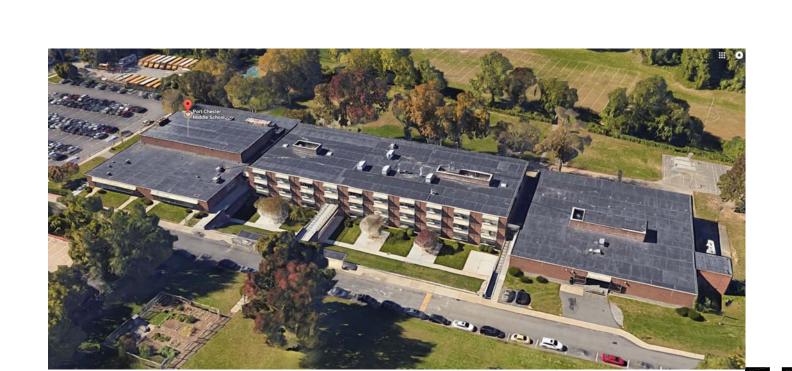
PORT CHESTER - RYE UNION FREE SCHOOL DISTRICT

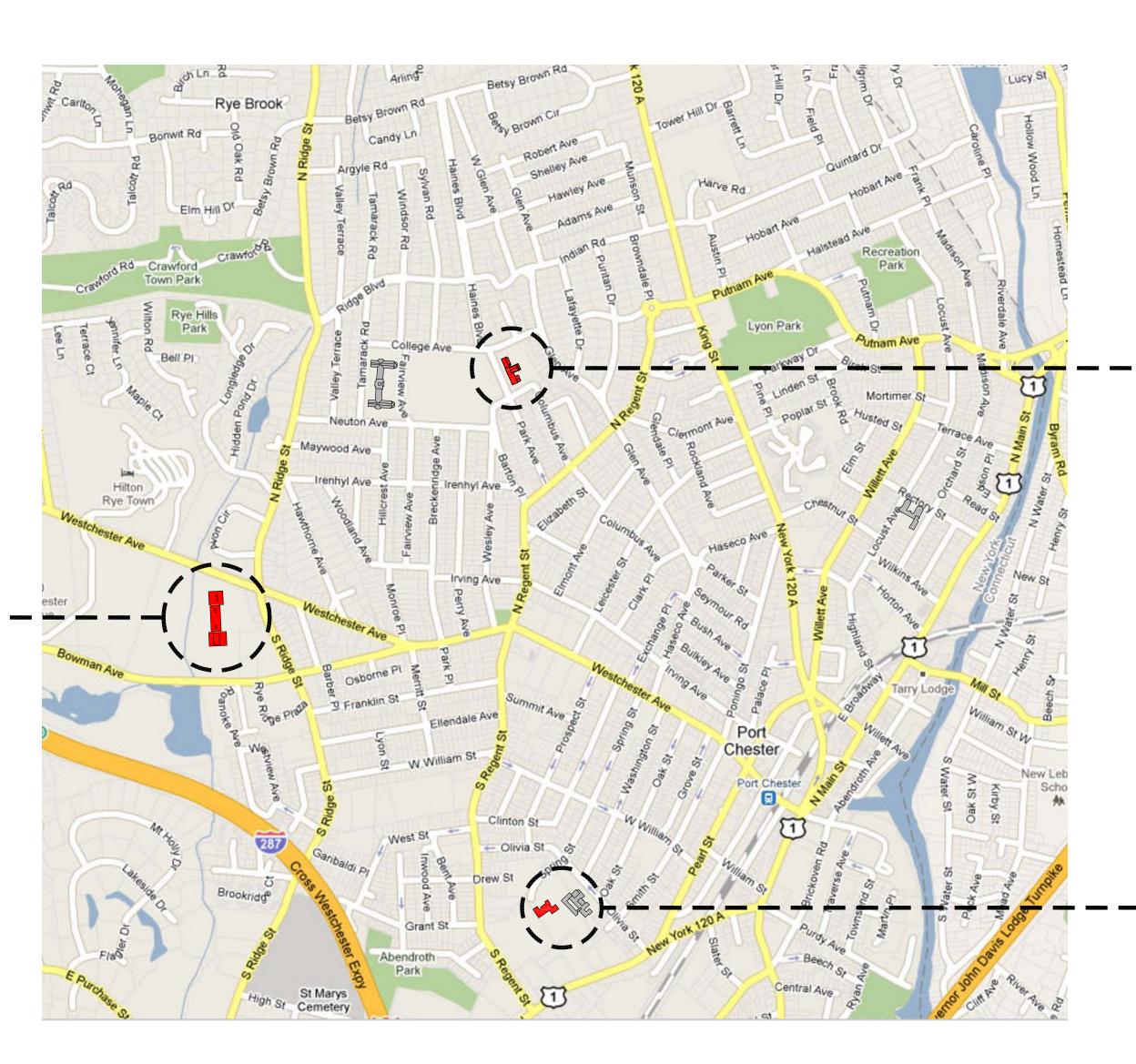
□ PARK AVENUE ELEMENTARY SCHOOL - CLASSROOM ALTERATIONS
PARK AVE., PORT CHESTER, NY 10573

□ JOHN F. KENNEDY PRIMARY SCHOOL - CLASSROOM ALTERATIONS
40 OLIVIA ST., PORT CHESTER, NY 10573

□ PORT CHESTER MIDDLE SCHOOL - CLASSROOM ALTERATIONS
113 BOWMAN AVENUE, RYE BROOK, N.Y. 10573



PORT CHESTER MIDDLE SCHOOL





PARK AVENUE ELEMENTARY SCHOOL



JOHN F. KENNEDY PRIMARY SCHOOL



PLANNERS

45 KNOLLWOOD ROAD ELMSFORD NEW YORK 10523
TEL 914.592.4444 FAX 914.592.1717

WWW.FULLERDANGELO.COM

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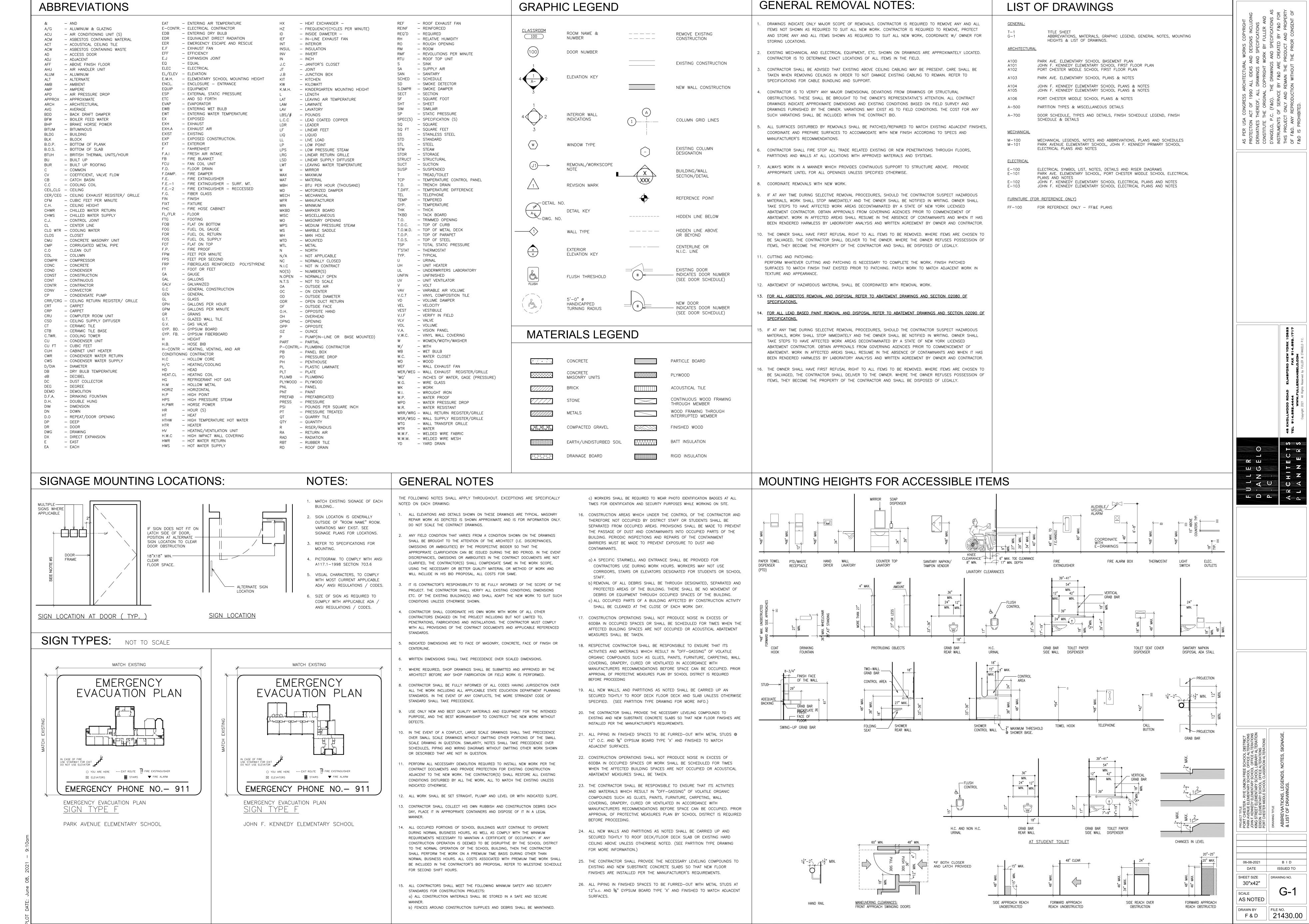
CONSULTANTS:

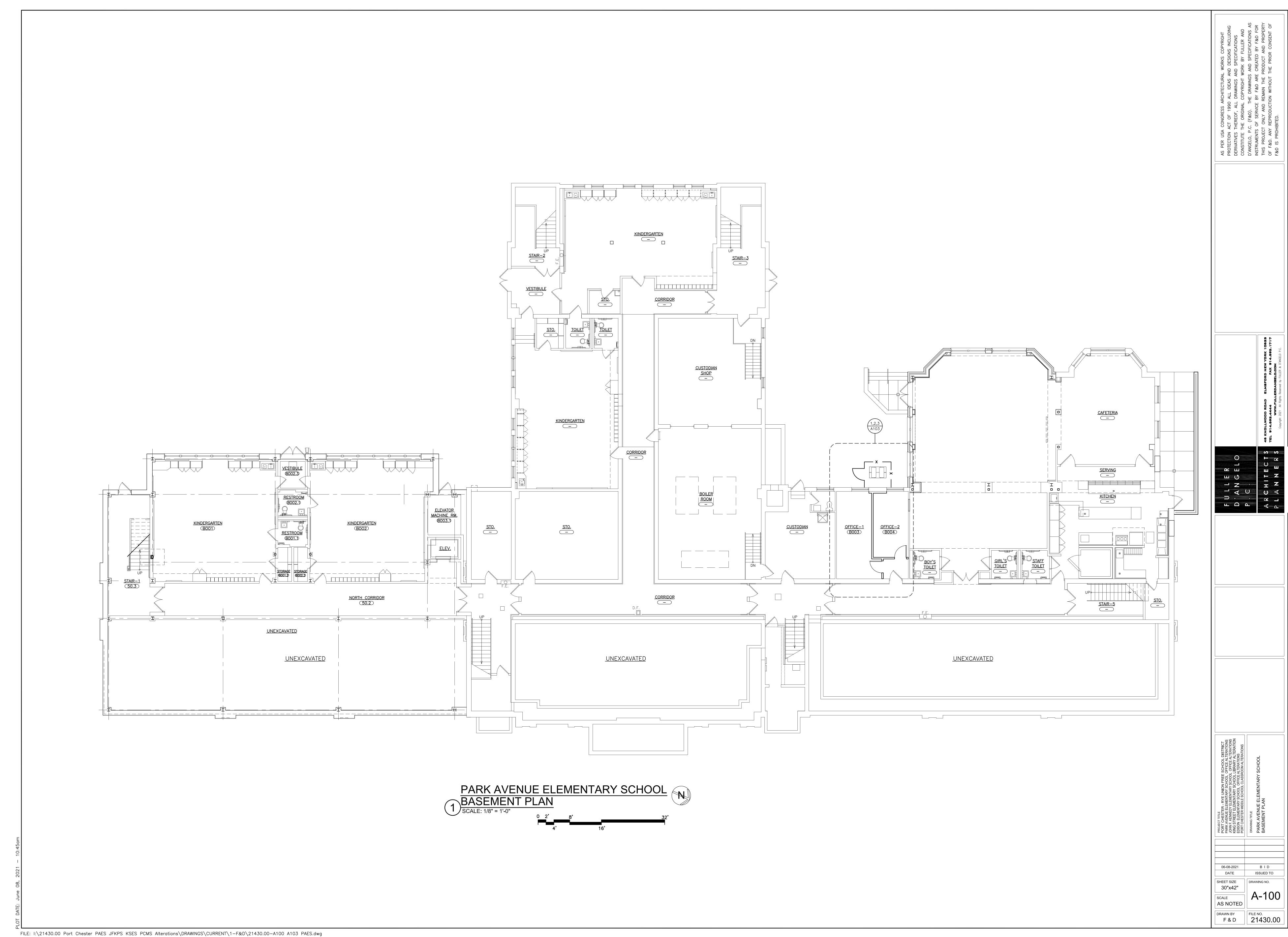
ENVIRONMENTAL

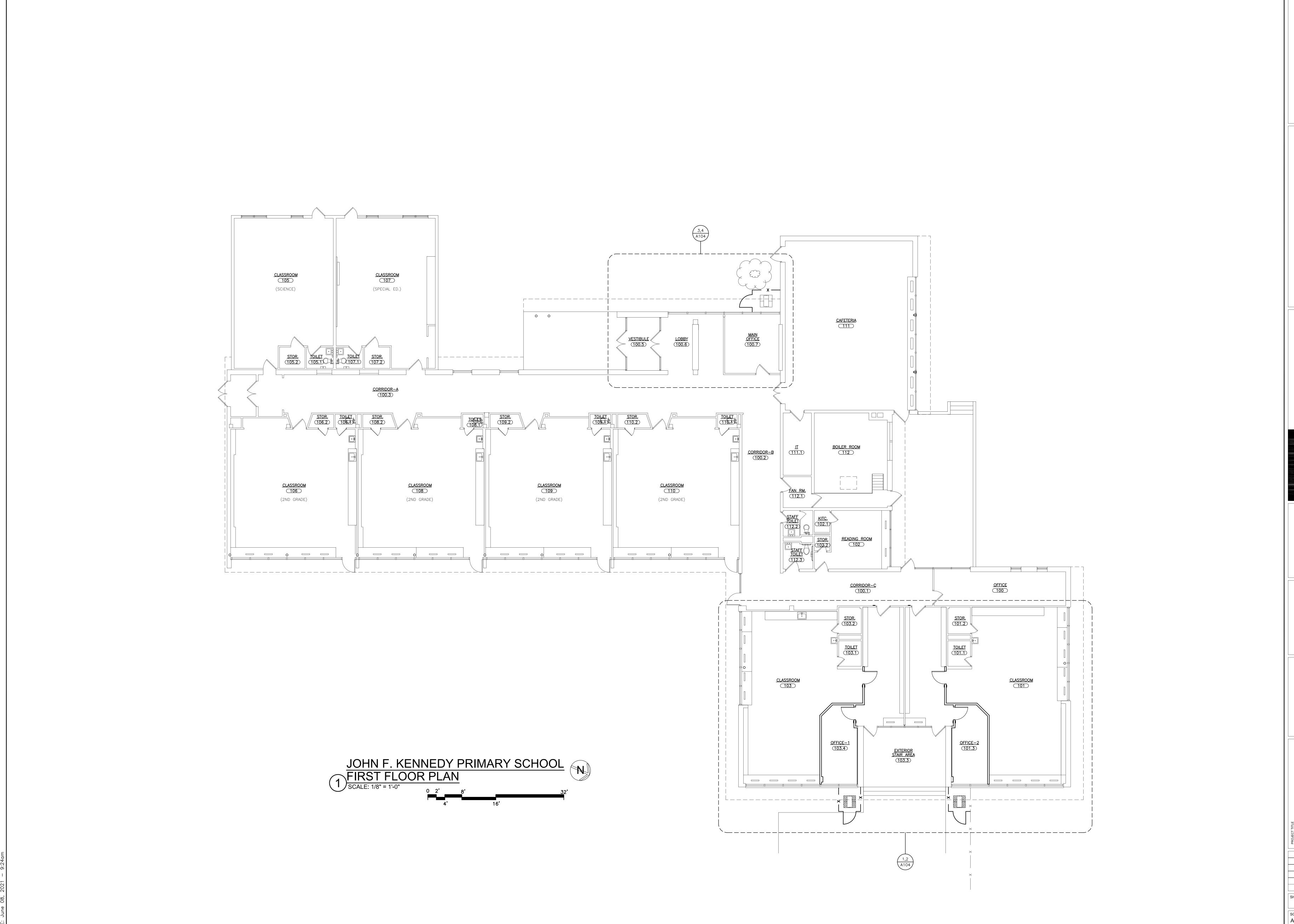
TOTAL QUALITY ENVIRONMENTAL INC,.

116 BAY 19th STREET BROOKLYN, NY 11214 TEL: (718) 873-1411 www.totalqualityenvironmental.com/

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CHECKED BY	FILE NO.
F&D	21430.00







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PROJECT TITLE
PORT CHESTER - RYE UNION FREE SCHOOL DISTRICT
PARK AVENUE ELEMENTARY SCHOOL OFFICE ALTERATIONS
JOHN F. KENNEDY ELEMENTARY SCHOOL LIBRARY ALTERATIONS
KING STREET ELEMENTARY SCHOOL LIBRARY ALTERATION
EDISON ELEMENTARY SCHOOL CLASSROOM ALTERATIONS
PORT CHESTER MIDDLE SCHOOL CLASSROOM ALTERATIONS

DRAWING TITLE
JOHN F. KENNEDY PRIMARY SCHOOL
FIRST FLOOR PLAN

06-08-2021 B I D
DATE ISSUED TO

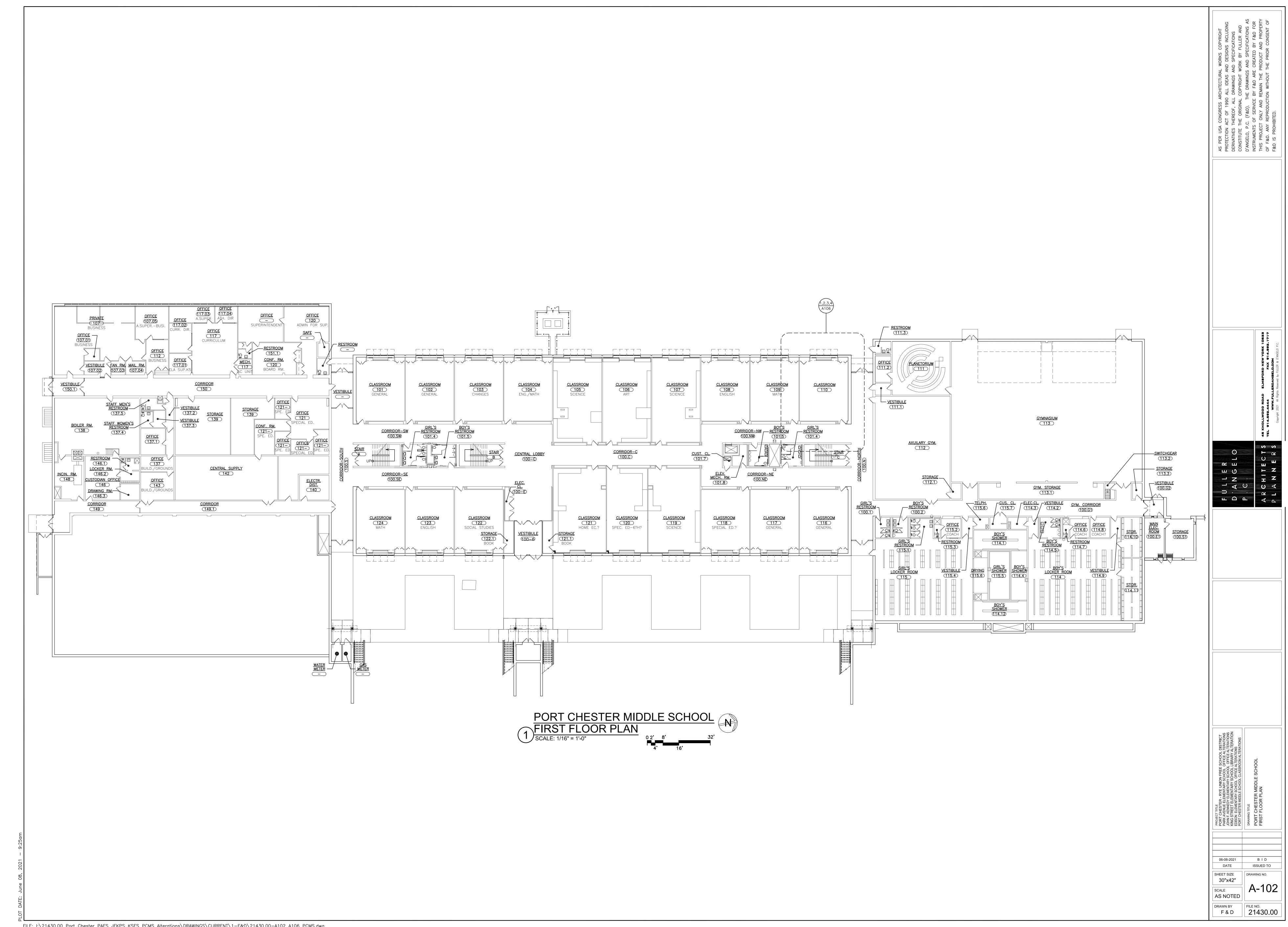
SHEET SIZE
30"x42"

SCALE
AS NOTED

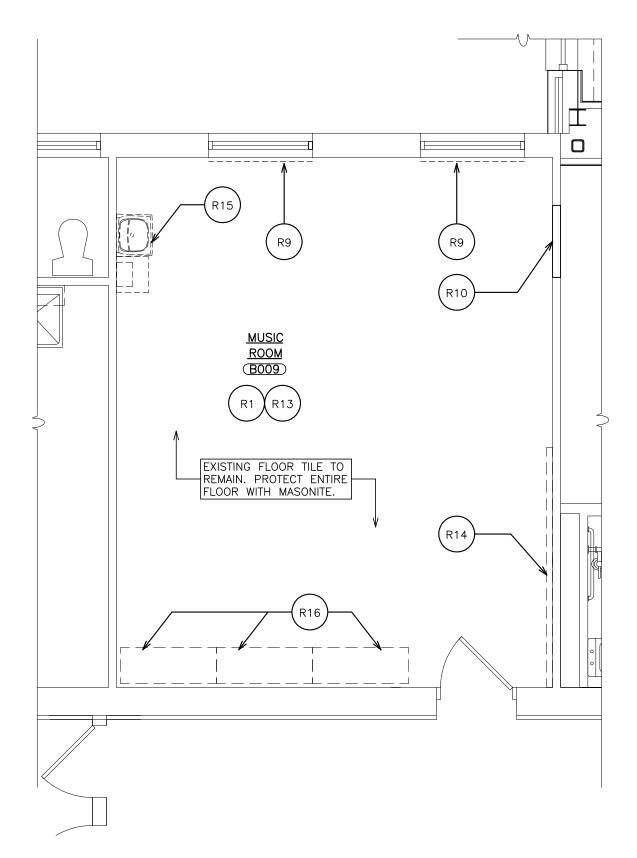
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PARK AVE. ELEMENTARY SCHOOL 1) EXISTING/ REMOVAL PLAN SCALE: 1/4" = 1'-0"

