
MITCHELL ASSOCIATES ARCHITECTS

ADDENDUM NUMBER **THREE** TO BIDDING DOCUMENTS

**NEW FIRE STATION – PUTNAM VALLEY FIRE STATION #1
OSCAWANA LAKE ROAD
PUTNAM VALLEY, NY 10579**

Date: March 12 2021

Site Address: Oscawana Lake Road
Putnam Valley, NY 10579

Owner: Putnam Valley Volunteer Fire Department

Architect: Mitchell Associates Architects (MAA)
29 Thacher Park Road
Voorheesville, NY 12186
Phone: 518-765- 4571
Fax: 518-765-2950

TOTAL PAGES (Including Cover Page): 8, including attachments.

NOTE: ALL BIDDERS MUST FAX OR EMAIL A CONFIRMATION OF RECEIPT OF THIS ADDENDUM. PLEASE PRINT COMPANY NAME, SIGN AND DATE THIS COVER PAGE AND EITHER FAX, OR SCAN AND EMAIL TO THE ARCHITECT, MAA. T. 518-765-4571, F. 518-765-2950 EMAIL - CECILE@MITCHELL-ARCHITECTS.COM.

Company Name _____ Date _____
(Please Print)

Signature _____

The information described herein as Addendum Number Three, is hereby made addenda to all previously issued construction documents related to the Project and shall be incorporated into the Scope of the Base Bid. These pages shall be attached to the Project Manual.

GENERAL INSTRUCTIONS

- A. This Addendum Constitutes part of the Specifications and Contract. Should conflict occur between the specifications and items in this Addendum or between drawings and this Addendum, this Addendum shall govern.
- B. Bidders shall carefully examine all items and determine for themselves what subcontractors are affected and notify all bidders for subcontracts of changes, explanations, interpretations, or additions affecting their work.
- C. Work described in this Addendum shall be in accordance with specifications for like items in remainder of building and complete with all labor and materials required.
- D. Bidders are required to attach a copy of this Addendum to the specifications in their possession.
- E. All of the questions sent in by RFI may not be in this addendum. There will be additional addenda after this & any remaining questions will be answered in those addenda. As stated in Specification Section 002112, Instructions to Bidders, the last addendum will be issued 4 days prior to date for receipt of the bids. This would mean that the last addendum will be issued on March 25th. Any questions received after March 24th at 5:00 pm will not be answered.
- F. **The bid date, location and time are not changed by this Addendum.**

****** Bid Date and Time Remains Monday, March 29, 2019. ******

QUESTIONS

- Q: Are the windows ion the project steel windows?
- A: The windows in this project are aluminum clad wood windows. See Drawing A502, Window Types Schedule, Window Notes 1 & 2.
- Q: Who is responsible for furnishing and installing the water tank for fire suppression?
- A: This project is a single prime contract, so the General Construction Contractor is responsible for all work in the project.
- Q: Who is responsible for furnishing and installing the Decon Tank and related utilities?
- A: This project is a single prime contract, so the General Construction Contractor is responsible for all work in the project.
- Q: Have uncontrolled fills been tested for hazardous chemicals and proper disposal? Are uncontrolled fills to be assumed to be non-hazardous and disposed of as construction waste?
- A: It is not anticipated that soil materials requiring removal from the site would be hazardous or contaminated. Costs for handling or disposal of contaminated soil should not be included in the bid. The contractor is responsible for proper handling of soil material exported from the site in accordance with New York State Department of Environmental Conservation regulations.
- Q: Is the site designed to have large amounts of excess fill to be disposed of off-site?
- A: It is anticipated that export of soil material will be required to complete the contract. Contractor is responsible for their own estimation of cuts and fills for required removal of soil materials. Please note that the mass earthwork of the area within the area labeled "approximate limits of capped fill area by others

(potential area future deed restriction)” shown on SP-2.1 and SP-2.2 is not part of the subject contract. The mass earthwork and capping by others in the subject area is anticipated to be completed in the short term by others. The fill and construction of the parking lot and grass SSTS access trail that overlaps this area is part of this contract. Approximately 700 cubic yards of material were borrowed from the building footprint for completing the area of capped fill by others.

