

REVISIONS

Rev No	Description	Date
1	Addendum #2	6/24/21
2	Addendum #5	7/15/21

Drawn By:
KET


Design By:
EDW

Checked By:
CTS

Approved By:
DFM

Date:
5/28/2021

Seal and Signature



Sheet Title:
MANOR AND ADDITION FIRST FLOOR PLAN

Drawing Number:
A101

Bid Documents

Project Number:
18006.47

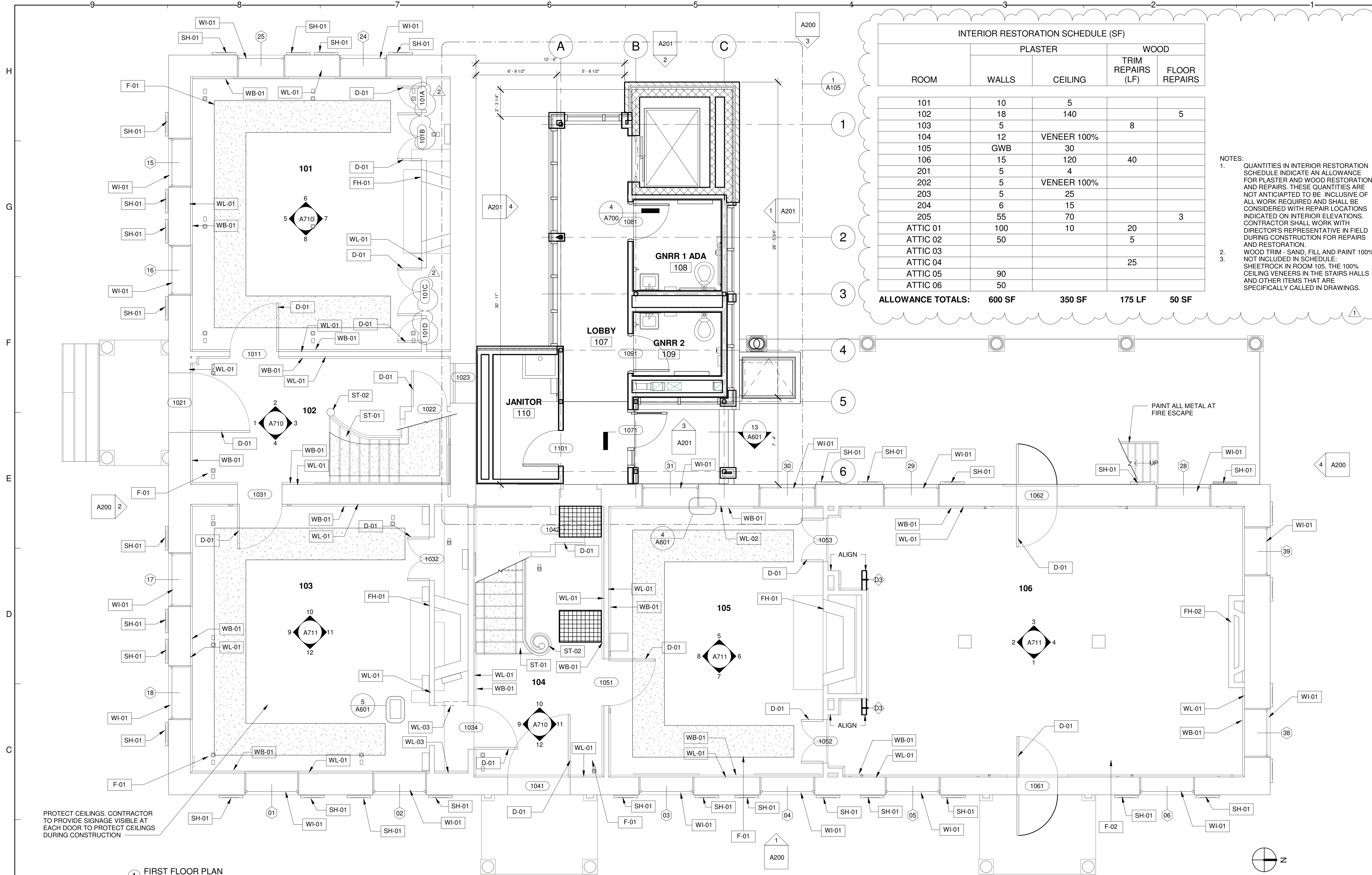
Sheet:

INTERIOR RESTORATION SCHEDULE (SF)

ROOM	PLASTER		WOOD	
	WALLS	CEILING	TRIM REPAIRS (LF)	FLOOR REPAIRS
101	10	5		
102	18	140		5
103	5		8	
104	12	VENEER 100%		
105	GWB	30		
106	15	120	40	
201	5	4		
202	5	VENEER 100%		
203	5	25		
204	6	15		
205	55	70		3
ATTIC 01	100	10	20	
ATTIC 02	50		5	
ATTIC 03			25	
ATTIC 04				
ATTIC 05	90			
ATTIC 06	50			
ALLOWANCE TOTALS:	600 SF	350 SF	175 LF	50 SF

NOTES:

- QUANTITIES IN INTERIOR RESTORATION SCHEDULE INDICATE AN ALLOWANCE FOR PLASTER AND WOOD RESTORATION AND REPAIRS. THESE QUANTITIES ARE NOT ANTICIPATED TO BE INCLUSIVE OF ALL WORK REQUIRED AND SHALL BE CONSIDERED WITH REPAIR LOCATIONS INDICATED ON INTERIOR ELEVATIONS. CONTRACTOR SHALL WORK WITH DIRECTOR'S REPRESENTATIVE IN FIELD DURING CONSTRUCTION FOR REPAIRS AND RESTORATION.
- WOOD TRIM - SAND, FILL AND PAINT 100% NOT INCLUDED IN SCHEDULE.
- SHEETROCK IN ROOM 105, THE 100% CEILING VENEERS IN THE STAIRS HALLS AND OTHER ITEMS THAT ARE SPECIFICALLY CALLED IN DRAWINGS.



1 FIRST FLOOR PLAN
 1/4" = 1'-0"

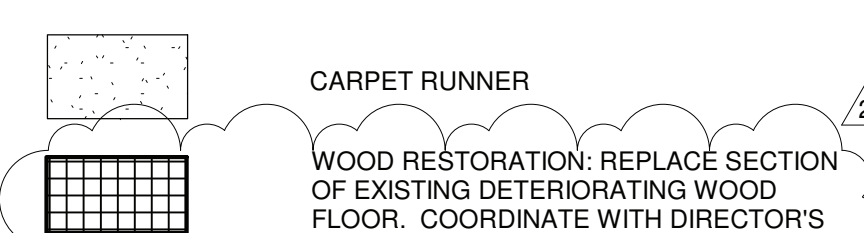
SCOPE OF WORK

NOTE	ITEM	DESCRIPTION OF WORK
D-01	DOORS	RESTORE EXISTING DOORS TO A SOUND AND FUNCTIONAL CONDITION, WHILE PRESERVING AND PROTECTING THEIR ORIGINAL DESIGN, CONFIGURATION, DETAILS AND PROFILES. PAINT 2 COATS.
F-01	FLOORING	RESTORE ALL FLOORS. STAIN AND VARNISH, 3 COATS POLYURETHANE. INSTALL CARPET RUNNER.
F-02	FLOORING	REMOVE CARPET AND PLYWOOD LAYER TO ORIGINAL WOOD FLOOR. RESTORE ALL FLOORS. LIGHTLY SAND, STAIN AND VARNISH, 3 COATS POLYURETHANE. INSTALL CARPET RUNNER.
F-03	FLOORING	RESTORE ALL FLOORS. LIGHTLY SAND, STAIN AND VARNISH, 3 COATS POLYURETHANE. INSTALL CARPET RUNNER.
FH-01	FIREPLACE HEARTH	NIC. PROTECT FROM DAMAGE.
FH-02	FIREPLACE HEARTH	REPLACE METAL EDGING WITH WOOD TO MATCH FLOOR
SH-01	SHUTTERS	COMPLETELY RESTORE TO SOUND CONDITION AND ORIGINAL PLANES AND PROFILES.
ST-01	STAIRS / BALLUSTERS	TOUCH UP STAIRS AND BALLUSTRADE, LIGHTLY SAND AND PAINT ALL PAINTED WOODWORK. PAINT 2 COATS. INSTALL CARPET RUNNER.

