENT OF MONIES FROM FINAL PAYMENT EQUAL TO THE VALUE OF THE WORK REQUIRING COMPLETION. VALUE OF WORK SHALL BE AS DETERMINED BY THE OWNER/ARCHITECT/ENGINEER.
D. ALL SPECIFIED ITEMS SHALL INCLUDE THE MANUFACTURER'S STANDARD WARRANTY AND/OR GUARANTEE. GENERAL CONTRACTOR SHALL SUBMIT ALL WARRANTIES AND GUARANTEES PRIOR TO PROJECT CLOSEOUT.

1.05 CONSTRUCTION

- A. GENERAL CONTRACTOR SHALL PROVIDE CONTINUOUS SOLID BLOCKING IN WALLS, CEILING OR FLOORS AS REQUIRED TO SUPPORT MOUNTED CABINETS, SHELVES, FIXTURES OR EQUIPMENT WHETHER INDICATED ON DRAWINGS OR NOT. BLOCKING SHALL BE SCRIBED TO EXISTING OR NEW AS REQUIRED FOR LEVEL, PLUMB AND TRUE INSTALLATION TOLERANCES. COORDINATE LOCATIONS OF BLOCKING WITH ALL TRADES.
B. GENERAL CONTRACTOR SHALL PATCH, FEATHER, SPACKLE AND SAND ALL EXISTING ABANDONED PENETRATIONS THROUGH WALLS AND FLOORS AS REQUIRED TO MAINTAIN SEPARATION AND PROVIDE SMOOTH SURFACE.
C. GENERAL CONTRACTOR SHALL MAINTAIN INTEGRITY OF ALL EXISTING FIRE SEPARATION PARTITIONS/WALLS IN ACCORDANCE WITH THE LOCAL BUILDING AND FIRE SAFETY CODES. WHEN EXISTING PROTECTED PASS THROUGHS ARE ABANDONED, THE OPENING SHALL BE PROPERLY CLOSED WITH AN APPROVED FIRE PROTECTION SYSTEM.
D. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE LEVEL OF EXISTING FLOOR AND SHALL RECORD AND SUBMIT LEVELS TO THE OWNER/ARCHITECT. GENERAL CONTRACTOR SHALL UNDERCUT DOORS AND PROVIDE SHIMMING AS REQUIRED TO INSTALL ITEMS TO LEVEL AND ACCOMMODATE EXISTING FLOOR. IF FLOOR LEVEL IS AFFECTED DURING DEMOLITION GENERAL CONTRACTOR SHALL FEATHER/FLASH PATCH FLOORING TO PROVIDE ADEQUATE LEVEL BASE FOR NEW FLOORING INSTALLATION.
E. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL CORES THROUGH EXISTING WALLS, FLOORS AND CEILINGS TO ACCOMMODATE NEW PIPING, WIRING, CABLING AND ALL OTHER UTILITIES. PASS-THROUGHS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL BUILDING AND FIRE SAFETY CODES.

DIVISION 2: SITEWORK AND DEMOLITION

2.01 SITEWORK

- A. THE GENERAL CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT, AND LABOR AS REQUIRED TO COMPLETE THE SITEWORK AS INDICATED ON THE DRAWINGS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL FEES ASSOCIATED WITH REMOVAL OF RUBBISH.
B. THE GENERAL CONTRACTOR IS RESPONSIBLE TO DETERMINE THE LOCATION OF ALL EXTERIOR UTILITIES PRIOR TO EXCAVATION AND NOTIFY THE ARCHITECT / ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
C. ALL SITE WORK IS TO BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE, AND FEDERAL BUILDING, FIRE, AND LIFE SAFETY CODES AND OSHA REGULATIONS.
D. THE GENERAL CONTRACTOR IS TO VERIFY NEW GRADES WITH THE ARCHITECT /ENGINEER PRIOR TO EXCAVATION. NEW TOPSOIL SHALL BE INSTALLED AND WATERED TO SETTLE - ADDITIONAL TOPSOIL SHALL BE ADDED AFTER SETTLING TO MEET GRADE CRITERIA.

2.02 DEMOLITION

- A. THE GENERAL CONTRACTOR SHALL PROVIDE ALL MATERIAL, EQUIPMENT AND LABOR AS REQUIRED TO COMPLETE DEMOLITION AND PROPER REMOVAL AND DISPOSAL OF ALL ITEMS AS INDICATED ON THE DRAWINGS. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL FEES ASSOCIATED WITH DEMOLITION AND DISPOSAL.
B. THE GENERAL CONTRACTOR SHALL INCLUDE IN HIS/HER BID ALL ASSOCIATED COSTS FOR PROTECTION OF ADJACENT AREAS NOT IN CONTRACT. ALL EXISTING OPERATIONS IN PLACE SHALL REMAIN IN PLACE FOR USE AS DETERMINED BY THE BUILDING OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE PROTECTION, TO INCLUDE BUT NOT BE LIMITED TO, ALL BUILDING SERVICES, ELEVATORS, LOBBIES, PLENUM CEILINGS, ENTRIES AND EGRESS PATHS FROM DUST, DEBRIS AND DAMAGE.
C. ALL DEMOLITION OPERATIONS SHALL BE ACCOMPLISHED BEFORE OR AFTER BUSINESS HOURS UNLESS SPECIFICALLY AUTHORIZED BY THE BUILDING OWNER AND/OR TENANT.
D. GENERAL CONTRACTOR SHALL KEEP CONSTRUCTION SITE BROOM CLEAN. REMOVE ALL DEBRIS DAILY AND SHALL CONDUCT FINAL CLEANING AFTER ALL MAJOR WORK HAS BEEN COMPLETED.
E. GENERAL CONTRACTOR SHALL PROTECT AND/OR REMOVE ALL ITEMS SCHEDULED FOR REUSE OR SALVAGE. ITEMS INDICATED TO BE SALVAGED SHALL BE CLEANED AND RETURNED TO THE OWNER OR LOCATED IN A SECURE AREA AS DIRECTED BY THE OWNER.
F. ALL EXISTING POWER AND LIGHTING INDICATED TO BE REMOVED SHALL BE REMOVED BACK TO SOURCE PANEL AND REMOVED IN THEIR ENTIRETY.
G. ALL EXISTING EQUIPMENT, CONSTRUCTION THAT IS TO REMAIN SHALL BE PROTECTED THROUGHOUT THE DEMOLITION AND BUILDING OPERATIONS.
H. WHERE EXISTING WALL SWITCHES, OUTLETS AND OTHERS ARE REMOVED THE WALLS SHALL BE PATCHED, SPACKLED, PAINTED AND SANDED AS REQUIRED TO MATCH THE ADJACENT EXISTING OR NEW SURFACES.

- I. WHERE REMOVAL OF ITEMS AS INDICATED CAN NOT BE ACCOMPLISHED WITHOUT DAMAGE TO ADJACENT ITEMS TO REMAIN - GENERAL CONTRACTOR SHALL REPLACE OR REPAIR DAMAGED ITEMS TO CONDITION AS ORIGINALLY INTENDED.
2.03 HAZARDOUS MATERIALS
A. THESE DOCUMENTS MAKE NO ASSUMPTION AS TO THE PRESENCE OF HAZARDOUS MATERIALS AND FURTHER, IT IS NOT THE INTENT OF THE ARCHITECT/ENGINEER TO DETERMINE COMPLIANCE WITH FEDERAL, STATE OR LOCAL LAWS AND REGULATIONS REGARDING THE REMOVAL OF HAZARDOUS MATERIALS. PRIOR TO DEMOLITION THE GENERAL CONTRACTOR SHALL INSPECT THE SITE FOR PRESENCE OF HAZARDOUS MATERIALS AND DEVELOP A REMOVAL STRATEGY WITH THE BUILDING OWNER TO COMPLY WITH FEDERAL NESHAP REGULATIONS (NATIONAL EMISSION STANDARD FOR HAZARDOUS AIR POLLUTANTS) TELEPHONE 617.565.9055.

DIVISION 5: METALS

5.01 STRUCTURAL STEEL

- A. ALL STRUCTURAL STEEL INCLUDING STEEL SHAPES, SHALL CONFORM TO ASTM A992, GRADE 50 UNLESS OTHERWISE INDICATED ON THE DRAWING. ALL ANGLES, CHANNELS AND PLATES SHALL CONFORM TO ASTM A36, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
B. ALL STRUCTURAL TUBING SHALL CONFORM TO ASTM A500 GRADE B, Fy = 46 ksi.
C. ALL STRUCTURAL PIPE SHALL CONFORM TO ASTM A53, TYPE E, GRADE B, Fy = 35 ksi.
D. ALL ANCHOR BOLTS SHALL CONFORM TO ASTM A325 -HIGH STRENGTH BOLTS (UNO)
E. WELDED CONNECTIONS SHALL CONFORM TO THE LATEST REVISION OF THE "STRUCTURAL WELDING CODE - STEEL (ANSI/AWS D1.1) OF THE AMERICAN WELDING SOCIETY", CLASS 70 SERIES ELECTRODES.
F. BOLTS AND BOLTED CONNECTIONS SHALL CONFORM TO THE REQUIREMENTS OF THE "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 BOLTS OR A490 BOLTS" AS APPROVED BY THE RESEARCH COUNCIL ON RIVETED AND BOLTED JOINTS. UNFINISHED BOLTS SHALL CONFORM TO ASTM A-307.
G. ALL SHOP CONNECTIONS SHALL BE HIGH STRENGTH BOLTED OR WELDED.
H. ALL BEAM CONNECTIONS SHALL BE MADE WITH DOUBLE ANGLES UNLESS OTHERWISE NOTED. PROVIDE INDICATED CAMBER IN BEAMS AS NOTED IN THE DRAWINGS.
I. WHERE DIMENSIONS ARE NOT INDICATED, BEAMS SHALL BE EQUALLY SPACED.
J. DETAILING, FABRICATION AND ERECTION SHALL COMPLY WITH AISC SPECIFICATIONS AND CODES, LATEST EDITIONS AS AMENDED BY THE LOCAL BUILDING CODE.
K. SUBMIT SHOP DRAWINGS FOR ALL WORK. DO NOT PROCEED WITH ANY FABRICATION UNTIL THE SHOP DRAWINGS ARE REVIEWED AND APPROVED. SHOP DRAWINGS SHALL BE BASED ON FIELD VERIFIED CONDITIONS.
L. PROVIDE ANY MEASURES REQUIRED FOR STABILITY OF STRUCTURE DURING ERECTION.
M. ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS. WELDERS SHALL BE LICENSED IN ACCORDANCE WITH ALL REQUIREMENTS OF CONNECTICUT BUILDING CODE.
N. WELDING ELECTRODES SHALL BE E70XX FOR NEW CONSTRUCTION , AND E60 LOW-HYDROGEN FOR EXISTING CONSTRUCTION.
O. MINIMUM FILLET WELDS SHALL COMPLY WITH AISC, BUT SHALL NOT BE LESS THAN 1/4" UNLESS OTHERWISE NOTED.
P. ALL CONNECTIONS SHALL BE DESIGNED BY THE FABRICATOR'S PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF CONNECTICUT. PLACEMENT AND ITEMIZED SHOP DRAWINGS SEALED AND STAMPED BY A PE SHALL BE SUBMITTED FOR REVIEW. BEAM TO BEAM CONNECTIONS SHALL BE DESIGNED TO TRANSFER THE REACTION FOR A SIMPLY SUPPORTED, UNIFORMLY LOADED BEAM OF SAME SIZE, SPAN AND (FY) AS LISTED IN THE TABLE OF UNIFORM LOAD CONSTANT, AISC MANUAL OF STEEL CONSTRUCTION, LATEST EDITION, OR FOR THE REACTION SHOWN ON THE FRAMING PLAN, WHICHEVER IS GREATER. WHERE NO REACTION IS SHOWN ON THE FRAMING PLAN, CONNECTION SHALL TRANSFER THE REACTION AS NOTED ABOVE. MOMENT CONNECTIONS SHALL DEVELOP THE FULL CAPACITY OF ALL THE JOINED MEMBERS. ALL STEEL STAIRS SHALL BE DESIGNED BY THE STAIR MANUFACTURER'S PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NEW YORK. PLACEMENT AND ITEMIZED SHOP DRAWINGS SEALED AND STAMPED BY A PE SHALL BE SUBMITTED FOR REVIEW.
Q. ALL BOLTS SHALL BE 3/4" DIAMETER MINIMUM UNLESS OTHERWISE NOTED ON THE PLANS AND DETAILS. ALL BOLTED CONNECTIONS SHALL CONSIST OF A MINIMUM OF TWO 3/4" DIA. BOLTS.
R. ALL STEEL TO BE COVERED WITH RUST INHIBITIVE PRIMER APPLIED AT SPREADING RATE TO ACHIEVE A TOTAL DRY FILM THICKNESS (DFT) OF 1.5 MILS. PRIMER TYPE: S-W -KEM KROMIK METAL PRIMER MOORE. ALKYD METAL PRIMER M-07
S. ALL BEAMS EXCEPT CANTILEVER BEAMS SHALL BE FABRICATED WITH NATURAL CAMBER UP. ALL CANTILEVER BEAMS SHALL BE FABRICATED SO THAT THE NATURAL CAMBER RAISES THE CANTILEVER END.
T. THE CONTRACTOR SHALL ADEQUATELY GUY AND BRACE ALL STRUCTURAL STEEL TO MAINTAIN SAFETY AND ALIGNMENT DURING ALL PHASES OF CONSTRUCTION. SUCH GUYING AND BRACING SHALL REMAIN IN PLACE UNTIL THE STRUCTURE HAS REACHED ADEQUATE STRENGTH AND ALL PERMANENT BRACING IS IN PLACE.
U. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.

DIVISION 6: WOODS AND PLASTICS

6.01 FRAMING LUMBER

- A. STUD BEARING WALLS, SHEARWALLS, AND ROOF DECKS SHALL BE FRAMED WITH THE MEMBER SIZES AND/OR TYPES AT THE SPACINGS SHOWN ON PLAN. THE CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL PLUMBING PIPING, HVAC DUCTING AND RECESSED LIGHTING FIXTURES, ETC. PRIOR TO LAYOUT TO MINIMIZE INTERFERENCE THAT MAY REQUIRE THE ALTERING OR STRENGTHENING OF THE INSTALLED FRAMING.
B. WALLS SHALL BE INSTALLED STRAIGHT AND PLUMB. ROOFS SHALL BE INSTALLED AT THE PITCHES INDICATED ON THE ARCHITECTURAL DRAWINGS.
C. JOISTS AND RAFTERS SHALL BE INSTALLED DIRECTLY OVER BEARING STUDS UNLESS OTHERWISE DETAILED.
D. JOISTS SHALL BE SUPPORTED Laterally AT EACH SUPPORT BY FULL DEPTH SOLID BLOCKING 2 INCHES IN THICKNESS, EXCEPT WHERE JOISTS ARE SUPPORTED BY A FLUSH HEADER OR NAILED TO A RIM JOIST.
E. PROVIDE A MINIMUM OF TWO STUDS AT EACH END OF ALL FLUSH FRAMED HEADERS OR BEAM, UNLESS MORE ARE INDICATED ON PLAN. PROVIDE ONE JACK STUD AND ONE FULL KING STUD AT EACH END OF ALL DROPPED HEADERS OR BEAMS, UNLESS MORE JACK AND KING STUDS ARE INDICATED ON PLAN.
F. FLUSH FRAMED CONNECTIONS SHALL BE MADE WITH PREFABRICATED GALVANIZED STEEL HANGERS MADE BY SIMPSON STRONG-TIE, CO., INC. OR KANT-SAG CONNECTORS BY UNITED STEEL PRODUCTS CO. OF WIDTH AND DEPTH APPROPRIATE FOR THE SUPPORTED MEMBER. INSTALL WITH THE TYPE AND QUANTITY OF FASTENERS RECOMMENDED BY THE MANUFACTURER.

- G. STRUCTURAL WOOD FRAMING USED IN EXTERIOR APPLICATIONS OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE SOUTHERN YELLOW PINE NO. 2 OR BETTER, CCA PRESERVATIVE PRESSURE TREATED WOOD. ALL EXTERIOR STAIR FRAMING TO BE CONSTRUCTED USING PRESSURE AND FIRE RETARDANT TREATED WOOD RECOMMENDED BY THE MANUFACTURERS.
Aljoma Lumber, Inc. <http://www.aljoma.com>
B. B. & S. of New England, Inc. <http://www.bbslumber.com>
Coast Wood Preserving, Inc.,
Culpeper Wood Preservers <http://www.culpeperwood.com>
H. BUILT-UP MEMBERS OF THREE PLYS OR LESS SHALL HAVE ADJACENT PLYS NAILED TOGETHER WITH TWO ROWS OF NAILS AT 12" O.C. (10D COMMON NAILS FOR 1-1/2" PLYS, 12D COMMON NAILS FOR 1-3/4" PLYS). BUILT-UP MEMBERS OF MORE THAN 3 PLYS SHALL BE ASSEMBLED WITH 1/2" DIAMETER THRU BOLTS AT 16' O.C. STAGGERED UP AND DOWN WITH 2 INCH CLEARANCE AT TOP AND BOTTOM EDGES.

- I. EACH ROOF RAFTERS SHALL BE CONNECTED TO WALL DOUBLE PLATE WITH H8 CONNECTOR BY SIMPSON STRONG-TIE BAND JOIST SHALL BE CONNECTED TO TOP PLATE WITH ST 2215 STRAP TIE @ 64" O.C CONNECTOR BY SIMPSON STRONG-TIE INSTALL SILL PLATE TIE-DOWNS TO SATISFY MINIMUM REQUIRED 5/8" [3] BOLTS SPACED @ 48" O.C. AND 10" MAXIMUM FROM EACH CORNER. INSTALL ADDITIONAL STRAPS AS SHOWN ON TYPICAL FRAMING DETAILS.
DIVISION 9: FINISHES

9.01 FRAMING AND PARTITIONS

- A. ALL EXISTING WALL SURFACES INDICATED TO BE PAINTED SHALL BE SANDED, SPACKLED OR TREATED TO PROVIDE SMOOTH FINISH. REPAIR ALL HOLES, GOUGES AND DAMAGE MARKS AND APPLY SEALER PRIOR TO PAINT.
B. GENERAL CONTRACTOR SHALL EXTEND ALL SOUND PROOF/SOUND RATED PARTITIONS TO UNDERSIDE OF STRUCTURE AND PROVIDE BUILDING STANDARD SOUND ATTENUATION SEALANT AT TERMINATION. WHEREVER PARTITIONS MEET EXISTING WINDOW MULLIONS, WALLS OR HEAT EQUIPMENT - PROVIDE BUILDING STANDARD SOUND ATTENUATION SEALANT. IN NO CASE SHALL NEW FRAMING BE SCREWED TO EXISTING WINDOW MULLIONS OR EQUIPMENT ENCLOSURES.
C. ALL PARTITIONS SHALL RECEIVE TAPABLE GALVANIZED METAL BEADING AS INDICATED ON THE DRAWINGS OR AS REQUIRED TO FORM STRAIGHT, PLUMB AND TRUE CORNERS, EDGES, REGLETS, AND REVEALS.
D. ALL NEW WALL, CEILING, AND FLOOR FINISHES SHALL MEET THE CLASSIFICATION STANDARDS OF THE LOCAL BUILDING AND FIRE CODES. PROVIDE CLASS A FINISHES WHEN NOT SPECIFICALLY NOTED.

9.02 FLOORING

- A. WHERE FLOOR CORE DRILLING OR SAW CUTTING IS INDICATED THE WORK SHALL BE ACCOMPLISHED BEFORE OR AFTER WORK HOURS OR AS PRESCRIBED AND APPROVED BY THE BUILDING OWNER AND TENANT. ALL BIDS/PRICING SHALL INCLUDE THIS WORK AND SHALL NOT RESULT IN EXTRA COSTS DURING THE PROJECT.
B. FLOORING CONTRACTOR(S) ARE RESPONSIBLE FOR SMOOTH AND LEVEL INSTALLATION IN ADDITION TO GENERAL CONTRACTOR RESPONSIBILITY AS SPECIFIED IN GENERAL REQUIREMENTS ABOVE.
C. ALL FLOORING MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
D. ALL FLOORING SHALL BE INSTALLED FREE FROM DEFECTS, BUMPS, BUBBLES AND OTHER UNEVEN INSTALLATION EFFECTS. THE FLOORING AND GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF SUCH POSSIBLE CONDITIONS PRIOR TO INSTALLATION.
E. AREAS RECEIVING NEW FLOORING SHALL BE KEPT FREE FROM TRAFFIC DURING INSTALLATION. UPON COMPLETION OF WORK THE NEW FLOORING SHALL BE COVERED AND PROTECTED UNTIL FINAL COMPLETION.
F. ALL FLOORING EDGES, OR CHANGES IN FLOORING TYPE, SHALL BE PROVIDED WITH TRANSITION TRIM OR REDUCING STRIPS AS REQUIRED. HEIGHT DIFFERENCE SHALL NOT EXCEED 1/4 INCH. SUBMIT COLOR SAMPLES FOR REVIEW.
G. ALL CARPET SHALL BE INSTALLED BY DIRECT GLUE DOWN UTILIZING AN ENVIRONMENTALLY ACCEPTABLE ADHESIVE. SUBMIT DATA ON ADHESIVE PRIOR TO INSTALLATION. CARPET TILES SHALL BE INSTALLED UTILIZING A FULL SPREAD ADHESION METHOD.
H. EACH INDIVIDUAL SPECIFIED OR SCHEDULED CARPET AS INDICATED ON PLANS OR SCHEDULE SHALL BE FROM THE SAME DYE LOT.
I. CARPETED AREAS SHALL RECEIVE STRAIGHT WOOD BASE - V.C.T. FLOORING SHALL RECEIVE VINYL/RUBBER COIVE BASE. ALL BASE SHALL BE MINIMUM 1/8 INCH GAUGE.
J. FLOORING MATERIAL IN CLOSET AND OTHER HIDDEN ROOMS SHALL MATCH THE MATERIAL IN THE SPACE TO WHICH THE ROOM OPENS UNLESS OTHERWISE NOTED.
K. AREAS TO RECEIVE RESILIENT FLOORING, CERAMIC TILE, STONE TILE OR OTHER HARD SURFACE SHALL BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MANUFACTURER. WHEREVER SURFACE CANNOT BE SMOOTHED - PROVIDE SELF LEVELING COMPOUND TO PROVIDE SMOOTH LEVEL INSTALLATION.