- Q: Are timber piles mandatory for foundation excavation, or can slopes be benched back using OSHA regulations?
- A: The contractor is responsible for support and protection of excavations per the contract specifications. Please note materials excavated for benching would be subject to compaction and testing requirements at the contractor’s expense. All excavation shall be in accordance with OSHA requirements. It is the contractor’s responsibility to determine means and methods for excavation support and protection systems as required to protect adjacent structures, roadways, trees and remain within the limits of disturbance.
- Q: Are footing drains proposed? Please identify where they are shown, material type, bedding and where they will daylight.
- A: Footing drains shall be provided as shown on Drawing S-104, A100, A410, A411, and A413. Footing drains shall be 8” diameter HDPE N-12 pipe and in areas not specified on structural drawings the installation shall be per the Drainage Line Trench Detail on Drawing D-2. The Building Footing Drain and Retaining Wall Footing Drain shall combine, and the combined Footing Drain discharge locations have been revised as shown on the attached sketch SK-1, dated 03/11/2021.
- Q: Please clarify where the retaining wall drains daylight, material and bedding.
- A: As mentioned in the above response, the combined Footing Drain discharge locations have been revised as shown on the attached sketch SK-1, dated 03/11/2021. The pipe shall be 8” diameter HDPE N-12 pipe and the installation shall be per the Drainage Line Trench Detail on Drawing D-2.
- Q: Interior trench drains go to a grease trap. Please clarify material type, bedding and where the grease trap discharges.
- A: The interior trench drains exit the building on the west side of the building and discharge to the proposed Oil/Water Separator and then to the 1,500-gallon holding tank as shown on Drawing SP-2.1 and P100. The pipes exterior of the building shall be 4” diameter PVC SDR 35 and the installation shall be per the Sewer Service Line Trench Detail on Drawing HD-2. There is no discharge from the Holding Tank.
- Q: Please clarify roof drain leaders, material type and bedding.
- A: Roof Drain discharge locations and pipe sizes are shown on Drawing SP-2.1. The pipes shall be HDPE N-12 pipe and the installation shall be per the Drainage Line Trench Detail on Drawing D-2.
- Q: Specification Section 084113 calls for exterior aluminum and FRP doors. The Door Schedule on A502 shows only aluminum doors. Please clarify if FRP doors are required on the project.
- A: All exterior person doors that are not part of a storefront system are FRP clad aluminum doors.
- Q: Please clarify proposed work for the new Fire Station site and the adjacent Ambulance Corp. site. What restrictions will be placed on the site work contractor?
- A: The limits of disturbance shown on drawing SP- 3.1 shall be maintained. A minimum of 12 foot wide access to the rear ambulance car parking lot shall be maintained during work hours and full access shall be reestablished during non-work hours. Contractor shall provide temporary barrels and protection for traffic from excavated areas.
- Q: Proposed site grading associated with the new building will require work on the Ambulance Corps site. Please clarify the curb shown on the Ambulance Corps site is new. Following site work, are only pavement

repairs associated with our tie in work required (pavement patching etc.) or will the Ambulance Corps site receive pavement overlay?

A: The curb between the existing Ambulance Corps building and the proposed fire station is a new curb and is part of the contract. Contractor is responsible for saw cutting pavement and patching pavement as part of curb installation. The existing driveway on the Ambulance Corp. property shall be widened with full depth type 1 asphalt. The existing driveway pavement on the Ambulance Corp. property shall be milled and top course asphalt installed from Oscawana Lake Road to the 480 existing grade contour. No overlay of other existing paving is required.

Q: Please refer to the grading notes regarding the capping operation referred to as "by others". Is that work part of this bid package or will the work be performed as part of another contract? If by others please identify scope and work limits.

A: The note on drawing SP- 3.1 labels the limits of disturbance for the entire site. The delineation of the mass earthwork by others is shown on drawing SP- 2.1 and SP- 2.2 within the area labeled "approximate limits of capped fill area by others (potential area future deed restriction)". The fill and construction of the parking lot and grass SSTS access trail is part of the contract.

Q: Bid documents require closed cell spray insulation against the gypsum board in the attic spaces as shown on A300 series drawings. A subcontractor has expressed their concern with the potential damage to the gypsum board caused by the foam being directly applied to the back of the gypsum board. Please review and advise if the insulation should be sprayed between the attic-roof-rafters-to avoid the issue.

A: The sprayed in place insulation shall be installed per the design documents. This same detailing has been used on past projects, with no damage to the gypsum board as a result of the insulation.

Q: As per drawing P100, in reference to the 30,000 gallon non potable truck fill water, its stated that the PC is responsible for this tank. Is the PC responsible for all phases of this installation such as excavation for tank and pipe trench and setting the tank underground and backfilling?