SCOPE OF WORK

NOTE	ITEM	DESCRIPTION OF WORK
ST-02	STAIRS / BALLUSTERS	AT VARNISHED WOODWORK, FILL AND STAIN APPLIED FILLER. DO NOT PAINT VARNISHED WOODWORK.
WB-01	WALL BASE / WAINSCOTTING / WOODWORK	COMPLETELY RESTORE TO SOUND CONDITION AND ORIGINAL PLANES AND PROFILES. REPLACEMENT COMPONENTS MUST REPLICATE THE SIZE, SHAPE AND PROFILE OF THE ORIGINAL. MATCH HISTORIC JOINERY DETAILS SUCH AS MORTISE AND TENON JOINTS.
WI-01	WINDOWS	RESTORE EXISTING WINDOWS TO A SOUND AND FUNCTIONAL CONDITION, WHILE PRESERVING AND PROTECTING THEIR ORIGINAL DESIGN, CONFIGURATION, DETAILS AND PROFILES. REGLAZE WINDOWS, INSTALL STORM WINDOWS PER DETAILS.
WL-01	WALLS	REPAIR, STABILIZATION AND RESTORATION OF CONVENTIONAL THREE PART LIME & GYPSUM PLASTERS OVER WOOD AND METAL LATH, INCLUDING AREAS ADJACENT TO SPECIFIED REMOVALS THAT WERE DAMAGED DURING CONSTRUCTION. PREPARE INTERIOR SURFACE FOR AND APPLICATION OF INTERIOR PAINT, 2 COATS.
WL-02	WALLS	REMOVE EXISTING PLEXIGLASS AND FURRING STRIPS (IN ROOM 105 ONLY), INSTALL NEW FURRING STRIPS, INSTALL GWB, PRIME AND PAINT
WL-03	WALLS	REPLICATE HISTORIC PANELING IN OPENING TO MATCH EXISTING. PAINT 2 COATS.

LEGEND



WOOD RESTORATION: REPLACE SECTION OF EXISTING DETERIORATING WOOD FLOOR. COORDINATE WITH DIRECTOR'S REPRESENTATIVE FOR EXACT LOCATIONS. ALLOW 50 SF TOTAL IN PROJECT.

NOTE: PAINT COLOR SCHEDULE TO BE PROVIDED BY OPRHP

NYS OPRHP Taconic Region
 9 Old Post Rd, PO Box 308
 Staatsburg, New York 12580
 (845) 889-4100
 Regional Director: Linda Cooper
 District Manager: Garrett Jobson

Project Title:
 Philipse Manor Hall State Historic Site
 Construction of Elevator/Restroom
 Addition, Interior and
 Exterior Rehabilitation and Site
 Enhancements

Project Location:
 29 Warburton Ave, Yonkers, NY 10701

Key Plan

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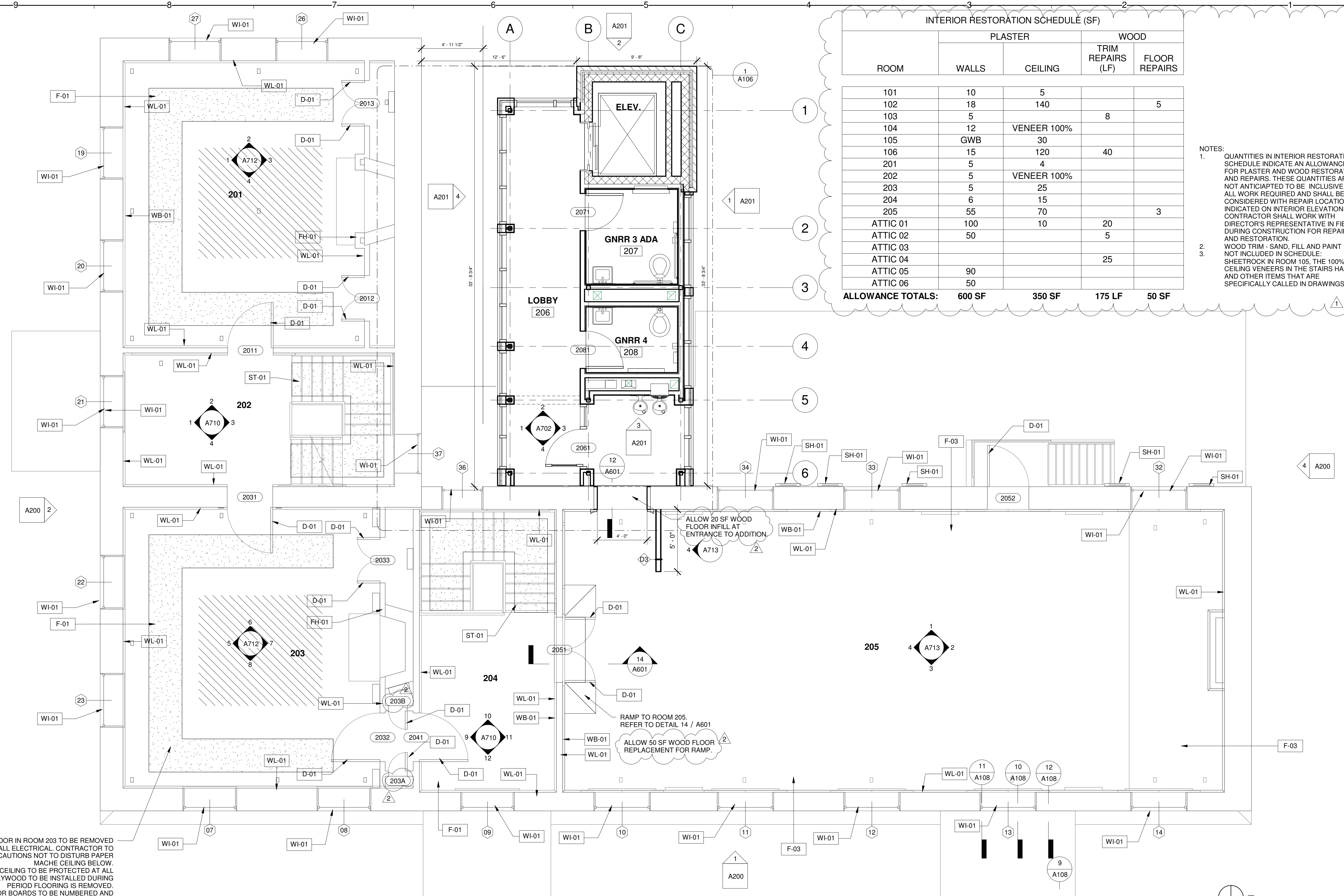


Sheet Title: **MANOR AND ADDITION SECOND FLOOR PLAN**
 Drawing Number: **A102**
Bid Documents
 Project Number: **18006.47**
 Sheet:

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ENTIRE FLOOR IN ROOM 203 TO BE REMOVED TO INSTALL ELECTRICAL. CONTRACTOR TO TAKE PRECAUTIONS NOT TO DISTURB PAPER MACHE CEILING BELOW.
 CEILING TO BE PROTECTED AT ALL TIMES. PLYWOOD TO BE INSTALLED DURING PERIOD FLOORING IS REMOVED.
 ALL FLOOR BOARDS TO BE NUMBERED AND REINSTALLED IN ORIGINAL LOCATION/PATTERN.

1 SECOND FLOOR PLAN
 1/4" = 1'-0"

LEGEND

- CARPET RUNNER
- DO NOT LOAD AREA DURING CONSTRUCTION. PROTECT CEILING BELOW. LIVE LOAD NOT TO EXCEED 12LB/SF
- NOTE: PAINT COLOR SCHEDULE TO BE PROVIDED BY OPRHP

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NYS OPRHP Taconic Region
9 Old Post Rd, PO Box 308
Staatsburg, New York 12580
(845) 889-4100
Regional Director: Linda Cooper
District Manager: Garrett Jobson

Project Title:
Philipse Manor Hall State Historic Site
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Addition, Interior and
Exterior Rehabilitation and Site
Enhancements