9.03 CEILINGS

- A. GENERAL CONTRACTOR TO PROVIDE ALL NEW CEILING(S) AND COMPONENTS AS INDICATED ON THE DRAWINGS.
B. ALL SUSPENDED ACOUSTICAL TILE CEILINGS SHALL BE INSTALLED IN ACCORDANCE WITH ALL STATE AND LOCAL BUILDING CODE SEISMIC RESTRAINT REQUIREMENTS.
C. IN ACCORDANCE WITH THE GENERAL REQUIREMENTS ABOVE GENERAL CONTRACTOR SHALL SUBMIT CEILING TILE AND GRID SAMPLES FOR REVIEW PRIOR TO INSTALLATION.
D. ALL CEILING DIFFUSERS, LOUVERS AND REGISTERS SHALL BE PROVIDED WITH FACTORY APPLIED BAKED ENAMEL PAINT FINISH TO MATCH COLOR OF CEILING GRU AS SPECIFIED. IF NOT SPECIFICALLY NOTED COLOR SHALL BE WHITE.
E. ALL LIGHTING FIXTURES AND MECHANICAL EQUIPMENT SHALL BE INDEPENDENTLY SUPPORTED IN ACCORDANCE WITH ALL STATE AND LOCAL BUILDING AND FIRE SAFETY CODES.
F. ALL CEILING WORK LAYOUT SHALL BE ACCOMPLISHED BY MEANS OF A LASER BEAM LEVELER.
G. CEILING LOCATED IN ENCLOSED ROOMS, CLOSETS ETC. NOT SPECIFICALLY SCHEDULED OR NOTED TO RECEIVE NEW CEILINGS SHALL BE PROVIDED WITH NEW CEILINGS MATCHING THE HEIGHT AND TYPE OF THE ROOM TO WHICH THE ENCLOSED ROOM OPENS.

H. ALL GYPSUM BOARD CEILING SHALL BE PAINTED.

- I. WHERE CEILINGS DO NOT PROVIDE ACCESS TO SERVICES ABOVE THE GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS OF THE FLUSH TYPE AND SHALL HAVE FACTORY BAKED ENAMEL PAINT FINISH COLOR TO MATCH THE ADJACENT SURFACE COLOR. LOCATIONS AND QUANTITIES SHALL CONFORM TO ALL STATE AND LOCAL BUILDING CODES.

9.04 PAINTING AND FINISHING

- A. ALL PAINT SHALL BE DELIVERED TO SITE IN UNOPENED CONTAINERS AND STORED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
B. ALL NEW SURFACES SCHEDULED TO BE PAINTED SHALL RECEIVE (3) THREE COATS PAINT OR BE COVERED WITH WALL COVERING AS INDICATED ON FINISH PLANS) OR SCHEDULE. ONE PRIME COAT AND TWO FINISH COATS SHALL BE ACCOMPLISHED WITH SLIGHTLY VARYING COLOR DIFFERENCES TO ALLOW FOR ARCHITECT'S VERIFICATION OF THREE COAT PROCESS. FINAL COLOR SHALL MATCH SPECIFIED AND APPROVED SAMPLES. SURFACES SHALL BE FREE FROM BRUSH MARKS OR RIDGES.
C. AREAS SCHEDULED OR NOTED AS WALLS TO RECEIVE PAINT OR WALL COVERING SHALL INCLUDE ALL PARTS OF THE WALL FROM FLOOR TO CEILING INCLUDING, PILASTERS, FASCIAS AND OTHER PROTRUBERANCES.
D. ALL ENCLOSED ROOMS, CLOSETS ETC. NOT SPECIFICALLY SCHEDULED OR NOTED TO BE PAINTED SHALL BE PAINTED IN ACCORDANCE WITH THE ABOVE TO MATCH THE WALL SURFACE COLOR OF THE ROOM TO WHICH THE ENCLOSED ROOM OPENS.
E. ALL EXISTING MECHANICAL EQUIPMENT, CONVECTOR, RADIATOR COVERS, ETC., SHALL BE PAINTED WITH (2) TWO COATS SEMI-GLOSS ENAMEL PAINT TO MATCH THE ADJACENT WALL SURFACE COLOR. UNLESS SPECIFICALLY NOTED COVERS SHALL BE CLEANED ONLY.
F. ALL EXISTING SURFACES NOT SCHEDULED OR NOTED TO BE PAINTED SHALL BE CLEANED AND REMAIN AS IS.
G. ALL WALL OR CEILING MOUNTED ACCESS PANELS SHALL BE OF THE FLUSH TYPE AND SHALL FACTORY BAKED ENAMEL PAINT FINISH COLOR TO MATCH THE ADJACENT SURFACE COLOR.
H. WHERE EXISTING WALLS ARE SCHEDULED OR NOTED FOR REFINISHING (PAINT OR WALL COVERING) REMOVE ALL EXISTING OUTLET, SWITCH, OR THERMOSTAT COVERS AND CLEAN - REPLACE AFTER WALL FINISH WORK IS COMPLETE.

- I. UPON COMPLETION OF PAINTING ALL ADJACENT AREAS SHALL BE CLEANED FROM PAINT SPLATTER, SPILLING AND SPLASHING SO AS TO PROVIDE A SURFACE COLOR AS SPECIFIED. ALL HARDWARE AND COVERS SHALL BE FREE FROM PAINT AND ADHESIVE.
J. WALL COVERINGS SHALL BE INSTALLED FREE FROM BUBBLES, RIDGES OR LOOSE EDGES AND BRUSH MARKS. INSTALLER SHALL USE NEW BLADE FOR EACH CUT.
K. WHERE DIFFERENT WALL COVERINGS CONVERGE OR WHERE A PAINTED SURFACE MEETS A WALL COVERED SURFACE, PROVIDE METAL STOP BEAD FOR CLEAN AND PLUMB INSTALLATION.
L. ALL OUTLET, SWITCH OR OTHER WALL PLATE COVERS SHALL BE WRAPPED IN THE WALL COVERING OF THE WALL IN WHICH IT IS LOCATED.
M. WHERE WALL COVERING IS SCHEDULE OR NOTED WHERE REVEALS ARE INDICATED - WALL COVERING SHALL EXTEND INTO AND UNDER REVEAL SO AS NOT TO ALLOW WALL COVERING TO PEEL AWAY AT REVEAL.
N. IN ACCORDANCE WITH THE GENERAL REQUIREMENTS ABOVE ALL FLOORING MATERIALS, ACCESSORIES AND COMPONENTS SHALL BE SUBMITTED FOR REVIEW BY THE ARCHITECT. PROVIDE SAMPLES AND MAINTENANCE DATA - FAILURE TO SUBMIT SAMPLES MAY RESULT IN REMOVAL AND REPLACEMENT OF FLOORING PRODUCTS.

DIVISION 10: SPECIALTIES

10.01 SIGNAGE

- A. ALL SIGNAGE AS SCHEDULED OR NOTED SHALL BE INSTALLED AT HEIGHTS IN ACCORDANCE WITH THE STATE AND LOCAL BUILDING CODE ACCESSIBILITY REQUIREMENTS OR THE ADA WHICHEVER IS MORE STRINGENT. ACCESSORIES SHALL BE INSTALLED PLUMB AND TRUE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
B. UNLESS SPECIFIED DIFFERENTLY ALL GENERAL INTERIOR SIGNAGE SHALL INCLUDE BRAILLE CODE EMBOSING.

10.02 BATHROOM ACCESSORIES

- A. ALL BATHROOM ACCESSORIES AS SCHEDULED OR NOTED SHALL BE INSTALLED AT HEIGHTS IN ACCORDANCE WITH THE STATE AND LOCAL BUILDING CODE ACCESSIBILITY REQUIREMENTS OR THE ADA WHICHEVER IS MORE STRINGENT. ACCESSORIES SHALL BE INSTALLED PLUMB AND TRUE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
B. IF NOT SPECIFIED DIFFERENTLY, PROVIDE ACCESSORIES IN A BRUSHED STAINLESS STEEL FINISH (US26-D).

DIVISION 11: EQUIPMENT

- A. SUBMIT CUT SHEETS AND TECHNICAL SPECS FOR ALL PROPOSED EQUIPMENT THAT IS DIFFERENT FROM SPECIFIED IN SCHEDULE.

11.01 APPLIANCES

- A. GENERAL CONTRACTOR SHALL PROVIDE APPLIANCES AS SCHEDULED OR NOTED AND SHALL COORDINATE DELIVERY AND INSTALLATION WITH BUILDING OWNER/TENANT/SUPPLIER SO AS NOT TO ALLOW UNPROTECTED APPLIANCES TO BE STORED ON THE SITE UNLESS OTHERWISE APPROVED BY THE OWNER/CLIENT.
B. APPLIANCES SHALL BE INSTALLED IN A LEVEL POSITION AND SHALL BE ADJUSTED TO ENSURE PROPER DOOR CLOSING AND OPERATION. COORDINATE ALL MECHANICAL, PLUMBING AND ELECTRICAL REQUIREMENTS WITH THE ENGINEERING DRAWINGS PRIOR TO ORDERING ALL APPLIANCES.

DIVISION 12: FURNISHINGS

12.01 SYSTEMS FURNITURE

- A. COORDINATE ALL DIMENSIONS AS INDICATED ON DRAWINGS WITH SYSTEMS FURNITURE VENDOR TO DETERMINE EFFECT OF "CREEP" ON LOCATIONS OF STATIONS AND ELECTRICAL POWER SUPPLY. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCY PRIOR TO INSTALLATION OF SYSTEMS FURNITURE.
B. PROTECT SYSTEMS FURNITURE DURING INSTALLATION WHEREVER OTHER CONSTRUCTION ACTIVITIES REMAIN ONGOING. COORDINATE REQUIREMENTS WITH SYSTEMS FURNITURE VENDOR.

DIVISION 13: SPECIAL CONSTRUCTION

13.01 NOT APPLICABLE

DIVISION 14: CONVEYANCE

14.01 NOT APPLICABLE

DIVISION 15: MECHANICAL

15.01 HEATING, VENTILATING, AND AIR CONDITIONING

- A. THE GENERAL CONTRACTOR SHALL PROVIDE ALL HVAC SYSTEMS AS SPECIFIED ON THE DRAWINGS. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT / ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
B. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL PHASES OF THE HVAC WORK WITH ALL SUB CONTRACTORS AND VENDORS.
C. SUBMIT SHOP DRAWINGS ON DUCT LAYOUT AND SIZES, DIFFUSERS, GRILLES, ACCESS PANELS, AND ALL OTHER EQUIPMENT LOCATIONS AND MOUNTING IN ACCORDANCE WITH THE GENERAL REQUIREMENTS AND THE ENGINEERING DRAWINGS AND SPECIFICATIONS.
D. THE HVAC CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL SYSTEMS AND SHALL PROVIDE TESTING AND BALANCING. SUBMIT TEST REPORTS AND BALANCING REPORTS IN ACCORDANCE WITH THE GENERAL REQUIREMENTS AND THE ENGINEERING DRAWINGS AND SPECIFICATIONS.
E. HVAC CONTRACTOR SHALL COORDINATE ALL ELECTRICAL REQUIREMENTS FOR THE HVAC SYSTEMS WITH THE ELECTRICAL CONTRACTOR AND ALL PLUMBING REQUIREMENTS FOR THE HVAC SYSTEM WITH THE PLUMBING CONTRACTOR.
F. THE GENERAL CONTRACTOR AND HVAC CONTRACTOR SHALL INCLUDE ALL COSTS ASSOCIATED WITH SHUTDOWNS FOR THE COMPLETION OF THE WORK. SHUTDOWNS SHALL OCCUR BEFORE OR AFTER BUSINESS HOURS AND SHALL BE COORDINATED WITH THE BUILDING OWNER AND BE IN ACCORDANCE WITH ALL STATE, LOCAL, AND FEDERAL BUILDING AND FIRE SAFETY CODE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO SCHEDULE ALL SHUTDOWNS WITH THE BUILDING OWNER / TENANTS.

ARCHITECTURE logo and address: 48 HAZEN STREET, STAMFORD, CT 06904, P: 203.708.0047, WWW.PFARCHIT.NET

DOB BSCAN

Table with columns: ISSUED FOR BIDDING ONLY, OWNER, OWNER, DATE, ISSUED TO, SS/REV. Rows include dates 2021-09-10 and 2021-07-23.

North arrow and seal area with text: THE ABOVE CONTRACT SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE SEALS ACT OF 1975...

OLD OAKS COUNTRY CLUB, 3100 Purchase St, Purchase, NY 10577

GENERAL NOTES table with columns: SEAL & SIGNATURE, DATE, PROJECT NO., DRAWN BY, CHECKED BY, DRAWING NO., G102.01, JOB FILE NO., P:\P2021\6169A BASIS.

- G. ALL WALL OR CEILING MOUNTED ACCESS PANELS SHALL BE OF THE FLUSH TYPE AND SHALL FACTORY BAKED ENAMEL PAINT FINISH COLOR TO MATCH THE ADJACENT SURFACE COLOR.
- H. WHERE EXISTING WALLS ARE SCHEDULED OR NOTED FOR REFINISHING (PAINT OR WALL COVERING) REMOVE ALL EXISTING OUTLET, SWITCH, OR THERMOSTAT COVERS AND CLEAN - REPLACE AFTER WALL FINISH WORK IS COMPLETE.
- I. UPON COMPLETION OF PAINTING ALL ADJACENT AREAS SHALL BE CLEANED FROM PAINT SPLATTER, SPILLING AND SPLASHING SO AS TO PROVIDE A SURFACE COLOR AS SPECIFIED. ALL HARDWARE AND COVERS SHALL BE FREE FROM PAINT AND ADHESIVE.
- J. WALL COVERINGS SHALL BE INSTALLED FREE FROM BUBBLES, RIDGES OR LOOSE EDGES AND BRUSH MARKS. INSTALLER SHALL USE NEW BLADE FOR EACH CUT.
- K. WHERE DIFFERENT WALL COVERINGS CONVERGE OR WHERE A PAINTED SURFACE MEETS A WALL COVERED SURFACE, PROVIDE METAL STOP BEAD FOR CLEAN AND PLUMB INSTALLATION.
- L. ALL OUTLET, SWITCH OR OTHER WALL PLATE COVERS SHALL BE WRAPPED IN THE WALL COVERING OF THE WALL IN WHICH IT IS LOCATED.
- M. WHERE WALL COVERING IS SCHEDULED OR NOTED WHERE REVEALS ARE INDICATED - WALL COVERING SHALL EXTEND INTO AND UNDER REVEAL SO AS NOT TO ALLOW WALL COVERING TO PEEL AWAY AT REVEAL.
- N. IN ACCORDANCE WITH THE GENERAL REQUIREMENTS ABOVE ALL FLOORING MATERIALS, ACCESSORIES AND COMPONENTS SHALL BE SUBMITTED FOR REVIEW BY THE ARCHITECT. PROVIDE SAMPLES AND MAINTENANCE DATA - FAILURE TO SUBMIT SAMPLES MAY RESULT IN REMOVAL AND REPLACEMENT OF FLOORING PRODUCTS.

DIVISION 10: SPECIALTIES

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- A. ALL SIGNAGE AS SCHEDULED OR NOTED SHALL BE INSTALLED AT HEIGHTS IN ACCORDANCE WITH THE STATE AND LOCAL BUILDING CODE ACCESSIBILITY REQUIREMENTS OR THE ADA WHICHEVER IS MORE STRINGENT. ACCESSORIES SHALL BE INSTALLED PLUMB AND TRUE IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.
- B. UNLESS SPECIFIED DIFFERENTLY ALL GENERAL INTERIOR SIGNAGE SHALL INCLUDE BRAILLE CODE EMBOSING.

10.02 BATHROOM ACCESSORIES

- A. ALL BATHROOM ACCESSORIES AS SCHEDULED OR NOTED SHALL BE INSTALLED AT HEIGHTS IN ACCORDANCE WITH THE STATE AND LOCAL BUILDING CODE ACCESSIBILITY REQUIREMENTS OR THE ADA WHICHEVER IS MORE STRINGENT. ACCESSORIES SHALL BE INSTALLED PLUMB AND TRUE IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.
- B. IF NOT SPECIFIED DIFFERENTLY, PROVIDE ACCESSORIES IN A BRUSHED STAINLESS STEEL FINISH (J526-D).

DIVISION 11: EQUIPMENT

- A. SUBMIT CUT SHEETS AND TECHNICAL SPECS FOR ALL PROPOSED EQUIPMENT THAT IS DIFFERENT FROM SPECIFIED IN SCHEDULE.

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- A. GENERAL CONTRACTOR SHALL PROVIDE APPLIANCES AS SCHEDULED OR NOTED AND SHALL COORDINATE DELIVERY AND INSTALLATION WITH BUILDING OWNER/TENANT/SUPPLIER SO AS NOT TO ALLOW UNPROTECTED APPLIANCES TO BE STORED ON THE SITE UNLESS OTHERWISE APPROVED BY THE OWNER/CLIENT.
- B. APPLIANCES SHALL BE INSTALLED IN A LEVEL POSITION AND SHALL BE ADJUSTED TO ENSURE PROPER DOOR CLOSING AND OPERATION. COORDINATE ALL MECHANICAL, PLUMBING AND ELECTRICAL REQUIREMENTS WITH THE ENGINEERING DRAWINGS PRIOR TO ORDERING ALL APPLIANCES.

DIVISION 12: FURNISHINGS

12.01 SYSTEMS FURNITURE

- A. COORDINATE ALL DIMENSIONS AS INDICATED ON DRAWINGS WITH SYSTEMS FURNITURE VENDOR TO DETERMINE EFFECT OF "CREEP" ON LOCATIONS OF STATIONS AND ELECTRICAL POWER SUPPLY. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCY PRIOR TO INSTALLATION OF SYSTEMS FURNITURE.
- B. PROTECT SYSTEMS FURNITURE DURING INSTALLATION WHEREVER OTHER CONSTRUCTION ACTIVITIES REMAIN ONGOING. COORDINATE REQUIREMENTS WITH SYSTEMS FURNITURE VENDOR.

DIVISION 13 : SPECIAL CONSTRUCTION

13.01 NOT APPLICABLE

DIVISION 14 : CONVEYANCE

14.01 NOT APPLICABLE

DIVISION 15: MECHANICAL

15.01 HEATING, VENTILATING, AND AIR CONDITIONING

- A. THE GENERAL CONTRACTOR SHALL PROVIDE ALL HVAC SYSTEMS AS SPECIFIED ON THE DRAWINGS. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT / ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- B. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL PHASES OF THE HVAC WORK WITH ALL SUB CONTRACTORS AND VENDORS.
- C. SUBMIT SHOP DRAWINGS ON DUCT LAYOUT AND SIZES, DIFFUSERS, GRILLES, ACCESS PANELS, AND ALL OTHER EQUIPMENT LOCATIONS AND MOUNTING IN ACCORDANCE WITH THE GENERAL REQUIREMENTS AND THE ENGINEERING DRAWINGS AND SPECIFICATIONS.
- D. THE HVAC CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL SYSTEMS AND SHALL PROVIDE TESTING AND BALANCING. SUBMIT TEST REPORTS AND BALANCING REPORTS IN ACCORDANCE WITH THE GENERAL REQUIREMENTS AND THE ENGINEERING DRAWINGS AND SPECIFICATIONS.
- E. HVAC CONTRACTOR SHALL COORDINATE ALL ELECTRICAL REQUIREMENTS FOR THE HVAC SYSTEMS WITH THE ELECTRICAL CONTRACTOR AND ALL PLUMBING REQUIREMENTS FOR THE HVAC SYSTEM WITH THE PLUMBING CONTRACTOR.
- F. THE GENERAL CONTRACTOR AND HVAC CONTRACTOR SHALL INCLUDE ALL COSTS ASSOCIATED WITH SHUTDOWNS FOR THE COMPLETION OF THE WORK. SHUTDOWNS SHALL OCCUR BEFORE OR AFTER BUSINESS HOURS AND SHALL BE COORDINATED WITH THE BUILDING OWNER AND BE IN ACCORDANCE WITH ALL STATE, LOCAL, AND FEDERAL BUILDING AND FIRE SAFETY CODE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO SCHEDULE ALL SHUTDOWNS WITH THE BUILDING OWNER / TENANTS.

- G. WHERE EXISTING AIR TROFFERS ARE REMOVED OR RELOCATED, THE HVAC CONTRACTOR SHALL ALSO REMOVE DUCT BRANCHES AS REQUIRED BACK TO THE APPROPRIATE LOCATION.

- H. THE GENERAL CONTRACTOR IS TO PROVIDE AIR TRANSFER GRILLES WHEREVER SLAB TO SLAB PARTITIONS OCCUR. AT FIRE RATED WALLS PROVIDE FIRE RATED DAMPERS.

- I. WHEN CONSTRUCTION IS TO BE PHASED, HVAC CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL REQUIREMENTS WITH RESPECT TO PROVIDING HVAC DURING CONSTRUCTION ACTIVITIES.

- J. WHERE CUTTING AND/OR RELOCATION OF EXISTING EQUIPMENT IS REQUIRED FOR INSTALLATION OF NEW DUCTS OR EQUIPMENT, NOTIFY ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH THE WORK.

- K. THERMOSTATS SHALL NOT BE LOCATED ABOVE DIMMER SWITCHES, REOSTATS, OR OTHER HEAT PRODUCING EQUIPMENT.

15.02 PLUMBING

- A. GENERAL CONTRACTOR SHALL PROVIDE ALL FIXTURES AS SCHEDULED OR NOTED ON THE ARCHITECTURAL AND ENGINEERING DRAWINGS. COORDINATE ALL TRADES FOR REQUIRED POWER AND CLEARANCES. MOUNTING HEIGHTS AND LOCATIONS SHALL CONFORM TO THE STATE AND LOCAL BUILDING CODE ACCESSIBILITY REQUIREMENTS OR THE ADA WHICHEVER IS MORE STRINGENT. INFORM ARCHITECT OF DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS PRIOR TO INSTALLATION.

- B. SUBMIT SHOP DRAWINGS AND PRODUCT DATA ON ALL SCHEDULED PLUMBING FIXTURES. PROVIDE ADDED FIXTURES AS REQUIRED BY LOCAL CODE (EXTENDED FAUCET OR ADDITIONAL GRAB BAR).

15.03 FIRE PROTECTION

- A. THE GENERAL CONTRACTOR SHALL PROVIDE ALL FIRE PROTECTION SYSTEMS AS INDICATED ON THE ARCHITECTURAL AND ENGINEERING DRAWINGS. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE STATE AND LOCAL BUILDING AND FIRE SAFETY CODES AND SHALL BE COORDINATED WITH THE BUILDING OWNERS REQUIREMENTS.

