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Project Title:
Philipse Manor Hall State Historic Site
Construction of Elevator/Restroom
Addition, Interior and Exterior
Rehabilitation and Site Enhancements

Project Location:
29 Warburton Ave, Yonkers, NY, 10701

Key Plan

REVISIONS

Rev No	Description	Date

Drawn By: **RAD**
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Checked By: **DGM**
Approved By: **DGM**
Date: **5/28/2021**

Seal and Signature



Sheet Title: SYMBOLS AND ABBREVIATIONS

Drawing Number: **M001**

Bid Documents

Project Number: **1299.029.001**

Sheet:

GENERAL NOTES:

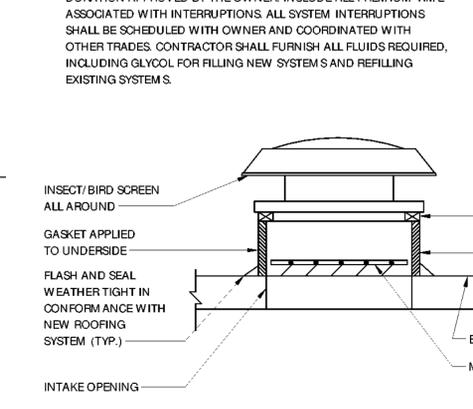
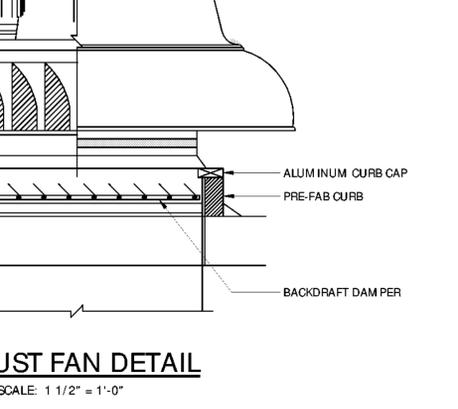
- DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED IN THIS TRADE. IT IS INTENDED THAT ALL COMPONENTS AND MATERIALS REQUIRED TO MAKE THE SYSTEMS COMPLETE, TESTED AND OPERATIONAL BE INSTALLED.
- CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS, DIMENSIONS AND ELEVATIONS BEFORE DEMOLITION AND CONSTRUCTION.
- ALL MATERIALS, EQUIPMENT, METHODS OF INSTALLATION, REMOVALS AND DISPOSAL SHALL BE IN ACCORDANCE WITH THE STANDARDS, REGULATIONS, CODES, ORDINANCES, AND LAWS OF AUTHORITIES THAT HAVE LAWFUL JURISDICTION.
- COMPLETELY COORDINATE WORK OF THIS TRADE WITH WORK OF OTHER TRADES AND OWNERS WORK.
- PROTECT ALL EXISTING BUILDING ELEMENTS AND SITE ELEMENTS TO REMAIN FROM ANY DAMAGE. CONTRACTOR SHALL RESTORE ALL EXISTING CONDITIONS AFFECTED BY DEMOLITION AND CONSTRUCTION TO ORIGINAL OR BETTER CONDITION.
- WORK SHALL BE EXECUTED IN A WORKMANLIKE MANNER AND SHALL PRESENT NEAT, RECTILINEAR APPEARANCE WHEN COMPLETED. MAINTAIN MAXIMUM HEAD ROOM AT ALL TIMES.
- MATERIALS AND EQUIPMENT SHALL BE NEW AND INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. MAINTAIN MANUFACTURER'S EQUIPMENT CLEARANCES.
- ALL EQUIPMENT PIPING, WIRING AND INSULATION ETC. INSTALLED IN HVAC AIR PLENUM SPACES SHALL MEET CODE REQUIREMENTS FOR SMOKE AND COMBUSTIBILITY.
- DO NOT SUPPORT EQUIPMENT FROM SUSPENDED CEILINGS. ALL SUPPORT SHALL COME FROM BUILDING STRUCTURE. SUPPORTS SHALL BE SELECTED AND INSTALLED TO PROVIDE A VIBRATION FREE INSTALLATION.
- DUCTWORK SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE LATEST ISSUES OF SMACNA STANDARDS.
- PROVIDE PROPER ACCESS TO MATERIALS AND EQUIPMENT THAT REQUIRE INSPECTION, REPLACEMENT, REPAIR OR SERVICE SUCH AS COILS, DAMPERS, HEATERS, VALVES, ETC. IF PROPER ACCESS CANNOT BE PROVIDED, CONFERENCE WITH THE ENGINEER AS TO THE BEST METHOD OF APPROACH TO MINIMIZE THE EFFECT OF THE REDUCED ACCESS WHICH MAY RESULT.
- RELOCATE EXISTING DUCTING, PIPING, CONDUIT AND OTHER INTERFERENCES TO INSTALL NEW EQUIPMENT AND MATERIALS OFFSETS IN PIPING AND DUCTS, DIVIDED DUCTS AND TRANSITIONS AROUND OBSTRUCTIONS SHALL BE PROVIDED AT NO ADDITIONAL COST TO OWNER.
- THOROUGHLY CLEAN ALL NEW DUCTWORK AFTER INSTALLATION.
- NOTES, SYMBOLS LIST AND DETAILS ARE APPLICABLE TO ALL DRAWINGS IN THIS TRADE.
- ALL WORK SHOWN IS TO BE COMPLETED BY THIS TRADE UNLESS SPECIFICALLY INDICATED OTHERWISE.
- FIRE STOP ALL NEW AND EXISTING SLEEVES THROUGH CONCRETE FLOORS AND FIRE RATED WALLS OR PARTITIONS WITH UL RATED ASSEMBLIES WITH EQUAL FIRE RATING.
- CONTRACTOR IS RESPONSIBLE FOR ALL OWNER COORDINATION AND PROCEDURES RELATED TO ISOLATING, SHUTTING DOWN, DRAINING, FILLING AND RESTARTING SYSTEMS, INCLUDING THOSE REQUIRED FOR RELOCATIONS, TO ALLOW FOR COMPLETION OF ALL DEMOLITION AND NEW WORK. INTERRUPTIONS TO EXISTING SERVICES AND SYSTEMS SHALL BE AS SHORT AS POSSIBLE AND AT A TIME AND DURATION APPROVED BY THE OWNER. INCLUDE ALL PREMIUM TIME ASSOCIATED WITH INTERRUPTIONS. ALL SYSTEM INTERRUPTIONS SHALL BE SCHEDULED WITH OWNER AND COORDINATED WITH OTHER TRADES. CONTRACTOR SHALL FURNISH ALL FLUIDS REQUIRED, INCLUDING GLYCOL FOR FILLING NEW SYSTEMS AND REFILLING EXISTING SYSTEMS.