Project Location:
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Key Plan

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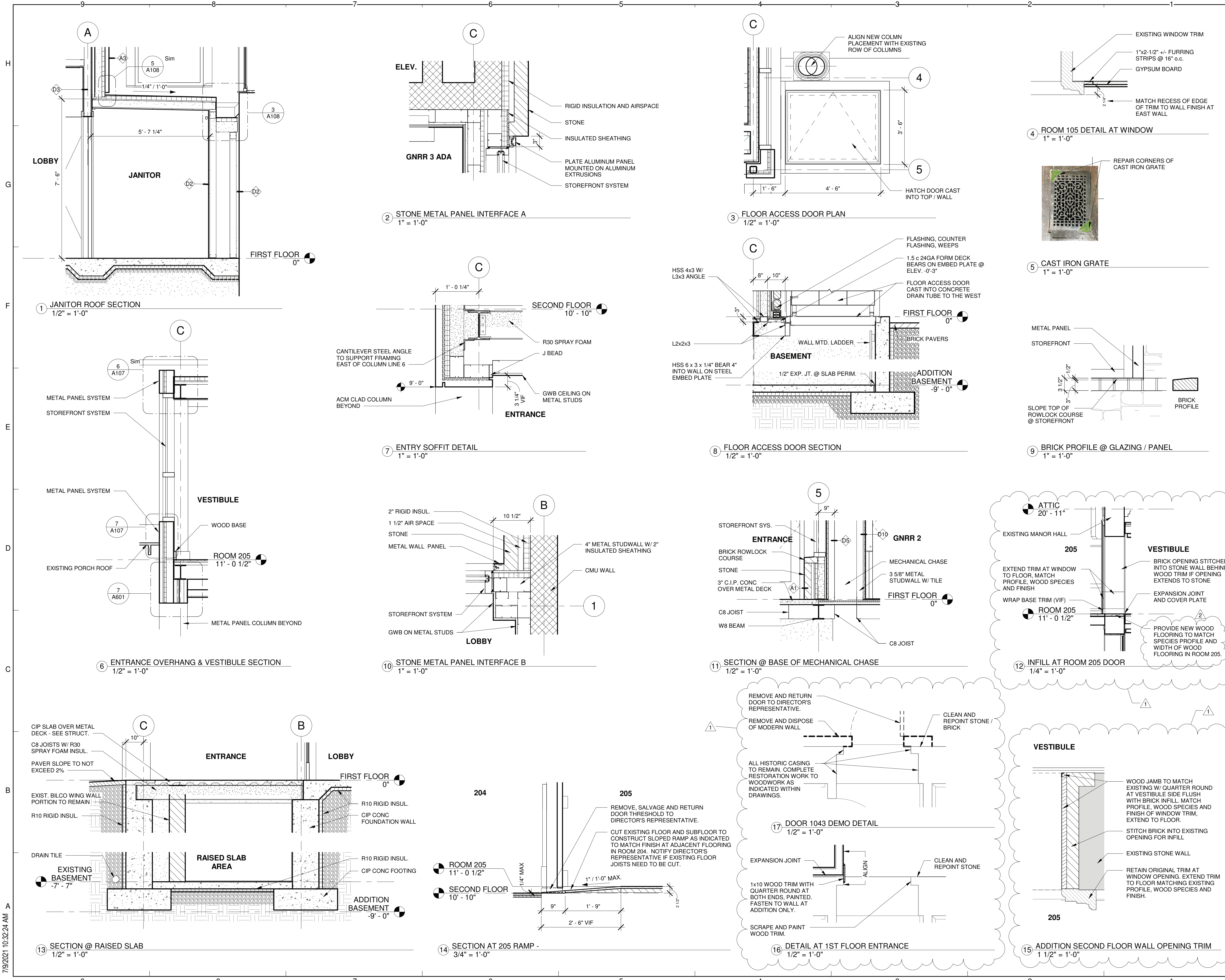
Drawn By: **EDW**
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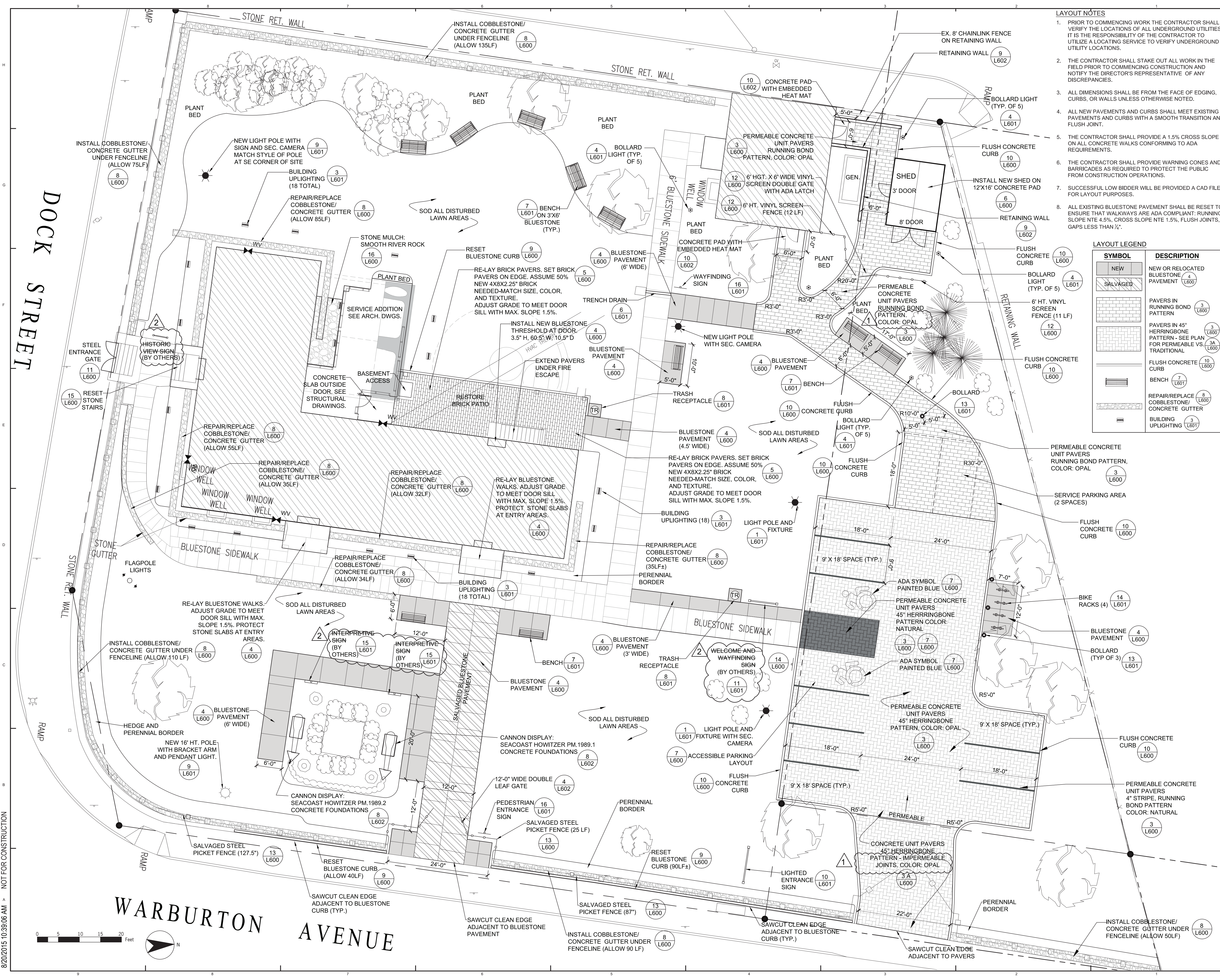
Sheet Title: **DETAILS**

A601

Bid Documents
Project Number: **18006.47**



7/9/2021 10:32:24 AM



LAYOUT NOTES

1. PRIOR TO COMMENCING WORK THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO UTILIZE A LOCATING SERVICE TO VERIFY UNDERGROUND UTILITY LOCATIONS.
2. THE CONTRACTOR SHALL STAKE OUT ALL WORK IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE DIRECTOR'S REPRESENTATIVE OF ANY DISCREPANCIES.
3. ALL DIMENSIONS SHALL BE FROM THE FACE OF EDGING, CURBS, OR WALLS UNLESS OTHERWISE NOTED.
4. ALL NEW PAVEMENTS AND CURBS SHALL MEET EXISTING PAVEMENTS AND CURBS WITH A SMOOTH TRANSITION AND FLUSH JOINT.
5. THE CONTRACTOR SHALL PROVIDE A 1.5% CROSS SLOPE ON ALL CONCRETE WALKS CONFORMING TO ADA REQUIREMENTS.
6. THE CONTRACTOR SHALL PROVIDE WARNING CONES AND BARRICADES AS REQUIRED TO PROTECT THE PUBLIC FROM CONSTRUCTION OPERATIONS.
7. SUCCESSFUL LOW BIDDER WILL BE PROVIDED A CAD FILE FOR LAYOUT PURPOSES.
8. ALL EXISTING BLUESTONE PAVEMENT SHALL BE RESET TO ENSURE THAT WALKWAYS ARE ADA COMPLIANT: RUNNING SLOPE NTE 4.5%, CROSS SLOPE NTE 1.5%, FLUSH JOINTS, GAPS LESS THAN 1/2".