DIVISION 16: ELECTRICAL

16.01 GENERAL

- A. PROVIDE CAT5-E CABLES FOR NETWORK WIRING
- B. PROVIDE HCF-90 CABLES FOR ALL ELECTRICAL WIRING IN CLINIC ROOMS.
- C. PROVIDE TAMPER PROOF RECEPTACLES THROUGHOUT
- D. PROVIDE SATIN FINISHED SS RECEPTACLE COVER PLATES FOR ALL ELECTRICAL AND NETWORK OUTLETS

16.02 POWER

- A. GENERAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL AND LIGHTING SYSTEMS AS SCHEDULED, SPECIFIED OR NOTED ON THE ARCHITECTURAL OR ENGINEERING DRAWINGS. CONFLICTS BETWEEN DRAWINGS SHALL BE PRICED AT BID TIME UTILIZING THE MOST RESTRICTIVE AND COSTLY CHOICE. BIDS SHALL INCLUDE IDENTIFICATION OF ALL SUCH CONFLICTS TO BE DEFINED AND FINALIZED PRIOR TO AWARD OF CONTRACT. ALL CONTRACTORS SHALL VISIT SITE PRIOR TO BID
- B. ALL ELECTRICAL WORK SHALL CONFORM TO THE STATE AND LOCAL BUILDING AND FIRE SAFETY CODE REQUIREMENTS AND TO ANY REGULATIONS OF THE LOCAL DEPARTMENTS OF WATER, GAS AND ELECTRICITY (POWER).
- C. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL PHASES OF THE ELECTRICAL WORK WITH ALL SUB-CONTRACTORS AND VENDORS.
- D. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL MECHANICAL REQUIREMENTS WITH THE HVAC CONTRACTOR. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL POWER REQUIREMENTS WITH MILLWORK, CEILING, SYSTEMS FURNITURE AND LIGHTING CONTRACTORS AND VENDORS.
- E. FOR QUANTITIES, TYPES AND LOCATIONS OF OUTLETS REFER TO THE ARCHITECTURAL DRAWINGS. FOR CIRCUITING AND TECHNICAL INFORMATION REFER TO THE ENGINEERING DRAWINGS. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO WORK.
- F. FOR ELECTRICAL AND/OR TELEPHONE RECEPTACLE, SWITCH PLATE, TOGGLES AND PLUG FINISH SEE FINISH NOTES ON PLAN OR SCHEDULE. IF NOT SPECIFICALLY SPECIFIED PROVIDE ARCHITECT WITH SELECTION SAMPLES OF MANUFACTURER STANDARD COLORS.
- G. ALL NEW FLOOR OUTLETS SHALL BE FURNISHED WITH CAST ALUMINUM BOX. NEW POWER SUPPLY AT SYSTEMS FURNITURE SHALL BE FLUSH MOUNT TYPE UNLESS OTHERWISE REQUIRED BY EXISTING CONDITIONS. ELECTRICAL CONTRACTOR SHALL HARDWIRE ELECTRICAL POWER AND COMMUNICATIONS DATA FEEDS TO LANDSCAPE FURNITURE SYSTEMS RACEWAY. COORDINATE REQUIREMENTS WITH SYSTEMS FURNITURE VENDOR.
- H. ALL POWER OUTLETS LOCATED ON COLUMNS SHALL BE LOCATED AT THE COLUMN CENTER AT 15 IN. A.F.F. TO BOTTOM OF OUTLET IN ACCORDANCE WITH THE STATE AND LOCAL BUILDING CODE ACCESSIBILITY REQUIREMENTS OR ADA WHICHEVER IS MORE STRINGENT.
- I. ALL POWER AND COMMUNICATIONS DATA OUTLETS LOCATED SIDE BY SIDE SHALL BE MOUNTED MINIMUM 5 IN. APART AND 15 IN. A.F.F. TO BOTTOM OF OUTLET IN ACCORDANCE WITH THE STATE AND LOCAL BUILDING CODE ACCESSIBILITY REQUIREMENTS OR ADA WHICHEVER IS MORE STRINGENT.
- J. ALL NEW LIGHTING AND OTHER EQUIPMENT SWITCHES SHALL BE LOCATED AT 48 IN. A.F.F. MAXIMUM IN ACCORDANCE WITH THE STATE AND LOCAL BUILDING CODE ACCESSIBILITY REQUIREMENTS OR ADA WHICHEVER IS MORE STRINGENT.

- K. WHERE MORE THAN ONE SWITCH IS INDICATED IN THE SAME AREA ELECTRICAL CONTRACTOR SHALL PROVIDE GANG TYPE SWITCHING UNDER SINGLE COVER PLATE.
- L. PROVIDE TELEPHONE OUTLETS AND CONDUIT TO TELEPHONE EQUIPMENT AS REQUIRED - COORDINATE ALL TELEPHONE REQUIREMENTS WITH LOCAL TELEPHONE COMPANY AND OWNER SUPPLIED VENDOR WHEN APPLICABLE.
- M. ALL CONDUITS TO BE SUPPORTED BY STAND-OFFS - DO NOT MOUNT TO CEILING SUPPORTS.
- N. ALL EXISTING OUTLETS INTERFERING WITH NEW CONSTRUCTION AND NOT SCHEDULED FOR REUSE SHALL BE ABANDONED. ALL ABANDONED OUTLETS SHALL HAVE CABLE/WIRING REMOVED BACK TO SOURCE PANEL.
- O. ALL TELEPHONE AND COMPUTER DATA WIRING SHALL BE TEFLON COATED OR EQUAL.
- P. ALL OUTLETS/SWITCHES LOCATED OVER ADA ACCESSIBLE COUNTERS SHALL BE MOUNTED AT 44 IN A.F.F. MAXIMUM TO THE TOP OF THE PLATE. WHERE INTERFERENCE WITH COUNTER BACKSPASH IS ENCOUNTERED MOUNT SIDEWAYS OR CONSULT ARCHITECT ENGINEER.
- Q. ALL NEW CONDUIT SHALL BE 3/4 IN. DIAMETER UNLESS OTHERWISE NOTED.
- R. NEW TELEPHONE CIRCUITS SHALL BE RUN IN "THIN WALL" 1" IN DIAMETER CONDUIT AND STUBBED UP ABOVE SUSPENDED CEILING.

- S. ALL CONDUITS TO BE SUPPORTED BY STAND-OFFS - DO NOT MOUNT TO CEILING SUPPORTS.
- T. ALL EXISTING OUTLETS INTERFERING WITH NEW CONSTRUCTION AND NOT SCHEDULED FOR REUSE SHALL BE ABANDONED. ALL ABANDONED OUTLETS SHALL HAVE CABLE/WIRING REMOVED BACK TO SOURCE PANEL.
- U. ALL TELEPHONE AND COMPUTER DATA WIRING SHALL BE TEFLON COATED OR EQUAL.
- V. ALL OUTLETS/SWITCHES LOCATED OVER ADA ACCESSIBLE COUNTERS SHALL BE MOUNTED AT 44 IN A.F.F. MAXIMUM TO THE TOP OF THE PLATE. WHERE INTERFERENCE WITH COUNTER BACKSPASH IS ENCOUNTERED MOUNT SIDEWAYS OR CONSULT ARCHITECT ENGINEER.
- W. ALL NEW CONDUIT SHALL BE 3/4 IN. DIAMETER UNLESS OTHERWISE NOTED.
- X. NEW TELEPHONE CIRCUITS SHALL BE RUN IN "THIN WALL" 1" IN DIAMETER CONDUIT AND STUBBED UP ABOVE SUSPENDED CEILING.

- Y. ALL NEW CONDUIT SHALL BE 3/4 IN. DIAMETER UNLESS OTHERWISE NOTED.

- Z. NEW TELEPHONE CIRCUITS SHALL BE RUN IN "THIN WALL" 1" IN DIAMETER CONDUIT AND STUBBED UP ABOVE SUSPENDED CEILING.

16.03 LIGHTING

- A. ALL EXISTING LIGHTING SCHEDULED OR NOTED TO REMAIN OR BE RELOCATED SHALL BE REFURBISHED, CLEANED AND RE-LAMPED AS REQUIRED TO MATCH APPEARANCE AND OPERATION OF ADJACENT NEW FIXTURES. LAMPS SHALL BE DELUXE WARM WHITE LIGHT. WHERE REQUIRED NEW BALLASTS SHALL BE PROVIDED IN PLACE OF THE EXISTING.
- B. ALL LAMPS - REPLACEMENT OR NEW - SHALL BE PROVIDED BY THE GENERAL CONTRACTOR UNLESS SPECIFICALLY OTHERWISE NOTED.
- C. WHERE LOCATIONS OF LIGHTING FIXTURES CONFLICT WITH BEAMS, PIPING, DUCTWORK OR OTHER EQUIPMENT PROVIDE SHALLOW FIXTURES IN LIEU OF STANDARD RECESSED FIXTURES. COORDINATE PRIOR TO ORDERING. SUBMIT ALTERNATE SHALLOW FIXTURE TO ARCHITECT/ENGINEER FOR REVIEW.
- D. IF LIGHTING LOCATION PATTERN AS INDICATED CANNOT BE OBTAINED - ELECTRICAL CONTRACTOR SHALL INFORM ARCHITECT/ENGINEER FOR REVIEW AND SHALL NOT PROCEED IN THAT AREA UNTIL AUTHORIZED.
- E. ALL INCANDESCENT LIGHT FIXTURES SHALL BE ON DIMMERS. IF NOT SPECIFICALLY NOTED OR SPECIFIED NOTIFY ARCHITECT - ALL BIDS SHALL CONTAIN DIMMING OF INCANDESCENT LIGHTING REGARDLESS OF INCLUSION ON DRAWINGS.
- F. ALL LIGHTING AND FAN SWITCHES ON DRAWINGS LOCATED SIDE BY SIDE SHALL BE MOUNTED MINIMUM 5 IN. CENTER TO CENTER VERTICALLY 3'-2" A.F.F. AND IN ACCORDANCE WITH THE STATE AND LOCAL BUILDING CODE ACCESSIBILITY REQUIREMENTS OR ADA WHICHEVER IS MORE STRINGENT.

DOB SCAN

ISS/REV	DATE	ISSUED TO	DESCRIPTION
2	2021-09-10	OWNER	ISSUED FOR BIDDING ONLY
1	2021-07-23	OWNER	OWNERS REVIEW



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OLD OAKS COUNTRY CLUB

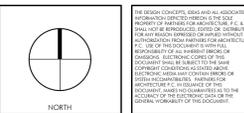
3100 Purchase St, Purchase, NY 10577

GENERAL NOTES

SEAL & SIGNATURE	DATE: <b>09-20-19</b>
	PROJECT NO.: <b>21-826</b>
	DRAWN BY: <b>AD</b>
	CHECKED BY: <b>SVG</b>
	DRAWING NO.: <b>G102.02</b>
	DATE: _____

DOB BSCAN

ISSUED TO	DATE	ISSUED BY	DESCRIPTION
OWNER	2021-07-23	IO	ISSUED FOR BIDDING ONLY
OWNER	2021-09-10	IO	OWNER'S REVIEW



**OLD OAKS COUNTRY CLUB**  
3100 Purchase St, Purchase, NY 10577

**SITE PLAN, ZONING & CODE INFORMATION**

SEAL & SIGNATURE	DATE: <b>09-20-19</b>
	PROJECT NO.: <b>21-826</b>
	DRAWN BY: <b>IO</b>
	CHECKED BY: <b>SVG</b>
	DRAWING NO.: <b>G103.00</b>

DATE: 9/20/2019 6:49:44 AM

**APPLICABLE NEW YORK BUILDING CODES**

- 2020 RESIDENTIAL CODE OF NEW YORK STATE (PUBLICATION DATE: NOVEMBER 2019)
- 2020 BUILDING CODE OF NEW YORK STATE (PUBLICATION DATE: NOVEMBER 2019)
- 2020 PLUMBING CODE OF NEW YORK STATE (PUBLICATION DATE: NOVEMBER 2019)
- 2020 MECHANICAL CODE OF NEW YORK STATE (PUBLICATION DATE: NOVEMBER 2019)
- 2020 FUEL GAS CODE OF NEW YORK STATE (PUBLICATION DATE: NOVEMBER 2019)
- 2020 FIRE CODE OF NEW YORK STATE (PUBLICATION DATE: NOVEMBER 2019)
- 2020 PROPERTY MAINTENANCE CODE OF NEW YORK STATE (PUBLICATION DATE: NOVEMBER 2019)
- 2020 EXISTING BUILDING CODE OF NEW YORK STATE (PUBLICATION DATE: NOVEMBER 2019)
- (COLLECTIVELY, THE NYS CODE BOOKS)

**DISTRICT:** R 2  
**SITE:** 3100 PURCHASE ST, PURCHASE, NY 10577  
**BLOCK:** 681  
**LOT:** 5  
**EXISTING USE:** COUNTRY CLUB  
**PROPOSED USE:** COUNTRY CLUB  
**USE CLASSIFICATION:** OCCUPANCY GROUP: A-3

	REQUIREMENT:	EXISTING / NO CHANGE
(TABLE 504.3)	ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE	A3 55'-0" (NS) 75'-0" (S) NO CHANGE
(TABLE 504.4)	ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE	2 (NS) 3 (S) 1 Story NO CHANGE

**(TABLES 601 & 602) FIRE RESISTANCE RATING REQUIREMENTS - TYPE III-B CONSTRUCTION; FULLY SPRINKLERED**

BUILDING ELEMENT:	REQUIRED:	PROPOSED:
PRIMARY STRUCTURAL FRAME: (SEE SECTION 202)	0 HR	0 HR
BEARING WALLS EXTERIOR	2 HR	2 HR
INTERIOR	0 HR	0 HR
NON-BEARING WALLS & PARTITIONS INTERIOR	0 HR	0 HR
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMEBERS	0 HR	0 HR
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMEBERS	0 HR	0 HR
FIRE SEPARATION DISTANCE FOR EXT. WALLS	≥ 30 FEET = 0 HRS	N/A.
FIRE SEPARATION DISTANCE FOR EXT. WALLS	< 5 FEET = 1 HRS	N/A.

**(SEC. 703.2) FIRE RESISTANCE RATING AND FIRE TEST**  
THE FIRE RESISTANCE RATING OF BUILDING ELEMENTS, COMPONENTS OR ASSEMBLIES SHALL BE DETERMINED IN ACCORDANCE WITH TEST PROCEDURES SET FORTH IN ASTM E119 OR UL 263 OR IN ACCORDANCE WITH SECTION 703.3. THE FIRE RESISTANCE RATING OF PENETRATIONS AND FIRE-RESISTANT JOINT SYSTEMS SHALL BE DETERMINED IN ACCORDANCE SECTIONS 714 AND 715, RESPECTIVELY.

**(SEC. 713.1) SHAFT ENCLOSURE**  
OPENINGS THROUGH A FLOOR/CEILING ASSEMBLY SHALL BE PROTECTED BY A SHAFT ENCLOSURE COMPLYING WITH THIS SECTION.

**(SEC. 713.4) FIRE RESISTANCE RATING**  
SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING NOT LESS THAN 1 HOURS WHERE CONNECTING LESS THAN FOUR STORIES. **PROVIDED**

**(TABLE 1004.5) MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT**

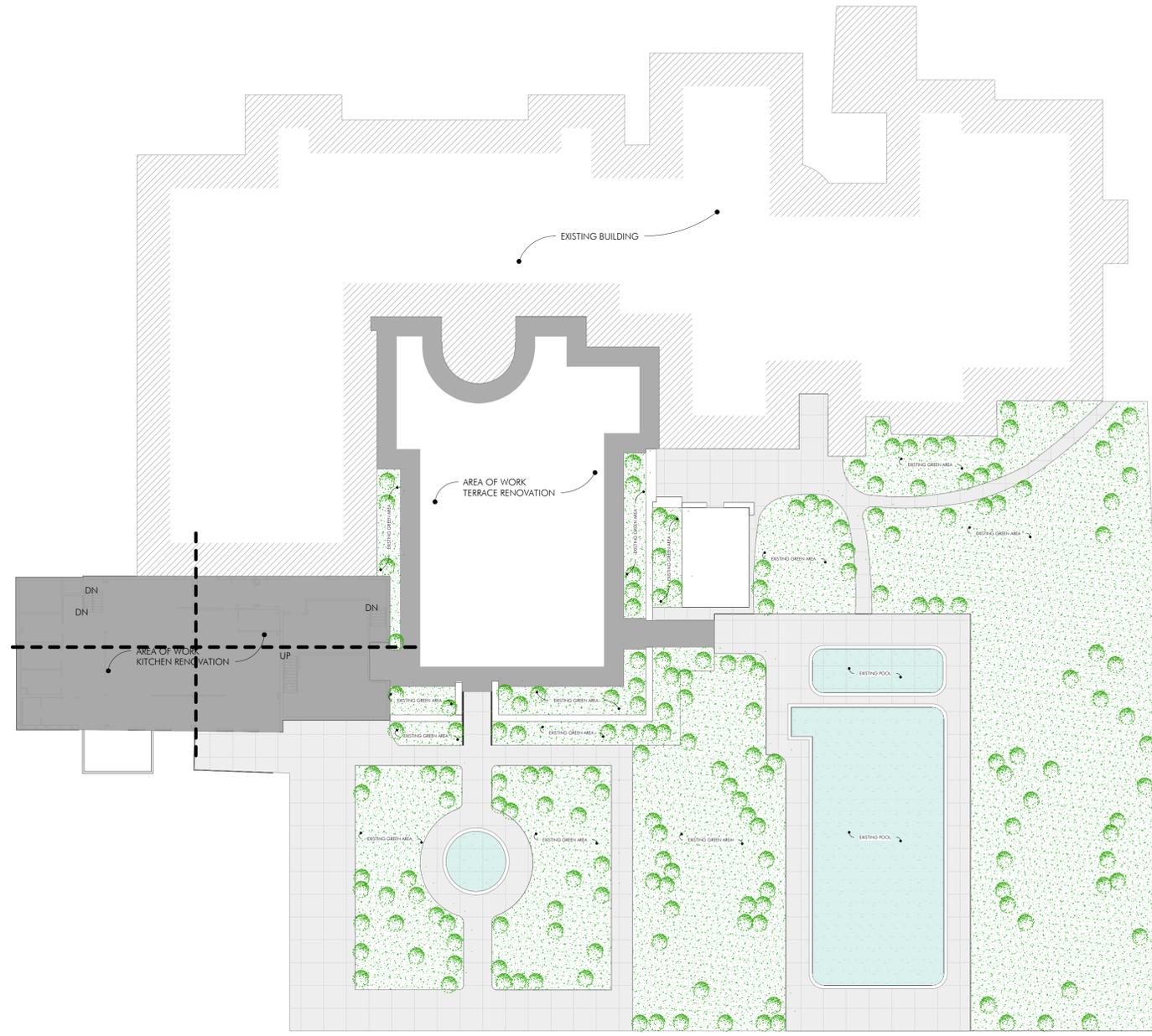
REQUIRED	PROPOSED
FUNCTION OF SPACE	OCCUPANT LOAD FACTOR
COMMERCIAL KITCHEN	200 GROSS
	OCCUPANTS (SEE EGRESS PLAN ON G-...)

**(TABLE 1006.2.1) SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY**

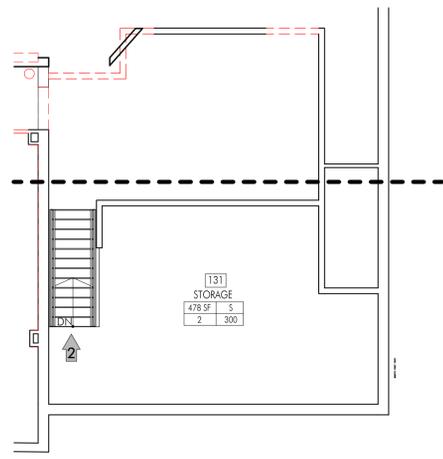
REQUIRED	PROPOSED
MAX. OCCUPANT LOAD OF SPACE	MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE (FEET) - WITH SPRINKLER SYSTEM
49	75
	2 EXITS PROVIDED

**(TABLE. 1017.2) EXIT ACCESS TRAVEL DISTANCE:** W/SPRINKLER SYSTEM = 250 FEET.

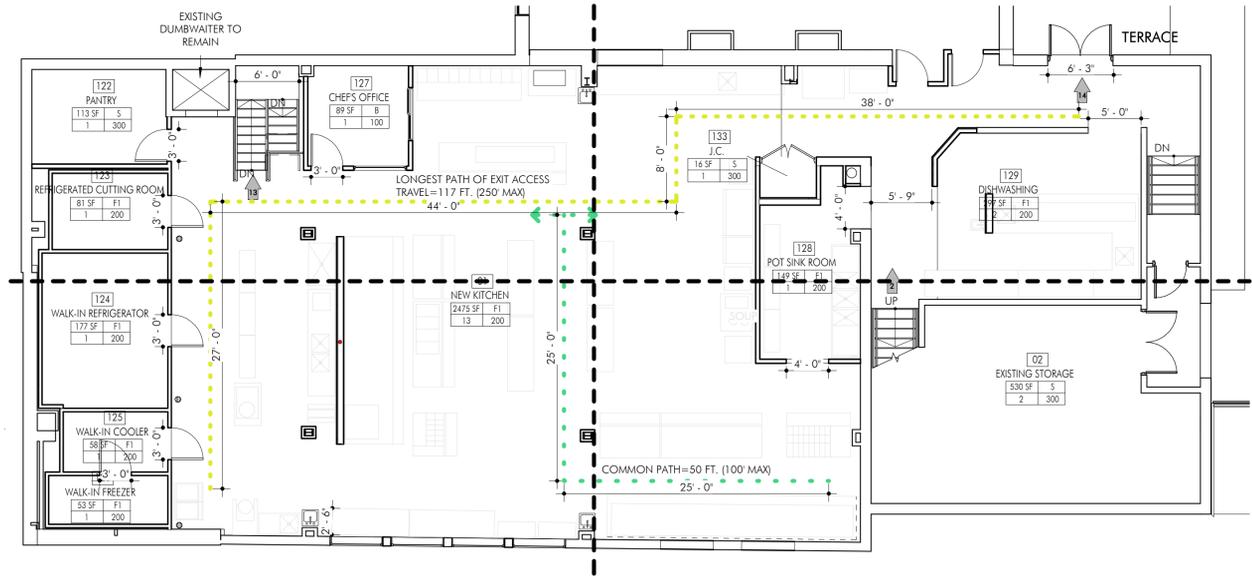
ZONING AND LOT REQUIREMENTS	
ZONE: R 2	BLOCK: 681 LOT: 5
ARTICLE III OF THE ZONING REGS. FOR TOWN/VILLAGE OF HARRISON, NY	
BUILDING TYPE	EXISTING - NO CHANGE
USE	COUNTRY CLUB - EXISTING, NO CHANGE
MIN. LOT SIZE	
MINIMUM LOT FRONTAGE	
FLOOR AREA RATIO	
BUILDING HEIGHT	EXISTING, NO CHANGE
BUILDING AREA	
FRONT YARD - STREET LINE	
CENTER LINE OF STREET	
SIDE YARD	
REAR YARD	



LEGEND	
	1HR FIRE RATED PARTITION
	2HR FIRE RATED PARTITION
	COMMON PATH OF TRAVEL
	LONGEST PATH OF EXIT ACCESS TRAVEL
	DEAD END
	SCOPE OF WORK
	OCCUPANT LOAD, ORIGINATING
	OCCUPANT LOAD, RESULTING
	CONVERGENCE LOAD, CONVERGENCY
	OCCUPANCY LOAD, CAPACITY
F.H.C. EXISTING FIRE HOSE CABINET	
F.E.C. EXISTING FIRE EXTINGUISHER CABINET	
PS EXISTING FIRE ALARM PULL STATION BOX	
EXISTING FIRE ALARM STROBE	
F.H.C. FIRE HOSE CABINET	
F.E.C. FIRE EXTINGUISHER CABINET	
PS FIRE ALARM PULL STATION BOX	
FIRE ALARM STROBE	