ABBREVIATIONS:

∠ - ANGLE
AAD - AUTOMATIC AIR DAMPER
ACT - ACOUSTICAL CEILING TILE
AFF - ABOVE FINISHED FLOOR
ALUM - ALUMINUM
BLDG - BUILDING
BSM - BASEMENT
BOT - BOTTOM
BUR - BUILT UP ROOF
CB - CATCH BASIN
C/C - CENTER TO CENTER
CCTV - CLOSED CIRCUIT TELEVISION
CFM - CUBIC FEET PER MINUTE
CJ - CONTROL JOINT
CL - CENTER LINE
CLG - CEILING
CLR - CLEAR
CMU - CONCRETE MASONRY UNITS
COL - COLUMN
CONC - CONCRETE
CONST - CONSTRUCTION
CONT - CONTINUOUS
CPP - CORRUGATED POLYETHYLENE PIPE
CPT - CARPET
CT - CERAMIC TILE
DEM - DEMOLISH, DEMOLITION
DN - DOWN
DS - DOWNSPOUT
DTL - DETAIL
DWG - DRAWING
E.F. - EACH FACE
E.W. - EACH WAY
EC - ELECTRICAL CONTRACTOR
ELEC - ELECTRICAL
ELEV - ELEVATION
EMBED - EMBEDMENT
EPS - EXPANDED POLYSTYRENE
EQUIP - EQUIPMENT
E.S.P. - EXTERNAL STATIC PRESSURE
EW - EACH WAY
EXP - EXPOSED
EXP ANCHOR - EXPANSION ANCHOR
EXT - EXTERIOR
EX - EXIST - EXISTING
FIN FLR - FINISHED FLOOR
FLA - FULL LOAD AMPS
FND - FOUNDATION
FPM - FEET PER MINUTE
FTG - FOOTING
GA - GAUGE
GALV - GALVANIZED
GC - GENERAL CONTRACTOR
HBD - HARDBOARD
HC - HANDICAP

ABBREVIATIONS (CONT.):