LAYOUT LEGEND

SYMBOL	DESCRIPTION
[Pattern]	NEW OR RELOCATED BLUESTONE PAVEMENT (4 L600)
[Pattern]	PAVERS IN RUNNING BOND PATTERN (3 L600)
[Pattern]	PAVERS IN 45° HERRINGBONE PATTERN - SEE PLAN FOR PERMEABLE VS. TRADITIONAL (3 L600)
[Pattern]	FLUSH CONCRETE CURB (10 L600)
[Pattern]	BENCH (7 L601)
[Pattern]	REPAIR/REPLACE COBBLESTONE/CONCRETE GUTTER (8 L600)
[Pattern]	BUILDING UPLIGHTING (3 L601)
[Pattern]	NEW (4 L600)
[Pattern]	SALVAGED (3A L600)

NEW YORK STATE OF OPPORTUNITY
Parks, Recreation and Historic Preservation
 Governor Andrew M. Cuomo
 Commissioner Erik Kulleseid

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Key Plan

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Drawn By: ELG
 Design By: ELG
 Checked By: RJM
 Approved By: DFM
 Date: 05/28/2021

Seal and Signature

Sheet Title: Layout and Materials Plan
Drawing Number: L300
Bid Documents
 Project Number: 18006.47
 Sheet:

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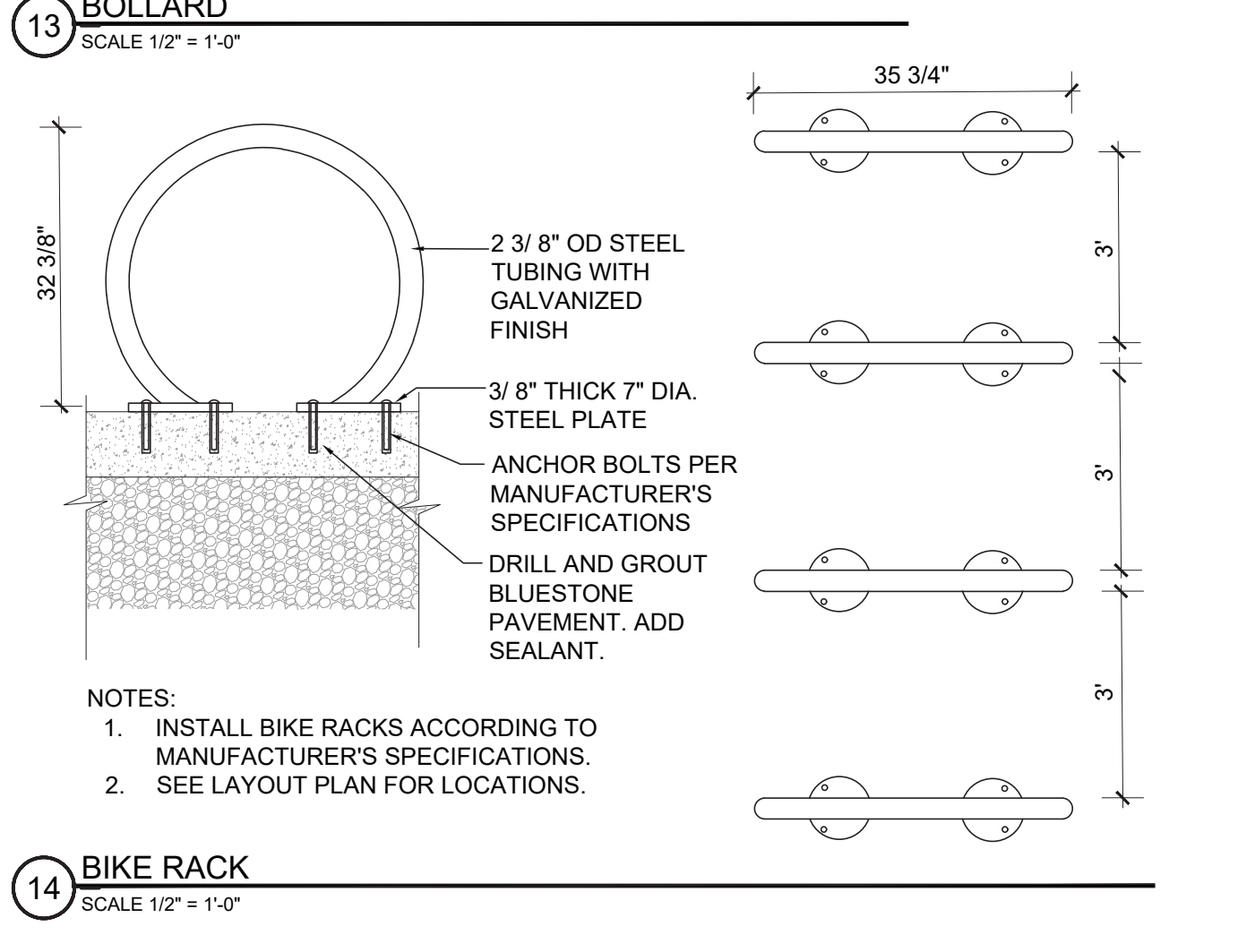
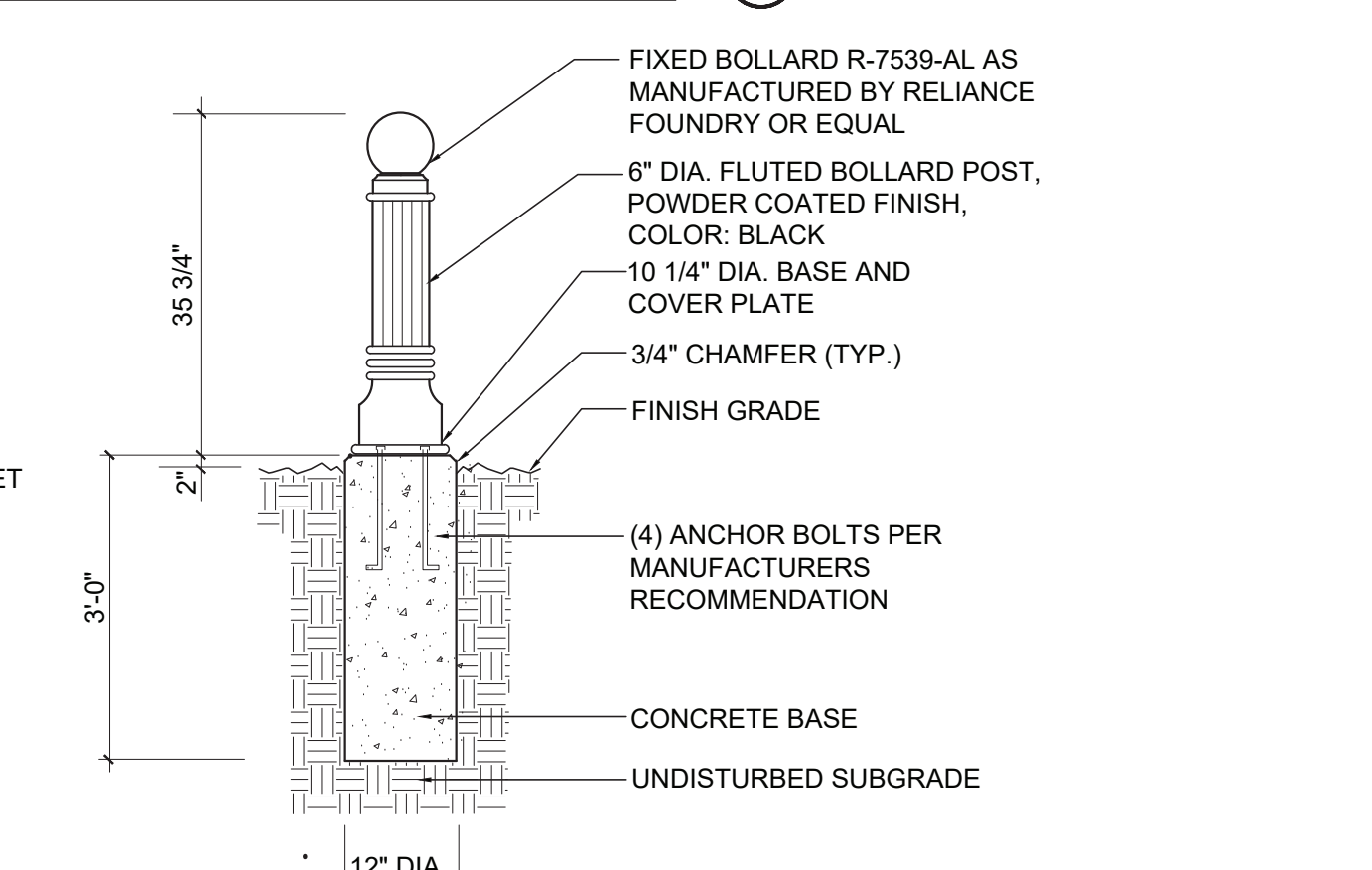
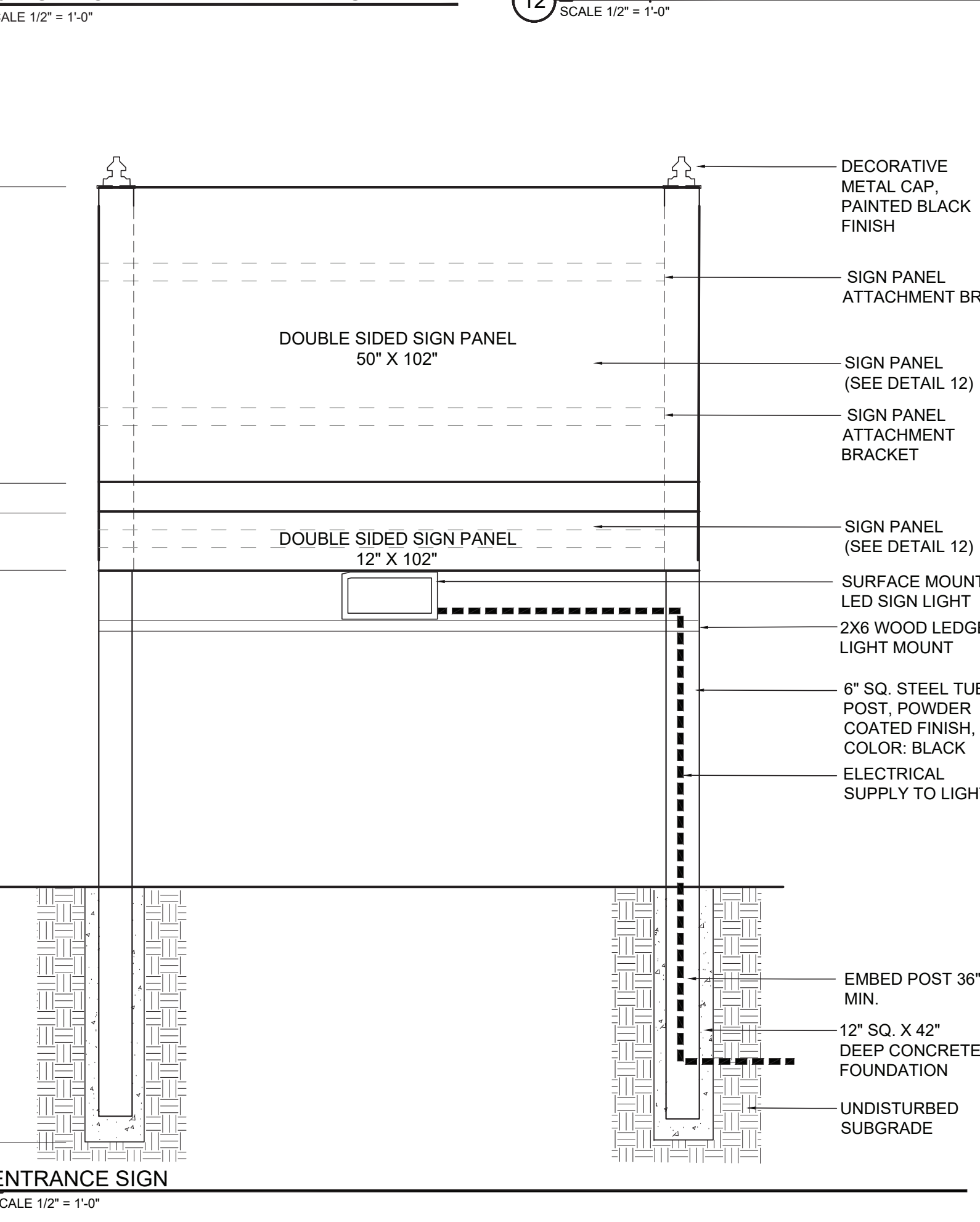
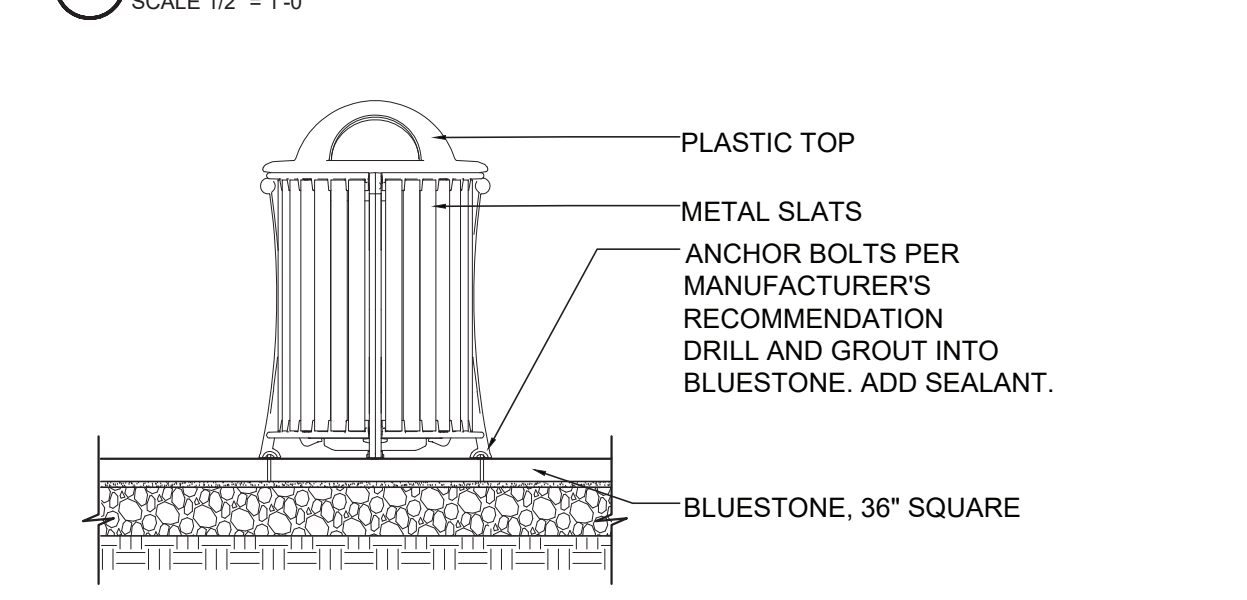
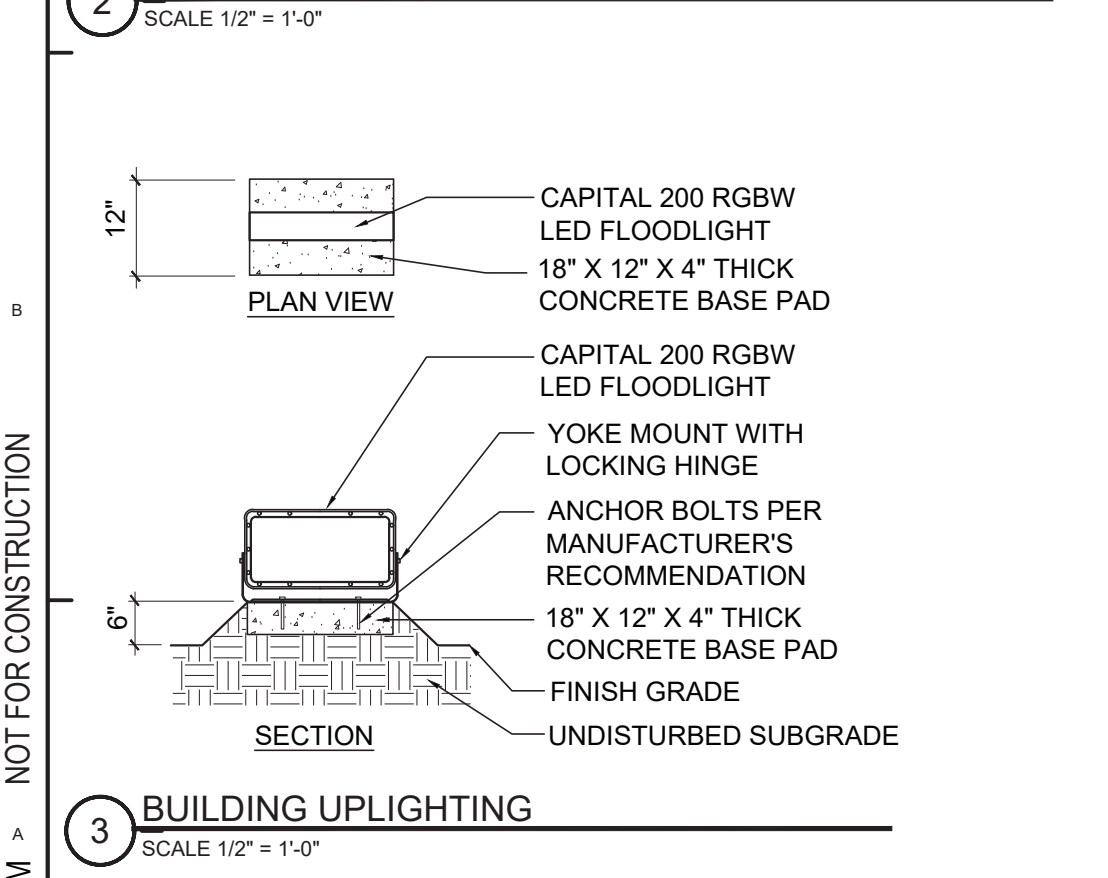
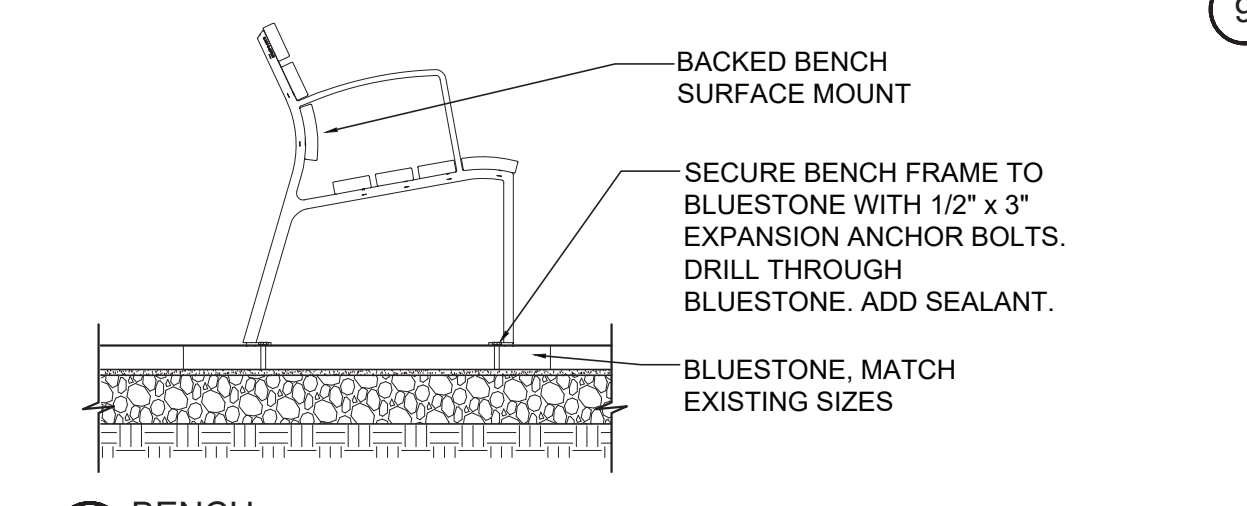