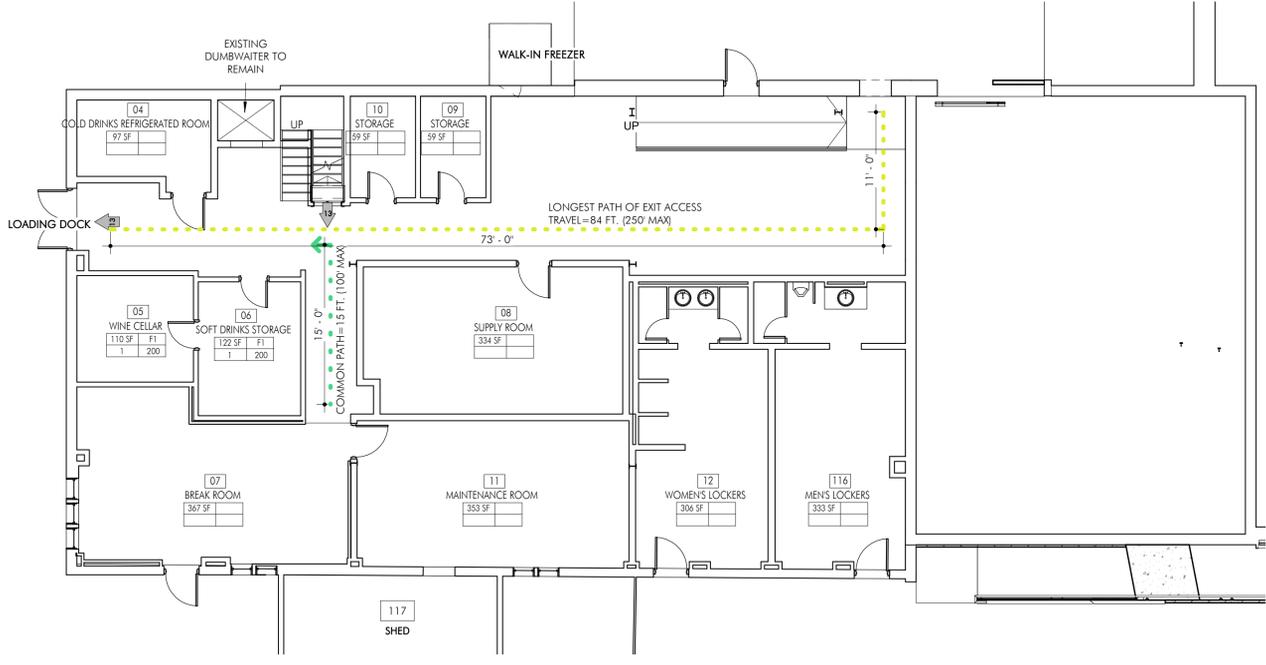
3 MEZZANINE SHEET REF. SCALE 1/8" = 1'-0"



2 PROPOSED KITCHEN FLOOR PLAN - EGRESS PLAN SCALE 1/8" = 1'-0"

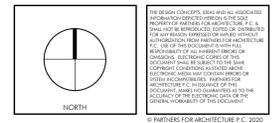
FIRST FLOOR - EGRESS CALCULATIONS			
CODE REF.	NYCBC	(AS PER CODE)	
1004.1.1	OCCUPANT LOAD	27 OCCUPANTS	
1005.1	DOORS		
REQUIRED:	0.2 INCHES x OCCUPANTS = 0.2 x 27 = 5.4 INCHES		
PROPOSED:	DOOR 1 = 75 INCHES		
	DOOR 2 = 70 INCHES		
TOTAL PROPOSED:	(2) DOOR = 145 INCHES		
1005.1	STAIRWAYS, EGRESS COMPONENTS		
REQUIRED:	0.3 INCHES x OCCUPANTS = 0.3 x 27 = 8.1 INCHES		
PROPOSED:	STAIR = 72 INCHES		
TOTAL PROPOSED:	(1) STAIR = 72 INCHES		
MIN. REQUIRED NO. OF EXITS:			
1021.1	OCCUPANT LOAD	MIN. NO. OF EXITS REQUIRED	PROPOSED NO. OF EXITS
	27 OCCUPANTS	2	2
EXIT ACCESS TRAVEL DISTANCE WITH SPRINKLER SYSTEM: NYCBC: 1016.1			
OCCUPANCY	MAX. ALLOWABLE TRAVEL DISTANCE	PROPOSED MAX. TRAVEL DISTANCE	
F1	250 FEET	27+44+8+38=117 FEET	
COMMON PATH OF EGRESS TRAVEL: NYCBC: 1014.3			
OCCUPANCY	MAX. ALLOWABLE COMMON PATH	PROPOSED MAX. COMMON PATH	
F1	75 FEET	50 FEET	

TABLE 1004.1.1 - 1ST FLOOR OCCUPANCY					
RM. #	NAME	AREA	OCCUPANCY GROUP	OCC. LOAD FACTOR (SF PER OCC.)	CALC. OCC. LOAD
122	PANTRY	113 SF	S	300	1
123	REFRIGERATED CUTTING ROOM	81 SF	F1	200	1
124	WALK-IN REFRIGERATOR	177 SF	F1	200	1
125	WALK-IN COOLER	58 SF	F1	200	1
126	WALK-IN FREEZER	53 SF	F1	200	1
127	CHEF'S OFFICE	89 SF	B	100	1
128	POT SINK ROOM	149 SF	F1	200	1
129	DISHWASHING	297 SF	F1	200	2
131	STORAGE	478 SF	S	300	2
133	J.C.	16 SF	S	300	1
134	TERRACE	2549 SF			
136	BAR	225 SF			
OCCUPIED SPACE TOTAL:		4285 SF			12



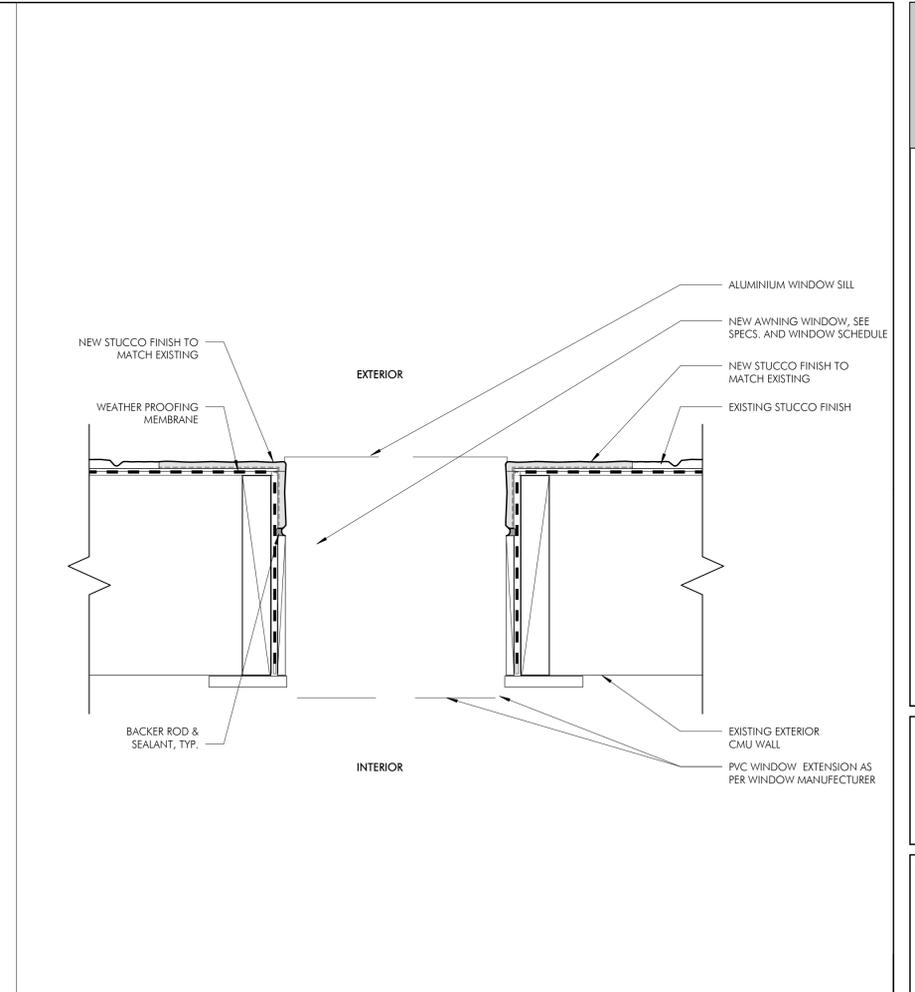
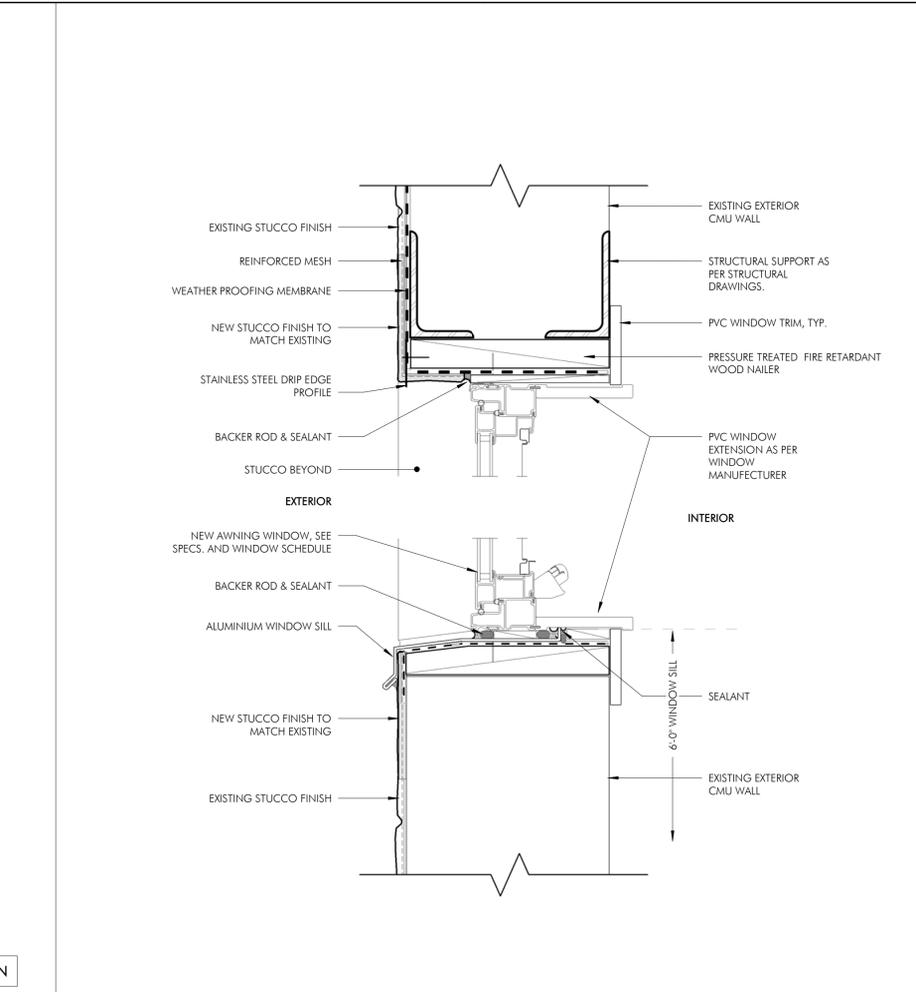
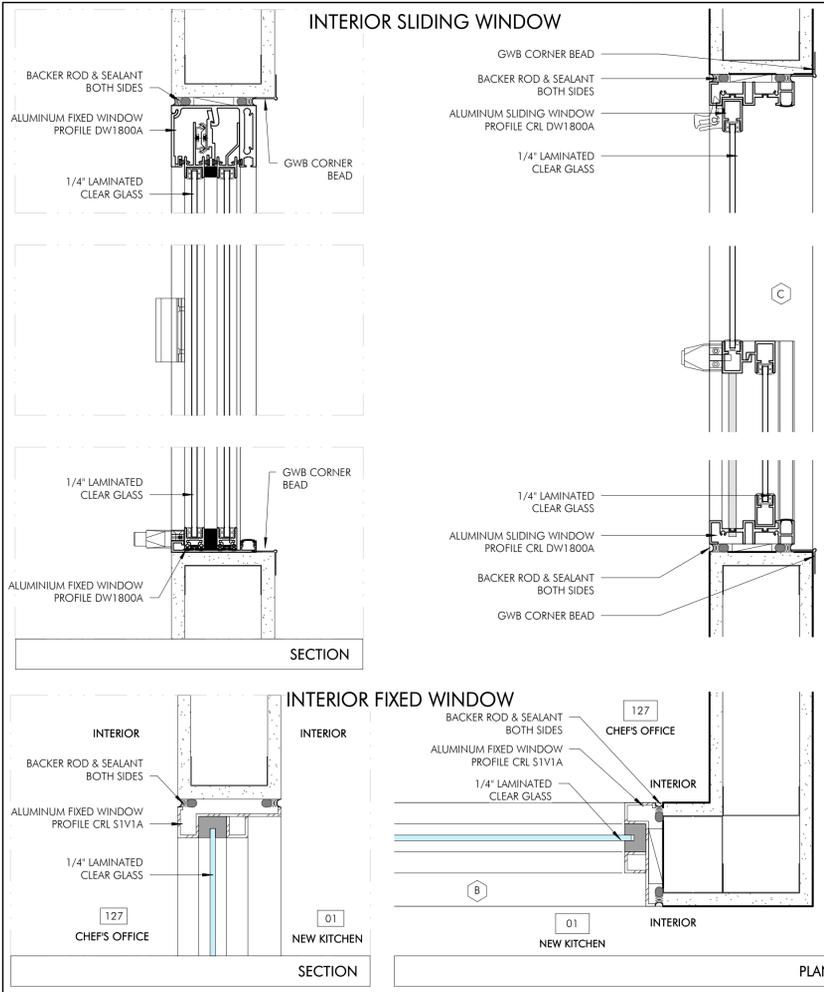
1 PROPOSED LOWER LEVEL FLOOR PLAN - EGRESS PLAN SCALE 1/8" = 1'-0"

ISS/REV	DATE	OWNER	ISSUED TO	DESCRIPTION
2	2021-07-23	OWNER	OWNER	ISSUED FOR BIDDING ONLY
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**OLD OAKS COUNTRY CLUB**  
 3100 Purchase St, Purchase, NY 10577

EGRESS PLANS	
SEAL & SIGNATURE	DATE: 09-20-19
	PROJECT NO.: 21-826
	DRAWN BY: AD
	CHECKED BY: SVG
	DRAWING NO.: G104.00
DATE PLOTTED: 11/20/2019 10:49:44 AM	



1 INTERIOR WINDOW DETAILS SHEET REF: A101.00 SCALE: 3" = 1'-0" 2 TYPICAL WINDOW HEAD & SILL DETAIL SHEET REF: A101.00 SCALE: 3" = 1'-0" 3 TYPICAL WINDOW JAMB DETAIL SHEET REF: A101.00 SCALE: 3" = 1'-0"

**NEW WINDOW SCHEDULE**

TYPE	COUNT	R. O.		DESCRIPTION	WINDOW		MATERIAL	FINISH	GLAZING		COMMENTS
		WIDTH	HEIGHT		WIDTH	HEIGHT			THICKNESS	TYPE	
<b>FIRST FLOOR</b>											
A	4				5'-0"	2'-6"			GL1		AWNING WINDOWS ( MARVIN ESSENTIAL - ESAWN2626) W/6 9/16" PVC EXTENSIONS AND OPERATING DEVICES
B	1				5'-0"	4'-0"	ALUMINIUM	SATIN ANODIZED	GL2		INTERIOR WINDOWS (CRL S1V1A)
C	1				5'-0"	4'-0"	ALUMINIUM	SATIN ANODIZED	GL2		INTERIOR SLIDING WINDOWS (CRL DW1800A)
Grand total: 6											

**GENERAL NOTES:**

ALL GLAZING IN PROJECT TO BE TEMPERED.  
ALL OPERABLE WINDOWS TO BE PROVIDED AND INSTALLED WITH WINDOW OPENING CONTROL DEVICES LIMITING WINDOW OPENING TO 4" MAXIMUM.  
FENESTRATION AIR LEAKAGE: WINDOWS AND SLIDING OR SWINGING DOOR ASSEMBLIES EXCEPT SITE-BUILT WINDOWS AND/OR DOORS SHALL BE VISUALLY INSPECTED TO VERIFY THAT INSTALLED ASSEMBLIES ARE LISTED AND LABELED BY THE MANUFACTURER TO THE REFERENCED STANDARD.  
FOR GLAZED DOORS, PLEASE SEE DOOR SCHEDULE FOR SPECS; NFRC CERTIFICATE IS INCLUDED ON THIS SHEET.

5935 X-28173 Version 1  
Hardware Group No. 1  
For use on Door #1(s)  
Provide each SGL door(s) with the following:

QT	DESCRIPTION	CATALOG NUMBER	ITEM D	FINIS H	MFR
3	EA HINGE	58B1 4.5 X 4.5	630	IVE	
1	EA OFFICE/ENTRY LOCK	L9080P8 18A 09-544	630	SCH	
1	EA SURFACE CLOSER	1450 HCUSH STD	689	LCN	
1	EA KICK PLATE	8400 10" X 1" LDW B-CS	630	IVE	
1	EA STOP	WS407/F5438 AS REQUIRED	630	IVE	
3	EA SILENCER	SR84	630	IVE	

Hardware Group No. 2  
For use on Door #1(s)  
Provide each SGL door(s) with the following:

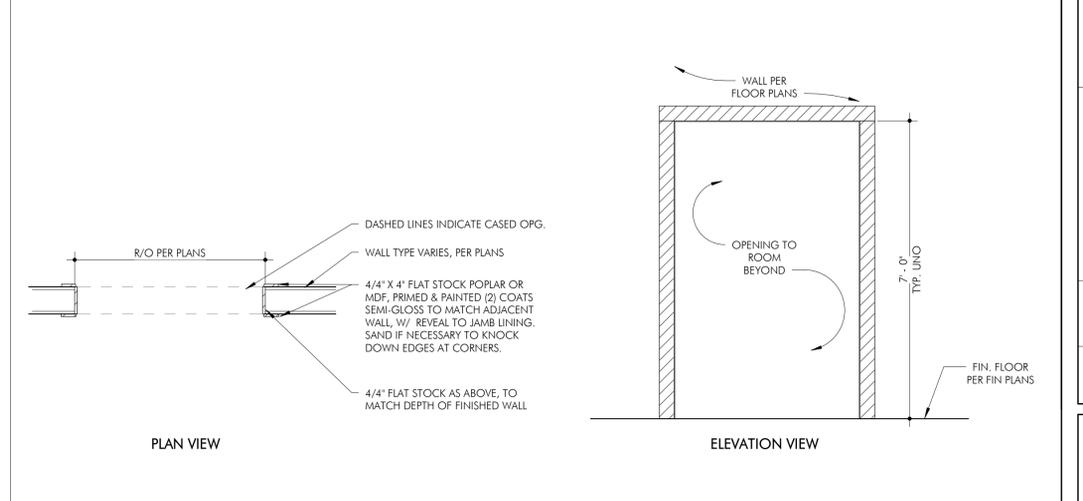
QT	DESCRIPTION	CATALOG NUMBER	ITEM D	FINIS H	MFR
3	EA HINGE	58B1 4.5 X 4.5	630	IVE	
1	EA STOREROOM LOCK	L9080P8 18A	630	SCH	
1	EA SURFACE CLOSER	1450 HCUSH STD	689	LCN	
1	EA KICK PLATE	8400 10" X 1" LDW B-CS	630	IVE	
3	EA SILENCER	SR84	630	IVE	

Hardware Group No. 3  
For use on Door #1(s)  
Provide each PR door(s) with the following:

QT	DESCRIPTION	CATALOG NUMBER	ITEM D	FINIS H	MFR
6	EA HINGE	58B1 4.5 X 4.5	630	IVE	
1	SET CONST LATCHING BOLT	FB51P 24"	630	IVE	
1	EA STOREROOM LOCK	L9080P8 18A	630	SCH	
2	EA SURFACE CLOSER	1450 HCUSH STD	689	LCN	
2	EA SILENCER	SR84	630	IVE	

Hardware Group No. 4  
For use on Door #1(s)  
Provide each SGL door(s) with the following:

QT	DESCRIPTION	CATALOG NUMBER	ITEM D	FINIS H	MFR
2	EA BY DOOR MANUFACTURER	ALL HARDWARE			



**WINDOW LEGEND**

A: 5'-0" x 2'-6"  
B: 5'-0" x 4'-0"  
C: 5'-0" x 4'-0"

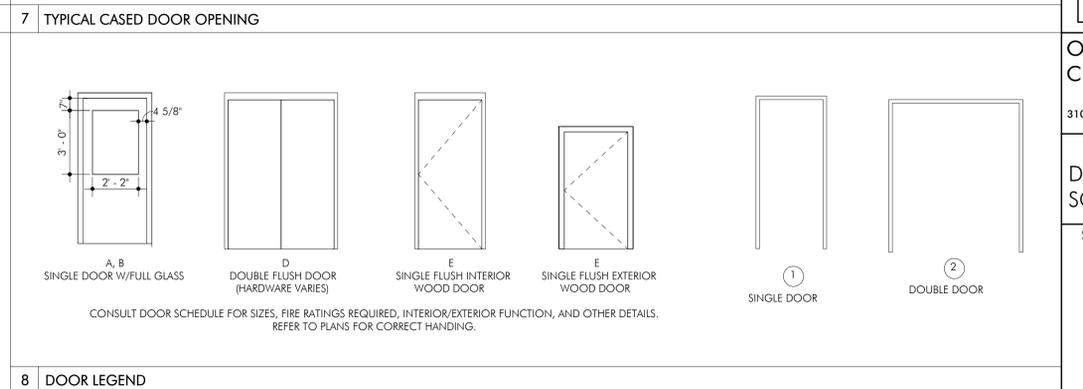
**WINDOW MINIMUM PERFORMANCE PER NYS ECC 2020:**  
MAXIMUM U-FACTOR: 0.38 FIXED; 0.45 OPERABLE  
MAXIMUM AIR LEAKAGE RATE: 0.20 CFM/SF  
MAX SHGC W/ PF < 0.2: 0.36  
MAX SHGC W/ 0.2 < PF < 0.5: 0.43  
MAX SHGC W/ PF > 0.5: 0.58

GL-1 1 1/16" INSULATING GLASS  
1 1/16" (17MM) INSULATING GLASS - LOW E2 - ARGON  
A. U-FACTOR: 0.29  
B. SHGC: 0.29  
C. VT: 0.49

GL-2 1/4" LAMINATED GLASS  
1/4" LAMINATED CLEAR GLASS

**GLAZING PERFORMANCE**

**HARDWARE SCHEDULE - REFER TO SPECIFICATIONS**



4 WINDOW LEGEND 5 GLAZING PERFORMANCE 6 HARDWARE SCHEDULE - REFER TO SPECIFICATIONS 7 TYPICAL CASED DOOR OPENING 8 DOOR LEGEND

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ISS/REV	DATE	ISSUED TO	DESCRIPTION
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**OLD OAKS COUNTRY CLUB**