HM - HOLLOW METAL
HP - HORSE POWER
HZ - HERTZ
INSUL - INSULATION
IGU - INSULATED GLASS UNIT
INV - INVERT
JT - JOINT
LAM - LAMINATE
MANUF - MANUFACTURER
MAS - MASONRY
MAX - MAXIMUM
M/C - MECHANICAL CONTRACTOR
MIN - MINIMUM
MR - MOISTURE RESISTANT
MTL - METAL
MO - MASONRY OPENING
NAT - NATURAL
NIC - NOT IN CONTRACT
NTS - NOT TO SCALE
O/C - ON CENTER
OD - OUTSIDE DIAMETER
PL - PLATE
PERF - PERFORATED
PLAS - PLASTIC
PLYWD - PLYWOOD
PNT - PAINT
PT - PRESSURE TREATED
PPT - PRESSURE PRESERVATIVE TREATED
PVM - PAVEMENT
QT - QUARRY TILE
R - RISER
RD - ROOF DRAIN
RAD - RADIUS
REQ'D - REQUIRED
RO - ROUGH OPENING
SC - SOLID CORE
SAN - SANITARY
SHT - SHEET
SIM - SIMILAR
SQ - SQUARE
SS - STAINLESS STEEL
STL - STEEL
SUS - SUSPENDED
SV - SHEET VINYL
T - TREAD
T/ - TOP OF
T&B - TOP AND BOTTOM
TEMP - TEMPERED
TYP - TYPICAL
VCT - VINYL COMPOSITION TILE
VIF - VERIFY IN FIELD
W.G. - WATER GAUGE



GRAVITY INTAKE DETAIL
SCALE: 3/4" = 1'-0"

FAN COIL (FC) SCHEDULE

TAG	LOCATION	AIRFLOW (CFM)	HEATING COIL (100% WATER)					COOLING COIL (30% PROPYLENE GLYCOL)					MOTOR			BASIS OF DESIGN				
			CAP. (M.B.H)	EAT/LAT (°F)	ROWS	FLOW (GPM)	EW/LWT (°F)	PRESS. DROP (FT)	TOTAL LOAD (M.B.H)	SENSIBLE LOAD (M.B.H)	COIL EAT (DB/WB °F)	COIL LAT (DB/WB °F)	EW/LWT (°F)	ROWS	FLOW (GPM)		PRESS. DROP (FT)	VOLTS	PHASE	HZ
FC-7	BASEMENT	580	24.2	44/81	1	2.4	160/140	6.4	19.6	14.8	83/69	60.6/59.1	44/54	4	4.1	2.47	120	1	60	JOHNSON CONTROLS FNP08

NOTES:

- PROVIDE WITH ECM MOTOR, MANUAL MOTOR STARTER AND DISCONNECT SWITCH WITH THERMAL OVERLOAD PROTECTION. LOCATE HOT WATER HEATING COIL DOWN STREAM OF CHILLED WATER COIL.
- PROVIDE COMPLETE WITH CONTROLS, THERMOSTAT, SENSORS AND LOW VOLTAGE WIRING TO INTEGRATE WITH EXISTING ENERGY MANAGEMENT CONTROLS SYSTEM.
- PROVIDE UNIT WITH MIXING BOX (REAR) BOTTOM DAMPERS, DAMPER ACTUATORS AND MERV 8 PLEATED FILTER.
- UNIT TO BE SUSPENDED FROM CEILING STRUCTURE, PROVIDE VIBRATION ISOLATION KIT.

LEGEND

—S— SLOPE DN IN DIRECTION OF ARROW
—|— BREAK
////// PIPING/EQUIPMENT TO BE REMOVED
○ LIMIT OF REMOVAL
● CONNECTION POINT TO EXISTING
—○— TEE RISE
—○— TEE DROP
—○— PIPE RISE
—○— PIPE DROP
→ DIRECTION OF FLOW
∩ CAP
≡ UNION
△ CONCENTRIC REDUCER
—|— FLANGED CONNECTION
—|— FLEXIBLE CONNECTION
—|— BUTTERFLY VALVE
—|— PRESSURE GAUGE
—|— THERMOMETER
—|— MANUAL AIR VENT
—|— AUTOMATIC AIR VENT
—|— STRAINER
—|— SWING CHECK VALVE
—|— BALL VALVE
—|— GATE VALVE
—|— GLOBE VALVE
—|— TRIPLE DUTY VALVE
—|— BALANCE VALVE
—|— BALL VALVE W/ HOSE CONNECTION, CAP AND CHAIN
—|— PRESSURE REDUCING VALVE
—|— SAFETY RELIEF VALVE
—|— TEMPERATURE SENSOR
—|— PUMP
—|— CONTROL VALVE, 3-WAY, MODULATING