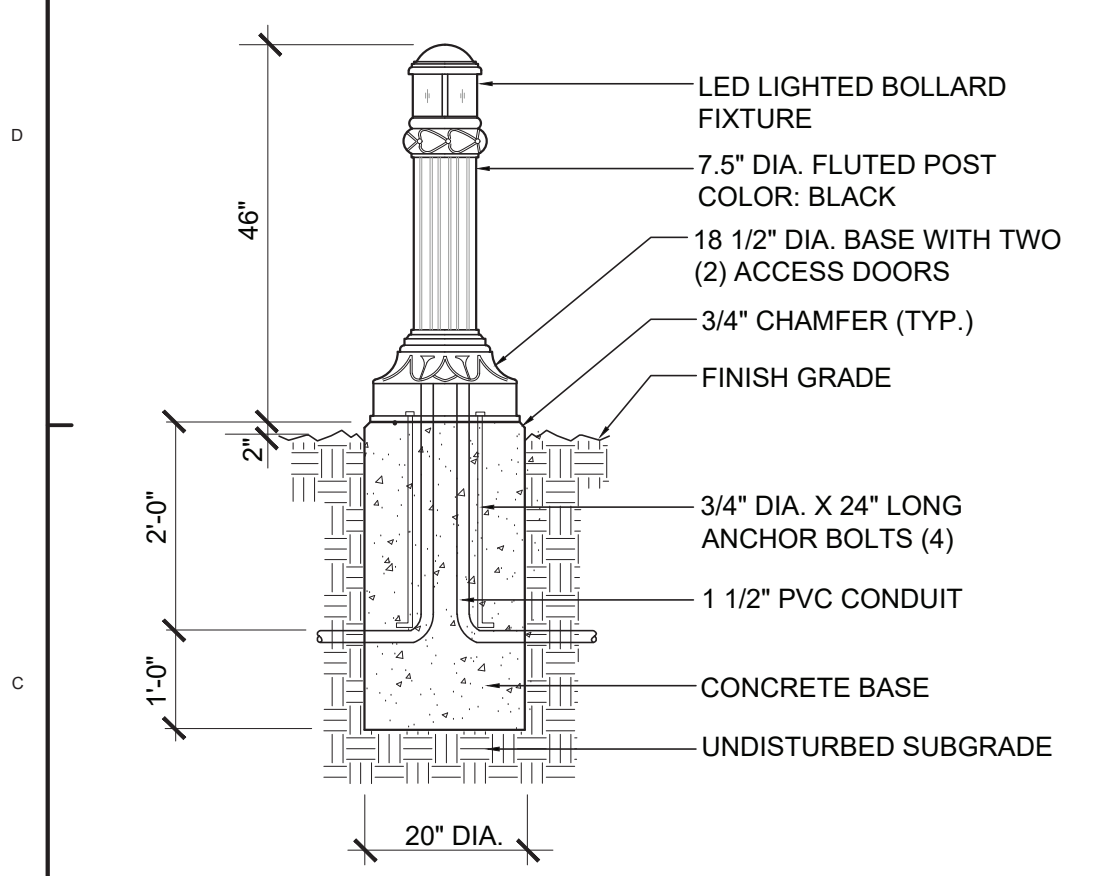
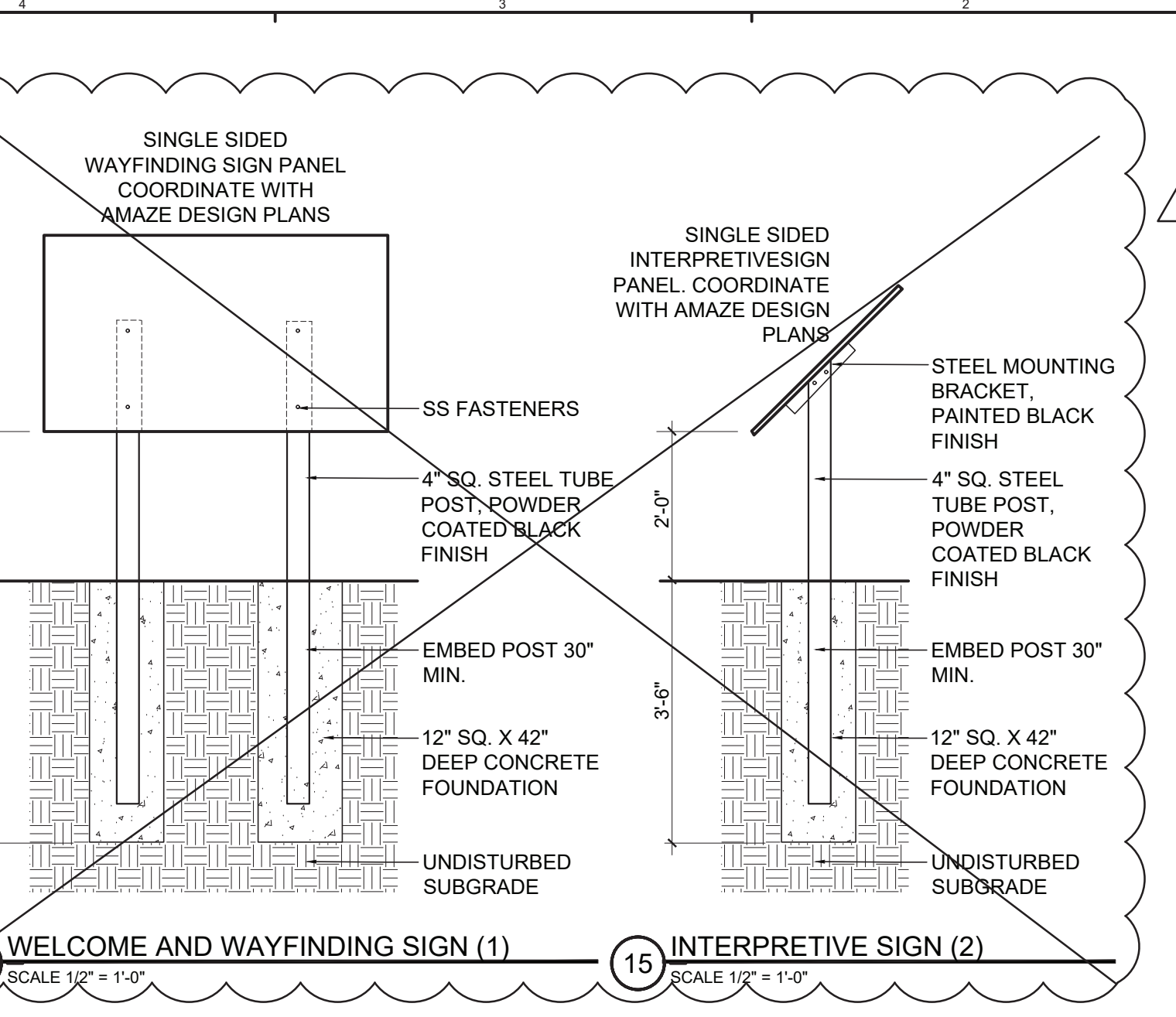
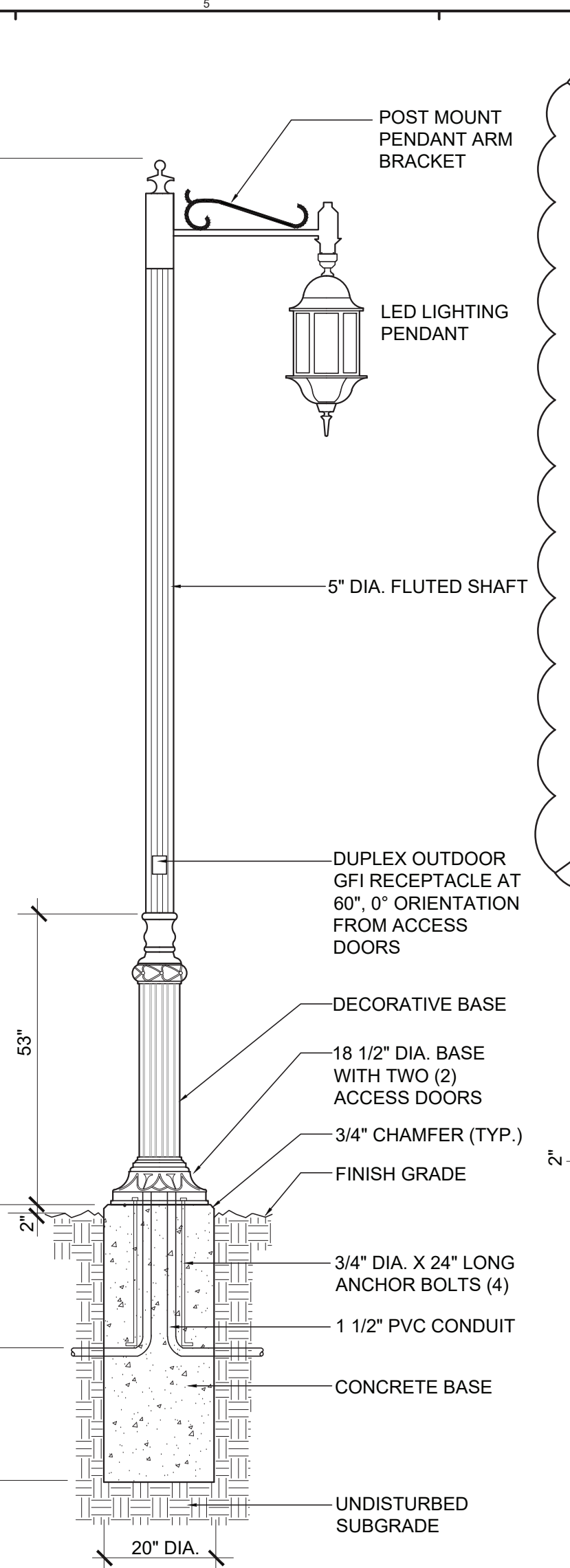
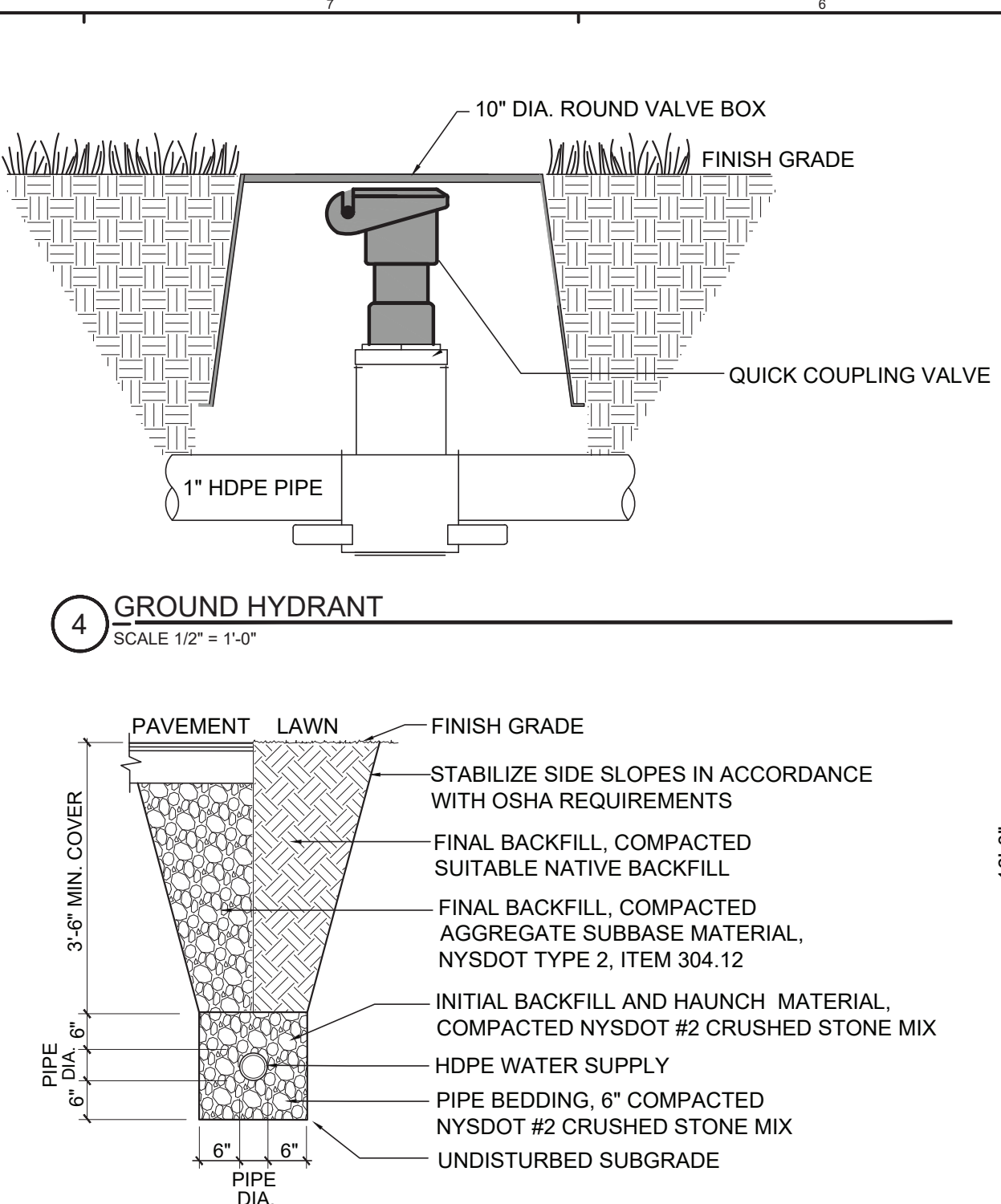
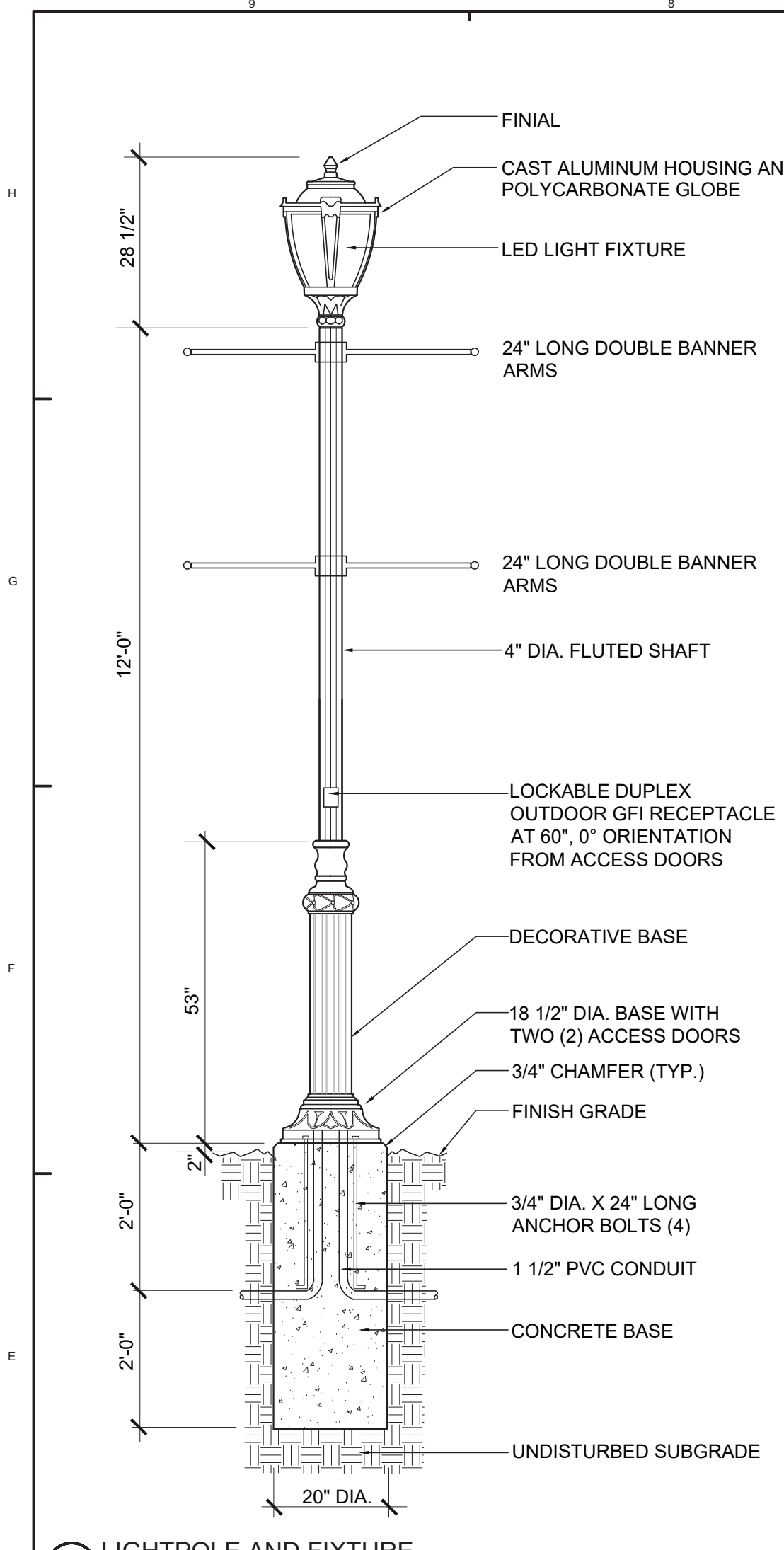
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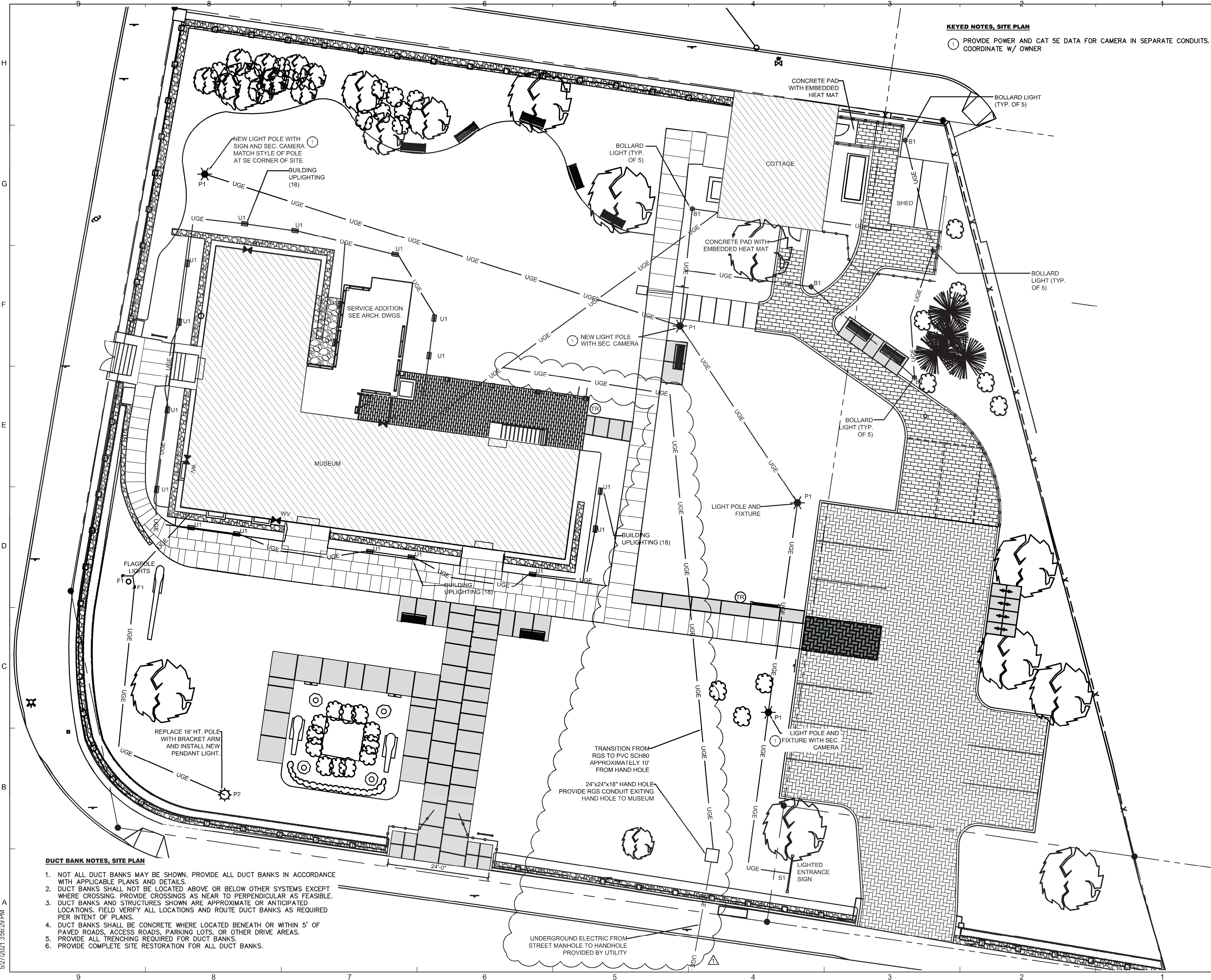
Drawn By: ELG
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Sheet Title: Site Details
Drawing Number: L601
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KEYED NOTES, SITE PLAN
 1 PROVIDE POWER AND CAT 5E DATA FOR CAMERA IN SEPARATE CONDUITS. COORDINATE W/ OWNER