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**DOOR AND WINDOW SCHEDULES AND DETAILS**

SEAL & SIGNATURE: \_\_\_\_\_ DATE: **09-20-19**

PROJECT NO.: **21-826**

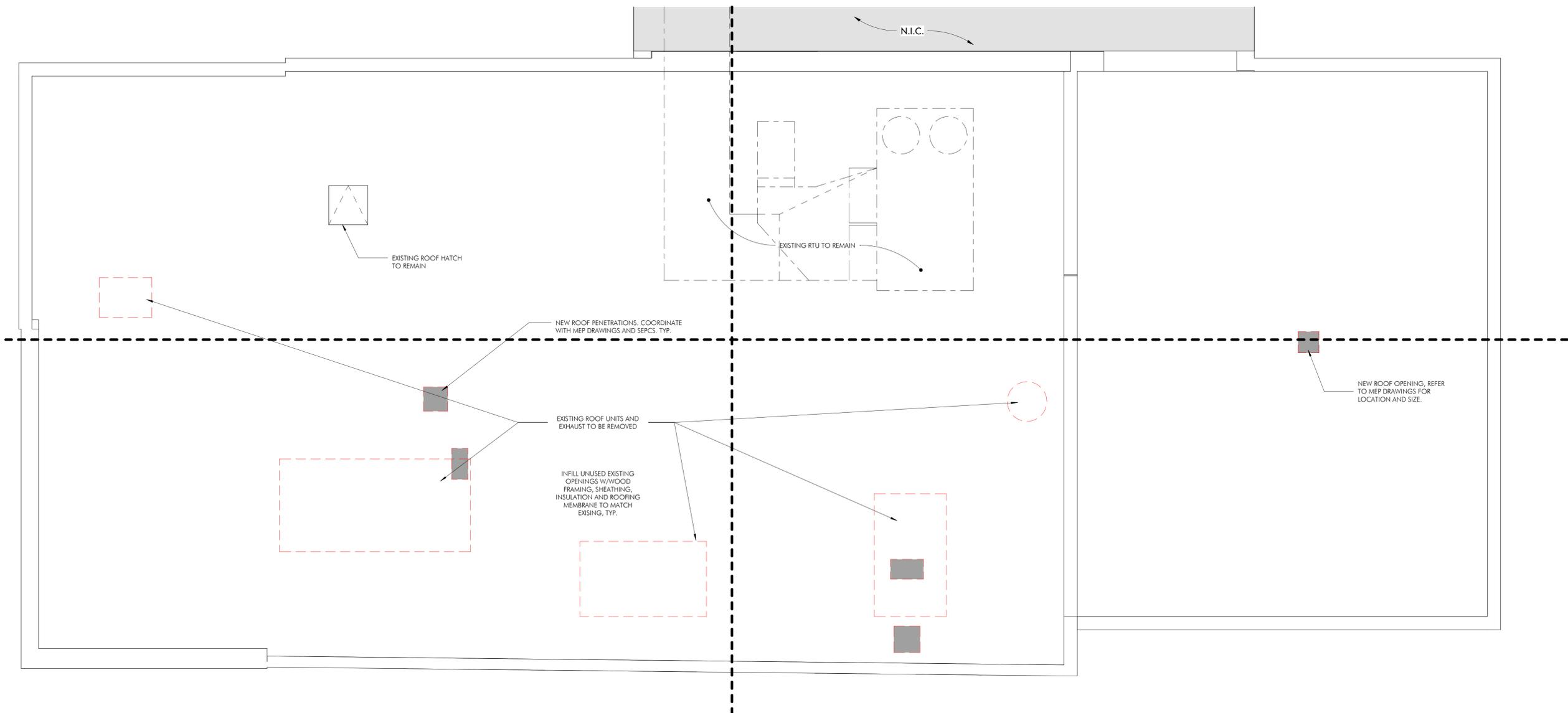
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CHECKED BY: **SVG**

DRAWING NO.: **G105.00**

DATE: \_\_\_\_\_





**NOTE:**  
1. REFER TO MECHANICAL AND STRUCTURAL DRAWINGS

DOB BSCAN

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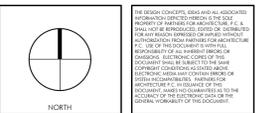
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**ROOF DEMOLITION PLAN**

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	CHECKED BY: <b>SVG</b>
	DRAWING NO.: <b>D102.00</b>
	CD/REV#:

DOB BSCAN

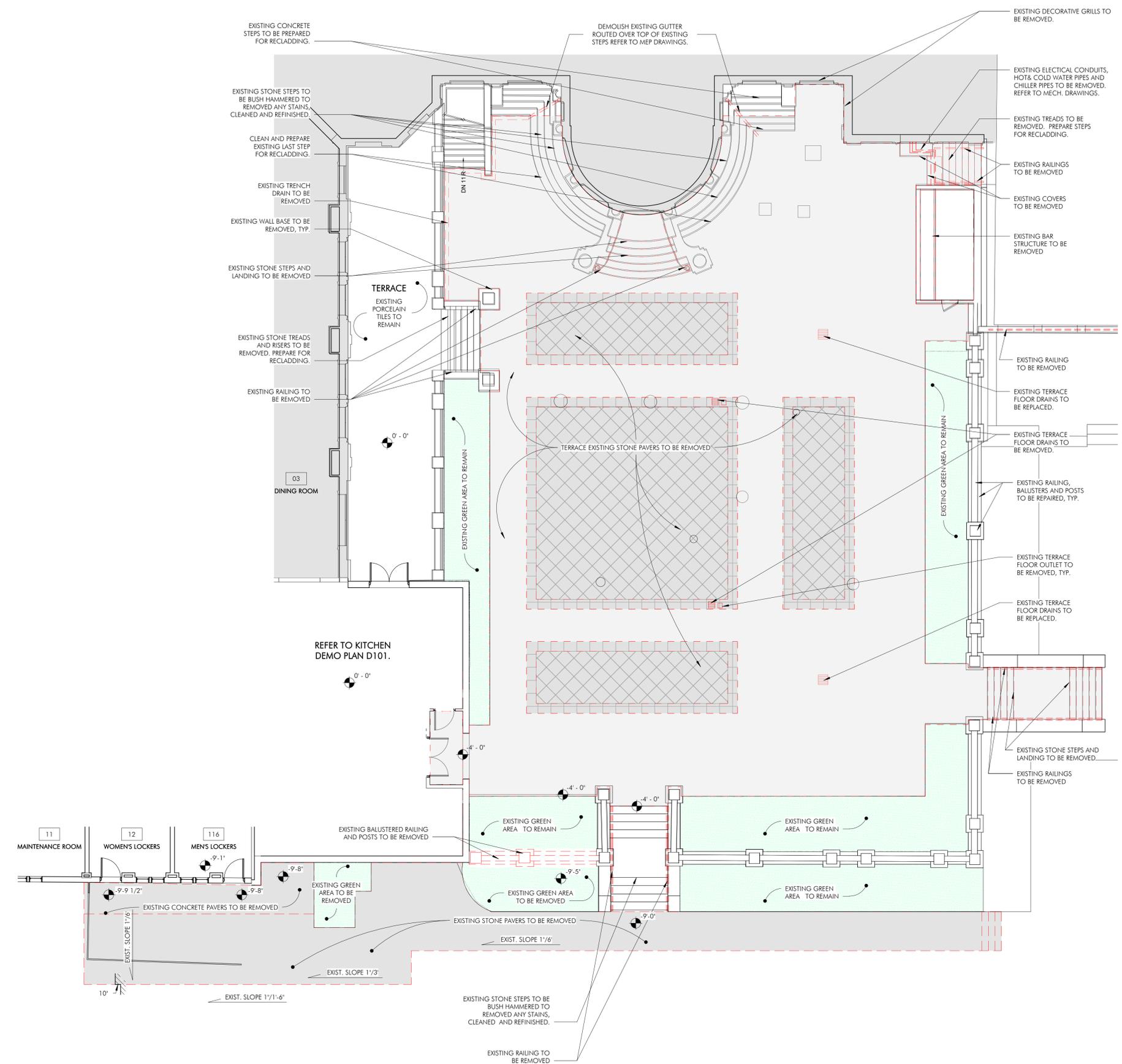
ISS/REV	DATE	OWNER	ISSUED TO	DESCRIPTION
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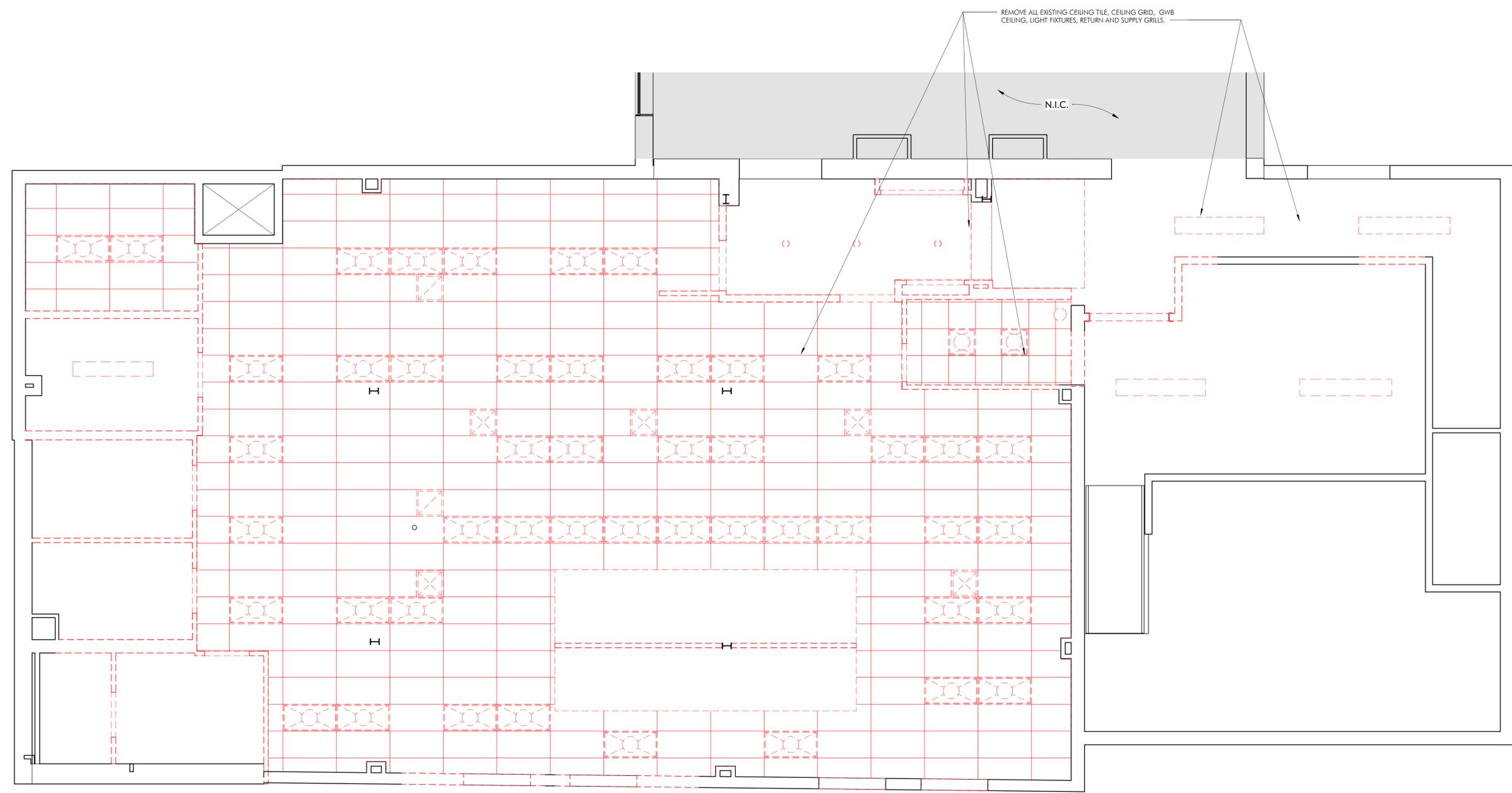
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**TERRACE DEMO PLAN**

SEAL & SIGNATURE	DATE: <b>09-20-19</b>
	PROJECT NO.: <b>21-826</b>
	DRAWN BY: <b>AD</b>
	CHECKED BY: <b>SVG</b>
	DRAWING NO.: <b>D103.00</b>
	DATE: 11/20/2019 6:49:44 BASIS



PARTITION LEGEND	
	NIC
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING WALLS TO REMAIN



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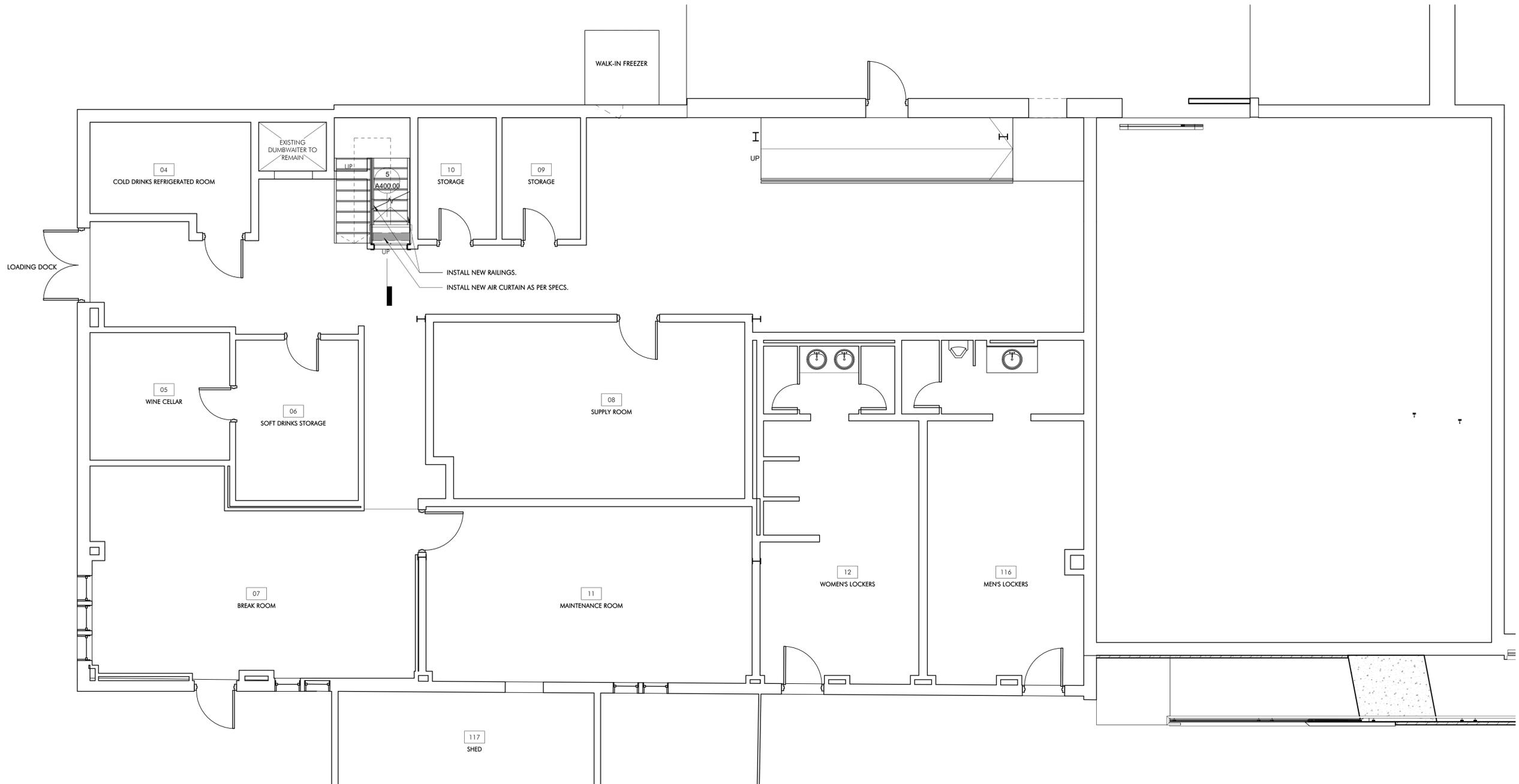
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**KITCHEN - DEMO RCP**

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	PROJECT NO.: <b>21-826</b>
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	CHECKED BY: <b>SVG</b>
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	DATE: <b>09-20-19</b>



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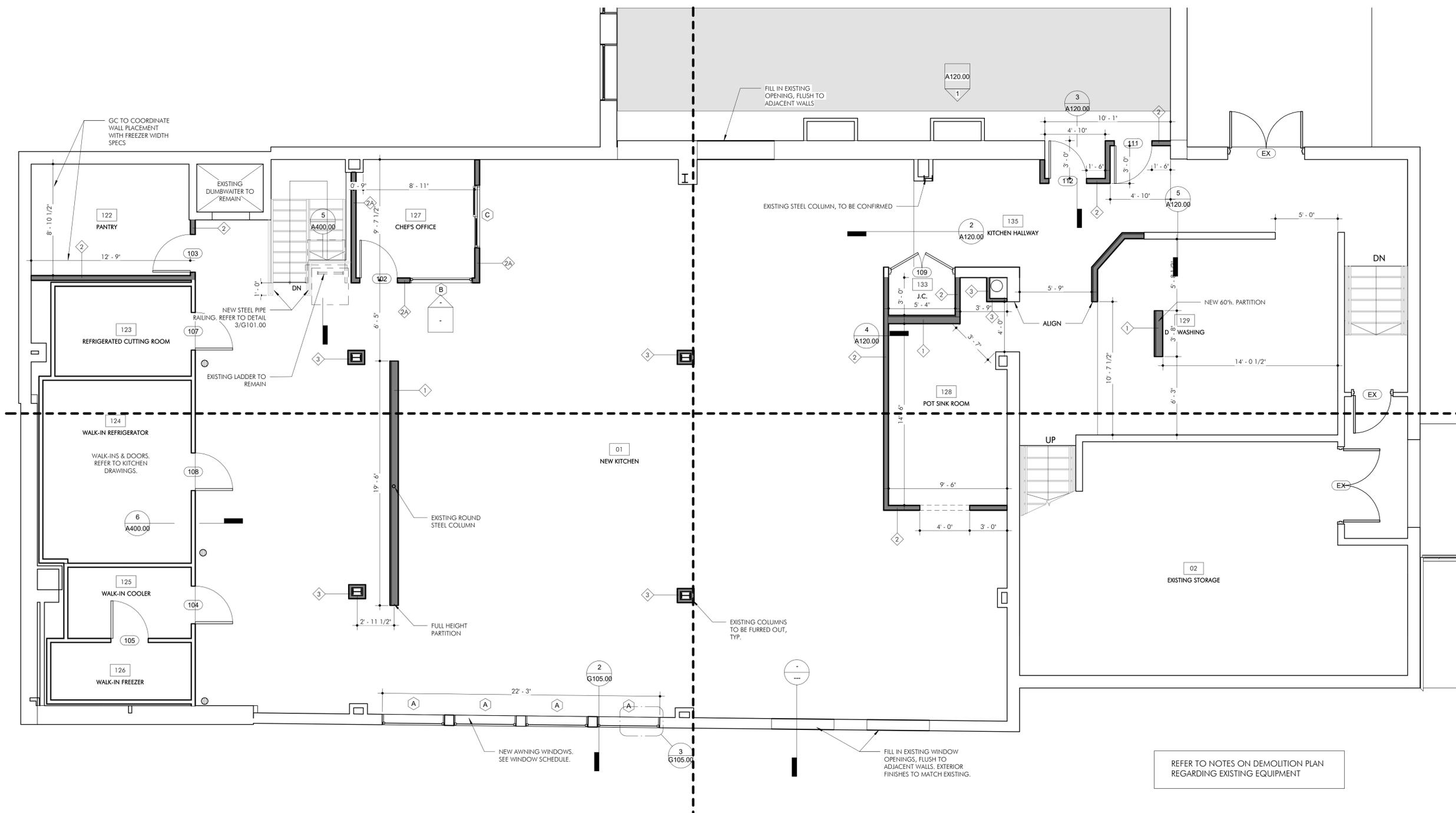
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**LOWER LEVEL PROPOSED FLOOR PLAN**

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	CHECKED BY: <b>SVG</b>
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	CAD FILE NO. <b>J:\P\2021\61694</b>



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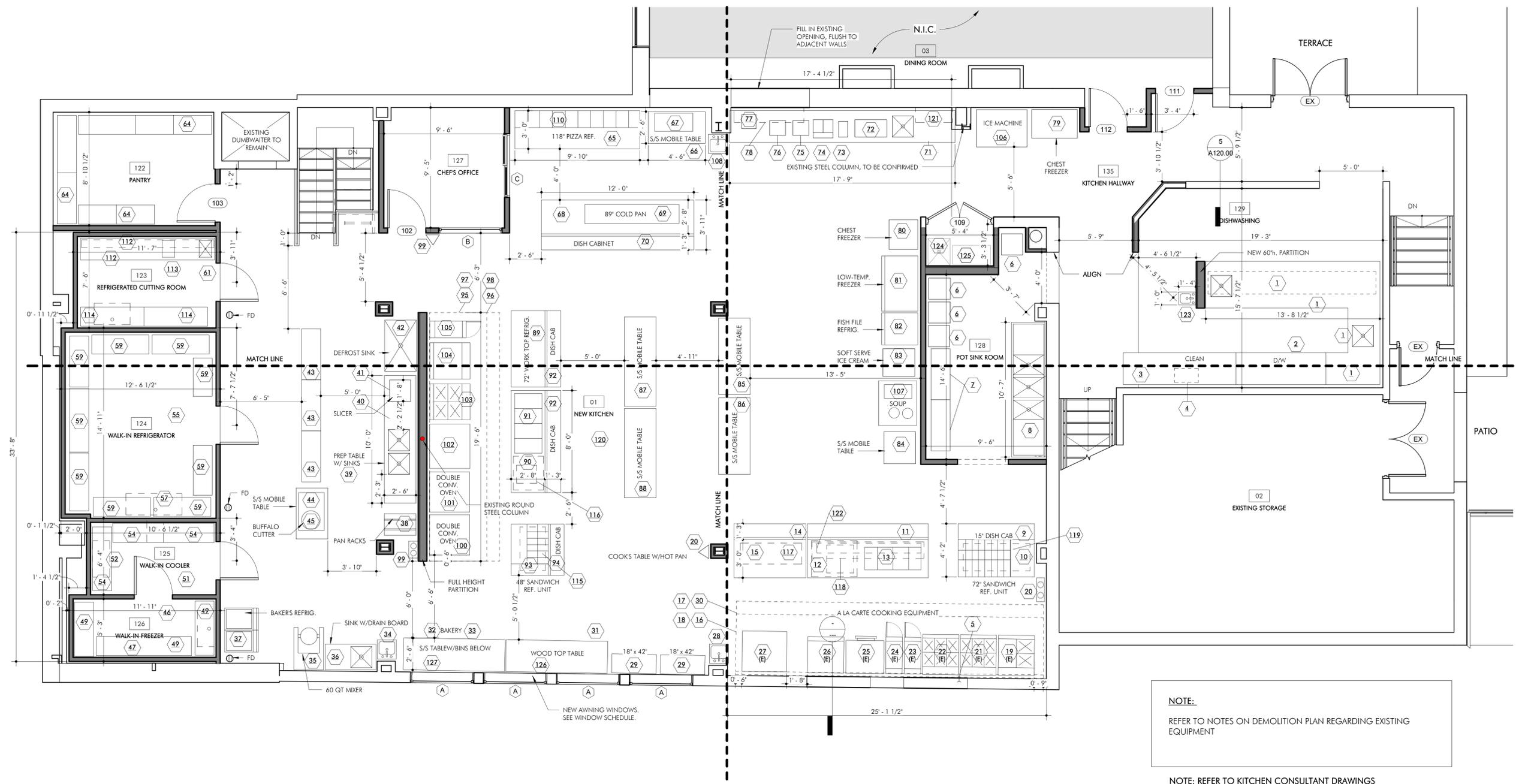
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**NEW CONSTRUCTION KITCHEN FLOOR PLAN**