CONVECTOR UNIT (CU) SCHEDULE

TAG	CAPACITY (BTU)	HOT WATER ENTERING TEMP (°F)	HOT WATER LEAVING TEMP (°F)	UNIT LENGTH (IN)	UNIT HEIGHT (IN)	UNIT DEPTH (IN)	FLOW RATE (GPM)	BASIS OF DESIGN
CU-1 TO CU-5	2,795	150	139	36.0	26.0	4.0	0.5	STERLING MODEL W-A

NOTES:

- UNIT SHALL BE COMPLETELY EXPOSED WALL HUNG TYPE WITH OPEN BOTTOM.
- PROVIDE THERMOSTATIC RADIATOR VALVE WITH TAMP RESISTANT VALVE MOUNTED DIAL AND REMOTE SENSOR.

WALL HEATER (UH) SCHEDULE

TAG	AIR FLOW (CFM)	CAP. (BTUH)	NO. OF FANS	ELEC. VOLTS/PHASE	BASIS OF DESIGN	NOTES
UH-1	160	5125	1	120/1	REZNOR EHC 1	1

NOTES:

- PROVIDE UNIT MOUNTED TAMP PROOF THERMOSTAT AND DISCONNECT SWITCH.

EXHAUST FAN SCHEDULE

TAG	AREA SERVED	LOCATION	CFM	E.S.P. (IN W.G.)	DRIVE	RPM	MOTOR		BASIS OF DESIGN	NOTES
							HP	VOLTS		
EF-1	TOILET ROOMS	MUSEUM ADDITION	280	0.7	DIRECT	1670	1/8	115	1	COOK ACE-D SIZE 80 2,3,4,5
EF-2	TOILET ROOM	CARETAKERS COTTAGE	70	0.3	DIRECT	900	1/25	115	1	COOK GN-146 1,2

NOTES:

- PROVIDE MOUNTING HARDWARE, VIBRATION ISOLATION KIT, BRICK VENT (COOK BV2) AND BACKDRAFT DAMPER.
- PROVIDE MANUAL STARTER AND DISCONNECT SWITCH WITH THERMAL OVERLOAD PROTECTION.
- PROVIDE BACKDRAFT DAMPER, FAN SPEED CONTROLLER (120V), AND ROOF CURB (COOK RCG 16-13.5H) WITH DAMPER TRAY.
- UNIT TO BE PROVIDED WITH BAKED POLYESTER POWDER COATING ELECTROSTATICALLY APPLIED (COLOR-ONYX BLACK).
- UNIT TO BE INTEGRATED INTO THE EXISTING BUILDING ENERGY MANAGEMENT SYSTEM.

GRAVITY VENTILATOR (GV) SCHEDULE

TAG	LOCATION	DESCRIPTION	CFM	NOMINAL SIZE DIA (IN)	BASIS OF DESIGN	ASSOCIATED EQUIPMENT
GV-1	ROOF	ROOFTOP GRAVITY INTAKE VENTILATOR	250	8	COOK MODEL 8PR	FC-7

NOTES:

- PROVIDE 1/2" ALUMINUM INSECT/BIRD SCREEN & BAKED POLYESTER POWDER COATING (COLOR-ONYX BLACK).
- PROVIDE MANUAL STARTER AND DISCONNECT SWITCH WITH THERMAL OVERLOAD PROTECTION.
- INTERLOCK DAMPER WITH ASSOCIATED EQUIPMENT & INTEGRATE INTO EXISTING BUILDING ENERGY MANAGEMENT SYSTEM.

AIR COOLED CONDENSING UNIT (ACCU) SCHEDULE

TAG	MIN AMBIENT TEMP (°F)	CONDENSER AIR TEMP (°F)	SATURATED SUCTION TEMP (°F)	SATURATED COND. TEMP (°F)	NOM. COOLING CAPACITY (TONS)	UNIT EER (SEER)	REFRIG. TYPE	VOLTS	MCA	ASSOCIATED EQUIPMENT	BASIS OF DESIGN
ACCU-1	-10	95	45	115	1.0	12.0	R410A	208	11.0	AC-1	MITSUBISHI MODEL PUY-A12NK47
ACCU-2	-10	95	45	115	1.0	12.0	R410A	208	11.0	AC-2	MITSUBISHI MODEL PUY-A12NK47

NOTES:

- UNIT SHALL BE INVERTER DUTY TYPE WITH AUTO DEFROST AND ANTI-CORROSION COIL TREATMENT.
- UNIT SHALL BE PROVIDED WITH FRONT, REAR AND SIDE WIND BAFFLES FOR LOW AMBIENT TEMPERATURE OPERATION.
- PROVIDE MITSUBISHI STANDS (MINIMUM 12" TALL) DESIGNED FOR USE WITH MITSUBISHI UNITS.