A: This project is a single prime contract, so the General Construction Contractor is responsible for all work in the project.

Q: As per the tank info the location of this tank, it does not appear in any of the drawings or in the spec book.

A: See Sprinkler Drawing SPK202, Detail #2 for more information.

Q: In reference to drawing P101, there is a bail out area that has instructions to not run pipe in this area. Although the plumbing plans do not reflect this but there will be sanitary waste and domestic water in the ceiling on level 2 servicing the plumbing on level 3.

A: Pipes at the bottom of the 3rd floor structure are allowable, but the exact locations must be coordinated with the architect.

Q: Is the application of intumescent fireproofing required to the beams within Fire Pump Room #114? Drawing A020 - 1st Floor Code Plan illustrates the diagonal lines similar to the Code Plan Legend for 1-Hour Fire-Resistance Rated Floor/Ceiling Above.

A: Yes, the floor/ceiling assembly of Fire Pump Room #114 has a 1-hour fire rating per to the Code Plan Legend.

Q: Finish Schedule 090600 calls for Rubber Stair Treads. Detail 9/A312 shows different. Please clarify.

A: Detail 9/A312 has the finish excluded for clarity. The finish schedule specifies the finishes in all spaces.

Q: Is this project tax exempt?

A: The Putnam Valley Fire Department is a tax-exempt and a 501(c)(3) (nonprofit) entity, and therefore, no sales tax shall be included in the cost of this project.

SUBSTITUTION REQUESTS

- A. Specification Section 077200, Paragraph 2.03, C: 2 Pipe Gem Series by Sno-Gem, Inc. is accepted as an equivalent product.
- B. Specification Section 096566, Paragraph 2.01, A, 6: Tarkette Sports, Dropzone Speckle tiles; www.tarkettsportsindoor.com is accepted as an equivalent product.
- C. Specification Section 033000, Paragraph 2.06, 1: ISE Logik Ind: MVRA 900; www.iselogik.com is accepted as an equivalent product.
- D. Specification Section 040523, Paragraph 2.08, A; York Manufacturing, Inc.; York 304 SS; www.yorkmfg.com is accepted as an equivalent product.