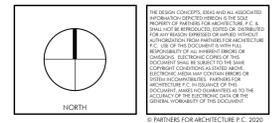
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	DRAWN BY: <b>Author</b>
	CHECKED BY: <b>Checker</b>
	DRAWING NO.: <b>A101.00</b>
CG/RE/NO	



**NOTE:**  
REFER TO NOTES ON DEMOLITION PLAN REGARDING EXISTING EQUIPMENT

**NOTE:** REFER TO KITCHEN CONSULTANT DRAWINGS

ISS/REV	DATE	OWNER	ISSUED TO	DESCRIPTION
2	2021-09-10	OWNER	OWNER	ISSUED FOR BIDDING ONLY
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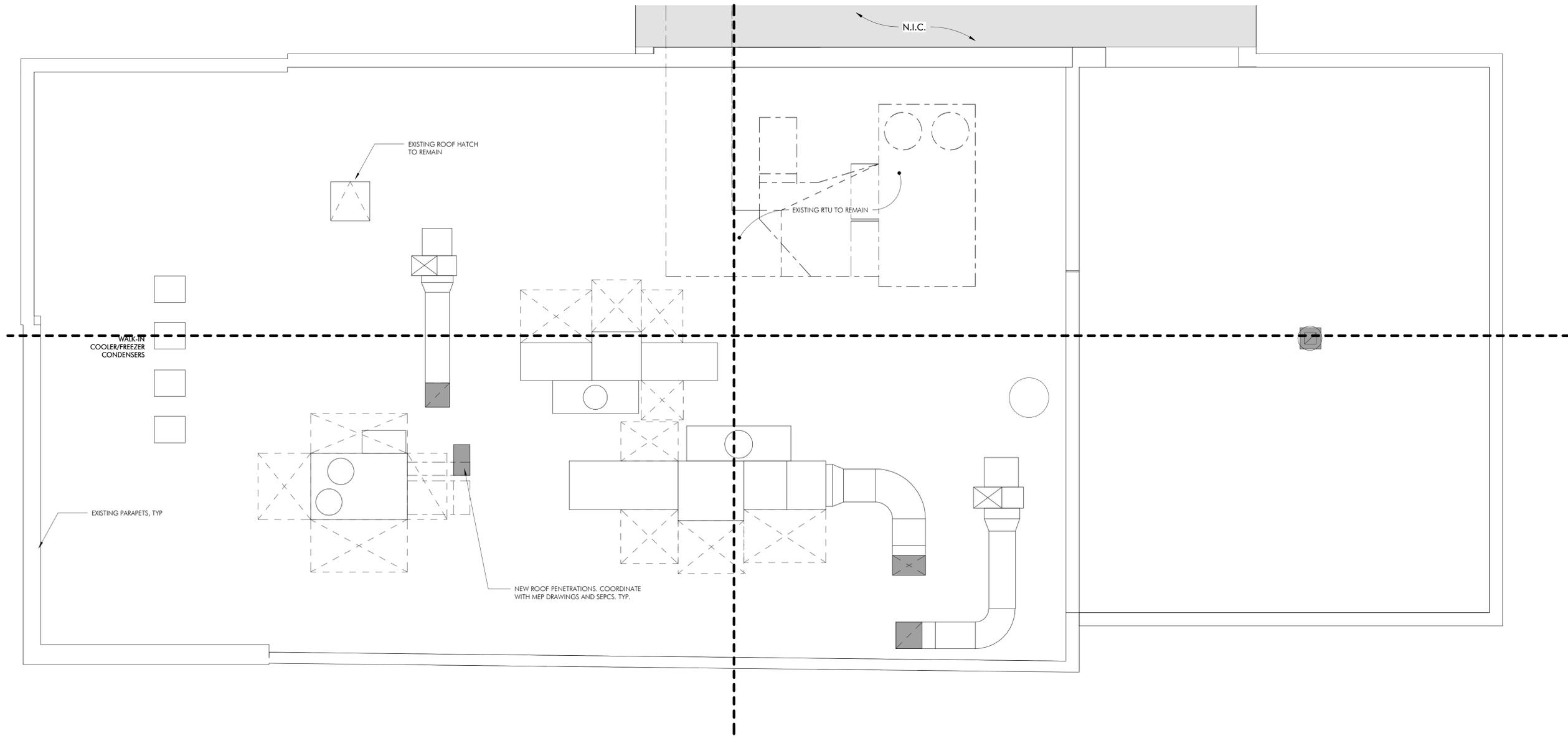


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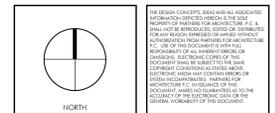
**PROPOSED KITCHEN EQUIPMENT PLAN**

SEAL & SIGNATURE	DATE: <b>09-20-19</b>
	PROJECT NO.: <b>21-826</b>
	DRAWN BY: <b>IO</b>
	CHECKED BY: <b>SVG</b>
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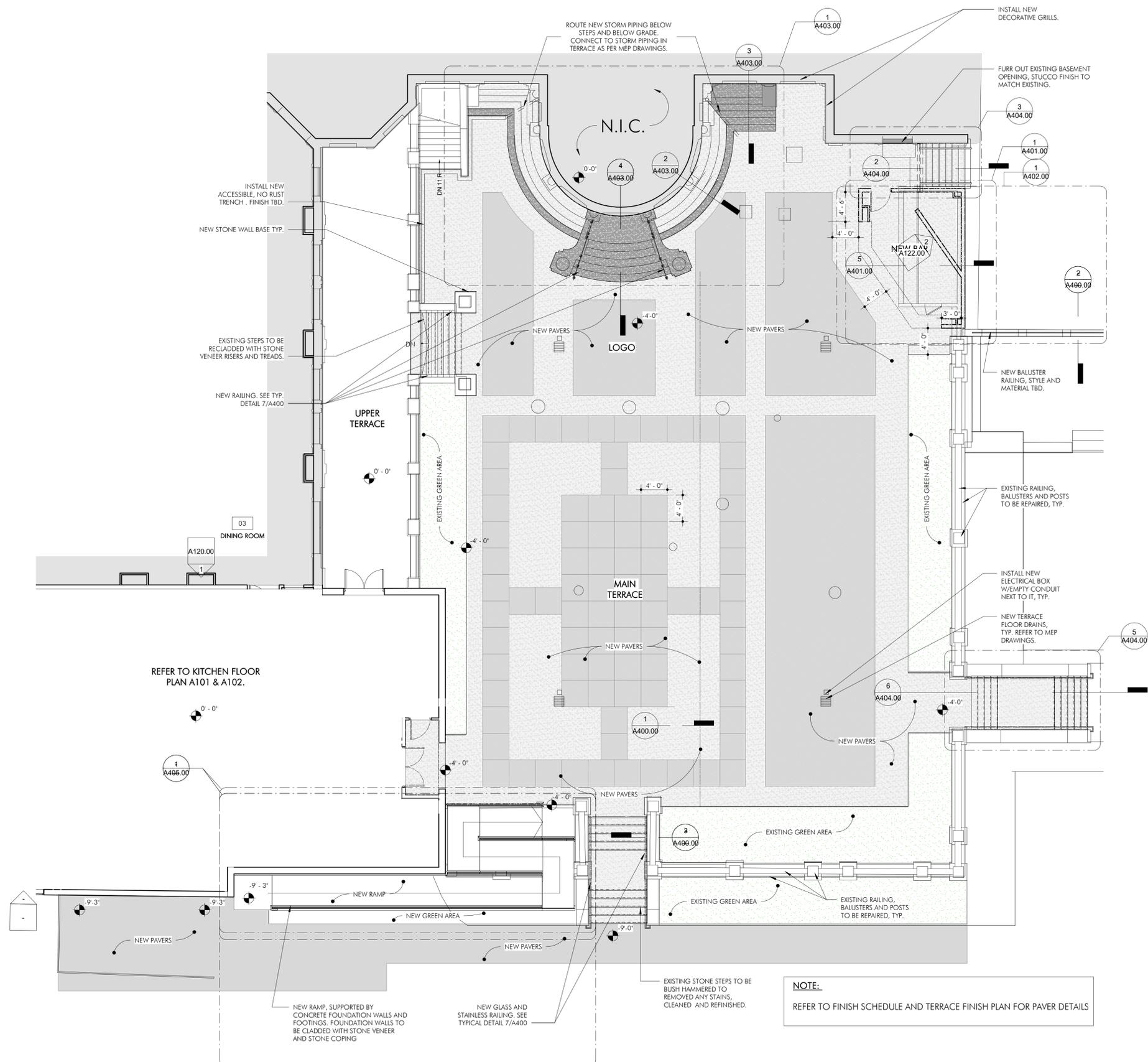
**NOTE:**  
REFER TO MECHANICAL AND STRUCTURAL  
DRAWINGS

ISS/REV	DATE	OWNER	ISSUED TO	DESCRIPTION
2	2021-09-10	OWNER	OWNER	ISSUED FOR BIDDING ONLY
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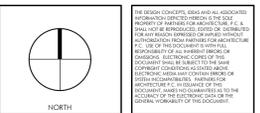
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	DRAWING NO.: <b>A107.00</b>



**NOTE:**  
REFER TO FINISH SCHEDULE AND TERRACE FINISH PLAN FOR PAVER DETAILS

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**NEW CONSTRUCTION TERRACE PLAN**

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	PROJECT NO.: <b>21-826</b>
	DRAWN BY: <b>IO</b>
	CHECKED BY: <b>SVG</b>
	DRAWING NO.: <b>A108.00</b>
	DATE: 11/20/2019 6:49:41 AM

### INTERIOR LIGHTING SCHEDULE

TYPE MARK	COUNT	COMMENTS
-----------	-------	----------

FIRST FLOOR		
A	52	
B	11	
B	48	

#### CEILING TYPES

ACT 1 - ACOUSTICAL CEILING TILE, AMSTRONG, DUNE - 1850, LAY-IN WITH PRELUDE 15/16" SUSPENSION SYSTEM

ACT 2 - ACOUSTICAL CEILING TILE, AMSTRONG, KITCHEN ZONE - 672, LAY-IN WITH PRELUDE 15/16" SUSPENSION SYSTEM

#### MECHANICAL LEGEND

	SUPPLY CEILING DIFFUSER
	RETURN CEILING GRILLE OR REGISTER

#### NOTE :

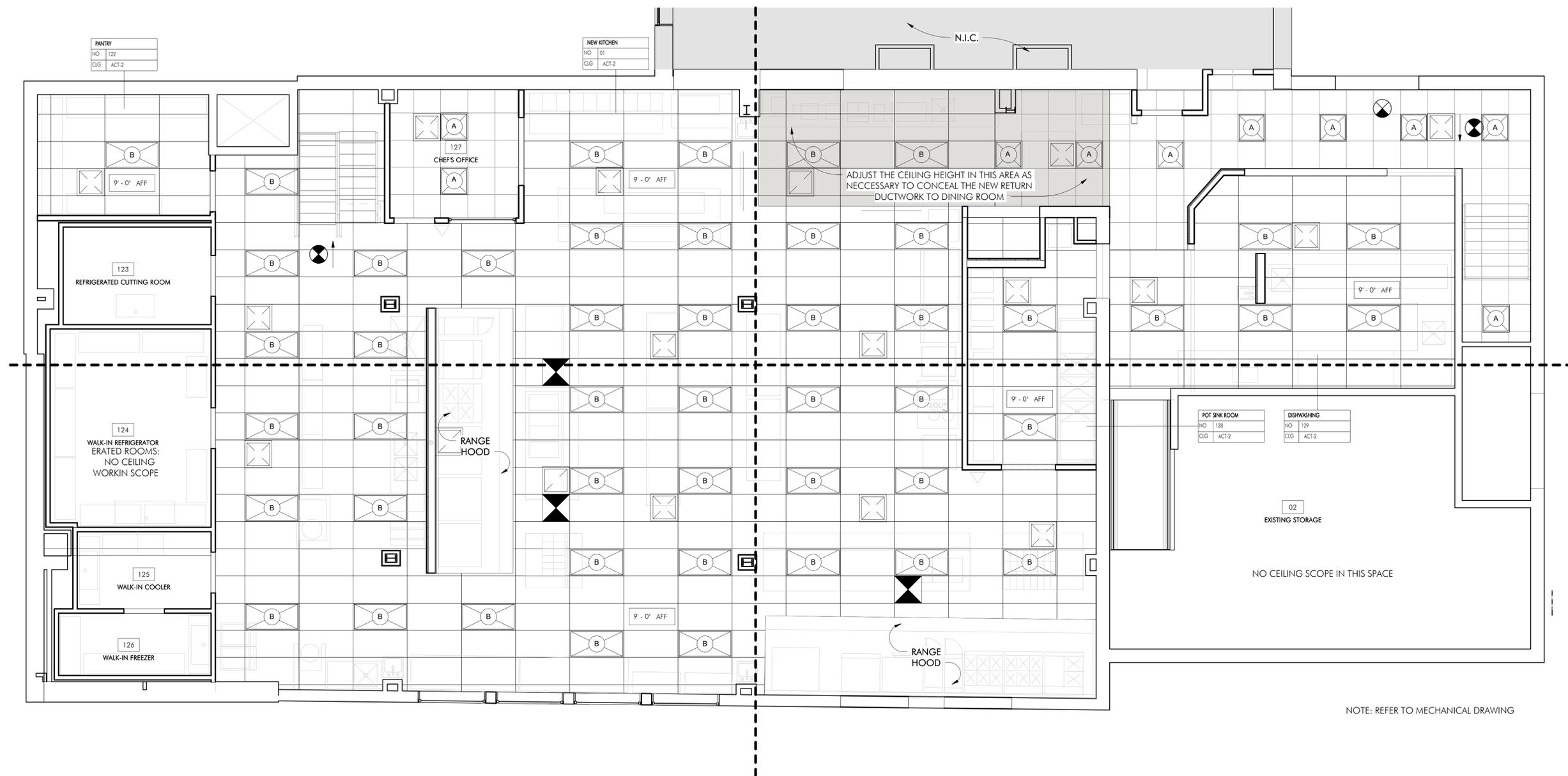
\* ALL LIGHT FIXTURE MANUFACTURERS TO PROVIDE MIN 10 - YEAR WARRANTY

#### LIGHTING LEGEND

TYPE	DESCRIPTION
A	RECESSED 2' x 2' FLAT PANEL LED 32 W +/- DIMMABLE - CFP22-3335-HE? (FOR EM: PLD10M) MFR.: COLUMBIA
B	RECESSED 2' x 4' FLAT PANEL LED 34 W +/- DIMMABLE - CFP24-4135-HE? (FOR EM: PLD10M) MFR.: COLUMBIA
M	LED EXIT SIGN - CEILING/WALL MOUNTED, RED LE-W-S-R-X-N-E; LE-C-S-R-X-N-E MFR.: DUAL LITE
M1	LED EXIT SIGN - CEILING/WALL MOUNTED W/ ARROW LE-W-S-R-R-N-E; LE-C-S-R-R-N-E; LE-W-S-R-L-N-E; LE-C-S-R-L-N-E; MFR.: DUAL LITE
M2	LED EXIT SIGN - CEILING MOUNTED W/ARROW LE-C-D-R-C-N-E MFR.: DUAL LITE

#### BAR LIGHTING LEGEND

TYPE	DESCRIPTION
C	6" RECESSED LED DOWNLIGHT
D	4" PENDANT LIGHT BACK OF HOUSE PENDANT, LENSED COLUMBIA LCL-4-35-ML-E-U WITH CHC CHAIN HANGER ASSEMBLY UNO (FOR F EM: LCL-4-35-ML-E-U-ELL14 WITH CHC CHAIN HANGER ASSEMBLY UNO)
E	EXTERIOR LED RGB COVE LIGHTING STRIP



NOTE: REFER TO MECHANICAL DRAWING

DOB BSCAN

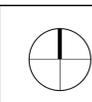
ISSUED FOR BIDDING ONLY  
OWNER'S REVIEW

OWNER

DATE

ISS/REV

2 2021-09-10  
1 2021-07-23



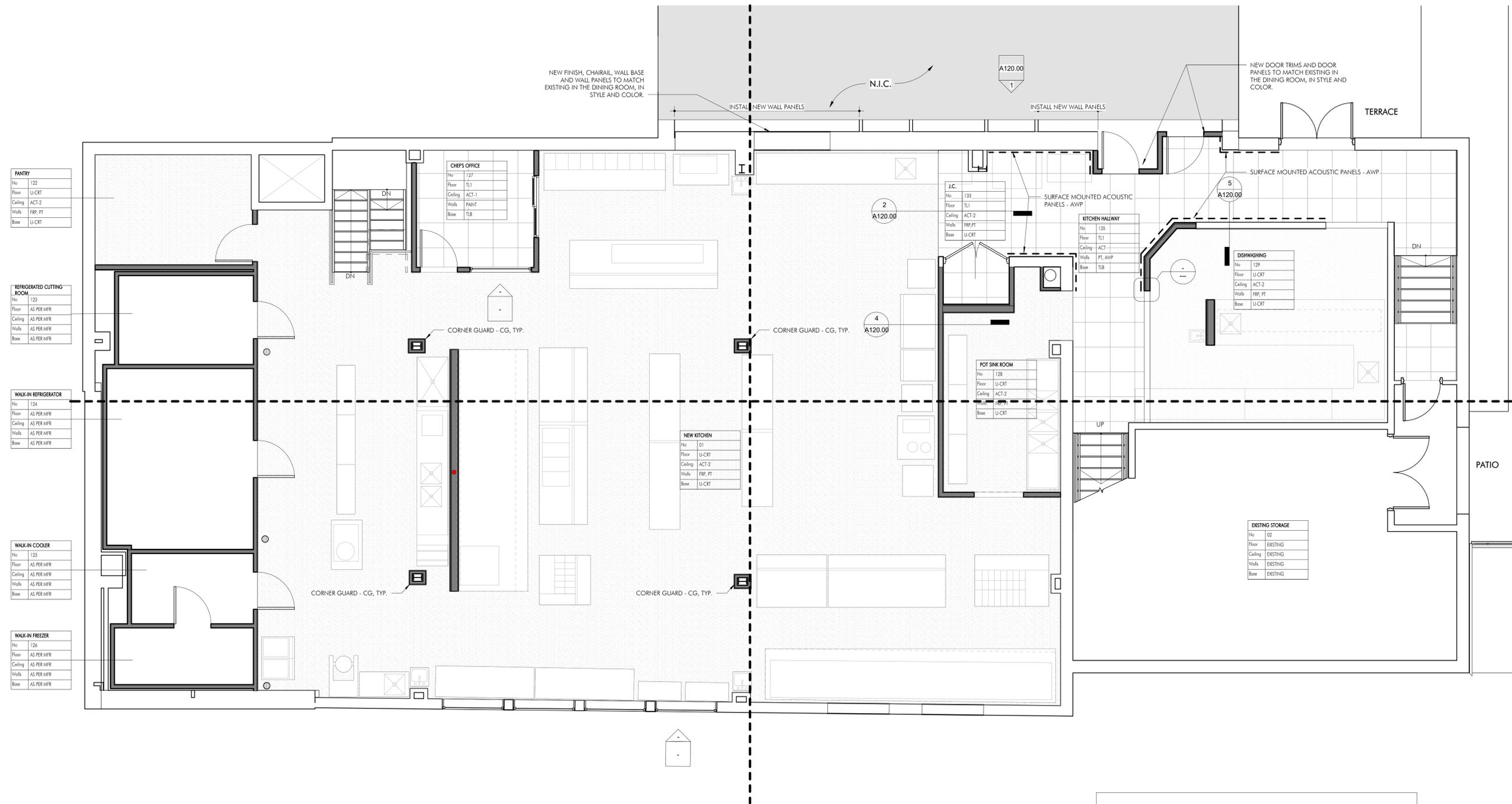
### OLD OAKS COUNTRY CLUB

3100 Purchase St, Purchase, NY 10577

### REFLECTED CEILING PLAN LEGEND & SCHEDULE

SEAL & SIGNATURE	DATE: <b>09-20-19</b>
	PROJECT NO.: <b>21-826</b>
	DRAWN BY: <b>AD</b>
	CHECKED BY: <b>SVG</b>
	DRAWING NO.: <b>A110.00</b>
COLOR ID:	
1:1 (PLOT) 1/4" = 1'-0"	





**PANTRY**

No	122
Floor	U-CRT
Ceiling	ACT-2
Walls	FRP, PT
Base	U-CRT

**REFRIGERATED CUTTING ROOM**

No	123
Floor	AS PER MFR
Ceiling	AS PER MFR
Walls	AS PER MFR
Base	AS PER MFR

**WALK-IN REFRIGERATOR**

No	124
Floor	AS PER MFR
Ceiling	AS PER MFR
Walls	AS PER MFR
Base	AS PER MFR

**WALK-IN COOLER**

No	125
Floor	AS PER MFR
Ceiling	AS PER MFR
Walls	AS PER MFR
Base	AS PER MFR

**WALK-IN FREEZER**

No	126
Floor	AS PER MFR
Ceiling	AS PER MFR
Walls	AS PER MFR
Base	AS PER MFR

**CHEF'S OFFICE**

No	127
Floor	TL1
Ceiling	ACT-1
Walls	PANT
Base	TIB

**NEW KITCHEN**

No	01
Floor	U-CRT
Ceiling	ACT-2
Walls	FRP, PT
Base	U-CRT

**J.C.**

No	133
Floor	TL1
Ceiling	ACT-2
Walls	FRP, PT
Base	U-CRT

**KITCHEN HALLWAY**

No	135
Floor	TL1
Ceiling	ACT
Walls	PT, AWP
Base	TIB

**DISHWASHING**

No	129
Floor	U-CRT
Ceiling	ACT-2
Walls	FRP, PT
Base	U-CRT

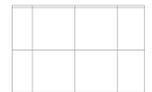
**POT SINK ROOM**

No	128
Floor	U-CRT
Ceiling	ACT-2
Walls	FRP, PT
Base	U-CRT

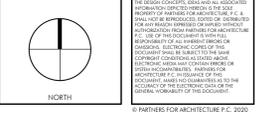
**EXISTING STORAGE**

No	02
Floor	EXISTING
Ceiling	EXISTING
Walls	EXISTING
Base	EXISTING

**LEGEND**

	U-CRT FLOORING
	U-CRT FLOORING

ISS/REV	DATE	OWNER	ISSUED TO	DESCRIPTION
2	2021-09-10	OWNER	OWNER	ISSUED FOR BIDDING ONLY
1	2021-07-23	OWNER	OWNER	OWNER'S REVIEW