AIR CONDITIONING UNIT - INDOOR

TAG	LOCATION	TOTAL AIRFLOW (CFM)	FAN DRIVE	REFRIGERANT (410A) COIL			VOLTS/PHASE/HZ	AMPS (MCA)	AMPS (MOCP)	ASSOCIATED EQUIPMENT	BASIS OF DESIGN
				MAXIMUM COOLING CAP (BTU/H)	MINIMUM COOLING CAP (BTU/H)	COOLING EAT (DB/WB °F)					
AC-1	IT ROOM B6	425	DIRECT	12,000	5,800	80/67	208/1/60	1	15	ACCU-1	MITSUBISHI MODEL PKA-A12HA7
AC-2	ELEV. MAQH. B7	425	DIRECT	12,000	5,800	80/67	208/1/60	1	15	ACCU-2	MITSUBISHI MODEL PKA-A12HA7

NOTES:

- PROVIDE REMOTE CONTROLLER AND MOUNT UNIT AT 7 FEET ABOVE FINISHED FLOOR IN LOCATION SHOWN.
- UNIT SHALL BE COOLING ONLY. PROVIDE OPERATIONS AND MAINTENANCE MANUAL, AND OWNER TRAINING PER SPECIFICATIONS.
- PROVIDE UNIT-MOUNTED COMBINATION CONDENSATE PUMP/DETECTION UNIT KIT, AND DISCONNECT SWITCH. PROVIDE CONDENSATE PUMP WITH 115V/1/60 POWER.

DIFFUSER AND GRILLE SCHEDULE

TYPE	DESCRIPTION	MAX SONES	BLOW PATTERN	FACE SIZE (IN)	NECK SIZE (IN)	AIR FLOW (CFM)	BASIS OF DESIGN	NOTES
SD-1	SUPPLY DIFFUSER	16	4-WAY	24 x 24	60	0-200	TITUS TMS	1,2,3,4
SG-1	SUPPLY GRILLE	-	-	8 x 8	6 x 6	0-75	TITUS 300RL	1,2,3,4,5
SG-2	SUPPLY GRILLE	-	-	12 x 12	10 x 10	225-300	TITUS 300RL	1,2,3,4,5
SG-3	SUPPLY GRILLE	12	1-WAY	14 x 38	12 x 36	500	TITUS LL-1	1,2,3,4,6
SG-4	SUPPLY GRILLE	12	-	12 x 8	10 x 6	150-200	TITUS 300RL	1,2,3,4
EG-1	EXHAUST GRILLE	-	-	8 x 8	6 x 6	0-70	TITUS 350RL	1,2,3
RG-1	RETURN GRILLE	11	-	10 x 14	8 x 12	200-300	TITUS 350RL	1,2,4,5
RG-2	RETURN GRILLE	11	-	14 x 8	12 x 6	0-200	TITUS 350RL	1,2,4
RG-3	RETURN GRILLE	20	-	12 x 12	10 x 10	250-400	TITUS 350RL	1,2,4,5

NOTES:

- BALANCE ALL DUCT BRANCHES TO CFM VALUE SHOWN.
- REFER TO PLANS FOR QUANTITIES, AIR FLOW. ALL BRANCH DUCT CONNECTING DIFFUSER TO MAIN SHALL BE THE SAME SIZE AS THE DIFFUSER NECK.
- VERIFY MOUNTING FRAME. REFER TO REFLECTED CEILING PLAN FOR LOCATIONS AND CEILING TYPE. COORDINATE WITH OTHER CEILING MOUNTED EQUIPMENT.
- PROVIDE WITH OPPOSED BLADE DAMPER, ADJUSTABLE WITHOUT DISASSEMBLY.
- WALL MOUNTED. SEE PLAN FOR HEIGHT.
- COLOR TO MATCH EXISTING CEILING TRIM (COORDINATE WITH OWNER).