REMOVAL NOTES: COORDINATE REMOVALS WITH ABATEMENT CONTRACTOR

- COORDINATE REMOVALS WITH OWNER. OWNER SHALL REMOVE ALL LOOSE FURNITURE AND BOOKS.
- REMOVE EXISTING ACOUSTIC TILE AND SUSPENSION SYSTEM AS R2 REQUIRED TO INSTALL MECHANICAL EQUIPMENT. REFER TO ABATEMENT DOCUMENTS FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING RESILIENT TILE FLOOR AND ADHESIVE WITHIN NEW ROOM. PREPARE EXISTING CONCRETE SLAB AS SPECIFIED TO RECEIVE NEW FLOOR FINISH. SEE FINISH SCHEDULE FOR ADDITIONAL
- SAVAGE EXISTING BLINDS FOR REINSTALLATION.
- ig) EXISTING WAP TO BE REMOVED AND REINSTALLED BY OWNER. REMOVE EXISTING MASONRY PLANTER AND COMPONENTS IN IT'S R6) ENTIRETY. PREPARE FLOOR SLAB TO RECEIVE NEW FLOOR FINISH. PATCH ENTIRE AREA WITH 3" CONCRETE IF REQUIRED.
- REMOVE EXISTING GYPSUM BOARD PARTITION AND DOOR. REFER TO ABATEMENT DOCUMENTS FOR REMOVAL OF FLOOR TILE.
- (R8) REMOVE EXISTING 24" X 48" CEILING TILE AND REPLACE WITH NEW. SAVAGE AND REMOVE EXISTING WINDOW SHADES FOR
- REINSTALLATION. (R10) REMOVE EXISTING WALL GRILLE PATCH OPENING EACH SIDE OF WALL.
- 1) REMOVE EXISTING ACOUSTIC TILE AND SUSPENSION SYSTEM. REMOVE EXISTING SHELVING, CABINETRY AND RELATED ITEMS IN (R12) THEIR ENTIRETY. PATCH DISTURBED SURFACE TO MATCH EXISTING
- ADJACENT SURFACES. DISCONNECT AND REMOVE EXISTING FLUORSCENT LIGHT FIXTURES (R13) AND ELECTRIC OUTLETS AND SWITCHES. REFER TO ELECTRICAL DRAWINGS. PROVIDE NEW FIXTURES AS INDICATED.
- REMOVE EXISTING CHALK BOARDS AND RELATED TRIM GLUE AND ANCHORS IN THEIR ENTIRETY. CLEAN PATCH AND PREPARE (R14) SURFACES TO RECEIVE NEW FINISHES AS PER MANUFACTURER'S REQUIREMENTS. SEE FINISH SCHEDULE REFER TO ABATEMENT DRAWINGS FOR ADDITIONAL INFORMATION.
- (R15) REMOVE EXISTING SINK BY MC. REFER TO MECHANICAL DRAWINGS. SALVAGE (1) SECTION OF EXISTING FREESTANDING SHELVING AND

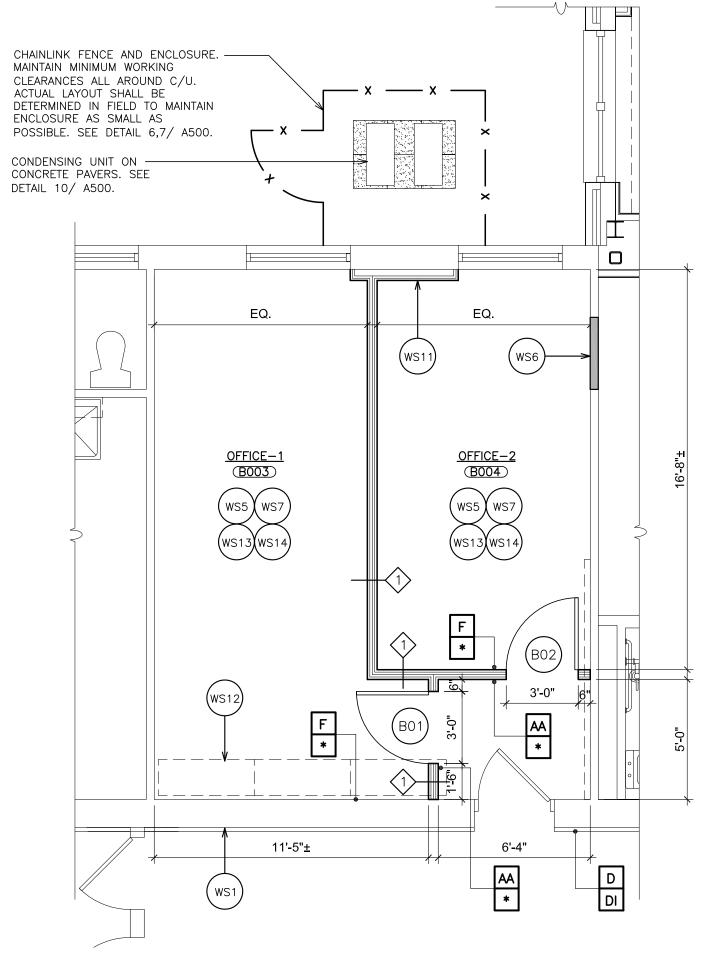
(R16) CABINETRY. RELOCATE TO ROOM 200A. CONFIRM WITH OWNER IF (2)

- REMAINING CABINET SECTIONS SHALL BE SALVAGED. (R17) REFER TO ASBESTOS DOCUMENTS FOR ADDITIONAL INFORMATION.
- (R18) SALVAGE EXISTING HAND SANITIZERS AND REINSTALL PER OWNER'S DIRECTION. REMOVE ACT SOFFIT. FULL WIDTH OF NEW ROOM. RE-SUPPORT AS REQUIRED.

(R20) OWNER TO RELOCATE EXISTING PLANTER.

REMOVAL LEGEND

<u>SYMBOL</u> <u>DESCRIPTION</u> EXISTING BEAM TO REMAIN _____ INDICATES REMOVAL OF EXISTING FULL HEIGHT PARTITION. INDICATES SELECTIVE REMOVAL OF ______ EXISTING CONSTRUCTION REMOVAL NOTE (KEYED)



PARK AVE ELEMENTARY SCHOOL PROPOSED PLAN SCALE: 1/4" = 1'-0"

WORKSCOPE NOTES

- (WS1) FIRE STOP ALL PENETRATIONS THROUGH CORRIDOR WALL.
- (WS2) NEW FLOORING. REFER TO FINISH SCHEDULE. NEW CEILING PANELS IN EXISTING GRID. REFER TO FINISH SCHEDULE.
- COVER WINDOW PANEL WITH FINISH GRADE PLYWOOD AND PAINT. (FIELD VERIFY CONDITION AFTER REMOVAL OF PLANTER.)
- (WS5) PAINT WINDOW POCKETS. INFILL OPENING IN WALL AFTER REMOVAL OF GRILLE WITH METAL STUDS AND (2) LAYERS OF %" TYPE-X GYPSUM BOARD ON EACH SIDE. SKIM COAT ENTIRE OPENING TO MATCH EXISTING
- ADJACENT SURFACES. SCRAPE, PATCH, CLEAN, PRIME AND PAINT ALL WALLS IN AREA OF WORK, NEW AND EXISTING.
- PROVIDE NEW VCT TO REPLACE ABATED FLOOR TILE. MATCH (WS8) EXISTING COLOR AND PATTERN. PROVIDE APPROXIMATELY A 24"
- (WS9) CONSTRUCT WINDOW POCKET OUT OF PRE-FINISHED METAL. ATTACH TO CEILING GRID. SEE DETAIL AT 9/ A500. LINE OF EXISTING DUCTWORK AND FAN TO REMAIN. COORDINATE (WS10) WITH NEW WORK. PROVIDE GYPSUM BOARD SOFFIT TIGHT TO

UNDERSIDE OF FAN SUPPORT.

- FURR EXISTING WALL WITH METAL STUDS AND GYPSUM BOARD TO (WS11) ACCOMMODATE UTILITY LINES. MAINTAIN SUFFICIENT CLEARANCE FROM WINDOW HARDWARE FOR PROPER OPERATION.
- (WS12) PATCH/ REPLACE EXISTING VCT AT REMOVED WALL CABINETS,
- (WS13) PAINT EXISTING QUARTER ROUND AT FLOOR TO MATCH WALLS. (WS14) SCRAPE, PATCH, SKIM COAT EXISTING EXPOSED PLASTER WALLS.
- (WS15) TRIM/PRUNE TREE FOR INSTALLATION OF FENCE ENCLOSURE.
- REPOSITION EACH WINDOW BLIND TO ALLOW INSTALLATION OF NEW PARTITION AT EXISTING WINDOW MULLION.
- WS17) RE-GRADE SOIL LEVEL TO INSTALL CONDENSING UNIT AND CONCRETE PAVERS. INSTALL NEW CEILING SUSPENSION SYSTEM AND CEILING TILE TO MATCH EXISTING. SUPPORT FROM STRUCTURE.
- (WS19) PAINT ENTIRE WALL MATCH EXISTING.

SIGNAGE LEGEND - INDICATES SIGN TYPE AA

___ INDICATES LOCATION OF SIGN ROOM FUNCTION SIGN (AA) --- SIGN DESCRIPTION

- INDICATES SIGN TYPE F _ INDICATES LOCATION OF SIGN **EMERGENCY** EVACUATION PLAN (F) - SIGN DESCRIPTION

- INDICATES SIGN TYPE D / INDICATES LOCATION OF SIGN DIRECTORY SIGN (D) ---- SIGN DESCRIPTION

NOTES:

- 1. REFER TO SPECIFICATIONS FOR SIGNAGE ALLOWANCE.
- 2. REFER TO DRAWING 'G-1' FOR ADDITIONAL SIGNAGE INFORMATION.

OFFICE-2 (B004) CH=8'-0" CH=8'-0"

PARK AVE. ELEMENTARY SCHOOL REFLECTED CEILING PLAN

GENERAL CEILING NOTES

- . ALL CEILING MOUNTED ITEMS (DETECTORS, GRILLS, ETC.) AND INDICATED ON THE MECHANICAL AND ELECTRICAL DRAWINGS. ALL ITEMS ARE TO BE CENTERED WITHIN THE CEILING TILES AND GRIDS. WHERE ITEMS ARE SHOWN ON ARCHITECTURAL DRAWINGS THEY DENOTE LOCATION AND LAYOUT WHERE PLACEMENT IS CRITICAL. THE ARCHITECTURAL DRAWINGS DO NOT REPRESENT COMPLETE SYSTEMS THAT ARE SHOWN ON OTHER DRAWINGS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ACCESS DOORS REQUIRED FOR ANY DEVICES WHICH MAY BE COVERED OVER DUE TO NEW CEILING AND SOFFIT WORK.
- 2. THE CEILING GRID IS TO BE CENTERED IN ROOMS-TYPICAL UNLESS NOTED OTHERWISE.
- AND CEILINGS. 4. REFER TO FINISH SCHEDULE FOR ADDITIONAL
- 5. FIT CEILING TILES AND GRIDS AROUND VERTICAL PIPES THAT PASS THROUGH THE NEW CEILING.

- ALL NEW CEILING HEIGHTS ARE TO MATCH EXISTING UNLESS NOTED OTHERWISE.
- 9. DIMENSIONS AND CONDITIONS OF EXISTING ITEMS ARE APPROXIMATE (NOT AS-BUILTS).

CEILING LEGEND

2'x2' RECESSED MOUNTED LIGHT FIXTURE

EXHAUST FAN, SEE MECHANICAL 3. PAINT ALL NEW GYPSUM WALLBOARD SOFFITS

INFORMATION.

- 6. OWNER SHALL REMOVE AND RE-INSTALL WIFI RECEIVERS. COORDINATE
- 7. NOT USED
- 8. CEILING HEIGHTS INDICATED ARE EXISTING AND ARE TO BE FIELD VERIFIED BY CONTRACTOR.
- CONTRACTOR SHALL FIELD VERIFY.

2'x4' RECESSED MOUNTED LIGHT FIXTURE

RECESSED CAN LIGHT FIXTURE GYPSUM BOARD OR SOFFIT CEILING GRID STARTING POINT

FIRE ALARM SMOKE DETECTOR CEILING SPEAKER

CEILING REGISTER. SIZE VARIES. SEE MECHANICAL DRAWINGS.

CEILING DIFFUSER. SIZE VARIES. SEE MECHANICAL DRAWINGS.

HEAT PUMP DIFFUSER CEILING MOUNTED EXIT SIGN W/ DIRECTIONAL ARROW

> WALL MOUNTED EXIT SIGN W/ DIRECTIONAL ARROW WIRELESS ACCESS POINT 0.S.

OCCUPANCY SENSOR

CEILING MOUNTED PROJECTOR RECESSED PROJECTOR SCREEN

> 2'x2' OR 2'x4' ACOUSTICAL CEILING TILE AND SUSPENSION SYSTEM

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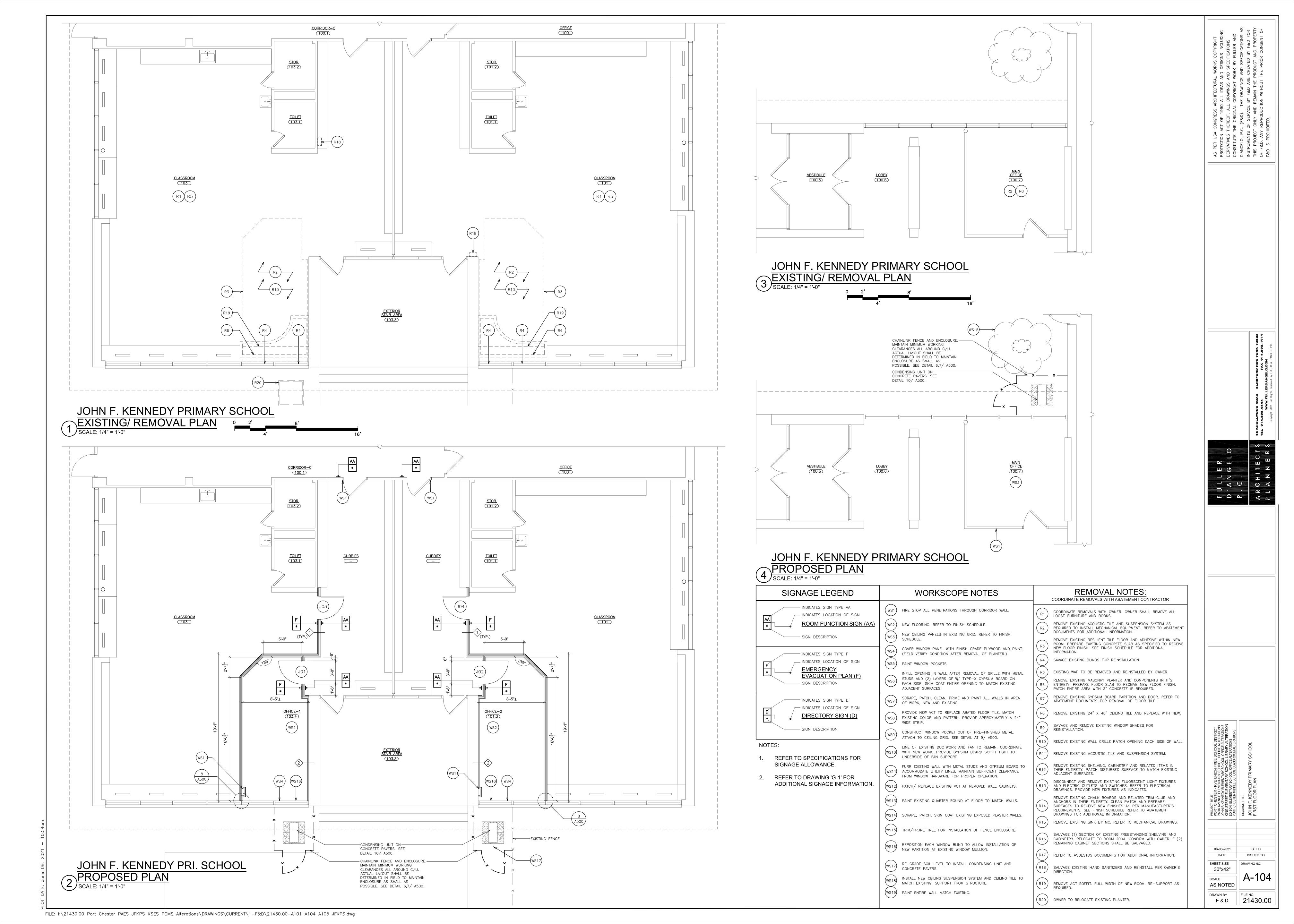
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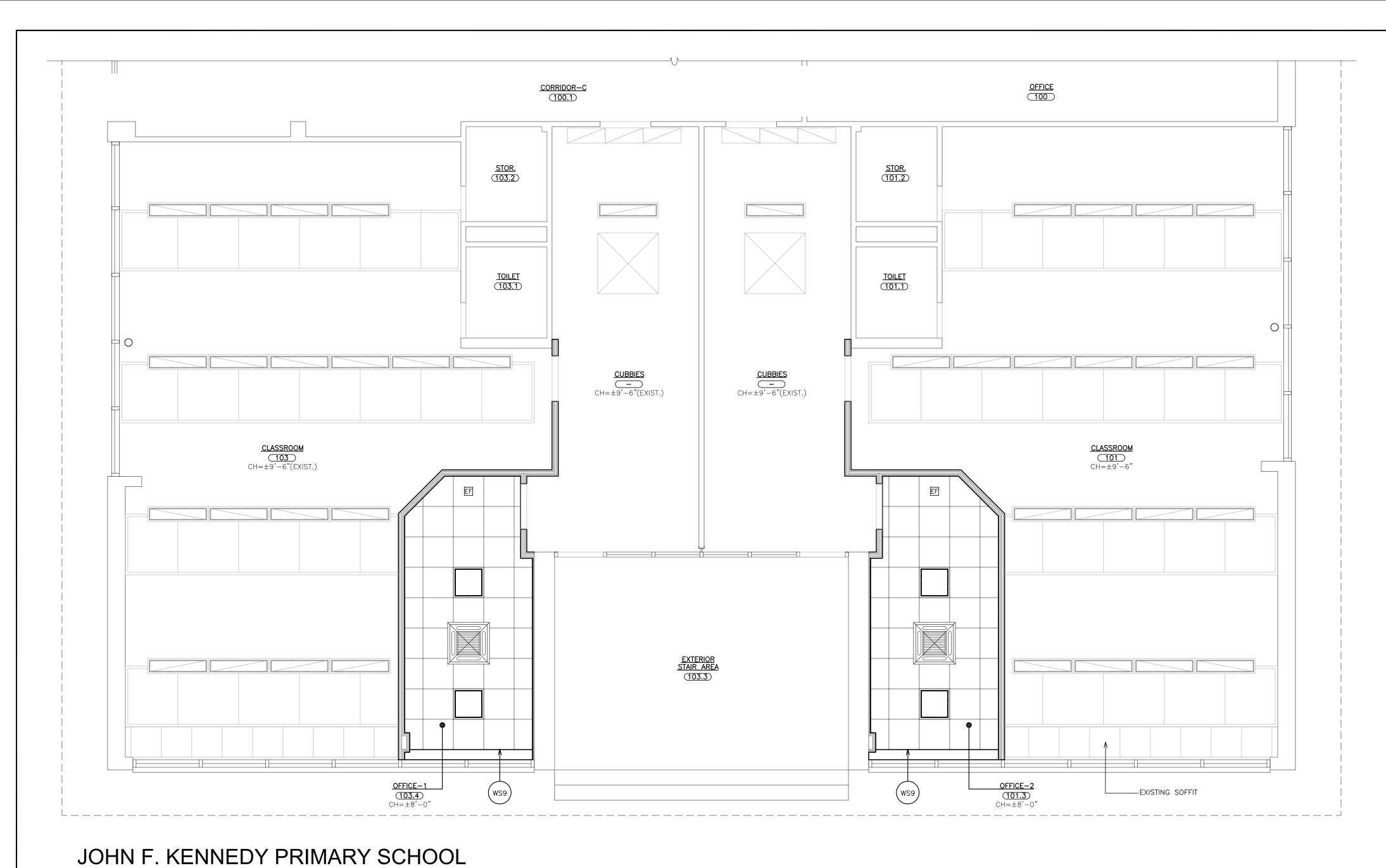
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06-08-2021 DATE ISSUED TO 30"x42" AS NOTED

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VESTIBULE 100.5 <u>LOBBY</u> (100.6) WS3

JOHN F. KENNEDY PRIMARY SCHOOL REFLECTED CEILING PLAN

WORKSCOPE NOTES

(WS1) FIRE STOP ALL PENETRATIONS THROUGH CORRIDOR WALL.

(WS2) NEW FLOORING. REFER TO FINISH SCHEDULE.

WS3 NEW CEILING PANELS IN EXISTING GRID. REFER TO FINISH SCHEDULE.

COVER WINDOW PANEL WITH FINISH GRADE PLYWOOD AND PAINT. (FIELD VERIFY CONDITION AFTER REMOVAL OF PLANTER.) (WS5) PAINT WINDOW POCKETS.

INFILL OPENING IN WALL AFTER REMOVAL OF GRILLE WITH METAL WS6 STUDS AND (2) LAYERS OF %" TYPE-X GYPSUM BOARD ON EACH SIDE. SKIM COAT ENTIRE OPENING TO MATCH EXISTING ADJACENT SURFACES.

SCRAPE, PATCH, CLEAN, PRIME AND PAINT ALL WALLS IN AREA OF WORK, NEW AND EXISTING.

PROVIDE NEW VCT TO REPLACE ABATED FLOOR TILE. MATCH (WS8) EXISTING COLOR AND PATTERN. PROVIDE APPROXIMATELY A 24"

CONSTRUCT WINDOW POCKET OUT OF PRE-FINISHED METAL. ATTACH TO CEILING GRID. SEE DETAIL AT 9/ A500.

LINE OF EXISTING DUCTWORK AND FAN TO REMAIN. COORDINATE (WS10) WITH NEW WORK. PROVIDE GYPSUM BOARD SOFFIT TIGHT TO UNDERSIDE OF FAN SUPPORT.