SPECIFICATIONS

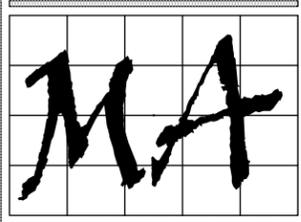
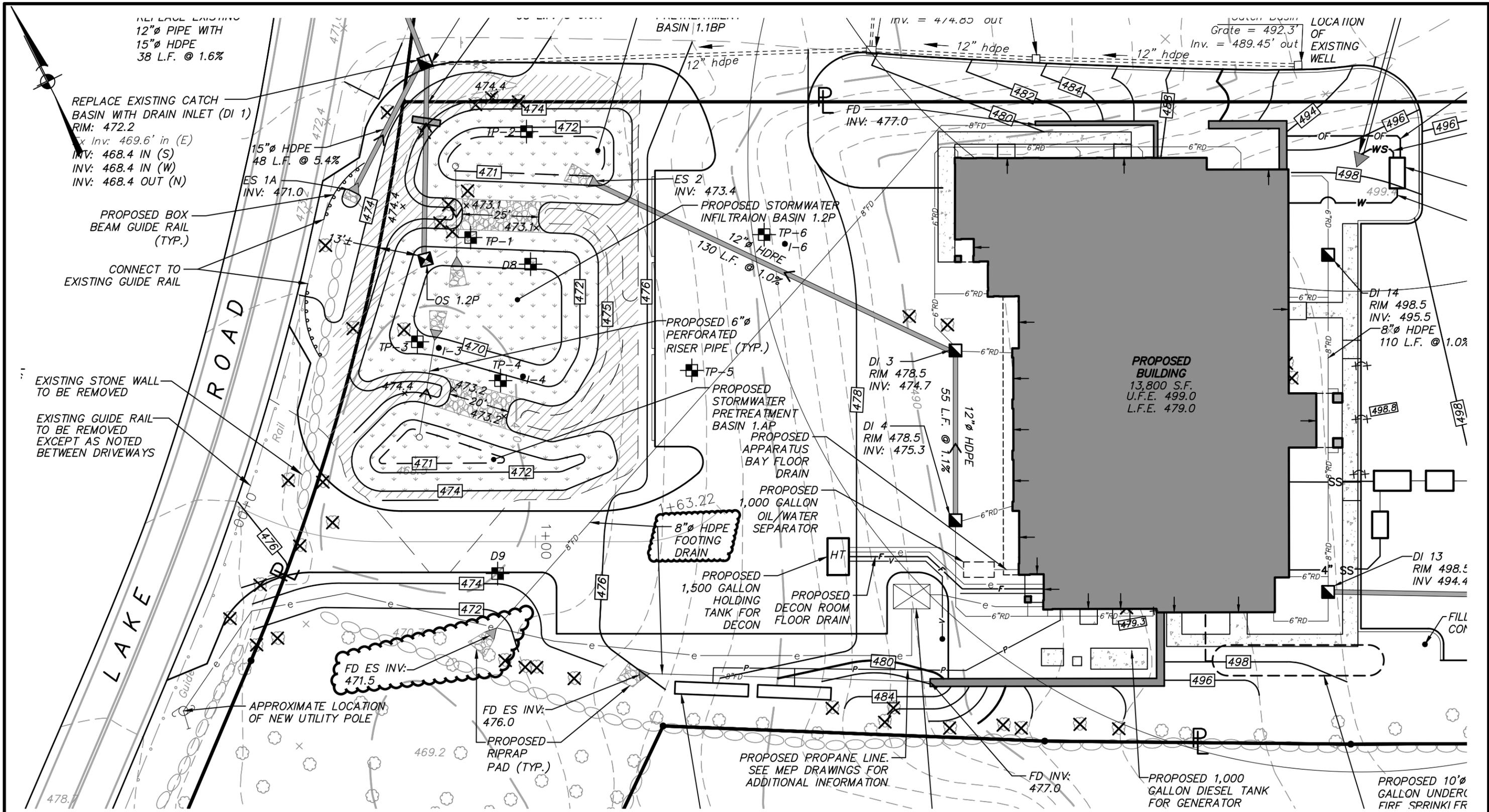
- A. Section 083613
 - 1. **DELETE** in Paragraph 2.05, A; the text “26” in 2 places and **ADD** the text “20” in its place.
 - 2. **DELETE** in Paragraph 2.05, B, 2; the text “1-7/8” and **ADD** the text “3” in its place.

DRAWINGS

- A. SP-2.1:
 - 1. **REVISE** footing drain as indicated on the attached sketch SK-1, dated 03/11/2021.
- B. SK-2:
 - 1. **ADD** attached sketch SK-2, dated 03/11/2021.
- C. SK-3:
 - 1. **ADD** attached sketch SK-3, dated 03/11/2021.