- DUCT BANK NOTES, SITE PLAN**
1. NOT ALL DUCT BANKS MAY BE SHOWN. PROVIDE ALL DUCT BANKS IN ACCORDANCE WITH APPLICABLE PLANS AND DETAILS.
 2. DUCT BANKS SHALL NOT BE LOCATED ABOVE OR BELOW OTHER SYSTEMS EXCEPT WHERE CROSSING. PROVIDE CROSSINGS AS NEAR TO PERPENDICULAR AS FEASIBLE.
 3. DUCT BANKS AND STRUCTURES SHOWN ARE APPROXIMATE OR ANTICIPATED LOCATIONS. FIELD VERIFY ALL LOCATIONS AND ROUTE DUCT BANKS AS REQUIRED PER INTENT OF PLANS.
 4. DUCT BANKS SHALL BE CONCRETE WHERE LOCATED BENEATH OR WITHIN 5' OF PAVED ROADS, ACCESS ROADS, PARKING LOTS, OR OTHER DRIVE AREAS.
 5. PROVIDE ALL TRENCHING REQUIRED FOR DUCT BANKS.
 6. PROVIDE COMPLETE SITE RESTORATION FOR ALL DUCT BANKS.

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ELECTRICAL SITE PLAN

Bid Documents

Project Number:
1299.029.001

Sheet:
E004

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