FURR EXISTING WALL WITH METAL STUDS AND GYPSUM BOARD TO (WS11) ACCOMMODATE UTILITY LINES. MAINTAIN SUFFICIENT CLEARANCE FROM WINDOW HARDWARE FOR PROPER OPERATION.

(WS12) PATCH/ REPLACE EXISTING VCT AT REMOVED WALL CABINETS,

(WS13) PAINT EXISTING QUARTER ROUND AT FLOOR TO MATCH WALLS.

(WS14) SCRAPE, PATCH, SKIM COAT EXISTING EXPOSED PLASTER WALLS.

(WS15) TRIM/PRUNE TREE FOR INSTALLATION OF FENCE ENCLOSURE.

WS16 REPOSITION EACH WINDOW BLIND TO ALLOW INSTALLATION OF NEW PARTITION AT EXISTING WINDOW MULLION.

WS17 RE-GRADE SOIL LEVEL TO INSTALL CONDENSING UNIT AND CONCRETE PAVERS.

(WS19) PAINT ENTIRE WALL MATCH EXISTING.

WS18 INSTALL NEW CEILING SUSPENSION SYSTEM AND CEILING TILE TO MATCH EXISTING. SUPPORT FROM STRUCTURE.

GENERAL CEILING NOTES

ALL CEILING MOUNTED ITEMS (DETECTORS, GRILLS, ETC.) AND INDICATED ON THE MECHANICAL AND ELECTRICAL DRAWINGS. ALL ITEMS ARE TO BE CENTERED WITHIN THE CEILING TILES AND GRIDS. WHERE ITEMS ARE SHOWN ON ARCHITECTURAL DRAWINGS THEY DENOTE LOCATION AND LAYOUT WHERE PLACEMENT IS CRITICAL. THE ARCHITECTURAL DRAWINGS DO NOT REPRESENT COMPLETE SYSTEMS THAT ARE SHOWN ON OTHER DRAWINGS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ACCESS DOORS REQUIRED FOR ANY DEVICES WHICH MAY BE COVERED OVER DUE TO NEW CEILING AND SOFFIT WORK.

2. THE CEILING GRID IS TO BE CENTERED IN ROOMS-TYPICAL UNLESS NOTED OTHERWISE.

PAINT ALL NEW GYPSUM WALLBOARD SOFFITS AND CEILINGS.

4. REFER TO FINISH SCHEDULE FOR ADDITIONAL

INFORMATION. 5. FIT CEILING TILES AND GRIDS AROUND

NEW CEILING. 6. OWNER SHALL REMOVE AND RE-INSTALL WIFI

VERTICAL PIPES THAT PASS THROUGH THE

7. NOT USED

RECEIVERS. COORDINATE

8. CEILING HEIGHTS INDICATED ARE EXISTING AND ARE TO BE FIELD VERIFIED BY CONTRACTOR. ALL NEW CEILING HEIGHTS ARE TO MATCH EXISTING UNLESS NOTED OTHERWISE.

9. DIMENSIONS AND CONDITIONS OF EXISTING ITEMS ARE APPROXIMATE (NOT AS-BUILTS). CONTRACTOR SHALL FIELD VERIFY.

CEILING LEGEND

2'x2' RECESSED MOUNTED LIGHT FIXTURE

2'x4' RECESSED MOUNTED LIGHT

FIRE ALARM SMOKE DETECTOR

RECESSED CAN LIGHT FIXTURE

GYPSUM BOARD OR SOFFIT CEILING GRID STARTING POINT

CEILING SPEAKER

EXHAUST FAN, SEE MECHANICAL

CEILING REGISTER. SIZE VARIES.

CEILING DIFFUSER. SIZE VARIES. SEE MECHANICAL DRAWINGS.

HEAT PUMP DIFFUSER CEILING MOUNTED EXIT SIGN

0.S.

W/ DIRECTIONAL ARROW WALL MOUNTED EXIT SIGN W/

OCCUPANCY SENSOR

DIRECTIONAL ARROW WIRELESS ACCESS POINT

CEILING MOUNTED PROJECTOR RECESSED PROJECTOR SCREEN

> 2'x2' OR 2'x4' ACOUSTICAL CEILING TILE AND SUSPENSION SYSTEM

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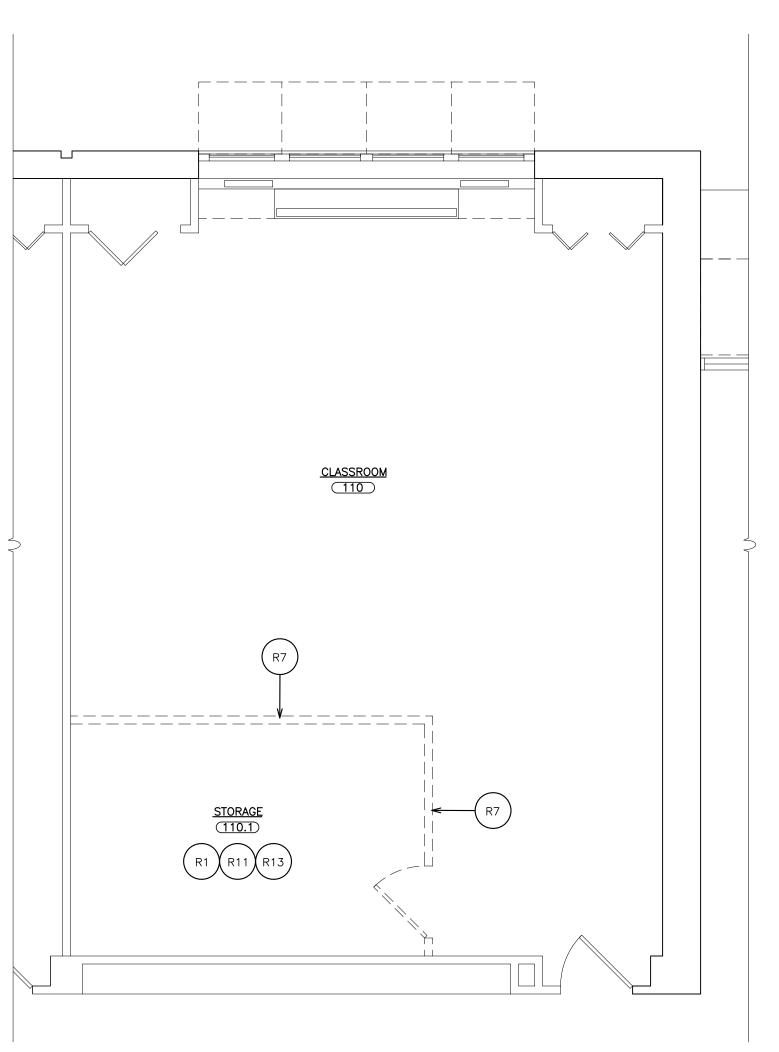
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REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



PORT CHESTER MIDDLE SCHOOL EXISTING/ REMOVAL PLAN SCALE: 1/4" = 1'-0"

REMOVAL NOTES: COORDINATE REMOVALS WITH ABATEMENT CONTRACTOR

- COORDINATE REMOVALS WITH OWNER. OWNER SHALL REMOVE ALL
- REMOVE EXISTING ACOUSTIC TILE AND SUSPENSION SYSTEM AS REQUIRED TO INSTALL MECHANICAL EQUIPMEN DOCUMENTS FOR ADDITIONAL INFORMATION. REQUIRED TO INSTALL MECHANICAL EQUIPMENT. REFER TO ABATEMENT
- REMOVE EXISTING RESILIENT TILE FLOOR AND ADHESIVE WITHIN NEW ROOM. PREPARE EXISTING CONCRETE SLAB AS SPECIFIED TO RECEIVE NEW FLOOR FINISH. SEE FINISH SCHEDULE FOR ADDITIONAL
- (R4) SAVAGE EXISTING BLINDS FOR REINSTALLATION.

LOOSE FURNITURE AND BOOKS.

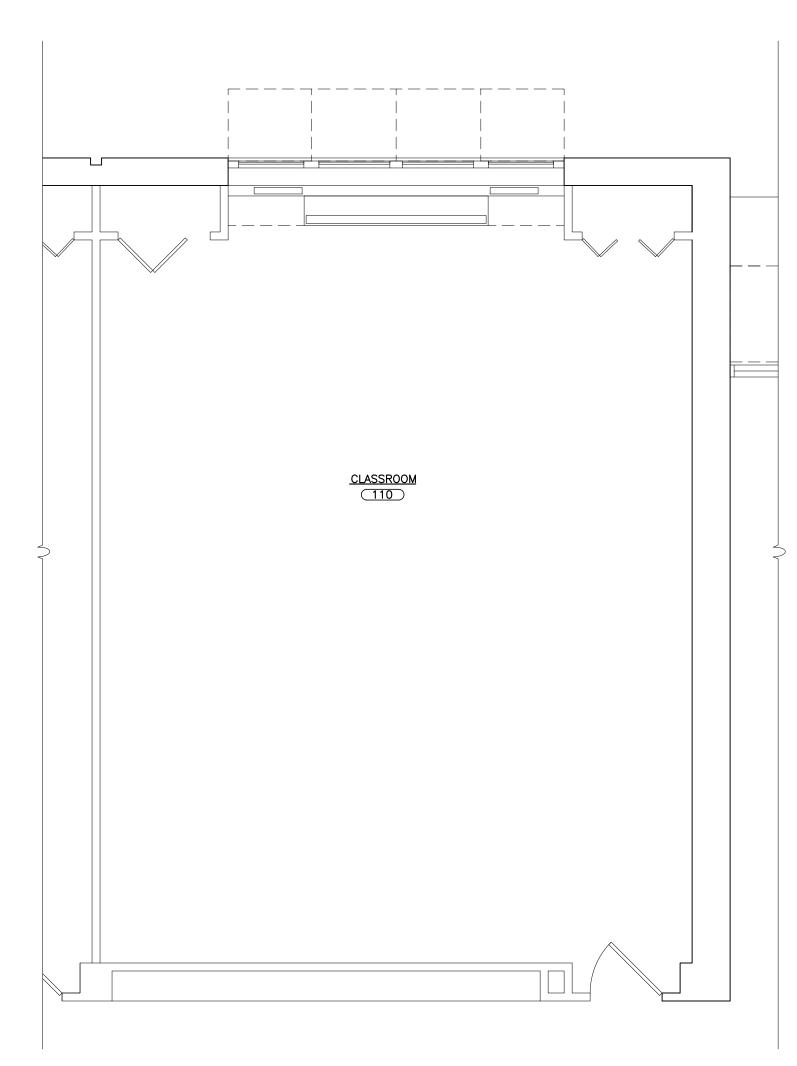
- (R5) EXISTING WAP TO BE REMOVED AND REINSTALLED BY OWNER.
- REMOVE EXISTING MASONRY PLANTER AND COMPONENTS IN IT'S ENTIRETY. PREPARE FLOOR SLAB TO RECEIVE NEW FLOOR FINISH. PATCH ENTIRE AREA WITH 3" CONCRETE IF REQUIRED.
- REMOVE EXISTING GYPSUM BOARD PARTITION AND DOOR. REFER TO ABATEMENT DOCUMENTS FOR REMOVAL OF FLOOR TILE.
- (R8) REMOVE EXISTING 24" X 48" CEILING TILE AND REPLACE WITH NEW.
- \ SAVAGE AND REMOVE EXISTING WINDOW SHADES FOR
- Reinstallation. (R10) REMOVE EXISTING WALL GRILLE PATCH OPENING EACH SIDE OF WALL.
- (R11) REMOVE EXISTING ACOUSTIC TILE AND SUSPENSION SYSTEM.
- REMOVE EXISTING SHELVING, CABINETRY AND RELATED ITEMS IN THEIR ENTIRETY. PATCH DISTURBED SURFACE TO MATCH EXISTING ADJACENT SURFACES.
- DISCONNECT AND REMOVE EXISTING FLUORSCENT LIGHT FIXTURES (R13) AND ELECTRIC OUTLETS AND SWITCHES. REFER TO ELECTRICAL DRAWINGS. PROVIDE NEW FIXTURES AS INDICATED.
- REMOVE EXISTING CHALK BOARDS AND RELATED TRIM GLUE AND ANCHORS IN THEIR ENTIRETY. CLEAN PATCH AND PREPARE (R14) SURFACES TO RECEIVE NEW FINISHES AS PER MANUFACTURER'S REQUIREMENTS. SEE FINISH SCHEDULE REFER TO ABATEMENT DRAWINGS FOR ADDITIONAL INFORMATION.
- (R15) REMOVE EXISTING SINK BY MC. REFER TO MECHANICAL DRAWINGS.

SALVAGE (1) SECTION OF EXISTING FREESTANDING SHELVING AND

(R16) CABINETRY. RELOCATE TO ROOM 200A. CONFIRM WITH OWNER IF (2) REMAINING CABINET SECTIONS SHALL BE SALVAGED.

(R17) REFER TO ASBESTOS DOCUMENTS FOR ADDITIONAL INFORMATION.

- R18) SALVAGE EXISTING HAND SANITIZERS AND REINSTALL PER OWNER'S DIRECTION.
- REMOVE ACT SOFFIT. FULL WIDTH OF NEW ROOM. RE-SUPPORT AS REQUIRED.
- (R20) OWNER TO RELOCATE EXISTING PLANTER.



PORT CHESTER MIDDLE SCHOOL PROPOSED PLAN SCALE: 1/4" = 1'-0"

WORKSCOPE NOTES

- (WS1) FIRE STOP ALL PENETRATIONS THROUGH CORRIDOR WALL.
- (WS2) NEW FLOORING. REFER TO FINISH SCHEDULE.

SCHEDULE.

- NEW CEILING PANELS IN EXISTING GRID. REFER TO FINISH (WS3)
- COVER WINDOW PANEL WITH FINISH GRADE PLYWOOD AND PAINT. (FIELD VERIFY CONDITION AFTER REMOVAL OF PLANTER.) (WS5) PAINT WINDOW POCKETS.
- INFILL OPENING IN WALL AFTER REMOVAL OF GRILLE WITH METAL STUDS AND (2) LAYERS OF %" TYPE-X GYPSUM BOARD ON EACH SIDE. SKIM COAT ENTIRE OPENING TO MATCH EXISTING
- ADJACENT SURFACES. SCRAPE, PATCH, CLEAN, PRIME AND PAINT ALL WALLS IN AREA
- PROVIDE NEW VCT TO REPLACE ABATED FLOOR TILE. MATCH (WS8) EXISTING COLOR AND PATTERN. PROVIDE APPROXIMATELY A 24"

OF WORK, NEW AND EXISTING.

UNDERSIDE OF FAN SUPPORT.

WIDE STRIP. CONSTRUCT WINDOW POCKET OUT OF PRE-FINISHED METAL.

ATTACH TO CEILING GRID. SEE DETAIL AT 9/ A500.

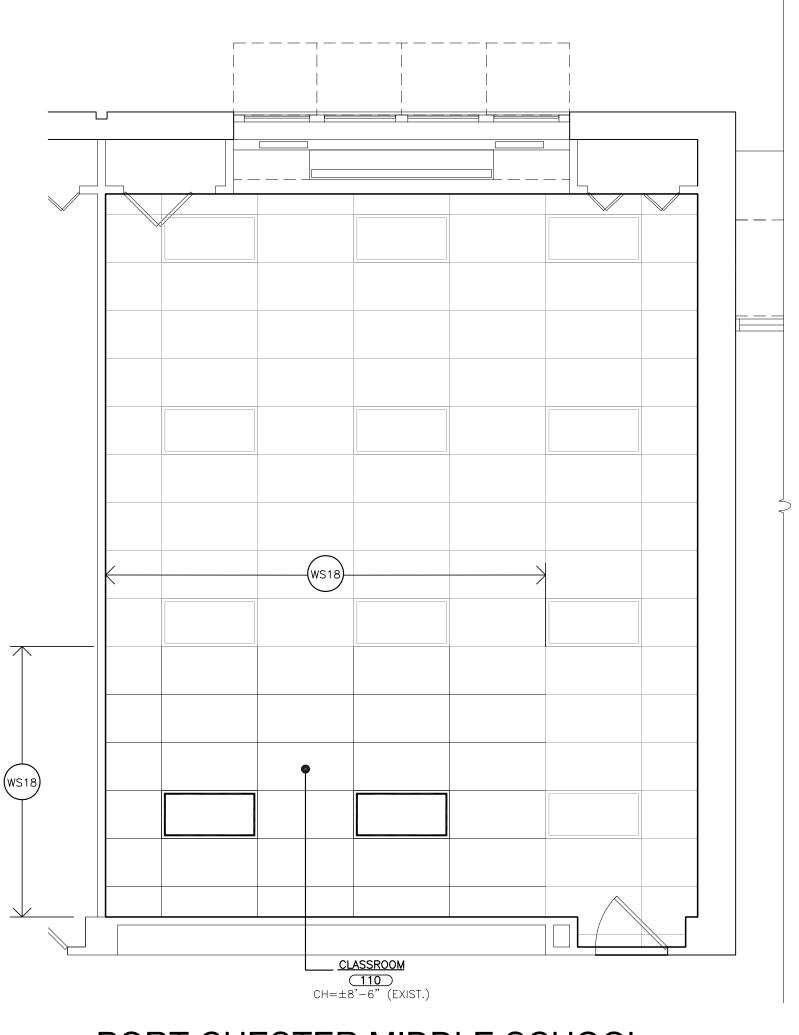
- LINE OF EXISTING DUCTWORK AND FAN TO REMAIN. COORDINATE (WS10) WITH NEW WORK. PROVIDE GYPSUM BOARD SOFFIT TIGHT TO
- FURR EXISTING WALL WITH METAL STUDS AND GYPSUM BOARD TO (WS11) ACCOMMODATE UTILITY LINES. MAINTAIN SUFFICIENT CLEARANCE

FROM WINDOW HARDWARE FOR PROPER OPERATION.

- (WS12) PATCH/ REPLACE EXISTING VCT AT REMOVED WALL CABINETS,
- (WS13) PAINT EXISTING QUARTER ROUND AT FLOOR TO MATCH WALLS.

(WS14) SCRAPE, PATCH, SKIM COAT EXISTING EXPOSED PLASTER WALLS.

- (WS15) TRIM/PRUNE TREE FOR INSTALLATION OF FENCE ENCLOSURE.
- REPOSITION EACH WINDOW BLIND TO ALLOW INSTALLATION OF NEW PARTITION AT EXISTING WINDOW MULLION.
- WS17 RE-GRADE SOIL LEVEL TO INSTALL CONDENSING UNIT AND CONCRETE PAVERS.
- INSTALL NEW CEILING SUSPENSION SYSTEM AND CEILING TILE TO MATCH EXISTING. SUPPORT FROM STRUCTURE.
- (WS19) PAINT ENTIRE WALL MATCH EXISTING.



PORT CHESTER MIDDLE SCHOOL REFLECTED CEILING PLAN SCALE: 1/4" = 1'-0"

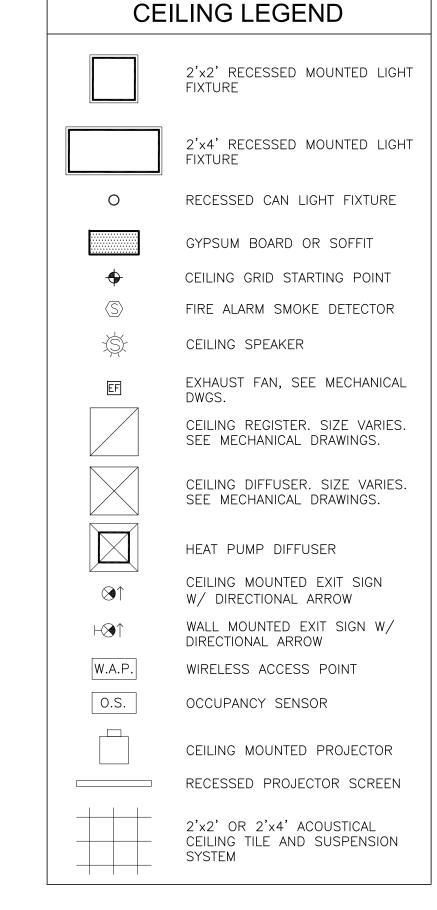
PORT CHESTER MIDDLE SCHOOL FINISH FLOOR PLAN SCALE: 1/4" = 1'-0"

GENERAL CEILING NOTES

- ALL CEILING MOUNTED ITEMS (DETECTORS, GRILLS, ETC.) AND INDICATED ON THE MECHANICAL AND ELECTRICAL DRAWINGS. ALL ITEMS ARE TO BE CENTERED WITHIN THE CEILING TILES AND GRIDS. WHERE ITEMS ARE SHOWN ON ARCHITECTURAL DRAWINGS THEY DENOTE LOCATION AND LAYOUT WHERE PLACEMENT IS CRITICAL. THE ARCHITECTURAL DRAWINGS DO NOT REPRESENT COMPLETE SYSTEMS THAT ARE SHOWN ON OTHER DRAWINGS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ACCESS DOORS REQUIRED FOR ANY DEVICES WHICH MAY BE COVERED OVER DUE TO NEW CEILING AND SOFFIT WORK.
- 2. THE CEILING GRID IS TO BE CENTERED IN ROOMS-TYPICAL UNLESS NOTED OTHERWISE.
- 3. PAINT ALL NEW GYPSUM WALLBOARD SOFFITS AND CEILINGS.
- 4. REFER TO FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- VERTICAL PIPES THAT PASS THROUGH THE NEW CEILING. 6. OWNER SHALL REMOVE AND RE-INSTALL WIFI

5. FIT CEILING TILES AND GRIDS AROUND

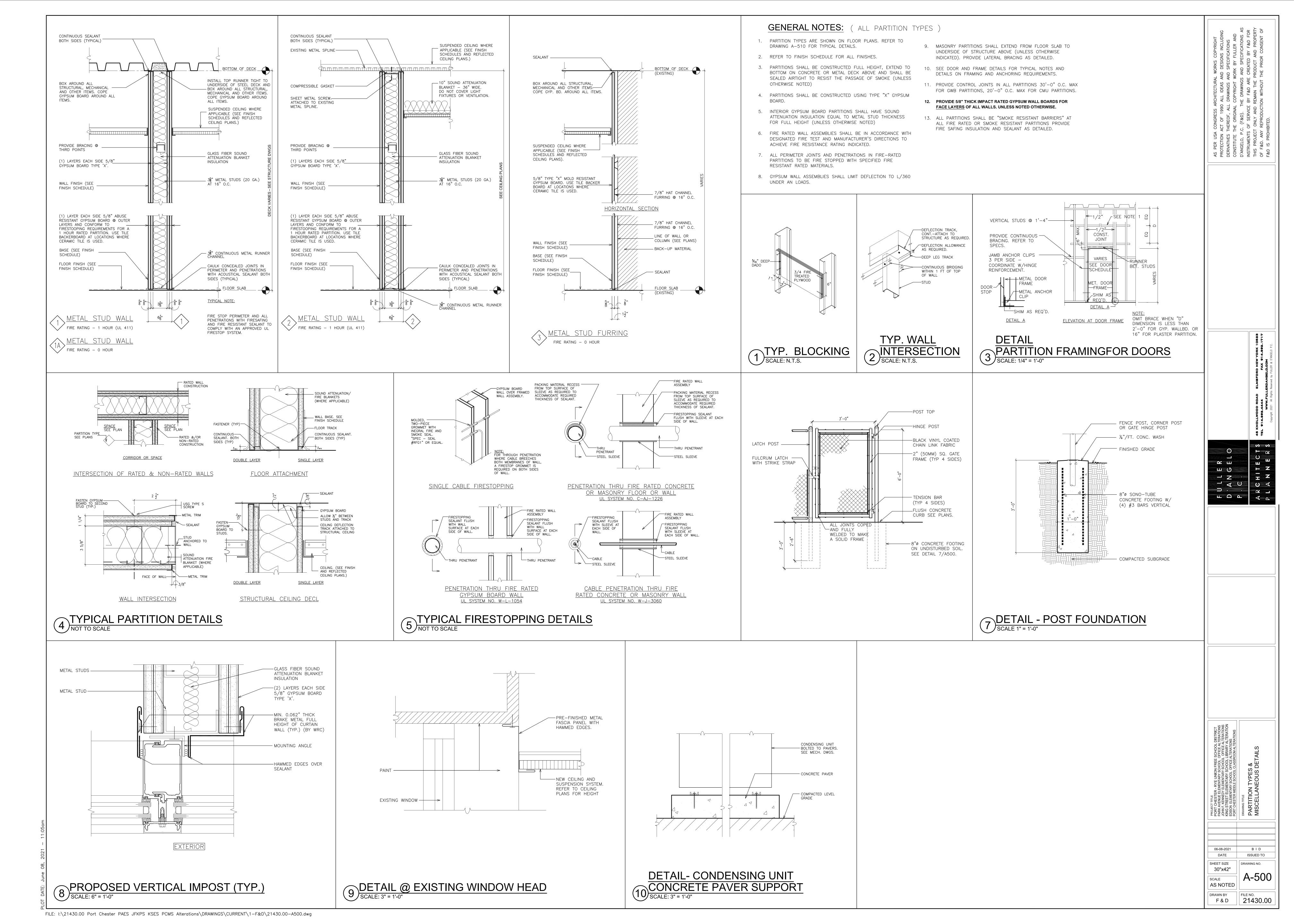
- RECEIVERS. COORDINATE 7. NOT USED
- 8. CEILING HEIGHTS INDICATED ARE EXISTING AND ARE TO BE FIELD VERIFIED BY CONTRACTOR. ALL NEW CEILING HEIGHTS ARE TO MATCH EXISTING UNLESS NOTED OTHERWISE.
- 9. DIMENSIONS AND CONDITIONS OF EXISTING ITEMS ARE APPROXIMATE (NOT AS-BUILTS). CONTRACTOR SHALL FIELD VERIFY.