End of addendum #3

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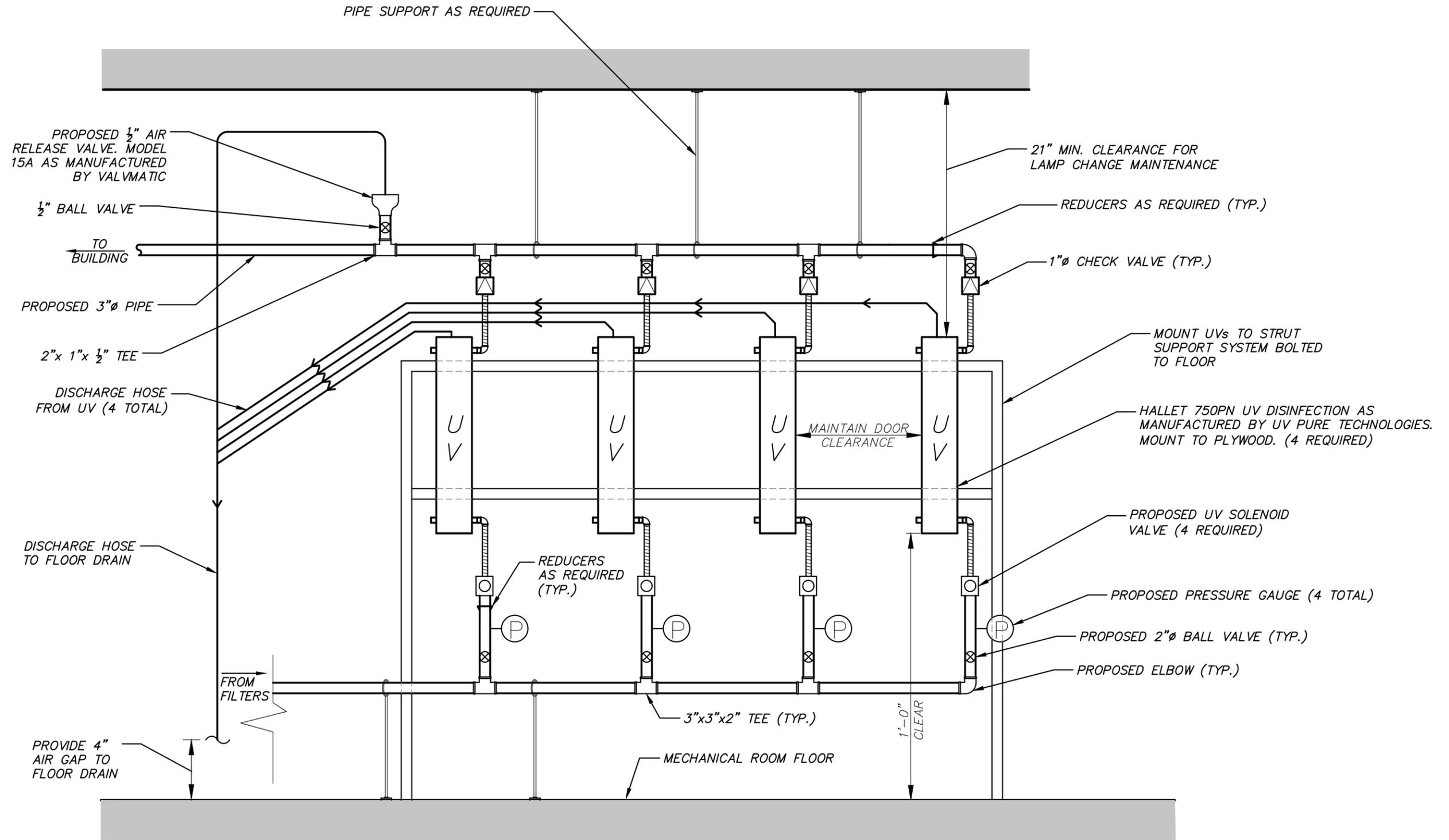
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NEW STATION PUTNAM VALLEY FIRE STATION #1
 OSCAWANA LAKE ROAD
 PUTNAM VALLEY, NEW YORK

ULTRAVIOLET LIGHT SCHEMATIC DETAIL
 SCALE: 1" = 30'
 DWG. BY: JWM
 DWG DATE: 3/11/2021
 STATUS: PRELIMINARY

SK-1



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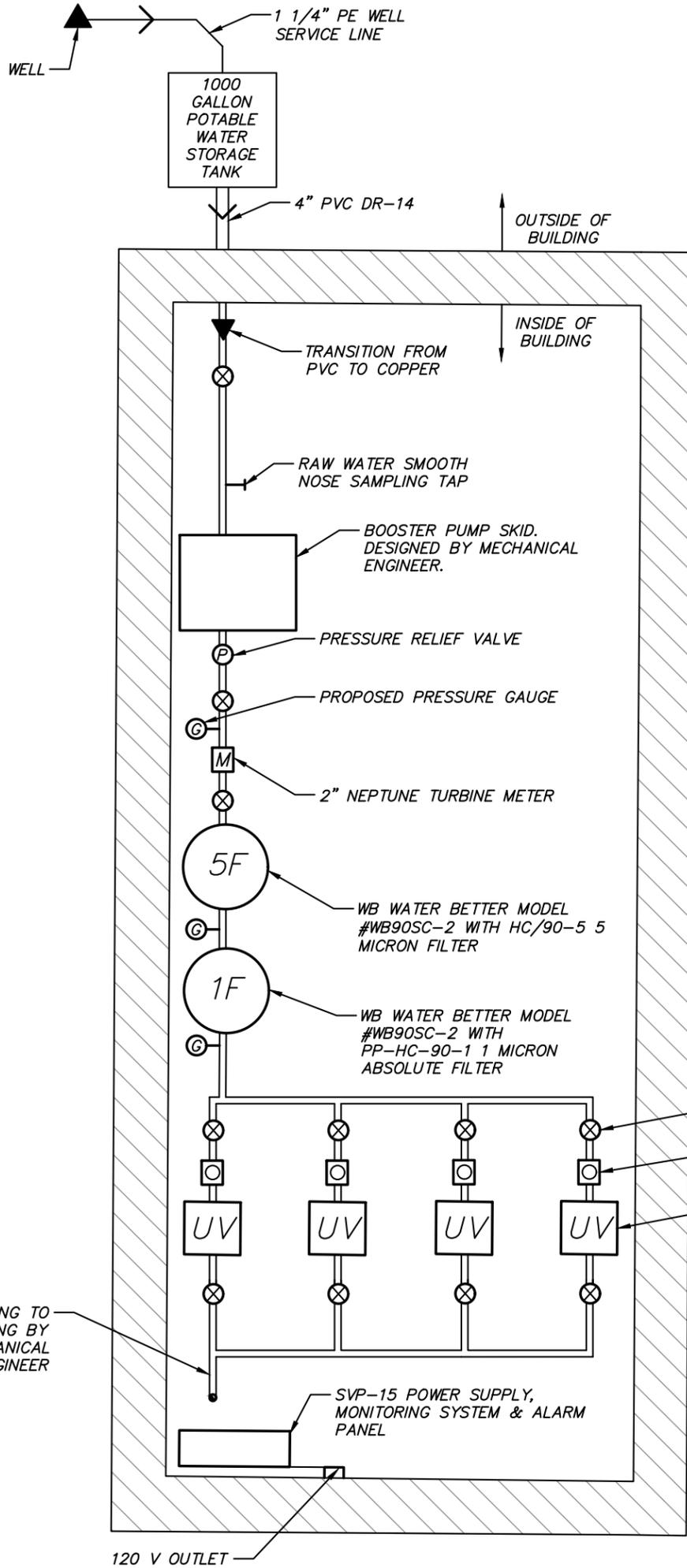
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 OSCAWANA LAKE ROAD
 PUTNAM VALLEY, NEW YORK