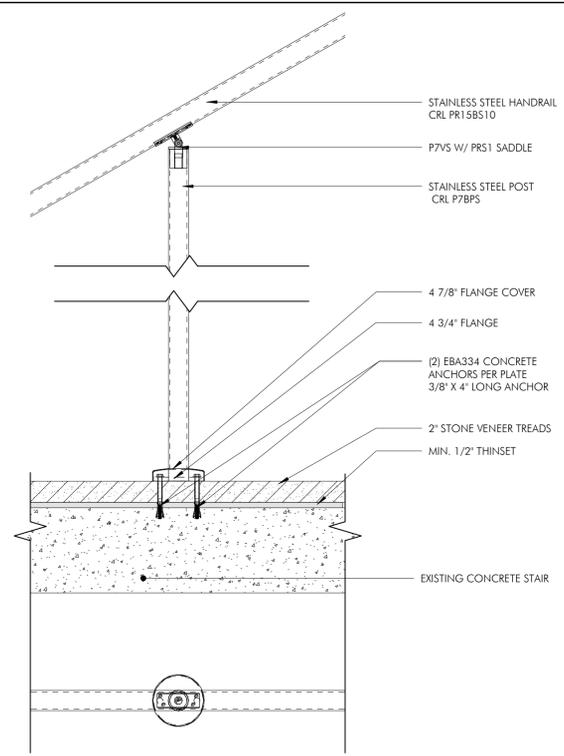
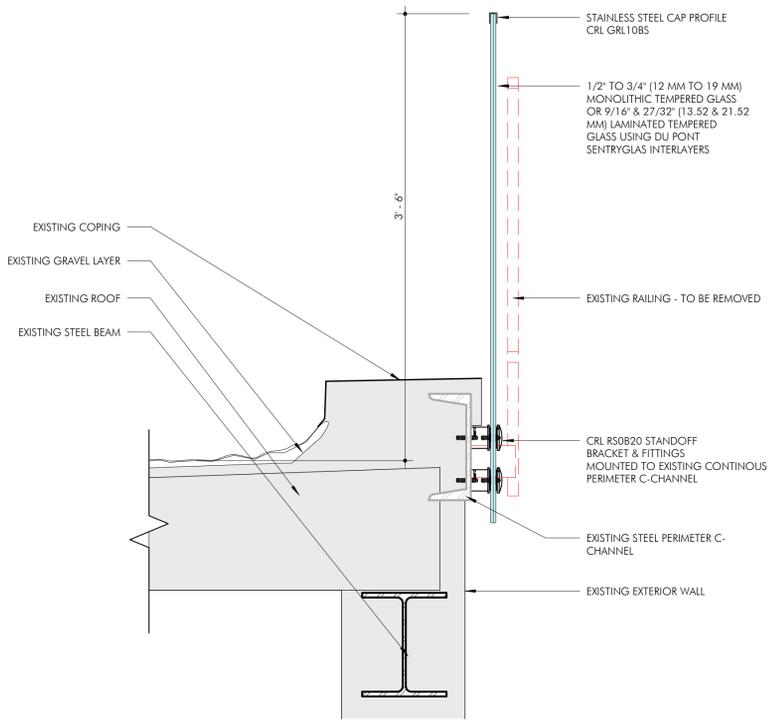
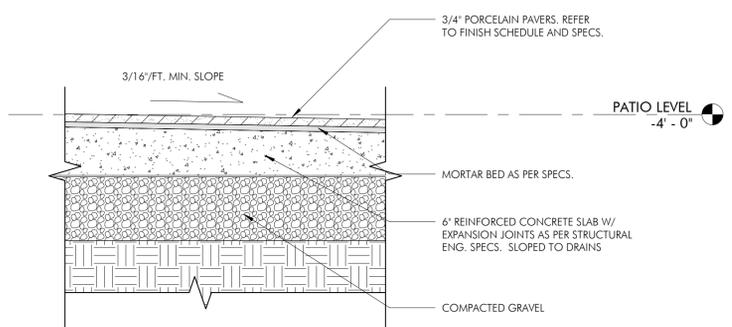


**OLD OAKS COUNTRY CLUB**
  
 3100 Purchase St, Purchase, NY 10577

**KITCHEN FINISH PLAN**

SEAL & SIGNATURE	DATE: <b>09-20-19</b>
	PROJECT NO.: <b>21-826</b>
	DRAWN BY: <b>AD</b>
	CHECKED BY: <b>SVG</b>
	DRAWING NO.: <b>A121.00</b>

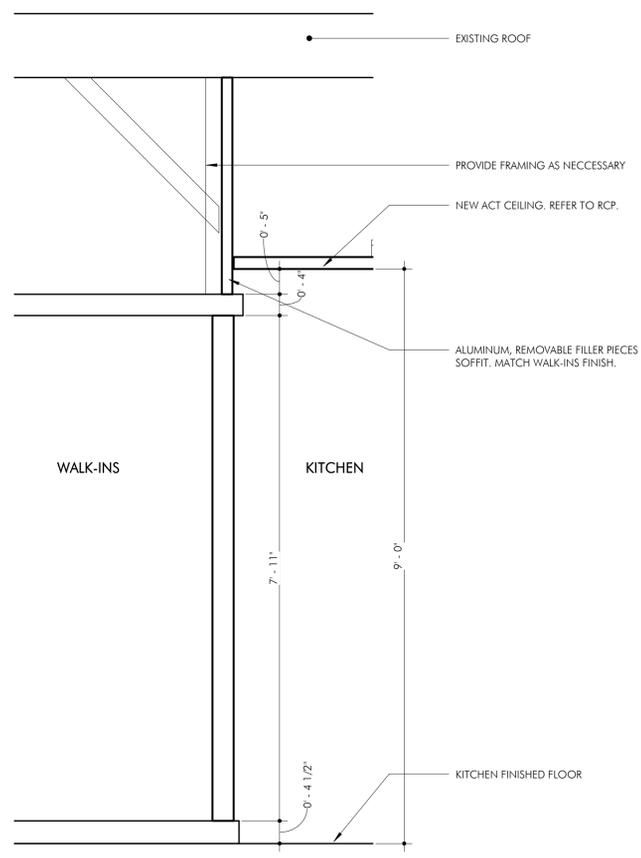
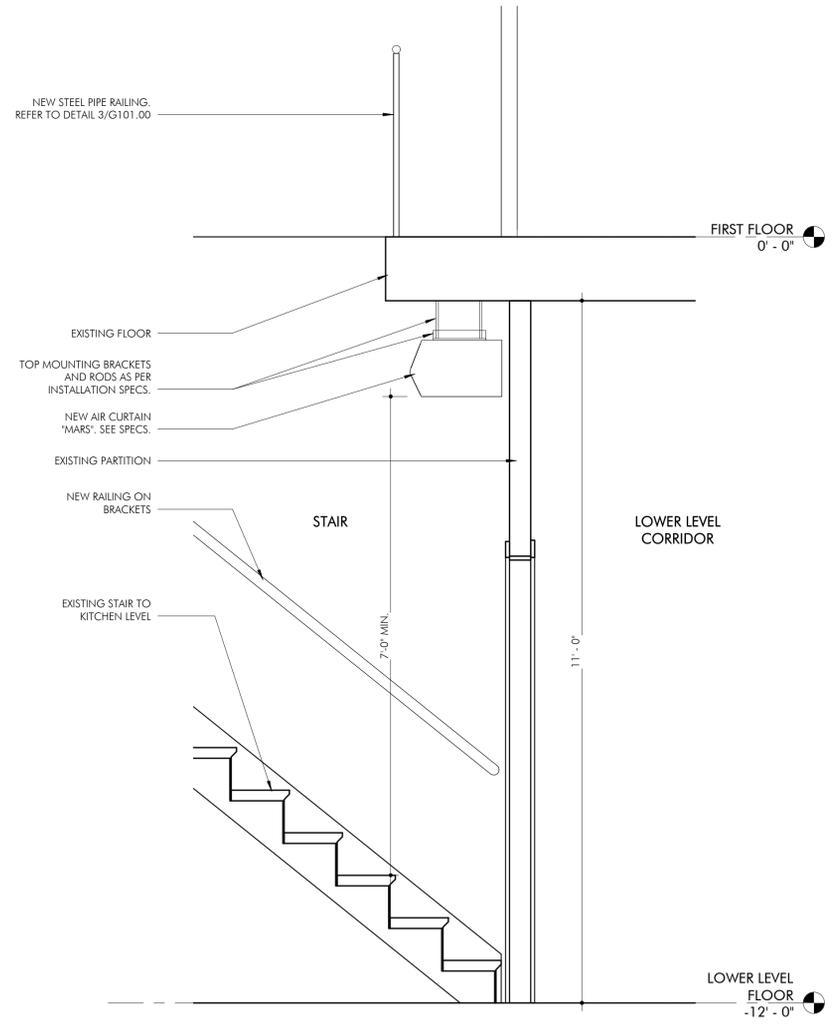
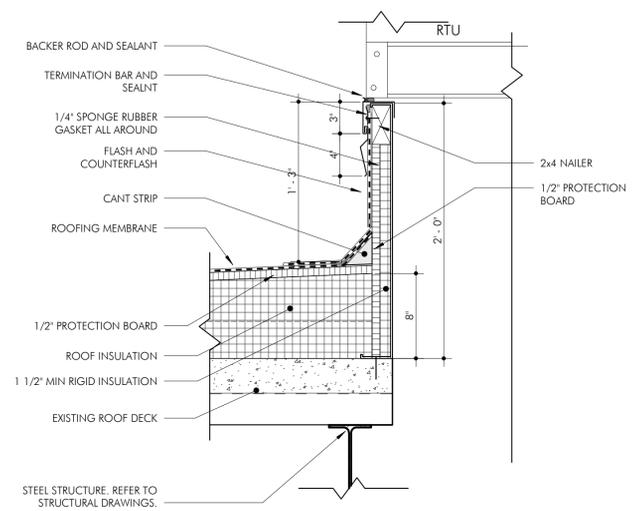




1 PAVERS TYPICAL DETAIL SHEET REF: A108.00 SCALE: 1 1/2" = 1'-0"

2 PARAPET RAILING SECTION DETAIL SHEET REF: A108.00 SCALE: 1 1/2" = 1'-0"

3 TYPICAL RAILING DETAIL SHEET REF: A108.00 SCALE: 1 1/2" = 1'-0"

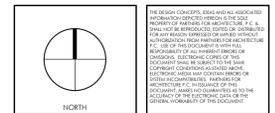


4 TYPICAL RTU CURB SECTION DETAIL SHEET REF: A108.00 SCALE: 1 1/2" = 1'-0"

5 AIR CURTAIN SECTION DETAIL SHEET REF: A100.00 SCALE: 3/4" = 1'-0"

6 SOFFIT ABOVE WALK-INS SECTION DETAIL SHEET REF: A101.00 SCALE: 3/4" = 1'-0"

ISS/REV	DATE	OWNER	ISSUED TO	DESCRIPTION
2	2021-09-10			ISSUED FOR BIDDING ONLY

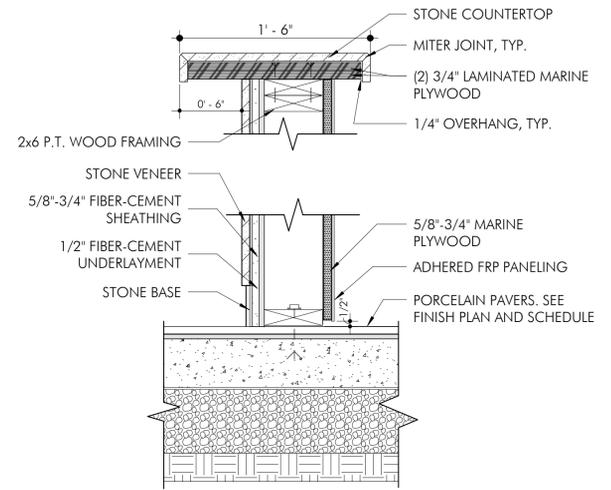
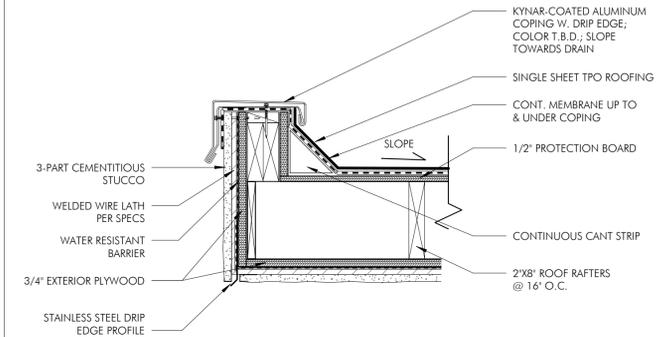
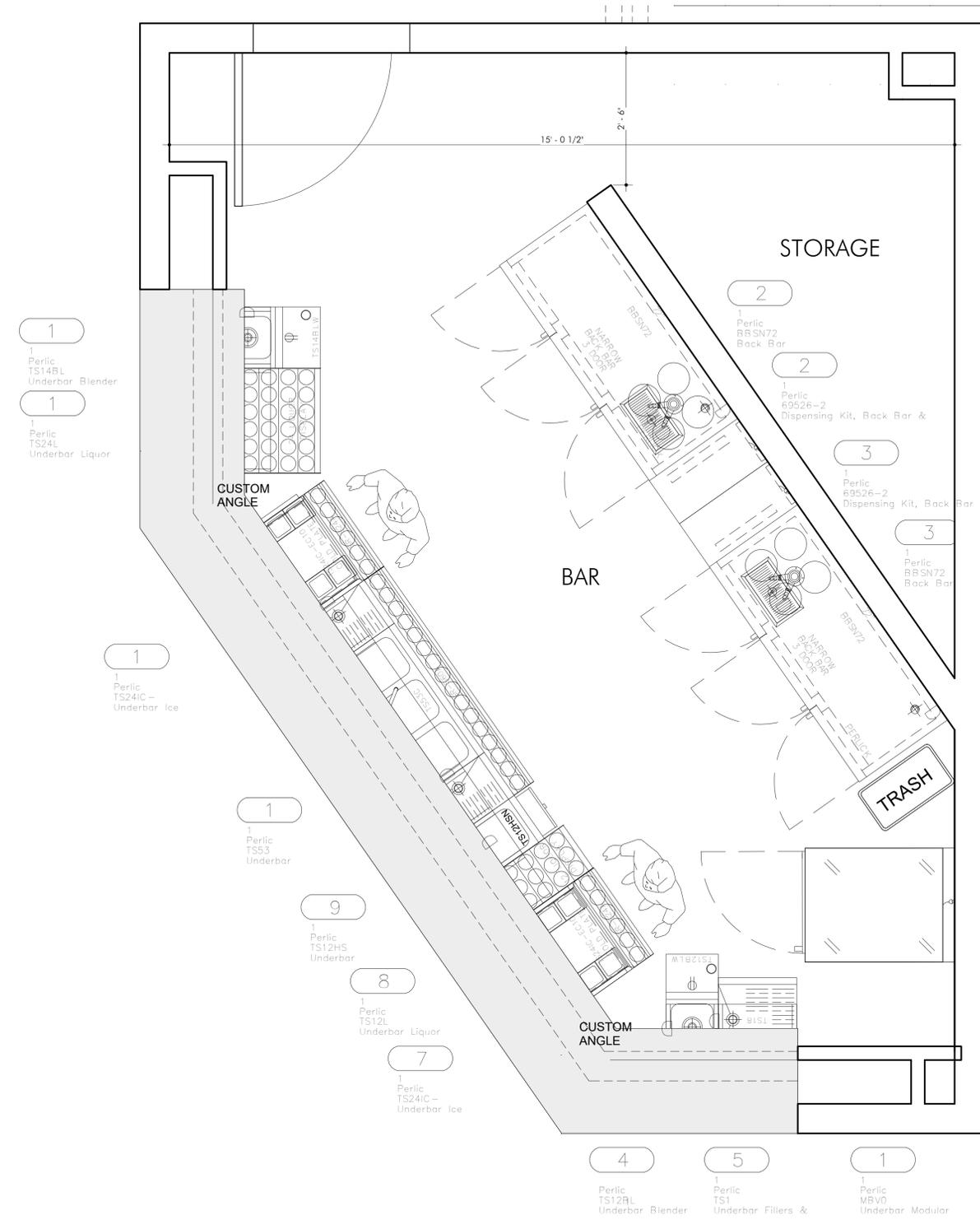


**OLD OAKS COUNTRY CLUB**  
 3100 Purchase St, Purchase, NY 10577

**WALL SECTIONS & TYPICAL DETAILS**

SEAL & SIGNATURE	DATE: <b>09-20-19</b>
	PROJECT NO.: <b>21-826</b>
	DRAWN BY: <b>IO</b>
	CHECKED BY: <b>SVG</b>
	DRAWING NO.: <b>A400.00</b>
	DATE: 11/20/2019 6:49:44 BASIS





2 COPING DETAIL

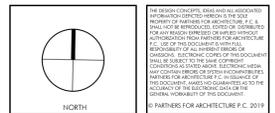
SHEET REF: A401.00 SCALE: 1 1/2" = 1'-0"

3 BAR SECTION DETAIL

SHEET REF: A401.00 SCALE: 1 1/2" = 1'-0"

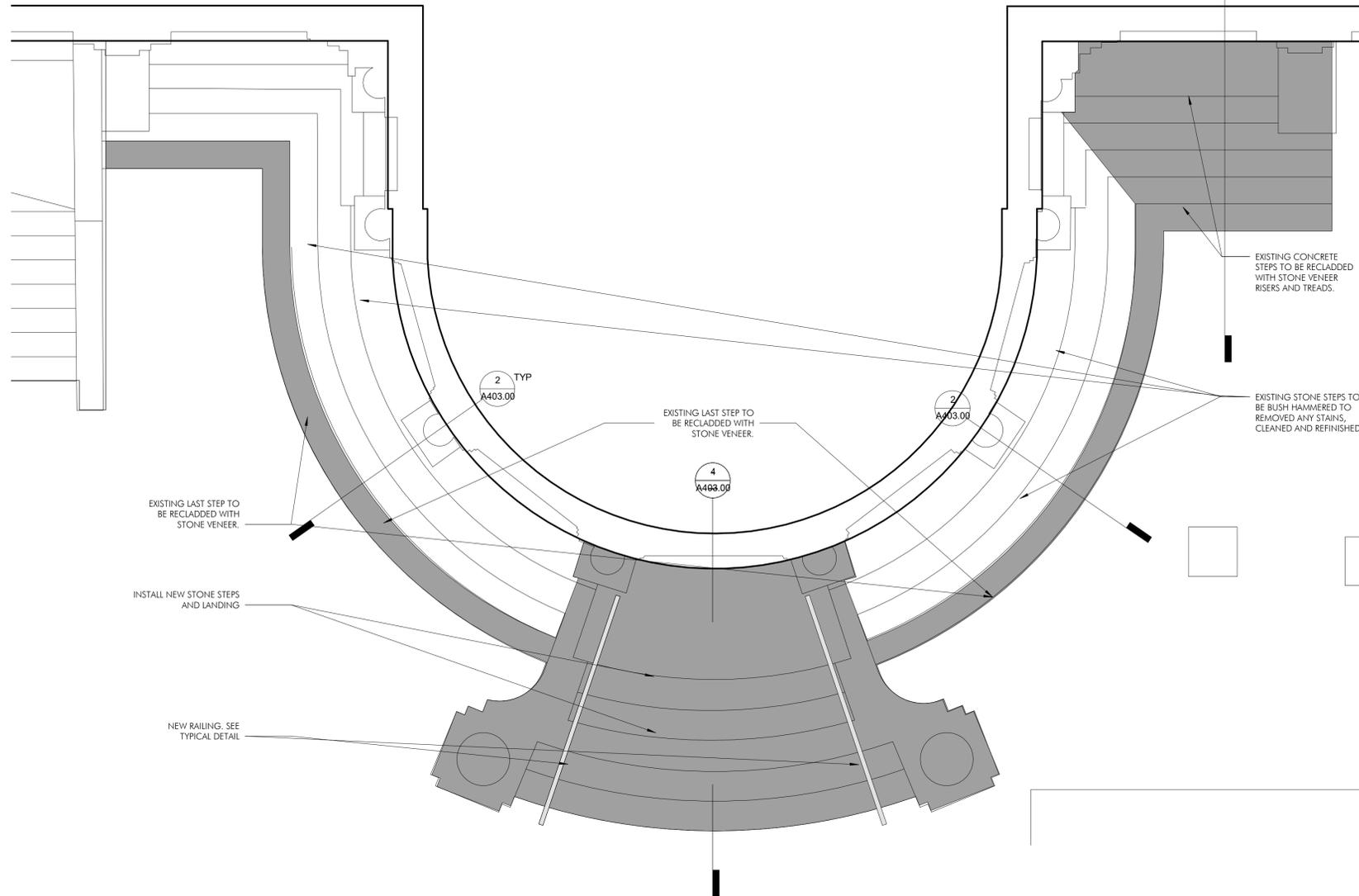
EQUIPMENT				
Item N	Qt	Manufactu	Model	Equipme Remar
2	1	Perlic	BBSN72	
2	1	Perlic	69526-2	
3	1	Perlic	BBSN72	
3	1	Perlic	69526-2	
4	1	Perlic	TS12BL	
5	1	Perlic	TS1	
7	1	Perlic	TS24IC -	
8	1	Perlic	TS12L	
9	1	Perlic	TS12HS	
1	1	Perlic	TS53	
1	1	Perlic	TS24IC -	
1	1	Perlic	TS24L	
1	1	Perlic	TS14BL	
1	1	Perlic	MBV0	
1	1	Victo	VERSA-1D-	

ISS/REV	DATE	OWNER	ISSUED TO	DESCRIPTION
2	2021-09-10	OWNER	OWNER	ISSUED FOR BIDDING ONLY
1	2021-07-23	OWNER	OWNER	OWNER'S REVIEW



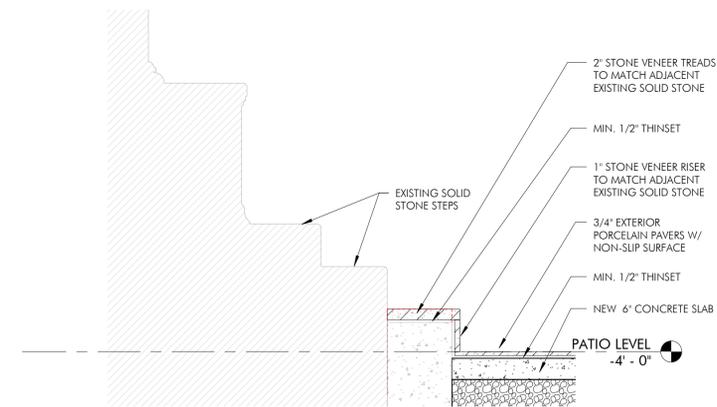
**OLD OAKS COUNTRY CLUB**  
3100 Purchase St, Purchase, NY 10577  
**BAR EQUIPMENT LAYOUT, SCHEDULE AND BAR DETAILS**