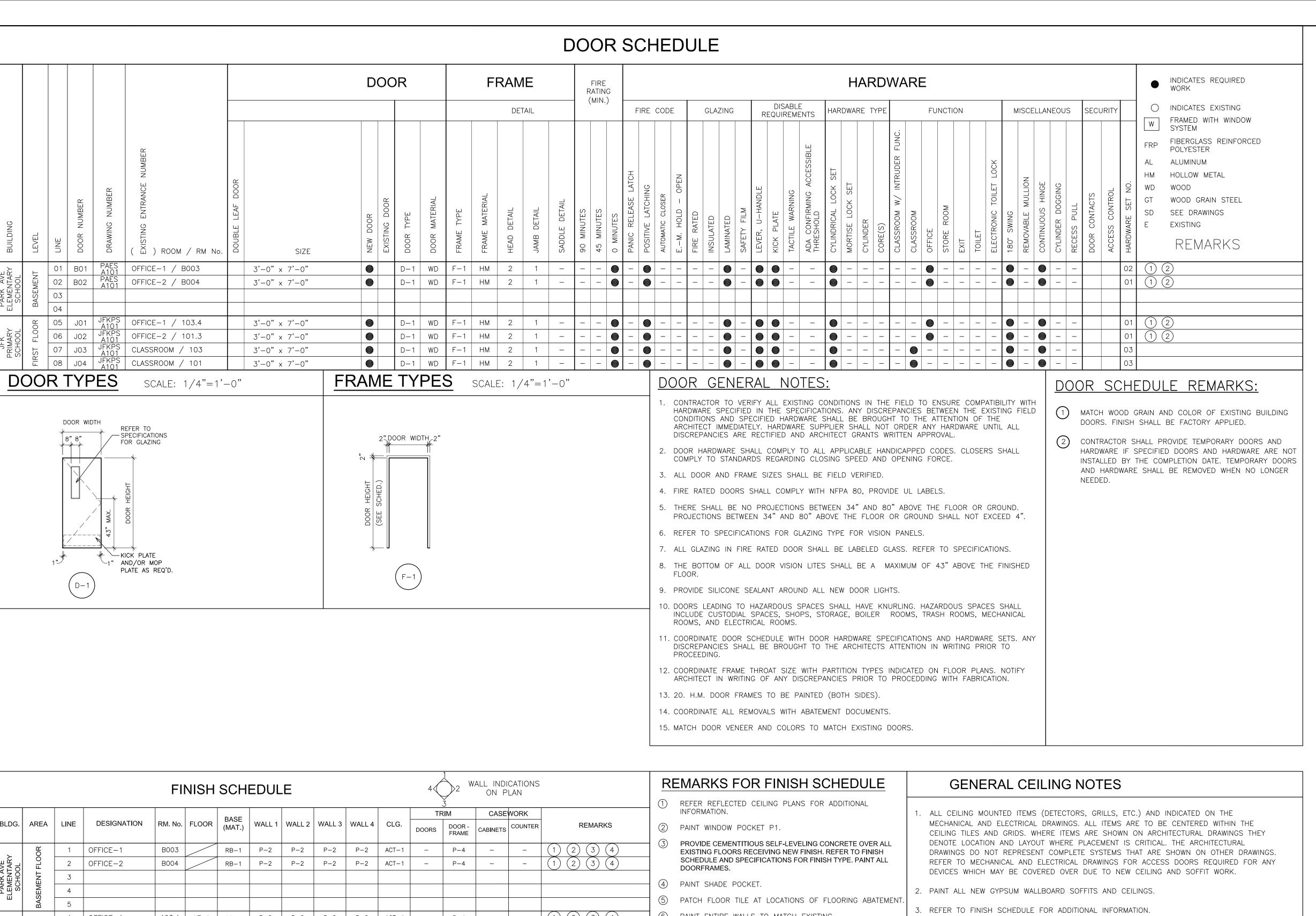


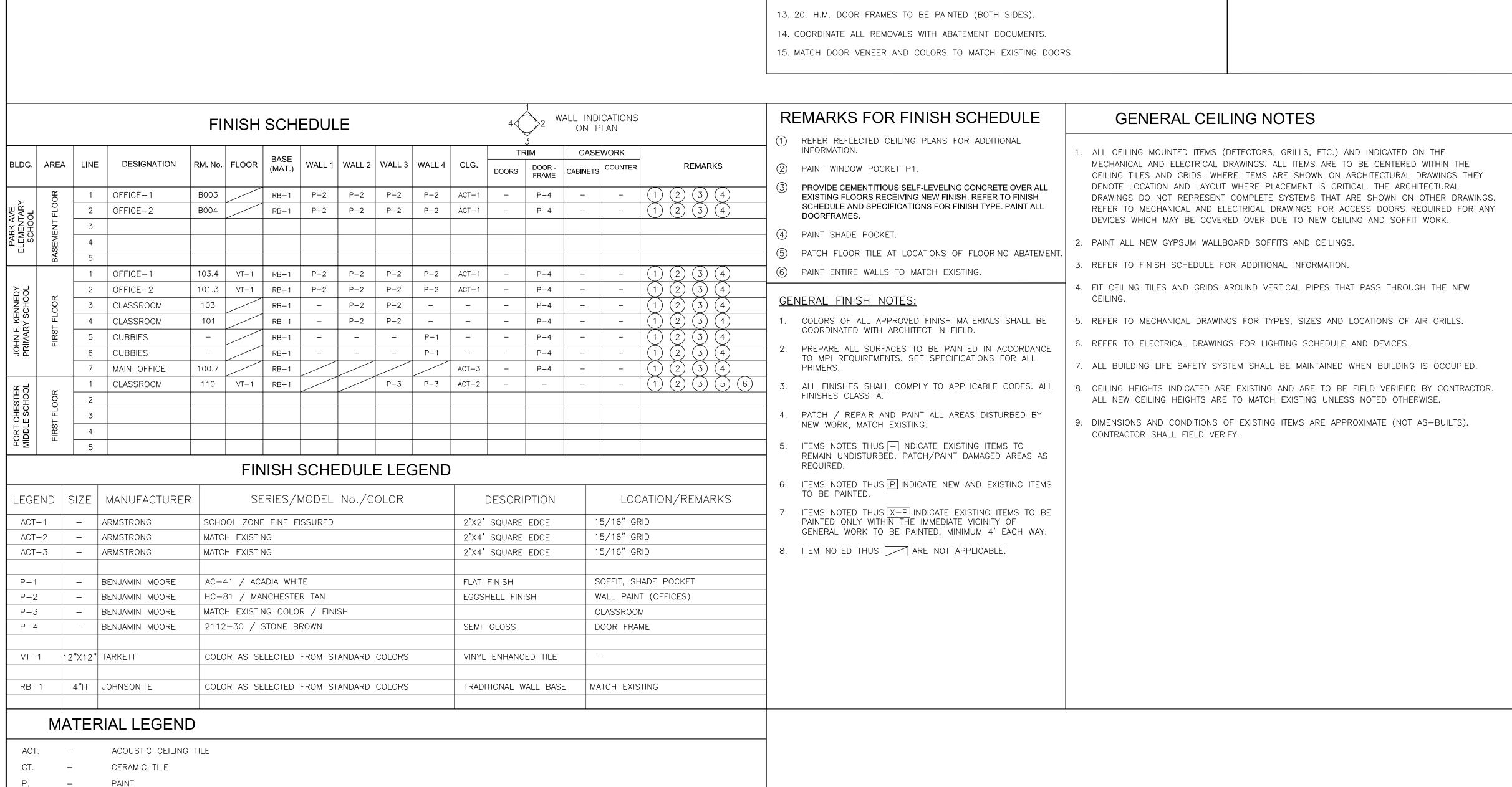
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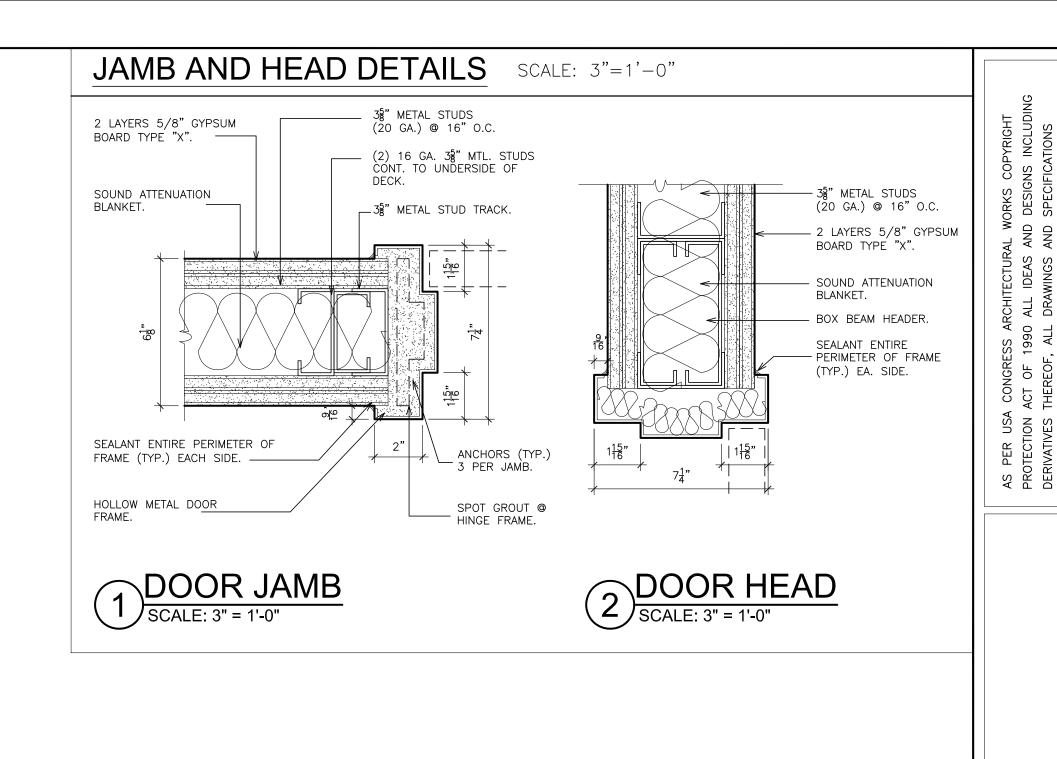
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SUSPENDED
ACOUSTICAL
CEILING TILE

FIGURE 1

FIGURE 2

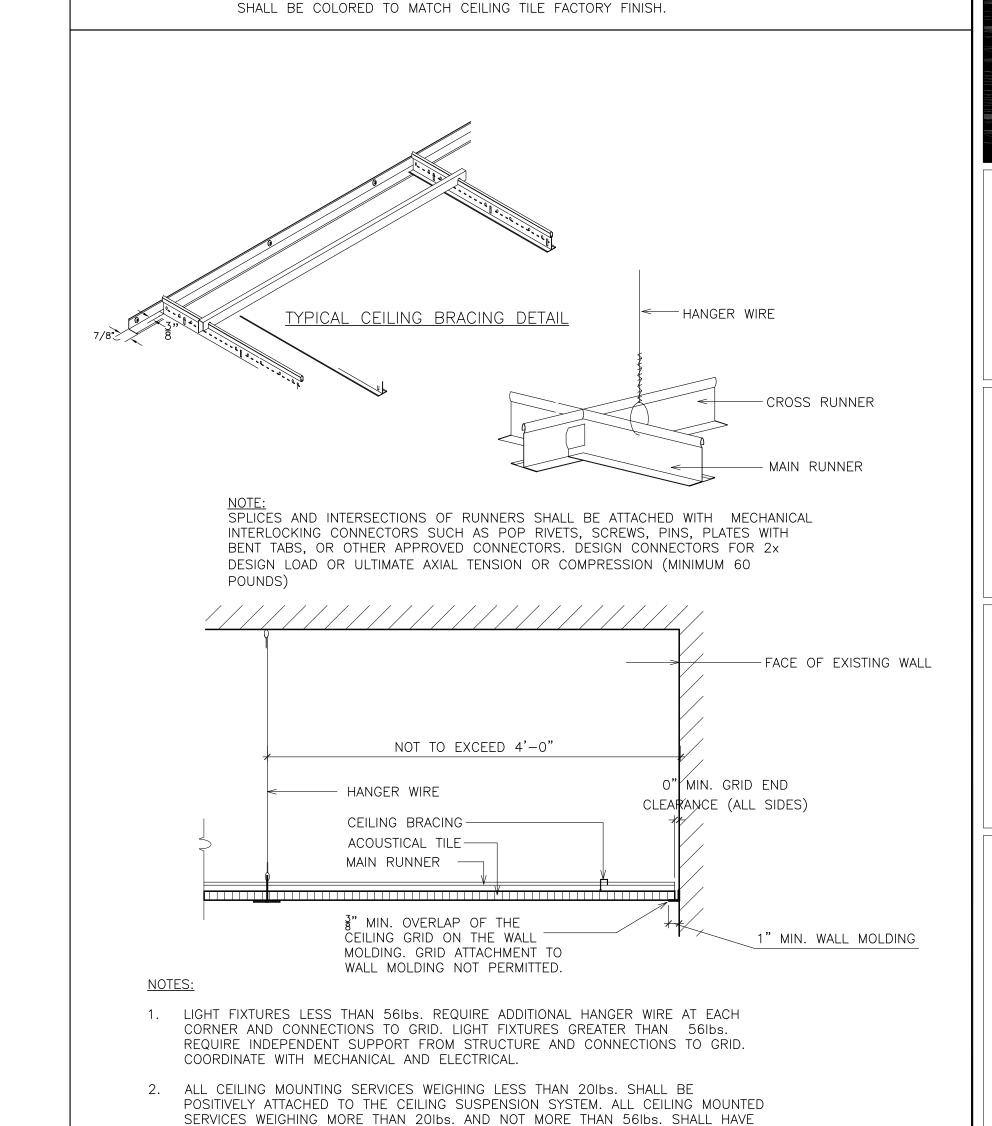
2'-4"

TYPICAL FOR ALL SPACES

1. IN CASES WHERE A NEW CEILING TILE ADJACENT TO A WALL WILL BE 4" OR LESS (FIGURE 1). THE GRID IS TO BE MODIFIED AND A 24" X 48" CEILING TILE IS TO

BE CUT TO EXTEND TO THE WALL (FIGURE 2).

2. TEGULAR BORDER PANELS SHALL HAVE EDGES FIELD CUT. ALL EXPOSED EDGES



CONNECTORS TO THE GRID AND (2) APPROVED HANGER WIRES. ALL CEILING MOUNTED

CEILING TILE AND SUSPENSION SYSTEM

SERVICES GREATER THAN 56lbs. SHALL HAVE INDEPENDENT SUPPORT FROM

DETAIL - SUSPENDED ACOUSTICAL

STRUCTURE. COORDINATE WITH MECHANICAL AND ELECTRICAL.

SCALE: N.T.S.

PROVIDE INSIDE/OUTSIDE CORNER COVERS AT THE 90° CORNERS.

PROJECT TITLE
PROJECT TITLE
PROJECT TITLE
PORT CHESTER - RYE UNION FREE SCHOOL DISTRICT
PARK AVENUE ELEMENTARY SCHOOL OFFICE ALTERATIONS
JOHN F. KENNEDY ELEMENTARY SCHOOL UFICE ALTERATIONS
KING STREET ELEMENTARY SCHOOL LIBRARY ALTERATION
EDISON ELEMENTARY SCHOOL CHASSROOM ALTERATIONS
PORT CHESTER MIDDLE SCHOOL CLASSROOM ALTERATIONS
DOOR SCHEDULE, TYPES AND DETAILS
FINISH SCHEDULE LEGEND,
FINISH SCHEDULE & DETAILS

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06-08-2021 B I D
DATE ISSUED TO

SHEET SIZE
30"x42"

SCALE
AS NOTED

A-70

DRAWN BY

F&D

FILE NO.

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PLASTER

MASONRY

CONCRETE

GYPSUM BOARD

EXISTING WALL COVERING

STEEL

MAS.

CONC.

EWC

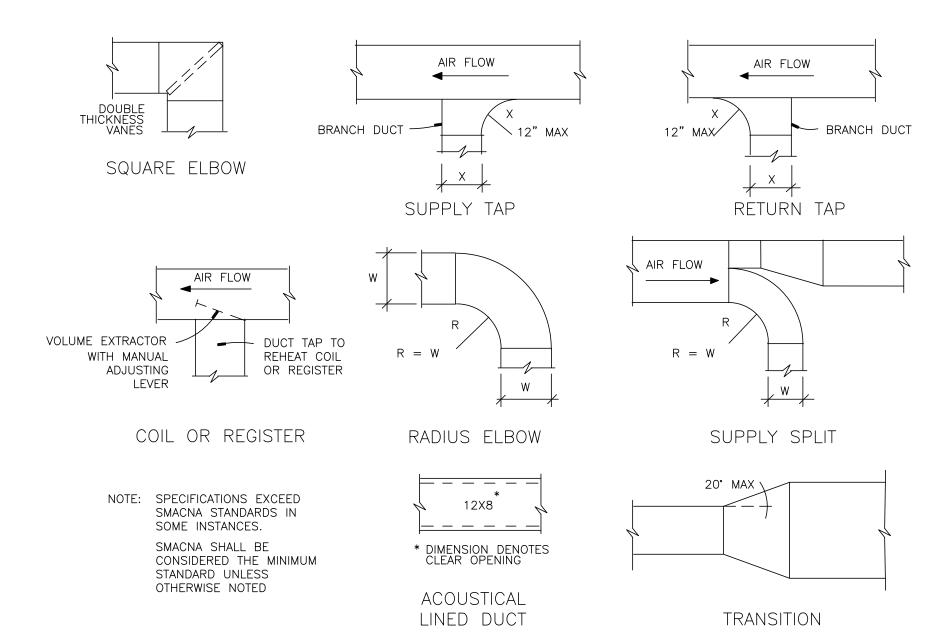
SCHEDULE OF DUCTLESS HEAT PUMP SPLIT SYSTEMS

	IN.	NDOOR AIR I	HANDLER INF	FORMATION				OUTDO	OR CONDE	NSING UNIT	INFORMATION		
GE	NERAL DATA	SUPPLY	FAN DATA	COOLING	HEATING	GE	NERAL I	INFO.	ELE	CTRICAL INFO	RMATION		REMARKS
MARK	MODEL No. ①	CFM	ELECTRIC SERVICE	(MBH)	(MBH)	MARK	MC No	DEL o. ①	V/PH/HZ	TOTAL MCA (AMPS)	TOTAL MOCP (AMPS)		KEMAKKS
(HP)	40MBQB09C-3	380	208/1/60	9.0	10.0		38MAC	QB09-3	208/230 /1/60	15	15	REFI 23	ER TO) (4) (5) (6) (7)
(HP) 2						CU							
HP 3						CU							
$\frac{HP}{4}$													
HP 5		•	•	•	· ·	<u>CU</u> 5		•		•	•		

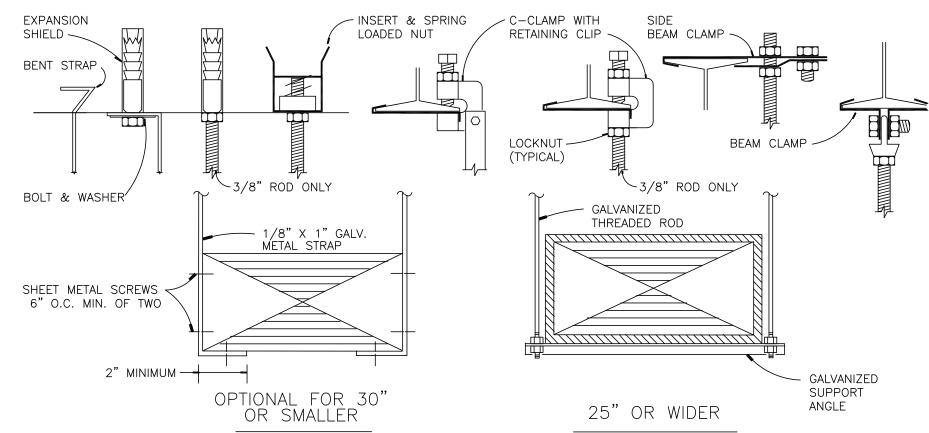
- (1) AS MANUFACTURED BY "CARRIER".
- (2) INSTALL PER MANUFACTURERS RECOMMENDATIONS.
- 3 PROVIDE INDOOR UNITS WITH OUTDOOR AIR CONNECTION
- T 4 CABINET SHALL HAVE KNOCK-OUT ON SIDE PANEL FOR PROVISIONS FOR OUTDOOR AIR.
- (5) PROVIDE PROGRAMMABLE THERMOSTAT AND WIRED REMOTE CONROL.
- PROVIDE ALL CONTROLS, BMS INTEGRATION, REFRIGERATION SPECIALITIES, SENSORS, CONDENSATE PUMPS, FILTER RACKS AND EXTERNAL VIBRATION ISOLATION.
 - (7) INSECT SCREEN FOR AIR INTAKE.

		SCHE	DULE (OF EXH	UAH	ST F	ANS	
MARK	SERVICE	LOCATION	TYPE	MODEL No. ①	CFM	RPM	ELECTRIC SERVICE	REMARKS
EF 1	PARK OFFICE-1	CEILING	IN-LINE	SP-AP0511W	110	934	115	234
EF 2	PARK OFFICE-2							
EF 3	JFK OFFICE-1							
EF 4	JFK OFFICE-2	V	V	V	V	V		

- N ① AS MANUFACTURED BY "GREENHECK".
 O ② INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 3 PROVIDE MOTION AND CO2 SENSOR.
 4 PROVIDE C.U. WITH SNOW/ WIND GUARD AT FAN INTAKE AND
- DISCONNECT SWITCHES.
- (5) COORDINATE LOCATION OF FENCE ENCLOSURE WITH SPACE REQUIRED TO SERVICE THE CONDENCING UNIT.
- 6 PROVIDE WALL CAP WITH BUILT-IN DAMPER



A DUCT CONSTRUCTION DETAILS SCALE: N.T.S.



-				
DUCT WIDTH	ROD DIA.	SUPPORT ANGLE OR EQUIV. CHANNEL	MAXIMUM SPACING	MAXIMUM AREA *
25" TO 30"	3/8"	1 1/2" X 1 1/2" X 1/8"	8'-0" O.C.	4 SQ. FT.
31" TO 42"	3/8"	1 1/2" X 1 1/2" X 1/8"	6'-0" O.C.	10 SQ. FT.
43" TO 60"	1/2"	1 1/2" X 1 1/2" X 1/8"	6'-0" O.C.	10 SQ. FT.
61" TO 84"	1/2"	2" X 2" X 1/4"	4'-0" O.C.	
85" AND UP	1/2"	2" X 2" X 1/4"	4'-0" O.C.	

B DUCT SUPPORT DETAIL SCALE: N.T.S.

* REDUCE SPACING TO NEXT SMALLER INTERVAL IF DUCT AREA EXCEEDS MAXIMUM

PLUMBING REMOVAL NOTES

- REMOVE SINK AS INDICATED. INCLUDING BUT NOT LIMITED TO EQUIPMENT, SPECIALTIES, DRAINS, CONTROLS, HANGERS, BASES, SUPPORTS, PIPING, VALVES, TUBING AND PLUMBING ACCESSORIES THAT ARE NOT INCORPORATED IN THE NEW LAYOUT.
- WHERE REMOVAL IS INDICATED OR IMPLIED OR NOT INCORPORATED IN THE NEW LAYOUT, THE ITEM ITSELF IS TO BE REMOVED COMPLETELY TOGETHER WITH ALL CONNECTING PIPING, SPECIALTIES, SUPPORTS, CONTROLS, ETC. CONNECTING PIPING IS TO BE REMOVED BACK TO MAINS WHERE THEY ARE TO BE CAPPED OR DISCONNECTED. THIS INCLUDES ALL SANITARY, VENT, WATER, DISCHARGE PIPING. REFER TO DIVISION I OF SPECIFICATION FOR CUTTING AND PATCHING REQUIREMENTS.
- WHERE EXISTING PIPING ENTERS INACCESSIBLE TRENCHES, TUNNELS, SHAFTS, WALLS AND CEILINGS INSIDE THE EXISTING BUILDING, IT SHALL BE CUT BACK AT LEAST 2" INTO SUCH INACCESSIBLE SPACES AND SHALL BE SUITABLY CAPPED AND SEALED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL EXERCISE NORMAL CAUTION TO PREVENT UNNECESSARY CUTTING AND DAMAGE TO THE EXISTING BUILDING. ANY EXCESSIVE DAMAGE AS DETERMINED BY THE OWNER SHALL BE REPAIRED AND PAID FOR BY THE ONTRACTOR CAUSING THE DAMAGE.
- (5) ALL DEMOLISHED EQUIPMENT ETC. EXCEPT THOSE ITEMS SPECIFICALLY REQUESTED BY THE OWNER SHALL BECOME THE CONTRACTORS PROPERTY, SHALL BE REMOVED FROM THE PREMISES, AND DISPOSED OF LEGALLY.

	EVICTING DUCTWORK FOLLIDMENT FTC TO DEMAIN
	EXISTING DUCTWORK, EQUIPMENT, ETC. TO REMAIN
>	EXISTING DUCTWORK, EQUIPMENT, ETC. TO BE REMOVED ——POINT OF CHANGE IN DUCT SIZE NEW DUCTWORK
	NEW DUCTWORK 1" THERMAL ACOUSTIC LINING (WHERE APPLICABLE) FLEXIBLE CONNECTION
	NEW DUCTWORK —— POINT OF CHANGE IN DUCT SIZE ——TYPE—SEE SCHEDULE
*****	REGISTER/DIFFUSER IDENTIFICATIONCFM
(X)	EXISTING REGISTER/DIFFUSER IDENTIFICATION
	SQUARE DUCT TURN WITH TURNING VANES
	EXISTING 4-WAY CEILING DIFFUSER
	EXISTING CEILING REGISTER TYPE -SEE SCHEDULE
	NEW 4-WAY CEILING DIFFUSER —— CFM TYPE -SEE SCHEDULE
	NEW 3-WAY CEILING DIFFUSER —— CFM TYPE -SEE SCHEDULE
	CEILING EXHAUST/RETURN REGISTER ————————————————————————————————————
	DUCT MTD. MANUAL AIR VOLUME DAMPER (W/LOCKING DEVICE)
	MOTORIZED AIR VOLUME DAMPER (WITH ACCESS DOOR)
•	FIRE DAMPER (U.L. APPROVED) & ACCESS DOOR
— EHWS —	EXISTING HOT WATER SUPPLY PIPING
— EHWR—	EXISTING HOT WATER RETURN PIPING
— HWS —	NEW HOT WATER SUPPLY PIPING
— HWR —	NEW HOT WATER RETURN PIPING
—	FLOW DIRECTION WITHIN PIPE
\longrightarrow	SHUT OFF VALVE
EF SIST	EXISTING EXHAUST FAN IDENTIFICATION
CH Exist	EXISTING CABINET HEATER IDENTIFICATION
(4)	NEW CABINET HEATER IDENTIFICATION
FTR EXIST	EXISTING FINNED TUBE RADIATION IDENTIFICATION
Ts	NEW DDC WALL MTD. $(5'-2"+/-$ A.F.F.) TEMPERATURE SENSOR
(T _E)	EXISTING PNEUMATIC THERMOSTAT
SE	EXISTING DDC SENSOR
7	NEW THERMOSTAT
—	POINT OF DISCONNECTION
•	POINT OF CONNECTION, NEW TO EXISTING
	DOOR UNDERCUT BY C.C
→ √ <u>(</u> (<u>)</u>	LOW DOOR LOUVER BY C.C.
CFM	CUBIC FEET PER MINUTE
CD	CEILING DIFFUSER
CR	CEILING REGISTER
BR	BOTTOM WALL REGISTER
TR	TOP WALL REGISTER
FSC	FULL SIZE CONNECTION
 AFF	ABOVE FINISHED FLOOR
OAI	OUTSIDE AIR INTAKE
FC	FLEXIBLE CONNECTION
AD	ACCESS DOOR
Ts	TO ITEM CONTROLLED WALL MOUNTED (5'-2" AFF) TEMPERATURE SENSOR
# *	EXISTING TO REMAIN
(E) (ER)	EXISTING TO REMAIN EXISTING TO BE RELOCATED
(ER) (R)	
(K)	REMOVE EXISTING

MECHANICAL LEGEND

MECHANICAL REMOVAL NOTES:

- (1) THE SCOPE OF REMOVAL SHOWN ON "REMOVALS" DRAWINGS IS DIAGRAMMATIC ONLY AND INDICATES THE INTENT OF THE WORK TO BE PERFORMED AND NOT THE COMPLETE SCOPE OF DEMOLITION AND/OR REMOVAL WORK. IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO REMOVE ANY RELATED MECHANICAL DEVICES EVEN IF NOT SPECIFICALLY INDICATED TO BE REMOVED ON THESE DRAWINGS IN ORDER TO ACCOMMODATE NEW WORK.
- ② DEVICES SHOWN CROSS HATCHED ON DRAWINGS ARE ITEMS TO BE REMOVED. ANY DEVICES REMOVED SHALL INCLUDE (BUT SHALL NOT BE LIMITED TO) THE REMOVAL OF ALL ASSOCIATED PIPING, CONTROLS, ETC. THAT ARE NOT INCORPORATED IN THE NEW LAYOUT, UNTIL SUCH REMOVAL IS COMPLETE. THIS CONTRACTOR SHALL PERFORM ALL WORK REQUIRED TO INSURE CONTINUITY OF SERVICE TO EXISTING REMAINING EQUIPMENT. NO EXTRAS RELATING TO THE SCOPE OF WORK DESCRIBED WILL BE ALLOWED.
- ③ EQUIPMENT, PIPING, ETC., REQUIRED TO RECONNECT SHALL BE INSTALLED CONCEALED WITHIN THE NEW SUSPENDED CEILINGS, PARTITIONS AND/OR WALLS, FLOORS, NO SURFACE MOUNTED OR EXPOSED EQUIPMENT, PIPING, ETC., SHALL BE PERMITTED, UNLESS SPECIFICALLY INDICATED.
- 4) ALL ITEMS TO BE REMOVED SHALL BE REVIEWED WITH THE OWNER PRIOR TO REMOVAL.
 OWNER SHALL HAVE FIRST SALVAGE RIGHTS. ITEMS THE OWNER WISHES TO KEEP SHALL
 BE REMOVED WITH CARE AND STORED AS DIRECTED BY OWNER. ITEMS THE OWNER DOES
 NOT WISH TO KEEP SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.

WORK SCOPE NOTES - KEYED

- MODIFY OPENING AND EXTEND DUCT TO NEW EXHAUST AIR GRILL MOUNTED IN SUSPENDED CEILING AND CENTERED IN TILE. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN AND SPECIFICATIONS.
- WS2) MODIFY AND EXTEND EXISTING DUCTWORK FROM DUCT TO NEW REGISTER/DIFFUSER LOCATIONS
- WS3) PROVIDE NEW SUPPLY DUCT WORK INCLUDING INSULATION AND 2'X2' DIFFUSERS TO MATCH EXISTING.

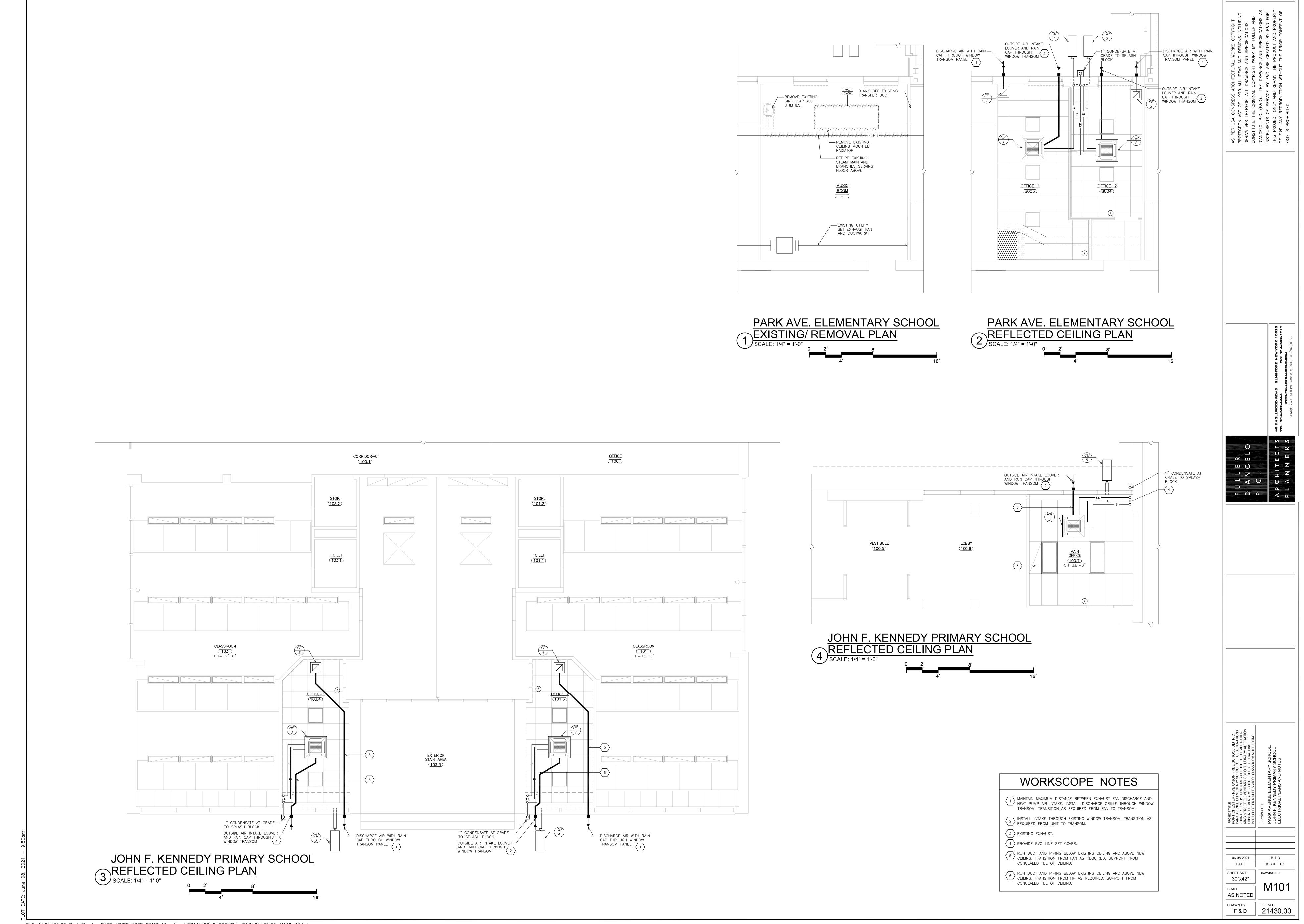
PROJECT TITLE PORT CHESTER - RYE UNION FREE SCHOOL DISTRICT PARK AVENUE ELEMENTARY SCHOOL OFFICE ALTERATIONS JOHN F. KENNEDY ELEMENTARY SCHOOL OFFICE ALTERATIONS KING STREET ELEMENTARY SCHOOL LIBRARY ALTERATION EDISON ELEMENTARY SCHOOL OFFICE ALTERATIONS PORT CHESTER MIDDLE SCHOOL CLASSROOM ALTERATIONS	DRAWING TITLE MECHANICAL LEGENDS, NOTES AND ABBREVIATIONS, PLANS AND SCHEDULES
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DATE	ISSUED TO
SHEET SIZE	DRAWING NO.

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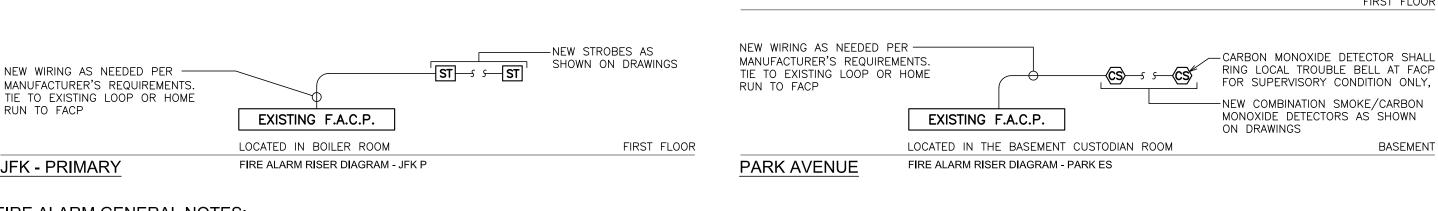
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FIRE ALARM GENERAL NOTES:

- . FIRE ALARM WIRING DIAGRAMS SHOWN ARE FOR GENERAL ARRANGEMENT ONLY. ELECTRICAL CONTRACTOR SHALL VERIFY AND OBTAIN POINT TO POINT WIRING DIAGRAM PRIOR TO INSTALLATION FROM MANUFACTURER.
- PERMITS AND APPROVALS NECESSARY FOR INSTALLATION OF THE WORK SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF THE WORK. ALL PERMIT COSTS AND INSPECTION FEES SHALL BE INCLUDED AS PART OF THIS
- 3. IN AREAS WHERE DUST AND DIRT WILL BE AIRBORNE DURING DEMOLITION AND CONSTRUCTION THE CONTRACTOR SHALL PROVIDE PLASTIC WRAP OVER SMOKE DETECTORS AND THEN REMOVE ONCE SPACE IS
- 4. UNLESS DIRECTED OTHERWISE BY FIRE ALARM SYSTEM MANUFACTURER, FIRE ALARM DEVICE WIRING SHALL BE

BELL WIRING - #16 AWG TESTED STROBE WIRING – #14 AWG TWISTED

AS FOLLOWS (FOR BIDDING PURPOSES ONLY):

- SIGNAL WIRING #14 AWG TWISTED/SHIELDED
- MINIMUM TEMPERATURE RATING OF 150 C MINIMUM AVERAGE INSULATION THICKNESS OF 15 MILS
- MINIMUM AVERAGE JACKET THICKNESS OF 25 MILS THE COLOR OF THE CABLE SHALL BE RED
- THE CABLE SHALL BE A TYPE FPLP (PLENUM TYPE) WHEN CONDUIT IS USED SEE NOTE 5 FOR ADDITIONAL CLARIFICATION THE CABLE SHALL BE VISIBLY MARKED EXTERNALLY THAT IT MEETS THE ABOVE REQUIREMENTS AND IS LISTED
- CONFIRM WIRING TYPE AND QUANTITY WITH FIRE ALARM SYSTEM MANUFACTURER PRIOR TO PURCHASING.

FIRE ALARM RISER DIAGRAM

96" ABOVE FINISHED FLOOR, WHILE MAINTAINING 6" BELOW THE CEILING. DEVICES SHALL BE FLUSH MOUNTED IN ALL FINISHED AREAS. PROVIDE DOUBLE DEEP DEVICE BOX IN WALL.

6. STROBES SHALL HAVE A MINIMUM LIGHT OUTPUT OF 75 CANDELA AND A FLASH RATE OF 1-3 HZ.

5. PROVIDE MC FIRE ALARM CABLE WITH RED STRIPE AS MANUFACTURED BY AFC SERIES 1800 WHEN CABLE IS

CONCEALED OR ABOVE HUNG CEILING. WHEN FIRE ALARM CABLE IS RUN EXPOSED IN FINISHED AREAS, CABLE SHALL RUN IN WIREMOLD V-700. WHEN FIRE ALARM CABLE IS RUN EXPOSED IN UNFINISHED AREAS, PROVIDE

7. WALL MOUNTED HORN/STROBE UNITS SHALL NOT HAVE ANY OTHER DEVICES OR APPURTENANCES WITHIN 5

FEET OF THE DEVICE. THE ENTIRE LENS OF THE UNIT SHALL NOT BE LESS THAN 80", AND NOT GREATER THAN

- 8. SHUTDOWN OF HTE HVAC SYSTEM EQIPMENT (NOT LIMITED TO ROOF TOP, EXHAUST FANS, ETC.) OF 1000 CFM OR GREATER, SHALL BE PERFORMED VIA A RELAY INTERFACE SYSTEM. SEND SIGNAL TO BUILDING OUTOMATED TEMPERATURE CONTROL (ATC) SYSTEM INDICATING SHUTDOWN HAS OCCURRED. eQUIPMENT RESTART SHALL BE BY BUILDING "ATC" SYSTEM UPON FIRE ALARM RESET TO NORMAL MODE. RESTART OF EQUIPMENT SHALL BE
- 9. AFTER THE SYSTEM IS COMPLETE, TEST ALL COMPONENTS IN ACCORDANCE WITH SEQUENCE OF OPERATION PRIOR TO FIRE DEPARTMENT INSPECTION.
- 10. COORDINATE F.A WORK WITH F.A VENDOR.

11. VERIFY EXACT QUANTITIES OF FIRE ALARM DEVICES WITH PLANS.

PLENUM RATED CABLE IN MIN. $\frac{3}{4}$ " CONDUIT.

- 12. ALL DEVICES SHALL BE SUPERVISED AS PER N.F.P.A. 72. PROVIDE END OF LINE RESISTORS AS REQUIRED PER INDIVIDUAL MANUFACTURER. PROVIDE LOAD RELAYS AS REQUIRED FOR PROPER OPERATION OF EQUIPMENT. 13. FIRE SMOKE DAMPERS SHALL BE TIED INTO FORE ALARM SYSTEM TO SHUT DOWN UPON SMOKE DETECTION
- 14. THIS CONTRACTOR IS RESPONSIBLE FOR ALL PROGRAMMING AND MAPPING OF EACH DEVICE AS REQUIRED.

- GENERAL LIGHTING NOTES: A. REFER TO ARCHITECTURAL DRAWINGS FOR THE EXACT LOCATION OF LIGHTING FIXTURES AND
- B. ALL JUNCTION OR OUTLET BOXES SHALL BE INSTALLED SO AS TO ALLOW ACCESS TO COVER. PROVIDE ARCHITECT APPROVED ACCESS DOORS OR PLATES AS REQUIRED IN AREAS WHERE UNOBSTRUCTED ACCESS TO BOX OR OUTLET IS NOT POSSIBLE.
- PRIOR TO ORDERING LIGHTING FIXTURES, COORDINATE WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. IF DISCREPANCIES EXIST BETWEEN ARCHITECTURAL AND ENGINEERING INFORMATION OBTAIN CLARIFICATION PRIOR TO PROCEEDING.
- D. CIRCUIT NUMBERS ARE INDICATED FOR INTENT ONLY. THE ELECTRICAL CONTRACTOR SHALL ADJUST ACCORDINGLY IN THE FIELD TO BALANCE THE CIRCUITS EVENLY ON ALL PHASES.
- E. MULTIPLE SWITCHES SHOWN IN SAME LOCATION SHALL BE GANGED TOGETHER WITH A COMMON
- F. ALL LIGHTING FIXTURES CIRCUITS SHALL BE PROVIDED WITH A DEDICATED NEUTRAL
- G. ALL WIRING SHALL BE IN EMT CONDUIT, FLEXIBLE CABLE IS NOT ALLOWED EXCEPT FOR FINAL CONNECTIONS TO LIGHT FIXTURES.
- H. ALL CIRCUITS SHALL BE SIZED 2#12, #12G, 34"C UNLESS OTHERWISE NOTED.
- ALL 120VAC BRANCH CIRCUITS EXCEEDING 100' IN LENGTH SHALL BE INCREASED TO 2#10,
- #10G, 34"C UNLESS OTHERWISE NOTED. J. ALL DEVICES SHALL BE LABELED WITH SOURCE PANEL AND CIRCUIT NUMBER(S).
- K. ALL OCCUPANCY SENSOR LOCATIONS ARE APPROXIMATE REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS PRIOR TO INSTALLATION. LOCATION AND COVERAGE OF SENSORS
- SHOULD BE REVIEWED WHERE PENDANT MOUNTED FIXTURES ARE PRESENT. CONTRACTOR IS RESPONSIBLE FOR PROPER SENSITIVITY AND TIME DELAY SETTINGS OF
- OCCUPANCY SENSORS, VERIFICATION OF MANUFACTURER'S RECOMMENDED PLACEMENT AND FIELD VERIFICATION OF CIRCUITS WITH RESPECT TO POWER PACK PLACEMENT.
- M. CONTRACTOR IS RESPONSIBLE FOR FINAL COORDINATION OF REQUIRED NUMBER OF POWER 1. A MINIMUM OF ONE POWER PACK IS REQUIRED FOR EACH CIRCUIT THAT IS TO BE CONTROLLED 2. MAXIMUM NUMBER OF OCCUPANCY SENSORS THAT CAN BE WIRED IN PARALLEL TO A SINGLE POWER PACK IS DEPENDENT ON SENSOR MODEL (SEE INDIVIDUAL DATA SHEETS FOR POWER CONSUMPTION DATA).

GENERAL POWER NOTES:

- A. REFER TO ARCHITECTURAL DRAWINGS FOR THE EXACT LOCATION AND MOUNTING HEIGHTS OF ALL DEVICES AND OUTLETS.
- RECEPTACLES SHALL BE CIRCUITED IN ACCORDANCE WITH CIRCUIT NUMBER INDICATED ADJACENT TO EACH DEVICE. CIRCUITRY MAY BE SHOWN IN CERTAIN INSTANCES.
- ALL RECEPTACLES SPECIFIED FOR PERSONAL COMPUTERS, LASER PRINTERS AND SIMILAR TYPES OF EQUIPMENT SHALL BE PROVIDED WITH A SEPARATE NEUTRAL AND GROUND CONDUCTOR. SHARED NEUTRAL CONDUCTORS FOR THESE HOME RUNS ARE NOT PERMITTED.
- THE ELECTRICAL CONTRACTOR SHALL CONFIRM THE CONFIGURATION TYPE FOR ALL SPECIAL RECEPTACLES FOR COPIERS, DATA PROCESSING EQUIPMENT. ETC. WITH OWNER AND ENGINEER
- CIRCUIT NUMBERS ARE INDICATED FOR INTENT ONLY. THE ELECTRICAL CONTRACTOR SHALL
- ADJUST ACCORDINGLY IN THE FIELD, TO BALANCE THE CIRCUITS EVENLY ON ALL PHASES. F. EXACT LOCATION OF MECHANICAL EQUIPMENT SHALL BE COORDINATED IN THE FIELD.
- G. ALL WIRING SHALL BE RUN IN EMT CONDUIT. FLEXIBLE CABLE IS NOT ALLOWED.
- H. MECHANICAL EQUIPMENT IS LOCATED ABOVE THE HUNG CEILING UNLESS OTHERWISE NOTED. EXACT LOCATION SHALL BE DETERMINED FROM MECHANICAL DRAWINGS.
- ALL RECEPTACLES SHALL BE GROUND FAULT INTERRUPTING TYPE.
- ALL CIRCUITS SHALL BE SIZED 2#12, #12G, ¾"C AND SHALL NE CONNECTED TO A NEW 20A-1P CIRCUIT BREAKER IN SOURCE PANEL INDICATED UNLESS OTHERWISE NOTED.
- K. ALL 120VAC BRANCH CIRCUITS EXCEEDING 100' IN LENGTH SHALL BE INCREASED TO \(\frac{1}{40} \), #10G,
- 34"C UNLESS OTHERWISE NOTED. L. ALL DEVICES SHALL BE LABELED WITH SOURCE PANEL AND CIRCUIT NUMBER(S).

GENERAL NOTES:

DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK. CONTRACTOR SHALL FURNISH ALL NECESSARY OUTLETS, SUPPORTS, FITTINGS AND ACCESSORIES TO FULFILL APPLICABLE CODES, REGULATIONS, BUILDING STANDARDS AND THE BEST PRACTICES OF THE TRADE FOR FIRST CLASS ELECTRICAL INSTALLATION.

ACTIVATION. PROVIDE ALL WIRING, RELAYS, ETC. AS REQUIRED FOR COMPLETE INSTALLATION.

- THE DRAWINGS INDICATE SIZE AND GENERAL LOCATION OF WORK. SCALED DIMENSIONS SHALL NOT BE USED. THE EXACT LOCATION AND ELEVATION OF ALL ELECTRICAL EQUIPMENT SHALL BE COORDINATED IN FIELD WITH RESPECTIVE
- WHERE PANELBOARDS, SWITCHES, CIRCUIT BREAKERS, ETC. ARE EXISTING AND TO BE REUSED THE CONTRACTOR SHALL CLEAN AND REFURBISH THE EQUIPMENT. THIS SHALL INCLUDE TIGHTENING ALL CONNECTIONS, REPLACING DEFECTIVE MECHANISMS AND PROVIDING ALL REQUIRED AND NECESSARY MISCELLANEOUS COMPONENTS SO THAT THE EQUIPMENT SHALL
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO SUBMISSION OF BID TO DETERMINE WHAT WORK MUST BE PERFORMED AFTER NORMAL BUSINESS HOURS. UNLESS OTHERWISE DIRECTED ANY NOISY WORK (CHOPPING, CORE DRILLING, HAMMERING, ETC.) AND BUILDING POWER INTERRUPTIONS SHALL BE PERFORMED OUTSIDE OF NORMAL BUSINESS HOURS. CONFIRM NORMAL BUSINESS HOURS WITH BUILDING OWNER. NO ADDITIONAL COST WILL BE CHARGED TO OWNER FOR WORK PERFORMED OUTSIDE NORMAL BUSINESS HOURS.
- 5. ALL WORK SHOWN DARK/SOLID ON THE DRAWINGS IS NEW UNLESS OTHERWISE NOTED AND SHOWN DOTTED WITH OR WITHOUT LETTER (E) IS EXISTING TO REMAIN, WITH HATCH LINES WITH OR WITHOUT LETTER (R) IS EXISTING TO BE REMOVED.
- 6. CIRCUIT NUMBERS TO EXISTING PANELS ARE SHOWN FOR INTENT ONLY. ACTUAL CIRCUIT NUMBERS TO BE USED SHALL BE AS PER FIELD CONDITIONS BY UTILIZING SPARE CIRCUITS BREAKERS OR SPACES IN EXISTING PANEL, SIZE AS INDICATED ON THE PLANS. THE ELECTRICAL CONTRACTOR SHALL BALANCE LOAD OF CIRCUITS EVENLY ON ALL PHASES.
- FEEDERS AND BRANCH CIRCUITRY SHALL BE RUN IN CONDUIT MINIMUM ¾" CONDUIT UNLESS OTHERWISE NOTED. FINAL CONNECTIONS TO MOTORS MAY BE DONE WITH FLEXIBLE METALLIC CONDUIT (NO LONGER THAN 18"). IN UNFINISHED AREA
- CONDUIT SHALL BE RUN EXPOSED AND IN FINISHED AREAS CONDUIT SHALL BE RUN CONCEALED. 8. PROVIDE PANEL NAME PLATE MADE OF BLACK LAMINATED PLASTIC WITH WHITE ENGRAVED LETTERING AND TYPE WRITTEN
- DIRECTORY FOR ALL EXISTING PANEL BEING USED FOR THIS PROJECT. 9. ALL CONDUCTORS SHALL BE COPPER, TYPE THHN/THWN INSULATED. ALL CONDUCTORS SHALL HAVE 600 VOLT RATED
- INSULATION UNLESS OTHERWISE NOTED. 1. REFER TO ARCHITECT'S REFLECTED CEILING PLAN FOR EXACT LOCATION OF ALL CEILING MOUNTED LIGHTING FIXTURES AND
- OTHER CEILING INSTALLED ITEMS. 12. THE USE OF FLEXIBLE CONDUIT FROM LIGHTING FIXTURES TO JUNCTION BOX IS PERMITTED ONLY WHEN A SEPARATE
- GROUND WIRE IS INSTALLED WITH THE CONDUCTORS INSIDE FLEXIBLE CONDUIT. THE GROUND WIRE MUST BOND THE FIXTURE HOUSING TO THE JUNCTION BOX. MAXIMUM LENGTH 6'-0".
- 13. EXACT LOCATION AND MOUNTING HEIGHTS OF ALL WIRING DEVICES SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO THE INSTALLATION.
- 14. WALL MOUNTED EQUIPMENT (SWITCHES, RECEPTACLES, ETC.,) SHALL BE SURFACE MOUNTED IN UNFINISHED AREAS AND ON EXISTING CONCRETE BLOCK WALLS. 16. CONDUIT RUNS SHALL BE PARALLEL WITH OR AT RIGHT ANGLES TO WALLS AND CEILINGS. CONDUIT SHALL BE SUPPORTED

BY APPROVED MEANS. SUPPORTS FOR HORIZONTAL RUNS OF CONDUIT SHALL NOT EXCEED SEVEN FEET ON CENTERS.

- 17. PROVIDE PULL BOXES, JUNCTION BOXES, CONDUIT ELBOWS AND OFFSETS TO SUIT FIELD CONDITIONS AND THE NATIONAL
- 18. CONTRACTOR SHALL COORDINATE WITH THE FIRE DEPARTMENT AND F.A. VENDOR BEFORE PROCEEDING WITH WORK INVOLVING FIRE ALARM SYSTEM. 20. ALL EMPTY CONDUIT SHALL BE PROVIDED WITH A DRAGWIRE.
- 21. THE MINIMUM WIRE SIZE FOR 120 VOLT BRANCH CIRCUITS SHALL BE NO. 12 AWG, EXCEPT OVER 100' IN LENGTH SHALL BE NO. 10 AWG.
- 22. PROVIDE ALL REQUIRED AND NECESSARY ACCESSORIES (EX. CONNECTORS, ADAPTERS, BUSHINGS, CLAMPS, ETC.) TO
- 23. THE ELECTRICAL CONTRACTOR SHALL CONFIRM THE CONFIGURATION TYPE FOR ALL SPECIAL RECEPTACLES FOR X-RAY MACHINE, DATA PROCESSING EQUIPMENT. ETC. WITH OWNER PRIOR TO ORDERING.
- 24. COORDINATE LOCATION OF ALL MECHANICAL EQUIPMENT WITH HVAC CONTRACTOR IN FIELD. FUSES FOR ALL MOTOR LOADS 25. ALL RECEPTACLES SPECIFIED FOR PERSONAL COMPUTERS, LASER PRINTERS AND SIMILAR TYPES OF EQUIPMENT SHALL BE
- ISOLATED GROUND TYPE COLOR ORANGE AND PROVIDED WITH A SEPARATE NEUTRAL AND GROUND CONDUCTOR. THIS IS TO COMPENSATE FOR HARMONIC CURRENTS. SHARED NEUTRAL CONDUCTORS FOR THESE HOMERUNS ARE NOT PERMITTED. 26. ALL JUNCTION OR OUTLET BOXES SHALL BE INSTALLED SO AS TO ALLOW ACCESS TO COVER. PROVIDE ARCHITECT APPROVED ACCESS DOORS OR PLATES AS REQUIRED IN AREAS WHERE UNOBSTRUCTED ACCESS TO BOX OR OUTLET IS NOT POSSIBLE.
- 27. PRIOR TO ORDERING LIGHTING FIXTURES, COORDINATE WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. IF DISCREPANCIES EXIST BETWEEN ARCHITECTURAL AND ENGINEERING INFORMATION OBTAIN CLARIFICATION PRIOR TO PROCEEDING. 28. MULTIPLE SWITCHES SHOWN IN SAME LOCATION SHALL BE GANGED TOGETHER WITH A COMMON FACEPLATE.
- 29. ALL LIGHTING FIXTURES UTILIZING ELECTRONIC BALLASTS SHALL BE PROVIDED WITH A DEDICATED NEUTRAL OR AN OVERSIZED NEUTRAL WHEN SHARED.
- FIXTURE TO SERVE AS NITE LIGHT AND SHALL NOT BE SWITCHED. PROVIDE UNSWITCHED HOT LEG FOR BATTERY CHARGER REGARDLESS OF FUNCTION. ALL EMERGENCY AND EMERGENCY/NITE LIGHT FIXTURES SHALL REVERT TO BATTERY OPERATION UPON INTERRUPTION OF NORMAL POWER AND ILLUMINATE REGARDLESS OF LIGHT SWITCH POSITION.

30. ALL EMERGENCY LIGHT FIXTURES DESIGNATED 'EM' SHALL BE SWITCHED UNLESS DESIGNATED WITH 'EM/NL' WHICH INDICATES

- 31. PRIOR TO ANY CHASING, CHOPPING OR CORE DRILLING IS PERFORMED, THE CONTRACTOR SHALL FIELD INVESTIGATE CONDITIONS AND COORDINATE ALL WORK TO ENSURE THAT IT WILL BE IN HARMONY AND NOT AFFECT ANY EXISTING BUILDING
- T SYSTEMS. THIS WORK MUST BE APPROVED BY BUILDING OWNER PRIOR TO PROCEEDING. 32. 29. OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE RESISTANCE RATED WALLS, PARTITIONS, FLOORS OR CEILINGS SHALL BE FIRE STOPPED USING APPROVED METHODS. ALL SLEEVES MUST HAVE BUSHINGS. SEALANT SHALL BE 3
- HOUR FIRE BARRIER #CP-25 (NO LESS THAN 3' THICK BACKED UP WITH MINERAL WOOL). 33. PREPARE 'AS-BUILT' TRACINGS SHOWING ALL CHANGES IN WIRE SIZE, CIRCUIT NUMBERING, CIRCUIT ROUTING, EQUIPMENT
- LOCATIONS AND ALL ELECTRICAL WORK AS ACTUALLY INSTALLED. 34. LIGHT FIXTURES SHALL BE CONSTRUCTED TO SUIT PARTICULAR TYPE OF CEILING AND WALL CONSTRUCTION AND SHALL BE

PROVIDED WITH APPROPRIATE TRIMS, MOUNTING FRAMES AND ADAPTERS AS REQUIRED.

			LIGHTING FIXTURE SCHEDULE	
TYPE	MOUNTING	LAMPS	DESCRIPTION	MANUFACTURER & CAT. #
	RECESSED	29W LED UNV.	RECESSED 2'x2' ARCHITECTURAL LED FIXTURE WITH FROSTED ACRYLIC LENS, 2880 LUMENS, 3500K COLOR TEMPERATURE	LSI LIGHTING CAT.# LPEC22-LED-SS-WW-UE
O B	RECESSED	25W LED 120V	RECESSED LED 4" APERTURE DOWN LIGHT, WITH 21,35 LUMEN, 3500K, CLEAR REFLECTOR.	PEACHTREE LIGHTING CAT.# 4BLRD-20-35K-80-W-RPA-TRW-120
-	-	_	1	_
O _B		LED UNV. 25W LED	ACRYLIC LENS, 2880 LUMENS, 3500K COLOR TEMPERATURE RECESSED LED 4" APERTURE DOWN LIGHT, WITH 21,35 LUMEN,	CAT.# LPEC22-LED-SS-WW-UE PEACHTREE LIGHTING

REMOVAL NOTES

- BEFORE COMMENCING WORK, EXAMINE ALL ADJOINING AREAS THAT MAY BE AFFECTED BY REMOVAL. REPORT TO THE GENERAL CONTRACTOR ANY CONDITION THAT PREVENTS PERFORMANCE OF THE WORK. BECOME THOROUGHLY FAMILIAR WITH EXISTING CONDITIONS WHERE CONNECTIONS MUST BE MADE, CHANGED OR ALTERED. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREINAFTER AND NO CONSIDERATION WILL BE GRANTED BY REASON OF LACK OF FAMILIARITY ON THE PART
- . ALL EXISTING ELECTRICAL EQUIPMENT ARE TO BE REMOVED UNLESS OTHERWISE NOTED. THIS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

OF THE CONTRACTOR WITH ACTUAL PHYSICAL CONDITIONS AT THE SITE. INSPECT EACH AND EVERY AREA AFFECTED BY THE ALTERATION OF THE SPACE

. MECHANICAL EQUIPMENT DISCONNET INCLUDING DICONNECT SWITCHES.

SYSTEM IN WORKING ORDER THROUGHOUT THE NEW INSTALLATION.

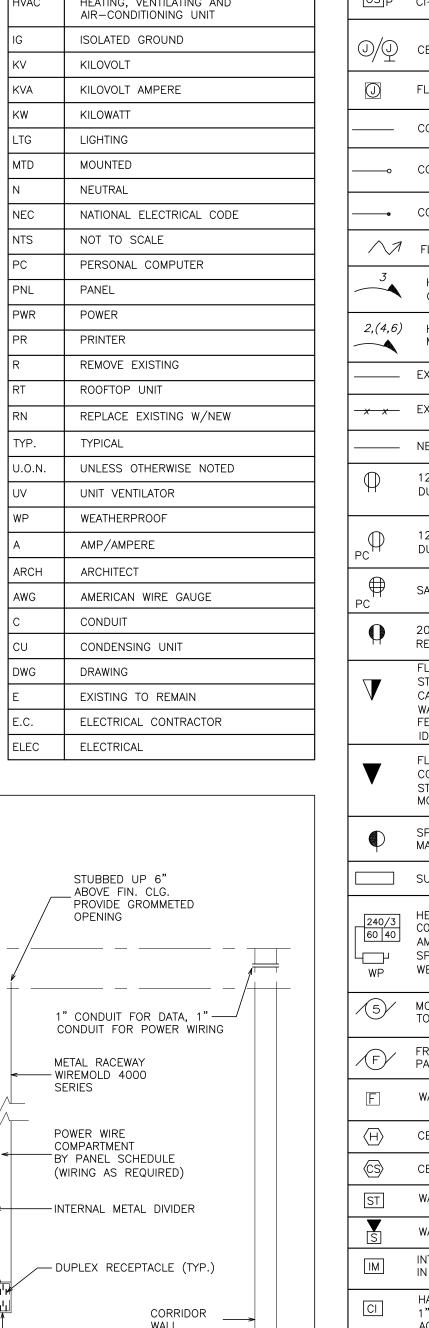
- CONDUIT AND WIRE. WIRING DEVICES. E. F.A. DEVICES.
- F. P.A. SYSTEM DEVICES. G. TEL AND DATA DEVICES AND/OR EQUIPMENT.
- F. ALL CONDUIT AND CONDUCTORS ASSOCIATED WITH THE ELECTRICAL EQUIPMENT TO BE REMOVED, SHALL BE DISCONNECTED COMPLETELY BACK TO ITS POWER SOURCE.
- ALL POWER CONDUCTORS, CONTROL WIRING AND CONDUIT ASSOCIATED WITH MECHANICAL EQUIPMENT SUCH AS FANS, AIR CONDITIONING UNITS, PUMPS, ETC. DESIGNATED FOR REMOVAL ON THE HVAC AND PLUMBING REMOVAL DRAWINGS SHALL BE DISCONNECTED AND REMOVED CLEAR BACK TO THE POWER SOURCE. ALL MOTOR STARTERS, DISCONNECT SWITCHES, CONTROL DEVICES, ETC. SHALL BE REMOVED. REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 6. CIRCUIT BREAKERS AND/OR SWITCHES IN PANELBOARD(S) OR DISTRIBUTION BOARD(S) MADE SPARE DUE TO DEMOLITION SHALL BE DESIGNATED AS SUCH ON THE PANEL DIRECTORY.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO TRACE AND RELOCATE ALL EXISTING FEEDERS AND BRANCH CIRCUIT WIRING WHICH PASSES THROUGH THE DEMOLITION AREA THAT SERVE EXISTING OCCUPIED SPACES TO REMAIN. COORDINATE WITH BUILDING OWNER PRIOR TO ANY SHUTDOWNS OR DISRUPTIONS THAT MAY BE REQUIRED TO ACCOMPLISH THIS WORK.
- 8. DISPOSE OF ALL REMOVED EQUIPMENT, WHICH IS NOT INTENDED TO BE REUSED WITH CONSENT OF BUILDING OWNER.
- D. EXISTING CIRCUIT BREAKERS AVAILABLE IN EXISTING PANEL(S) ARE TO BE REUSED. ELECTRICAL CONTRACTOR SHALL PROVIDE NEW CIRCUIT BREAKERS IN AVAILABLE SPACES AS SHOWN AT HOME RUNS ON THE DRAWING. 10. EXISTING EQUIPMENT DESIGNATED FOR REUSE SHALL BE CLEANED, REFURBISHED AND RESTORED TO OPTIMUM PERFORMANCE. THIS SHALL INCLUDE BUT NOT LIMITED TO CLEANING OF LIGHT FIXTURES, REPLACEMENT OF INOPERABLE BALLASTS AND LAMPS, RESISTANCE TESTING OF BRANCH CIRCUITRY AND
- 1. EXTEND EXISTING CIRCUITRY TO THOSE DEVICES THAT ARE TO BE RELOCATED. MATCH EXISTING TYPE AND SIZE. RELOCATION OF EXISTING EQUIPMENT SHALL BE PERFORMED ONLY UPON OWNERS ACCEPTANCE OF EXISTING EQUIPMENT.

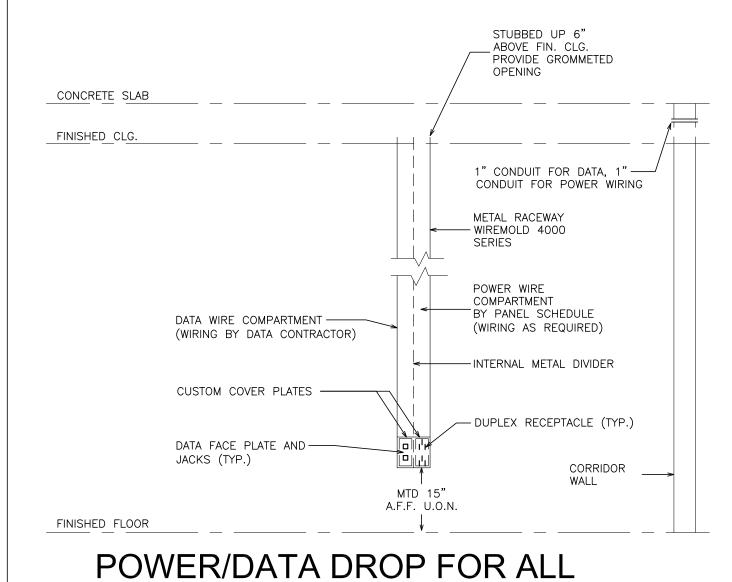
3. REMOVE EXISTING FACP IN ITS ENTIRETY, ONLY AFTER NEW FACP IS INSTALLED AND TESTED FOR 100% OPERATIONAL. KEEP EXISTING FIRE ALARM

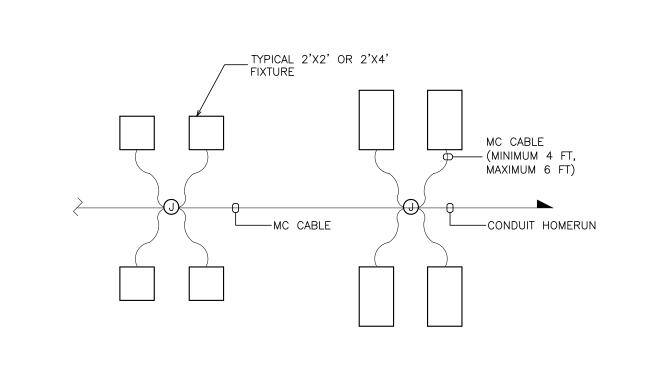
2. ELECTRICAL CONTRACTOR SHALL MAINTAIN CONTINUITY OF CIRCUIT FOR EXISTING EQUIPMENT AND DEVICES THAT ARE TO REMAIN. WHERE OUTLETS ARE REMOVED AND NOT AT THE CIRCUIT END, EXTEND CIRCUITRY AS REQUIRED TO MAINTAIN INTEGRITY OF ORIGINAL CIRCUIT. WHERE A WIRING DEVICE IS TO BE REMOVED AND THAT WALL IS TO REMAIN, THE ELECTRICAL CONTRACTOR SHALL REMOVE BRANCH CIRCUITRY FROM ITS SOURCE AND FILL IN OUTLET

ABBV.	DESCRIPTION
EM	EMERGENCY
ER	EXISTING TO BE RELOCATED
EXIST.	EXISTING
FA	FIRE ALARM
F.A.C.P.	FIRE ALARM CONTROL PANEL
F.B.0	FURNISHED BY OTHERS
FDR	FEEDER
GFI	GROUND FAULT INTERRUPTER
Н	HOT (PHASE)
H.P.	HORSEPOWER
HR	HOME RUN
HVAC	HEATING, VENTILATING AND AIR—CONDITIONING UNIT
IG	ISOLATED GROUND
KV	KILOVOLT
KVA	KILOVOLT AMPERE
KW	KILOWATT
LTG	LIGHTING
MTD	MOUNTED
N	NEUTRAL
NEC	NATIONAL ELECTRICAL CODE
NTS	NOT TO SCALE
PC	PERSONAL COMPUTER
PNL	PANEL
PWR	POWER
PR	PRINTER
R	REMOVE EXISTING
RT	ROOFTOP UNIT
RN	REPLACE EXISTING W/NEW
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
UV	UNIT VENTILATOR
WP	WEATHERPROOF
A	AMP/AMPERE
ARCH	ARCHITECT
AWG	AMERICAN WIRE GAUGE
С	CONDUIT
CU	CONDENSING UNIT
DWG	DRAWING
E	EXISTING TO REMAIN
	ELECTRICAL CONTRACTOR

EM	EMERGENCY
ER	EXISTING TO BE RELOCATED
EXIST.	EXISTING
FA	FIRE ALARM
F.A.C.P.	FIRE ALARM CONTROL PANEL
F.B.O	FURNISHED BY OTHERS
FDR	FEEDER
GFI	GROUND FAULT INTERRUPTER
Н	HOT (PHASE)
H.P.	HORSEPOWER
HR	HOME RUN
HVAC	HEATING, VENTILATING AND AIR—CONDITIONING UNIT
IG	ISOLATED GROUND
KV	KILOVOLT
KVA	KILOVOLT AMPERE
KW	KILOWATT
LTG	LIGHTING
MTD	MOUNTED
N	NEUTRAL
NEC	NATIONAL ELECTRICAL CODE
NTS	NOT TO SCALE
PC	PERSONAL COMPUTER
PNL	PANEL
PWR	POWER
PR	PRINTER
R	REMOVE EXISTING
RT	ROOFTOP UNIT
RN	REPLACE EXISTING W/NEW
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
UV	UNIT VENTILATOR
WP	WEATHERPROOF
А	AMP/AMPERE
ARCH	ARCHITECT
AWG	AMERICAN WIRE GAUGE
С	CONDUIT
CU	CONDENSING UNIT
DWG	DRAWING
E	EXISTING TO REMAIN
E.C.	ELECTRICAL CONTRACTOR
ELEC	ELECTRICAL



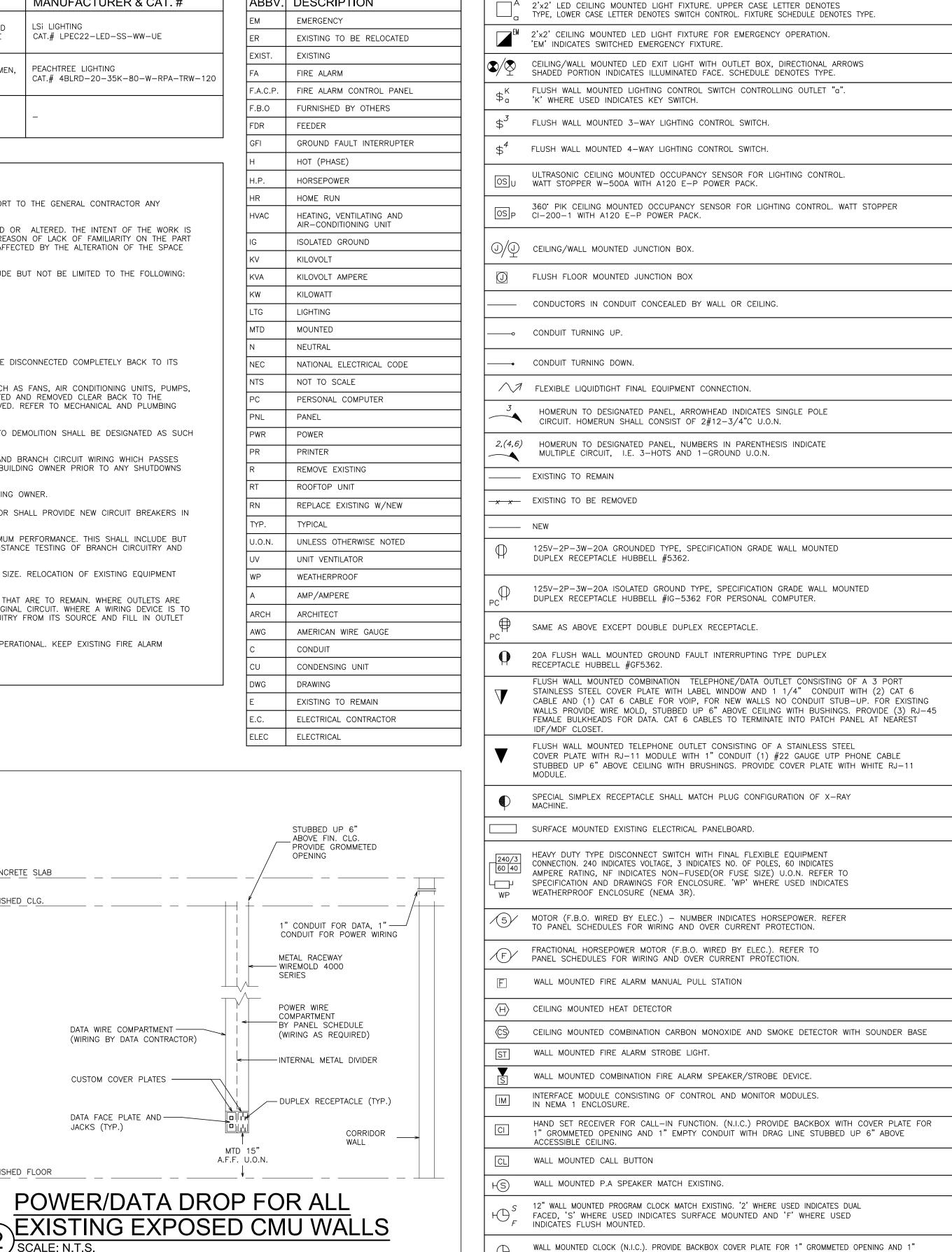




1. LIGHTING FIXTURES SHALL BE CIRCUITED IN ACCORDANCE WITH CIRCUITING AS INDICATED ON THE LIGHTING DRAWINGS.

SCALE: N.T.S.

TYPICAL LIGHTING FIXTURE CIRCUITING DETAIL



SYMBOL LIST

ECTURALIDEAS ANINGS AN RIGHT WC WINGS A THE FOUT

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L O L

DISPOSAL OF MERCURY CONTAINING LAMPS

- EQUIPMENT NUMBER

- DRAWING NUMBER

— DETAIL/PART PLAN NUMBER

REFER TO DRAWINGS FOR ADDITIONAL INFORMATION.

MECHANICAL EQUIPMENT IDENTIFICATION:

DETAIL/PART PLAN NUMBER IDENTIFICATION:

ALL FLUORESCENT AND HID LAMPS WITHIN REMOVED LIGHT FIXTURES ARE CONSIDERED MERCURY CONTAINING AND SHALL BE TREATED AS HAZARDOUS MATERIAL.

EMPTY CONDUIT WITH DRAGLINE STUBBED UP 6" ABOVE ACCESSIBLE CEILING.

COMMUNICATION WIRING. REFER TO DRAWINGS FOR ADDITIONAL INFORMATION.

TAG SYMBOL. NUMERAL DENOTES REFERENCE TO A WORK NOTE.

| (s) | flush wall mounted combination clock and speaker. Match existing system.

SURFACE MOUNTED WIREMOLD V700 FOR EITHER RECEPTACLE OR COMMUNICATION WIRING.

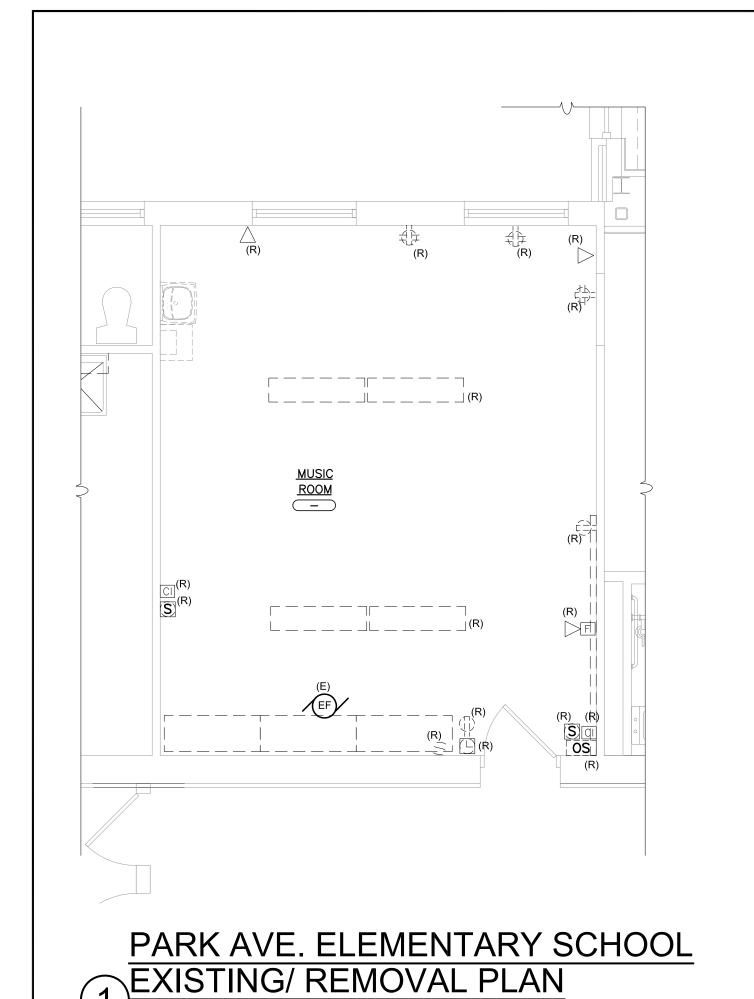
- EQUIPMENT ABBREVIATION (FE, SF, HV, ETC. SEE ABBREVIATIONS ON THIS DWG.)

SURFACE MOUNTED WIREMOLD SERIES 4000 CONTAINING RECEPTACLE CIRCUITS AND

- 2. FLUORESCENT AND HID LAMPS SHALL BE REMOVED FROM DEMOLISHED LIGHT FIXTURES AND DISPOSED OF AS PER NEW YORK STATE DEC REGULATIONS AND METHODS.
- 3. LAMPS MUST BE BAGGED IN NON-LEACHING PLASTIC BAGS AND SEALED TO PREVENT LEAKING. 4. EACH LAMP OR BAGGED CONTAINER IN WHICH THESE LAMPS ARE CONTAINED MUST BE LABELED OR MARKED CLEARLY WITH ONE OF THE FOLLOWING PHRASES; UNIVERSAL WASTE LAMPS, OR WASTE LAMPS, OR USED LAMPS.
- 5. THESE MARKED BAGS MUST BE DELIVERED TO THE PROPER NEW YORK STATE D.E.C. AUTHORIZED LANDFILL OR RECYCLE CENTERS.

06-08-2021 BIDDATE ISSUED TO SHEET SIZE 30"x42" SCALE AS NOTED DRAWN BY FILE NO. 21430.00 F&D

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UNLESS OTHERWISE NOTED, EXISTING LIGHTING, RECEPTACLE, FIRE ALARM AND DATA

FOR RE-USE. REFER TO NEW WORK PLAN FOR ADDITIONAL WORK DETAILS.

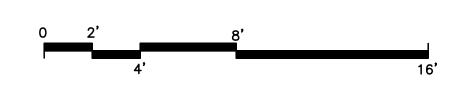
OUTLETS TO BE REMOVED FOR THIS AREA. EXISTING CIRCUIT WIRING TO BE SAFED-OFF

CONNECT NEW RECEPTACLES TO EXISTING CIRCUITS MADE AVAILABLE DURING DEMOLITION.

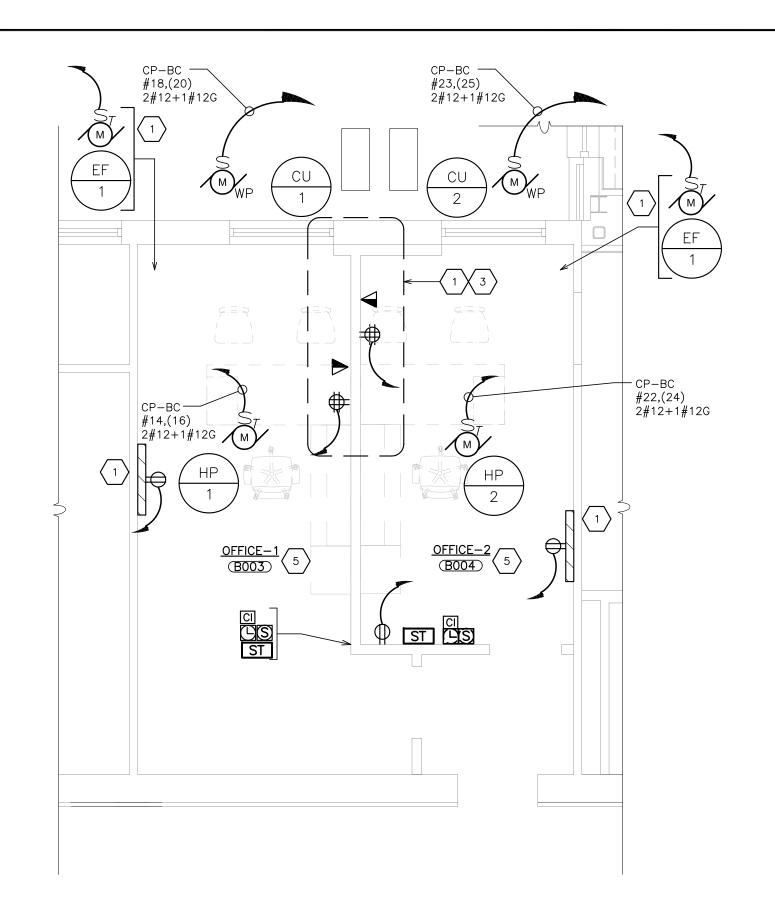
PARK AVE. ELEMENTARY SCHOOL REFLECTED CEILING PLAN (LIGHTING)

SCALE: 1/4" = 1'-0"

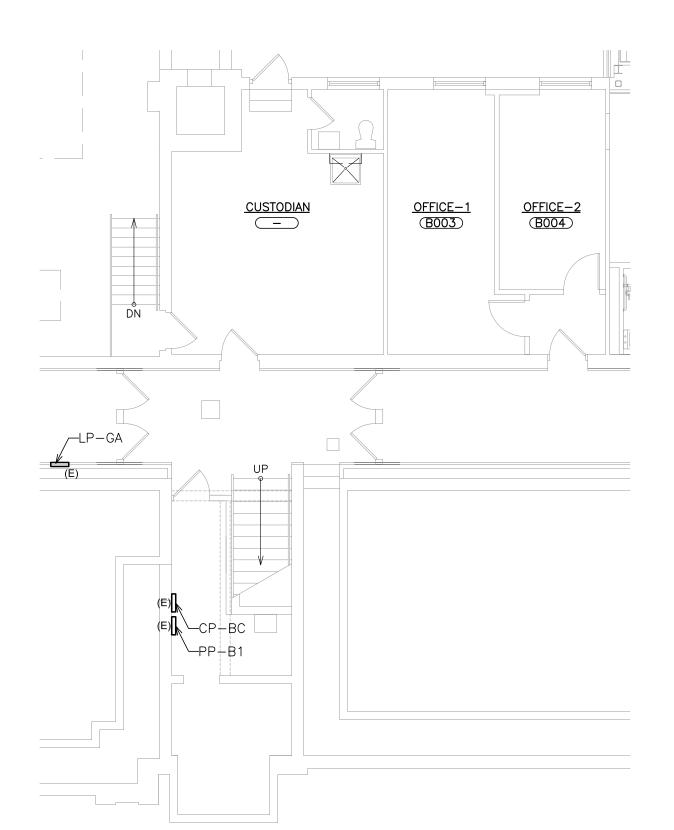
 CONNECT NEW NORMAL LIGHTING FOR THIS AREA TO EXISTING LIGHTING CIRCUITS MADE AVALABLE DURING DEMOLITION. PROVIDE NEW SWITCHING AS INDICATED. EXTEND CIRCUIT'S CONDUIT AND WIRING AS REQUIRED.



OFFICE-2



PARK AVE. ELEMENTARY SCHOOL



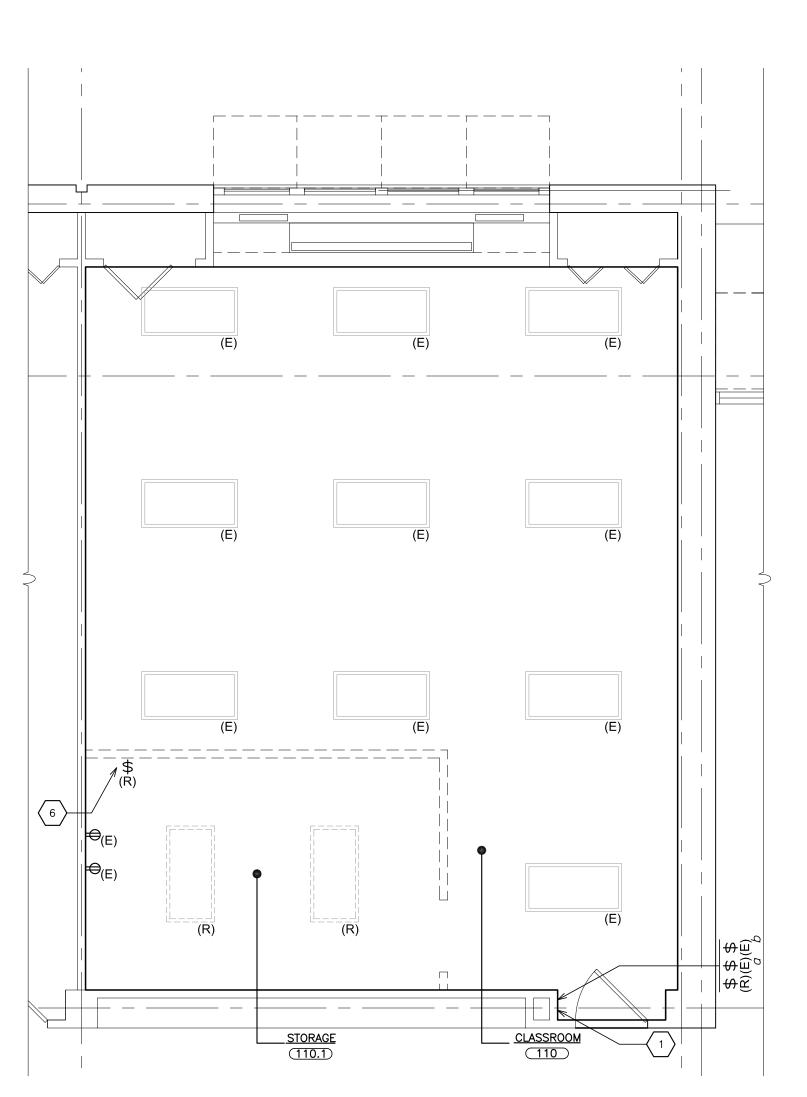
PARK AVE. ELEMENTARY SCHOOL BASEMENT PLAN

SCALE: 1/8" = 1'-0"

 CONNECT TO EXISTING PANEL BOARD CP-BC TO EXISTING SPACES. CIRCUIT NUMBERS AND PANEL DESIGNATION ARE SHOWN FOR CONTRACTORS GUIDANCE $\left\langle \right.$ 5 $\left. \right\rangle$ ONLY. PROVIDE ALL REQUIRED AND NECESSARY ACCESSORIES.

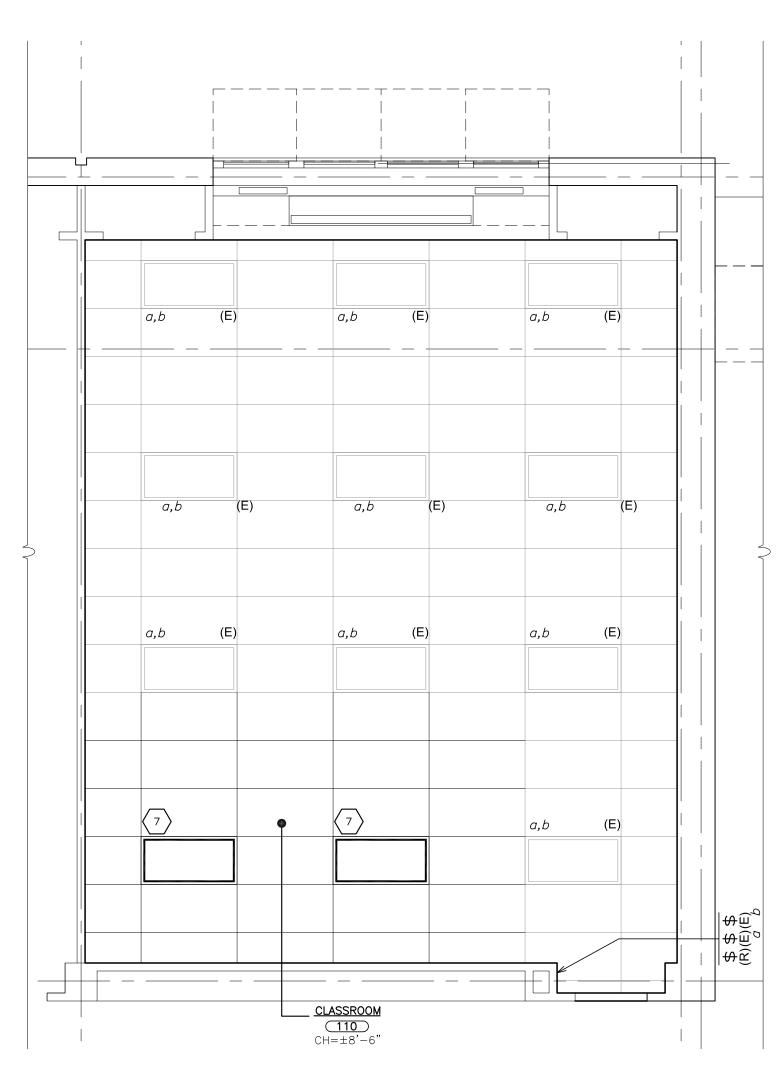
KEY NOTES

- (1) CONTRACTOR SHALL USE EXISTING CIRCUIT MADE AVAILABLE BY REMOVALS IN THE ROOM, PROVIDE 2#12 + 1#12G - 3/4"C AS
- 2 CIRCUIT NEW LIGHTING FIXTURE TO EXISTING CORRIDOR LIGHTING CIRCUIT.
- $\overline{3}$ coordinate final locations with furniture layout. 4 CONNECT NEW LIGHTING FOR THIS AREA TO EXISTING LIGHTING CIRCUITS MADE AVAILABLE DURING DEMOLITION. PROVIDE NEW SWITCHING AS INDICATED. EXTEND CIRCUITS, CONDUIT AND WIRING AS
- WHERE NEW CIRCUIT BREAKERS ARE ADDED TO EXISTING PANEL BOARDS, UPDATE THE EXISTING DIRECTORY TO CLEARLY IDENTIFY
 - THE LOADS SERVED. 2. BRANCH CIRCUIT BREAKERS SHALL MATCH EXISTING
- MANUFACTURER AND A/C RATING. 3. MAINTAIN CORRECT PHASE SEQUENCE OF ALL FEEDERS AND CIRCUITS WITH PHASE IDENTIFICATION THROUGHOUT. REARRANGE CIRCUIT IN PANEL BOARDS TO BALANCE THE PHASE LOADS
- 4. WHERE EXISTING PANEL BOARDS DO NOT HAVE SPARE CIRCUITS FOR NEW WORK, PROVIDE SUB-PANEL PER ALLOWANCE SECTION OF THE PROJECT SPECIFICATIONS.
- \langle 6 \rangle REMOVE FAN AND FAN CONTROL SWITCH.
- CONNECT NEW LIGHTING FOR THIS AREA TO EXISTING LIGHTING CIRCUITS MADE AVAILABLE DURING DEMOLITION. PROVIDE NEW SWITCHING AS INDICATED. EXTEND CIRCUITS, CONDUIT AND WIRING AS REQUIRED. OWNER TO FURNISH LIGHTING FIXTURES FOR CONTRACTOR TO INSTALL. MATCH EXISTING DUAL SWITCHING.



PORT CHESTER MIDDLE SCHOOL EXISTING/ REMOVAL PLAN SCALE: 1/4" = 1'-0"

 UNLESS OTHERWISE NOTED, EXISTING LIGHTING, RECEPTACLE, FIRE ALARM AND DATA OUTLETS TO BE REMOVED FOR THIS AREA. EXISTING CIRCUIT WIRING TO BE SAFED-OFF FOR RE-USE. REFER TO NEW WORK PLAN FOR ADDITIONAL WORK DETAILS. CONNECT NEW RECEPTACLES TO EXISTING CIRCUITS MADE AVAILABLE DURING DEMOLITION.



PORT CHESTER MIDDLE SCHOOL REFLECTED CEILING PLAN (LIGHTING)

SCALE: 1/4" = 1'-0"

06-08-2021 BID DATE ISSUED TO SHEET SIZE 30"x42" SCALE AS NOTED

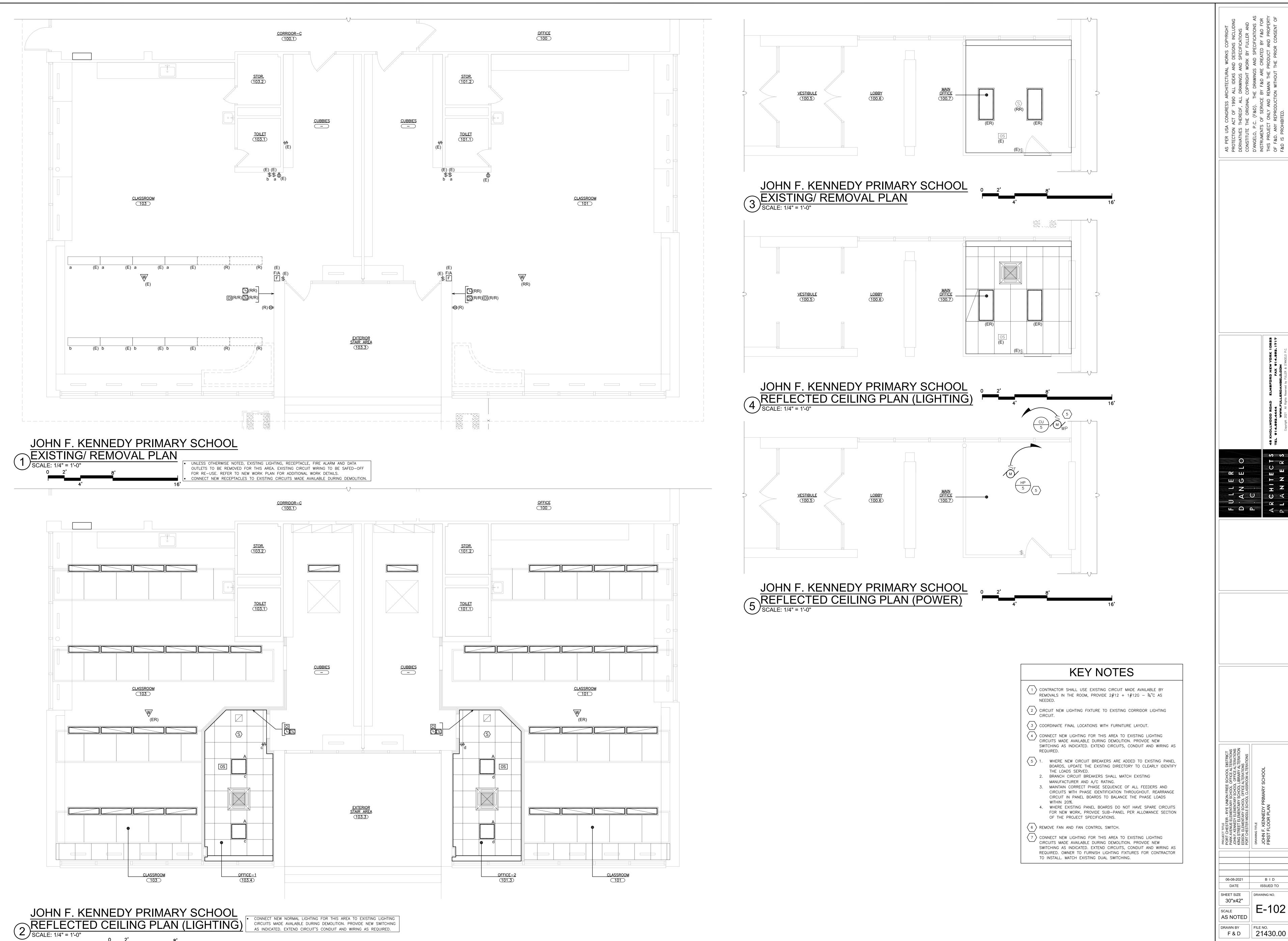
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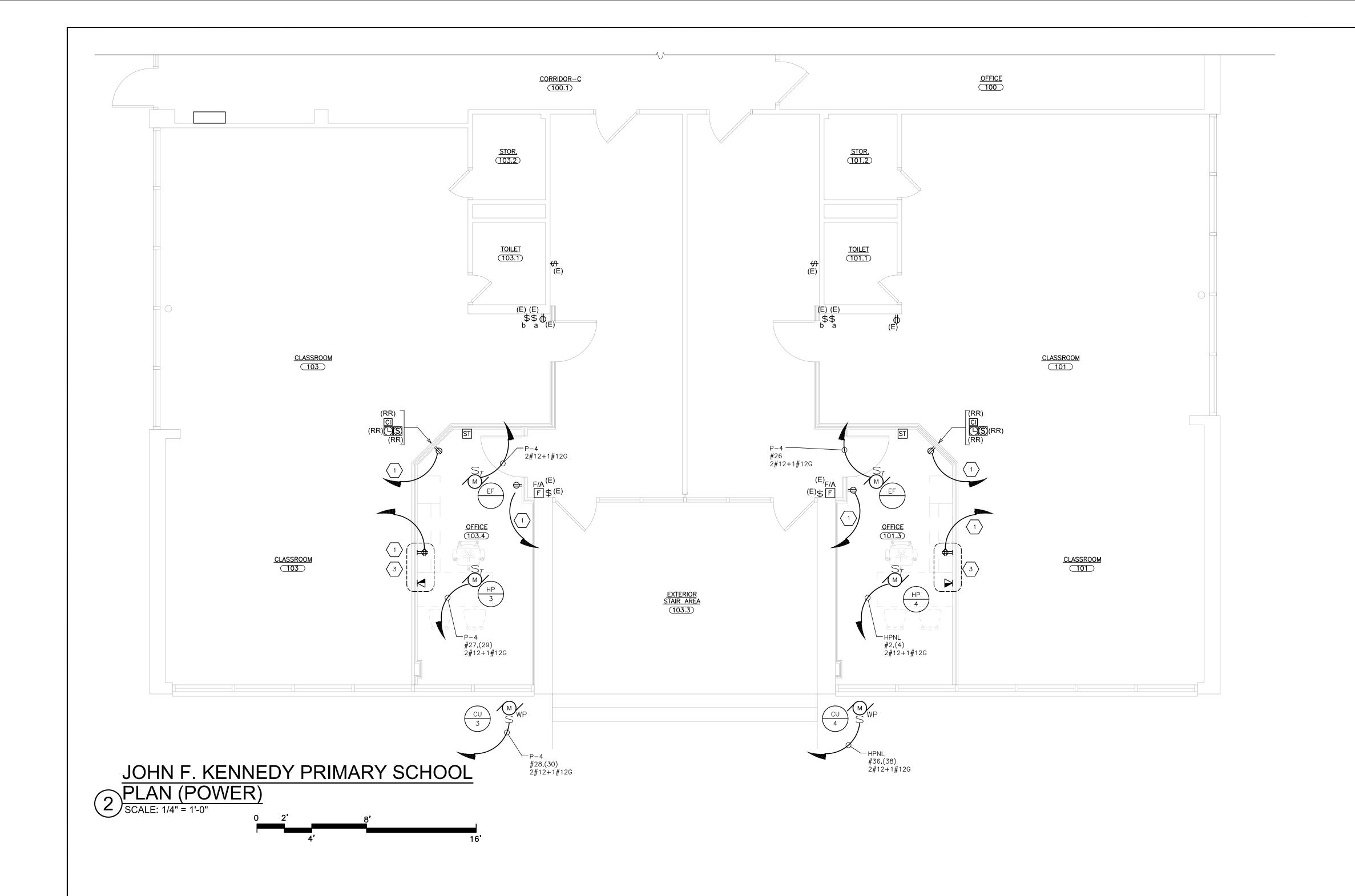
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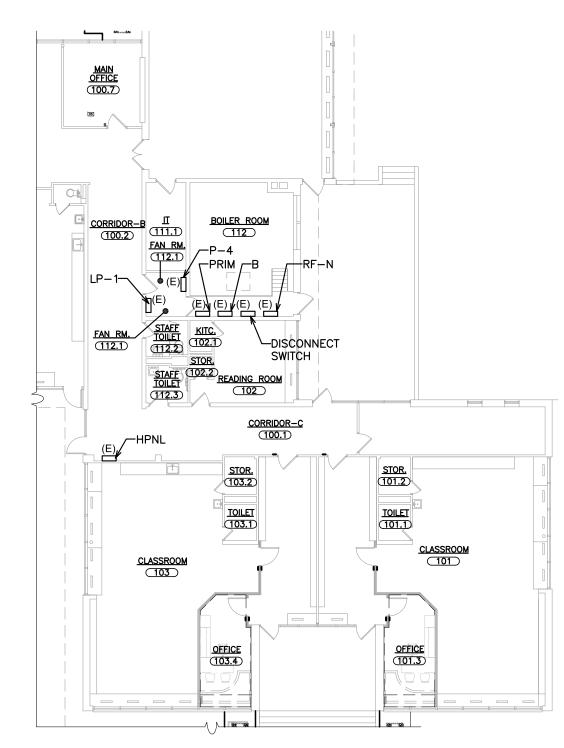
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JOHN F. KENNEDY PRIMARY SCHOOL FIRST FLOOR PLAN SCALE: 1/16" = 1'-0"

CONNECT TO EXISTING PANEL BOARD 'P-4 & HPNL' TO EXISTING SPACES.

CIRCUIT NUMBERS AND PANEL DESIGNATION ARE SHOWN FOR CONTRACTORS GUIDANCE ONLY. PROVIDE ALL REQUIRED AND NECESSARY ACCESSORIES.

5

KEY NOTES

- 1) CONTRACTOR SHALL USE EXISTING CIRCUIT MADE AVAILABLE BY REMOVALS IN THE ROOM, PROVIDE 2#12 + 1#12G 34"C AS NEEDED.
- 2 CIRCUIT NEW LIGHTING FIXTURE TO EXISTING CORRIDOR LIGHTING CIRCUIT.
- 3 COORDINATE FINAL LOCATIONS WITH FURNITURE LAYOUT.
- CONNECT NEW LIGHTING FOR THIS AREA TO EXISTING LIGHTING CIRCUITS MADE AVAILABLE DURING DEMOLITION. PROVIDE NEW SWITCHING AS INDICATED. EXTEND CIRCUITS, CONDUIT AND WIRING AS
- 5 1. WHERE NEW CIRCUIT BREAKERS ARE ADDED TO EXISTING PANEL BOARDS, UPDATE THE EXISTING DIRECTORY TO CLEARLY IDENTIFY THE LOADS SERVED.
- BRANCH CIRCUIT BREAKERS SHALL MATCH EXISTING
 MANUFACTURER AND A/C RATING.
- MAINTAIN CORRECT PHASE SEQUENCE OF ALL FEEDERS AND CIRCUITS WITH PHASE IDENTIFICATION THROUGHOUT. REARRANGE CIRCUIT IN PANEL BOARDS TO BALANCE THE PHASE LOADS WITHIN 20%.
- WITHIN 20%.

 4. WHERE EXISTING PANEL BOARDS DO NOT HAVE SPARE CIRCUITS FOR NEW WORK, PROVIDE SUB-PANEL PER ALLOWANCE SECTION OF THE PROJECT SPECIFICATIONS.
- 6 REMOVE FAN AND FAN CONTROL SWITCH.
- CONNECT NEW LIGHTING FOR THIS AREA TO EXISTING LIGHTING CIRCUITS MADE AVAILABLE DURING DEMOLITION. PROVIDE NEW SWITCHING AS INDICATED. EXTEND CIRCUITS, CONDUIT AND WIRING AS REQUIRED. OWNER TO FURNISH LIGHTING FIXTURES FOR CONTRACTOR TO INSTALL. MATCH EXISTING DUAL SWITCHING.

PARK AVENUE ELEMENTARY SCHOOL OFFICE ALTERATIONS
JOHN F. KENNEDY ELEMENTARY SCHOOL OFFICE ALTERATIONS
KING STREET ELEMENTARY SCHOOL LIBRARY ALTERATION
EDISON ELEMENTARY SCHOOL CLASSROOM ALTERATION
DRAWING TITLE
JOHN F. KENNEDY PRIMARY SCHOOL
FIRST FLOOR PLAN

06-08-2021 B I D
DATE ISSUED TO

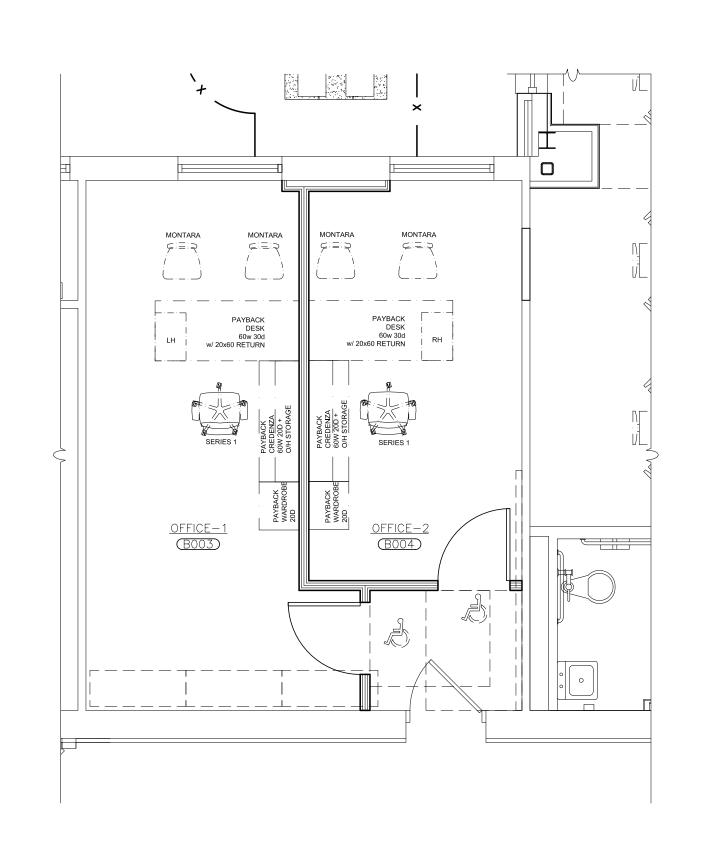
SHEET SIZE
30"x42"

SCALE
AS NOTED

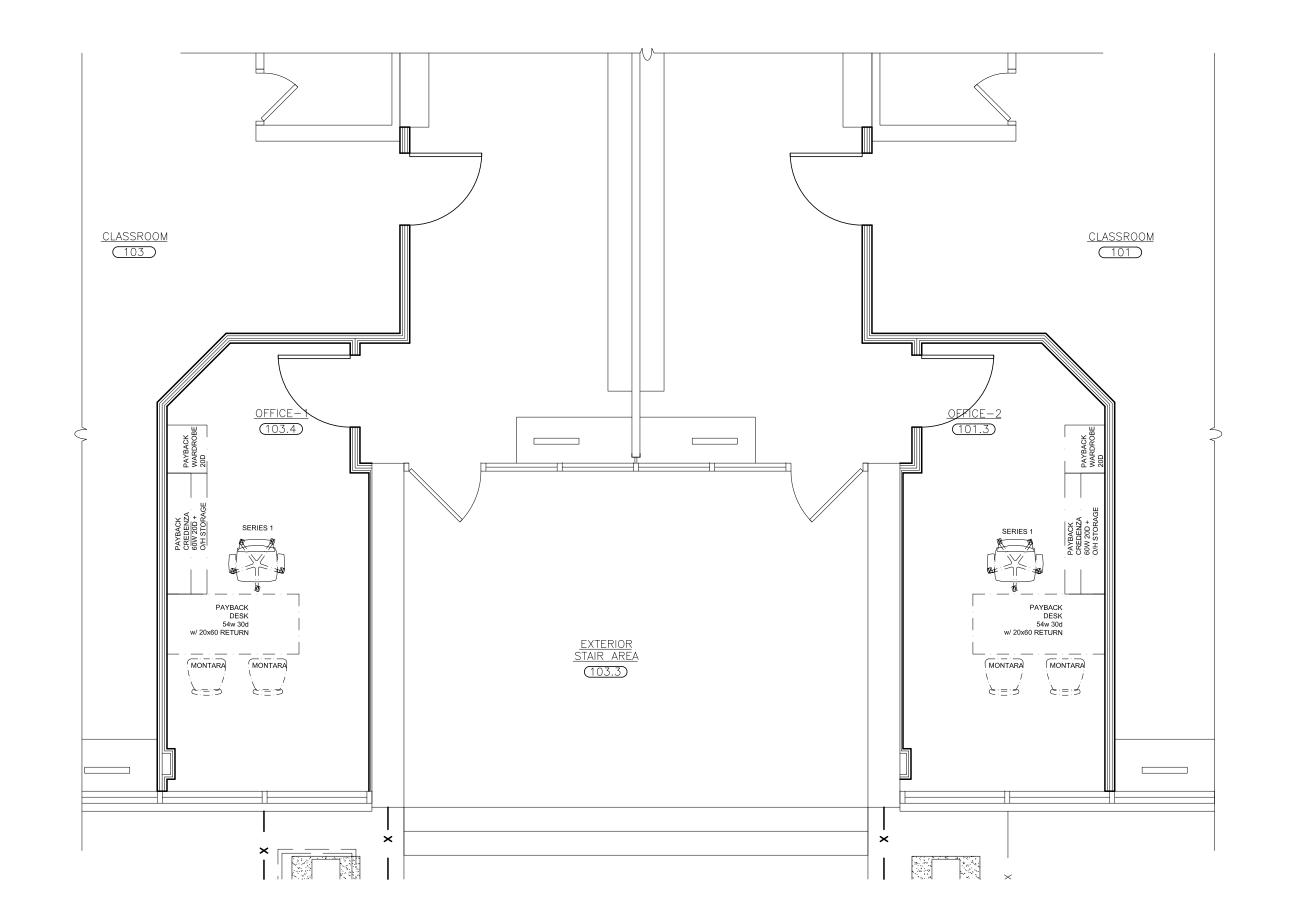
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PARK AVE. ELEMENTARY SCHOOL PARTIAL PLAN
SCALE: 1/4" = 1'-0"



JOHN F. KENNEDY PRIMARY SCHOOL

PARTIAL PLAN

SCALE: 1/4" = 1'-0"

06-08-2021 ISSUED TO 30"x42"

AS NOTED F & D FILE NO. 21430.00

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