ULTRAVIOLET LIGHT SCHEMATIC DETAIL
 SCALE: AS SHOWN
 DWG. BY: JWM
 DWG DATE: 3/11/2021
 STATUS: PRELIMINARY

SK-2



NOTE:
NO EQUIPMENT/PIPING WORK
CAN BEGIN IN THIS SPACE UNTIL
ALL EQUIPMENT SUBMITTALS
HAVE BEEN APPROVED AND AN
EQUIPMENT ROOM LAYOUT
SKETCH IS PROVIDED BY THE
CONTRACTOR AND APPROVED
BY THE ARCHITECT/ENGINEER.

DISTRIBUTION PIPING TO
SERVICE BUILDING BY
BUILDING MECHANICAL
ENGINEER

BALL VALVE (TYP.)

SOLENOID VALVE
(4 TOTAL)

HALLET 750PN ULTRAVIOLET
DISINFECTION SYSTEM BY
UV PURE. PURGE VALVE TO
DISCHARGE TO FLOOR DRAIN
WITH AIR GAP (MIN. 2X
PIPE Ø)(4 TOTAL).

SVP-15 POWER SUPPLY,
MONITORING SYSTEM & ALARM
PANEL

120 V OUTLET

Notes:

1. This layout is schematic only.
2. All components are to be installed according to manufacturer's specifications.
3. The UV unit and all piping is to be disinfected upon completion of work in accordance with the latest revision of AWWA Standard C651-05 (except for section 4.4.2). Acceptable bacteriological results must be submitted and accepted by the Putnam County Department of Health prior to the utilization of water system.
4. Refer to the engineer's report and manufacturers specifications for detailed information regarding the UV system.
5. UV System shall be model Hallett 750PN by UV Pure. UV shall have a 27.4 GPM capacity, a 27.4 GPM flow restrictor, intensity meter and solenoid valve with automatic shutoff when required intensity is not met. The UV bulb shall be replaced once a year at a minimum. A spare bulb shall be provided.
6. A smooth nose sample tap shall be provided at every low point in the mechanical room for draining purposes.
7. The pipes interior to the mechanical room shall be color coded as follows (Minimum 2" wide stripe 10' on center.):
 - Water lines prior to UV - olive green
 - Booster pump supply and discharge line - dark blue
8. All components in contact with water to be NSF 61.

DOMESTIC WATER SERVICE MECHANICAL ROOM SCHEMATIC LAYOUT

(N.T.S.)



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DOMESTIC WATER SERVICE
MECHANICAL ROOM SCHEMATIC DETAIL

SCALE: SHOWN
DWG. BY: JWM
DWG DATE: 3/11/2021
STATUS: PRELIMINARY

SK-3