SEAL & SIGNATURE: \_\_\_\_\_ DATE: **09-20-19**  
PROJECT NO.: **21-826**  
DRAWN BY: **IO**  
CHECKED BY: **RS**  
DRAWING NO.: **A402.00**  
CD/REV: \_\_\_\_\_



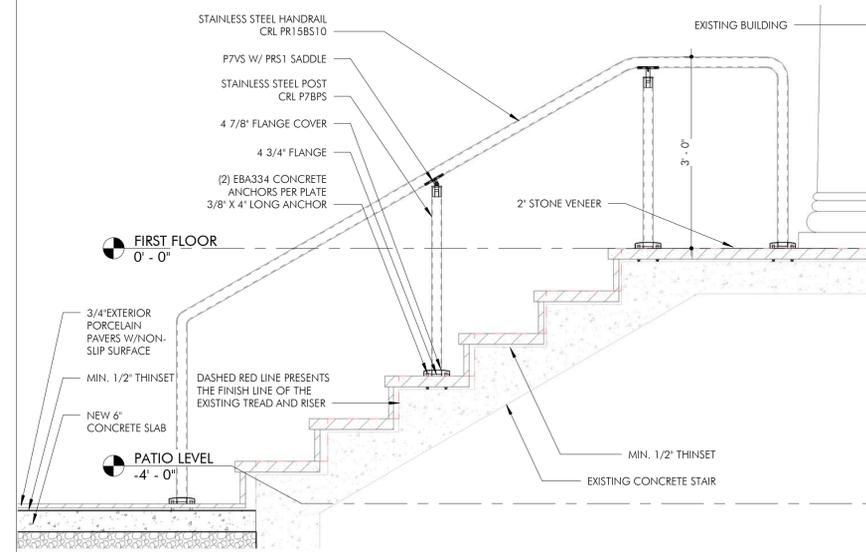
1 ROUND STAIRS - ENLARGED PLAN

SCALE 3/8" = 1'-0"



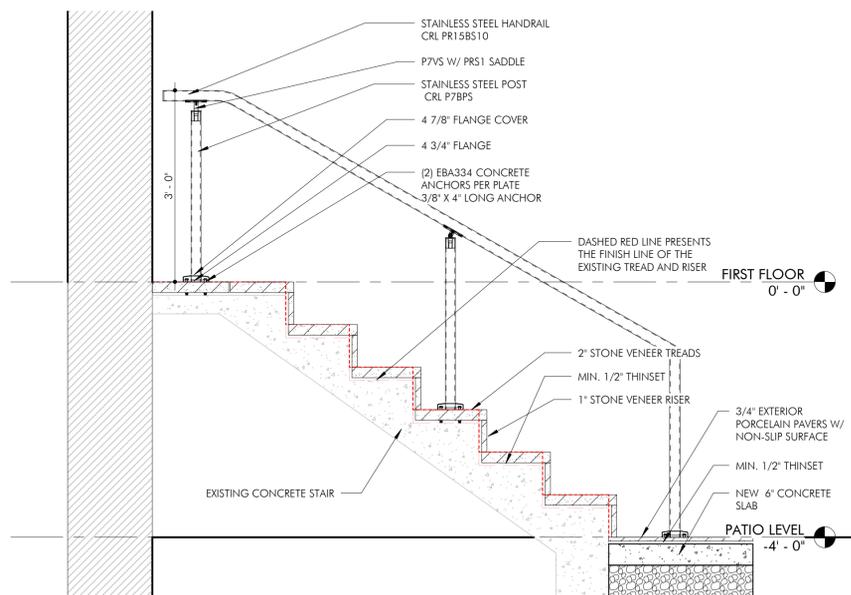
2 ROUND STEPS SECTION DETAIL

SHEET REF. A108.00 SCALE 3/4" = 1'-0"



4 EXTERIOR ROUND STAIR RAILING ELEVATION

SHEET REF. A108.00 SCALE 3/4" = 1'-0"

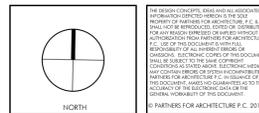


3 FLANKING STAIRS - SECTION DETAIL

SHEET REF. A108.00 SCALE 3/4" = 1'-0"

DOB BSCAN

ISS/REV	DATE	ISSUED TO	OWNER	ISSUED FOR BIDDING ONLY	OWNER'S REVIEW	DESCRIPTION
2	2021-09-10					
1	2021-07-23					

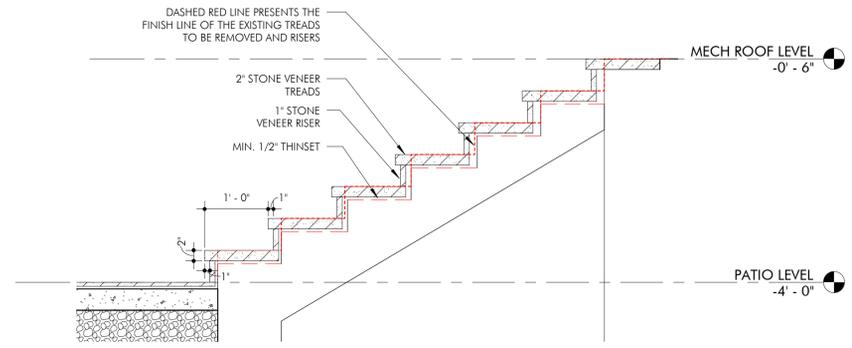


OLD OAKS COUNTRY CLUB

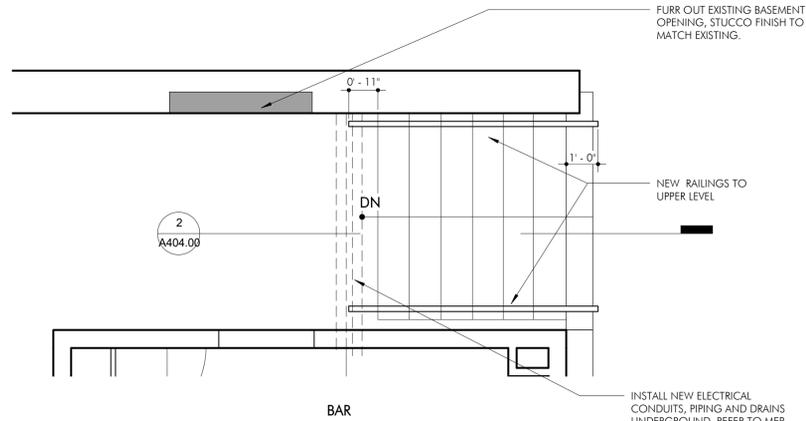
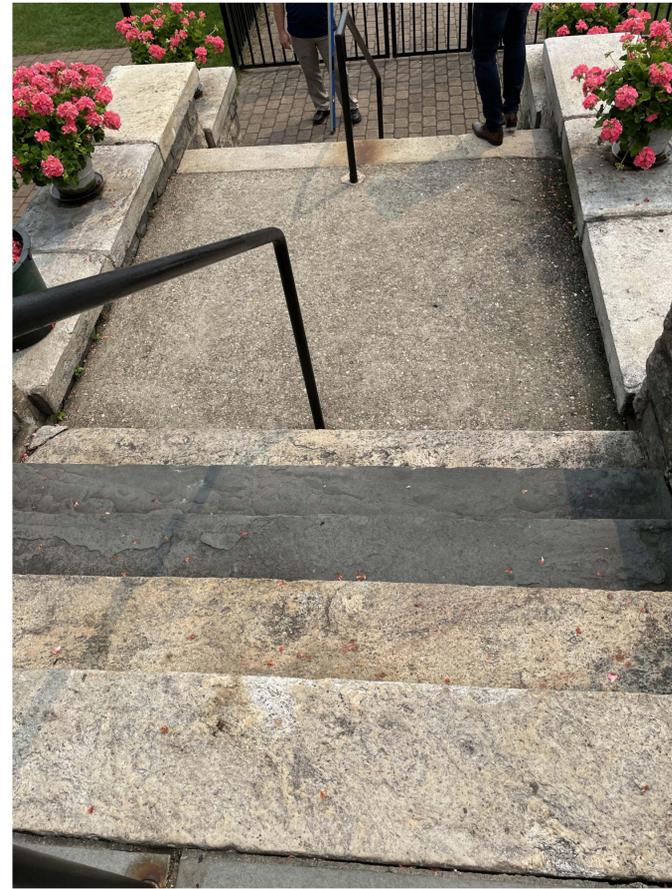
3100 Purchase St, Purchase, NY 10577

ENLARGED PLANS AND DETAILS

SEAL & SIGNATURE	DATE: 09-20-19
	PROJECT NO.: 21-826
	DRAWN BY: Author
	CHECKED BY: Checker
	DRAWING NO.: A403.00
	CD/RENO:



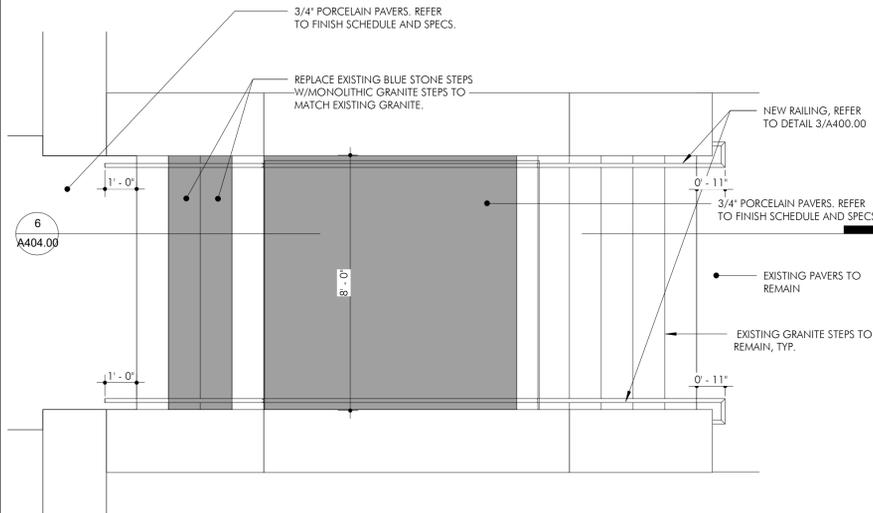
2 EXTERIOR STAIR TO MECH ROOF SECTION DETAIL SHEET REF: A108.00 SCALE: 3/4" = 1'-0"



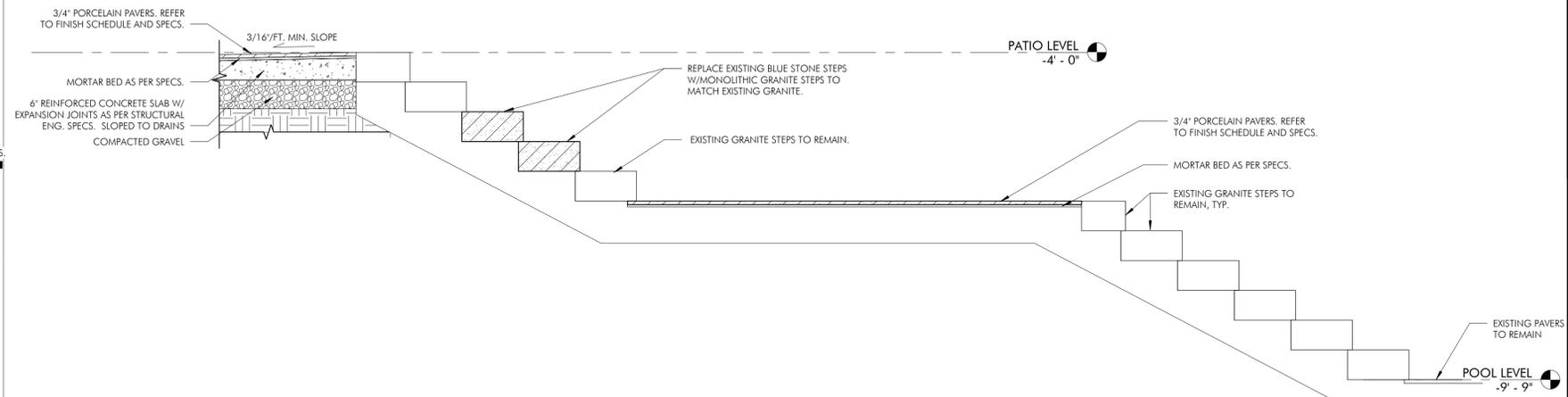
3 STAIR NEAR BAR - ENLARGED PLAN SHEET REF: A108.00 SCALE: 3/8" = 1'-0"

4 PHOTO - EXISTING STAIR FROM TERRACE TO POOL

1 PHOTO - EXISTING STAIR NEAR THE BAR



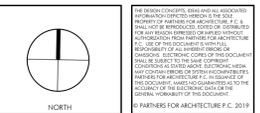
5 STAIR TO POOL - ENLARGED PLAN SHEET REF: A108.00 SCALE: 3/8" = 1'-0"



6 EXTERIOR STAIR @ POOL SIDE SECTION DETAIL SHEET REF: A108.00 SCALE: 3/4" = 1'-0"

DOB BSCAN

ISSUED FOR BIDDING ONLY	OWNER'S REVIEW	DESCRIPTION
2	2021-09-10	ISSUED FOR BIDDING ONLY
1	2021-07-23	OWNER'S REVIEW

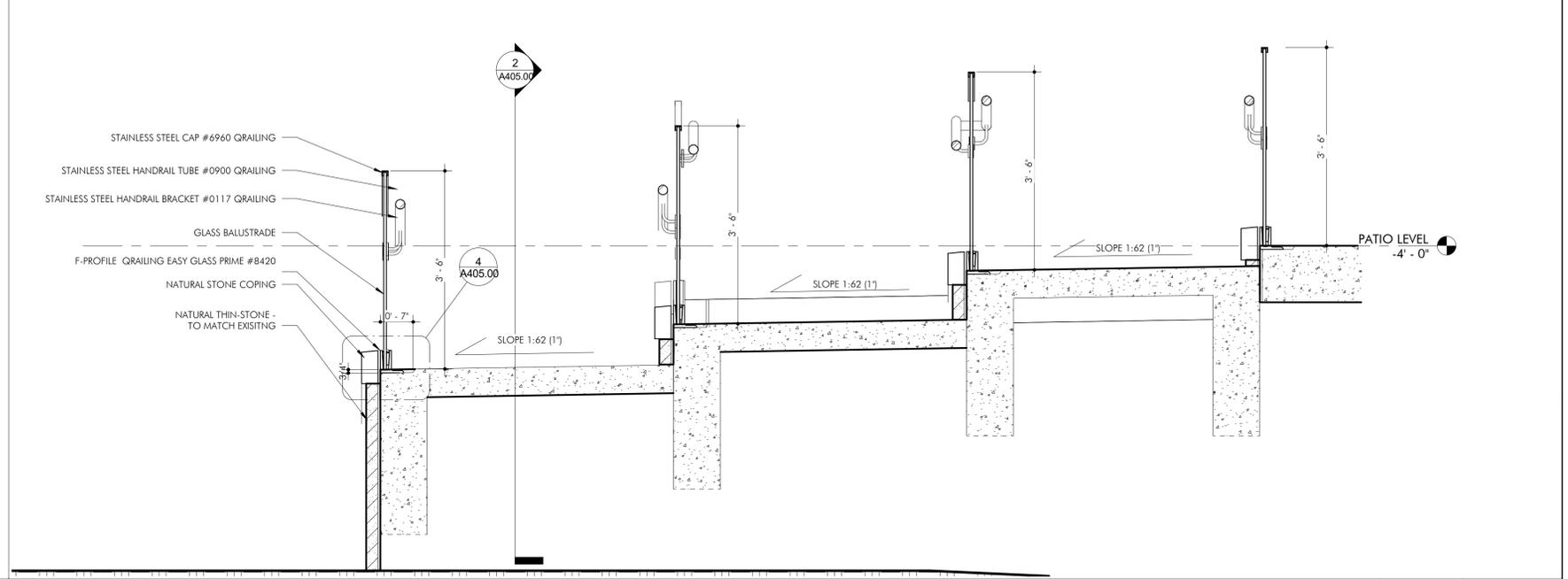
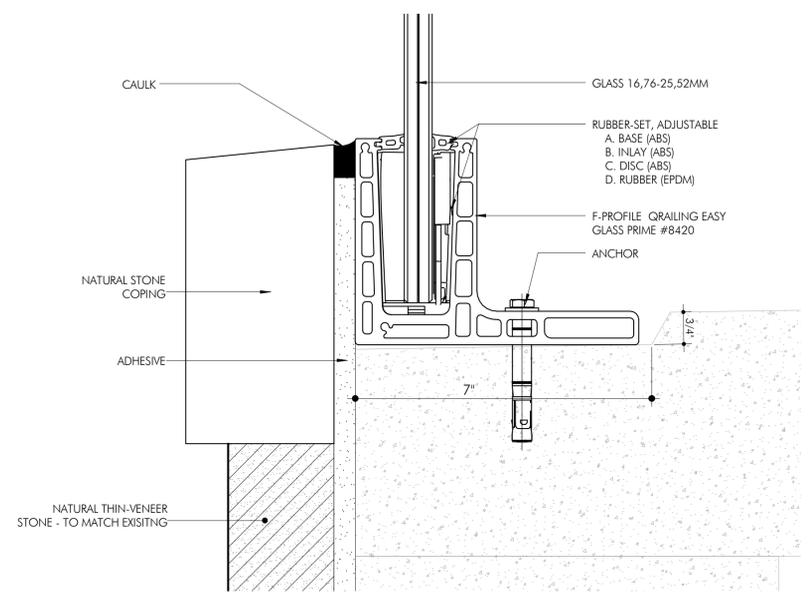


OLD OAKS COUNTRY CLUB

3100 Purchase St, Purchase, NY 10577

ENLARGED PLANS AND DETAILS

SEAL & SIGNATURE	DATE: 09-20-19
	PROJECT NO.: 21-826
	DRAWN BY: Author
	CHECKED BY: Checker
	DRAWING NO.: A404.00
	CD/REV:

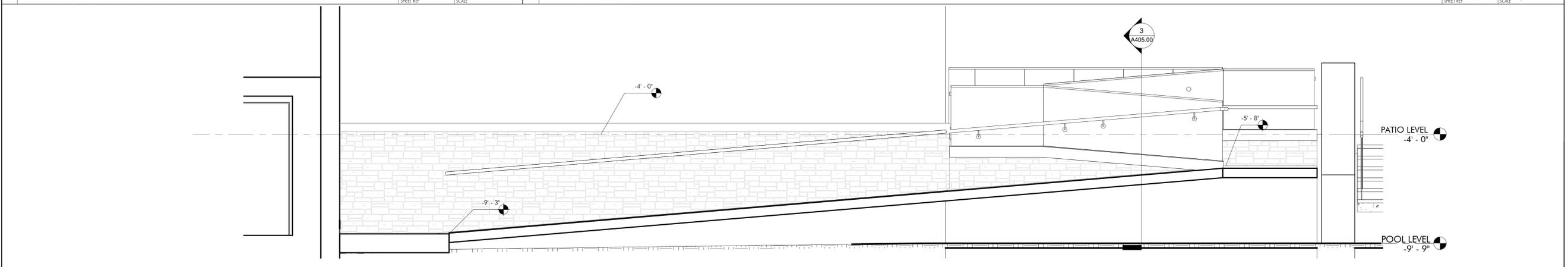


4 RAMP RAILING BASE SHOE MOUNTING DETAIL

SHEET REF: A405.00 SCALE: 6" = 1'-0"

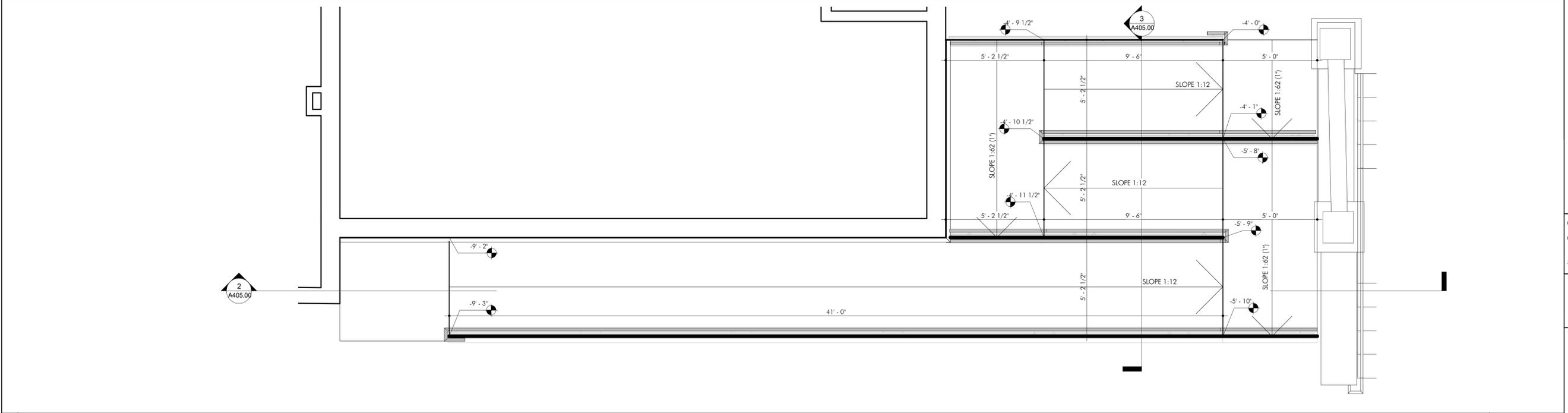
3 RAMP VERTICAL SECTION

SHEET REF: A405.00 SCALE: 3/4" = 1'-0"



2 RAMP HORIZONTAL SECTION

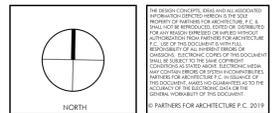
SCALE: 3/8" = 1'-0"



1 RAMP ENLARGED PLAN

SCALE: 3/8" = 1'-0"

ISS/REV	DATE	OWNER	ISSUED TO	DESCRIPTION
2	2021-09-10	OWNER		ISSUED FOR BIDDING ONLY
1	2021-07-23	OWNER		OWNER'S REVIEW



**OLD OAKS COUNTRY CLUB**  
3100 Purchase St, Purchase, NY 10577

**RAMP ENLARGED PLAN AND SECTION DETAIL**

SEAL & SIGNATURE	DATE: <b>09-20-19</b>
	PROJECT NO.: <b>21-826</b>
	DRAWN BY: <b>IO</b>
	CHECKED BY: <b>SVG</b>
	DRAWING NO.: <b>A405.00</b>
	CD/REV#: