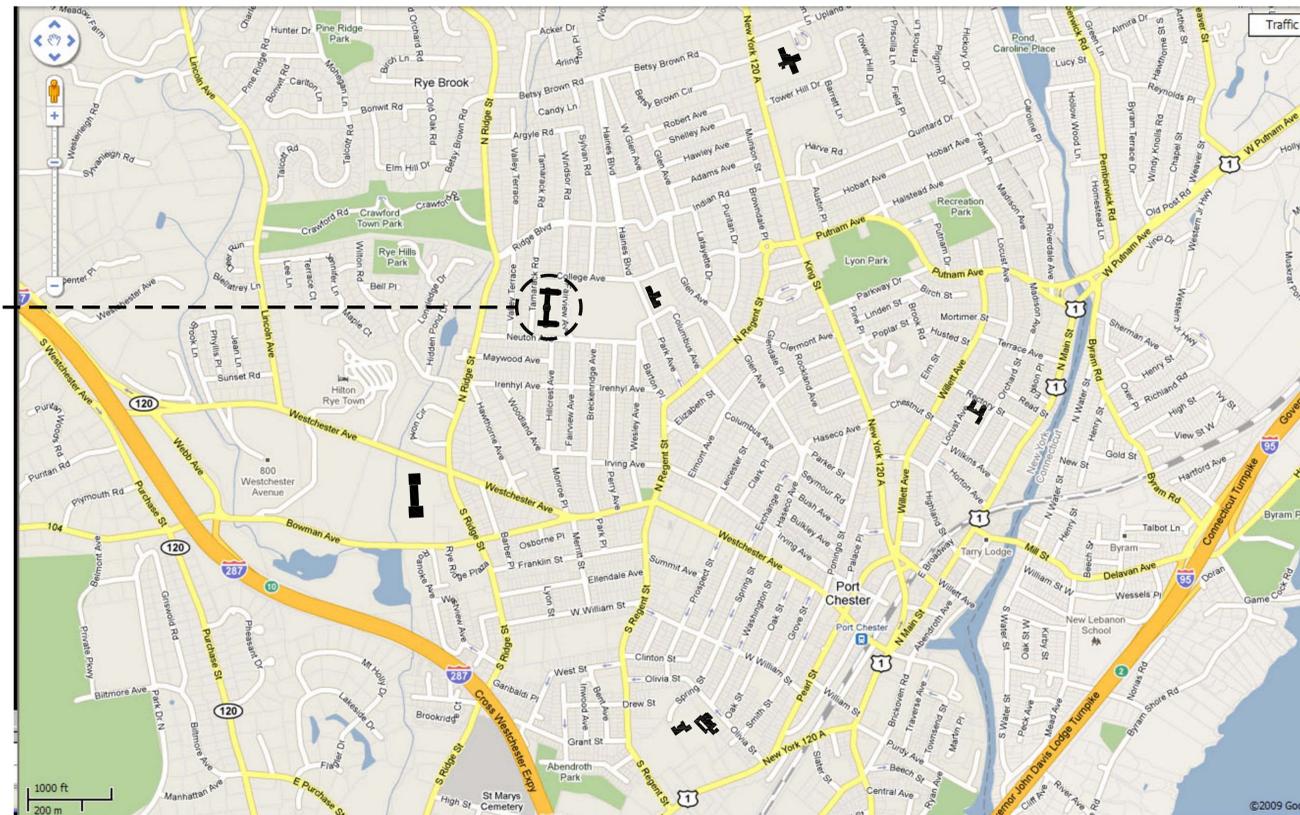


# PORT CHESTER - RYE UNION FREE SCHOOL DISTRICT

## PORT CHESTER HIGH SCHOOL BOILER ROOM SUMP PUMP AND ATTIC CATWALK 1 TAMARACK RD, PORT CHESTER, NY 10573



PORT CHESTER HIGH SCHOOL



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# ABBREVIATIONS:

& - AND	EDB - ENTERING DRY BULB	INSUL - INSULATION	RTU - ROOF TOP UNIT
A/G - ALUMINUM & GLAZING	EDR - EQUIVALENT DIRECT RADIATION	INV - INVERT	S - SINK
ACU - AIR CONDITIONING UNIT (S)	EER - EMERGENCY ESCAPE AND RESCUE	IN - INCH	SA - SUPPLY AIR
ACM - ASBESTOS CONTAINING MATERIAL	EFA - EXHAUST FAN	J.C. - JANITOR'S CLOSET	SAN - SANITARY
ACT - ACOUSTICAL CEILING TILE	EFF - EFFICIENCY	JT - JOINT	SCHED - SCHEDULE
ACW - ASBESTOS CONTAINING WASTE	EJ - EXPANSION JOINT	J.B. - JUNCTION BOX	SD - SMOKE DETECTOR
AD - ACCESS DOOR	EQ - EQUAL	KIT - KITCHEN	S.D.MPR - SMOKE DAMPER
ADJ - ADJACENT	ELEC - ELECTRICAL	KW - KILOWATT	SECT - SECTION
AFF - ABOVE FINISH FLOOR	EL/ELEV - ELEVATION	K.M.H. - KILOWATT MOUNTING HEIGHT	SECT - SECTION
AHU - AIR HANDLER UNIT	E.M.H. - ELEMENTARY SCHOOL MOUNTING HEIGHT	L - LENGTH	SQ - SQUARE FOOT
ALUM - ALUMINUM	ENCLOSURE - ENTRANCE	LAT - LEAVING AIR TEMPERATURE	SH - SHEET
ALT - ALTERNATE	EQUIP - EQUIPMENT	LAM - LAMINATE	SIM - SIMILAR
AMB - AMBIENT	ESP - EXTERNAL STATIC PRESSURE	LAV - LAVATORY	SP - STATIC PRESSURE
AMP - AMPERE	ETC - AND SO FORTH	LBS/# - POUNDS	SPEC(S) - SPECIFICATION (S)
APD - AIR PRESSURE DROP	EVAP - EVAPORATOR	L.C.C. - LEAD COATED COPPER	SQ FT - SQUARE FEET
APPROX - APPROXIMATE	EWB - ENTERING WET BULB	LDR - LEADER	SS - STAINLESS STEEL
ARCH - ARCHITECTURAL	EXT - ENTERING WATER TEMPERATURE	LF - LINEAR FEET	STD - STANDARD
AVG - AVERAGE	EX - EXPOSED	LQ - LIQUID	STL - STEEL
BDD - BACK DRAFT DAMPER	EXH - EXHAUST	LL - LIVE LOAD	STM - STEAM
BFW - BOILER FEED WATER	EXHA - EXHAUST AIR	LP - LOW POINT	STOR - STORAGE
BHP - BRAKE HORSE POWER	EXIST - EXISTING	LPS - LOW PRESSURE STEAM	STRUCT - STRUCTURAL
BITUM - BITUMINOUS	EXP - EXPOSED CONSTRUCTION	LRG - LINEAR RETURN GRILLE	SUCT - SUCTION
BLDG - BUILDING	EXT - EXTERIOR	LSD - LINEAR SUPPLY DIFFUSER	SUSP - SUSPENDED
BLK - BLOCK	F - FAHRENHEIT	LWT - LEAVING WATER TEMPERATURE	T - TREAD/TOILET
B.O.P. - BOTTOM OF PLANK	F.A.I. - FRESH AIR INTAKE	M - MIRROR	TEMP - TEMPERATURE CONTROL PANEL
B.O.S. - BOTTOM OF SLAB	FB - FIRE BLANKET	MAX - MAXIMUM	T.D. - TRENCH DRAIN
BTUH - BRITISH THERMAL UNITS/HOUR	FCU - FAN COIL UNIT	MAT - MATERIAL	T.DIFF. - TEMPERATURE DIFFERENCE
BU - BUILT UP	F.D. - FLOOR DRAIN	MBH - BTU PER HOUR (THOUSAND)	TEL - TELEPHONE
BUR - BUILT UP ROOFING	F.DAMP. - FIRE DAMPER	MD - MOTORIZED DAMPER	TEMP - TEMPERED
C - COMMON	F.E. - FIRE EXTINGUISHER	MECH - MECH	TEMP. - TEMPERATURE
CV - COEFFICIENT, VALVE FLOW	F.E.-1 - FIRE EXTINGUISHER - SURF. MT.	MFR - MANUFACTURER	THK - THICK
CB - CATCH BASIN	F.E.-2 - FIRE EXTINGUISHER - RECESSED	MIN - MINIMUM	T.KBD - TACK BOARD
C.C. COOLING COIL	F.G. - FIBER GLASS	MKB - MARKER BOARD	T.O. - TRIMMED OPENING
CEL.CLO - CEILING EXHAUST REGISTER/ GRILLE	FIN - FINISH	MISC - MISCELLANEOUS	T.O.C. - TOP OF CURB
CFM - CUBIC FEET PER MINUTE	FIXT - FIXTURE	MO - MASONRY OPENING	T.O.M.D. - TOP OF METAL DECK
CH - CEILING HEIGHT	FHC - FIRE HOSE CABINET	MPS - MEDIUM PRESSURE STEAM	T.O.P. - TOP OF PARAPET
CHWR - CHILLED WATER RETURN	FL/FLR - FLOOR	MS - MARBLE SADDLE	T.O.S. - TOP OF STEEL
CHWS - CHILLED WATER SUPPLY	FTS - FEET PER SECOND	MH - MAN HOLE	TSP - TOTAL STATIC PRESSURE
C.J. - CONTROL JOINT	FOB - FLAT ON BOTTOM	MTD - MOUNTED	TSTAT - THERMOSTAT
CL - CENTER LINE	FOG - FUEL OIL GAUGE	MTL - METAL	TYP. - TYPICAL
CLG WTR - COOLING WATER	FOR - FUEL OIL RETURN	N - NORTH	U - URINAL
CLOS - CLOSET	FOS - FUEL OIL SUPPLY	N/A - NOT APPLICABLE	UH - UNIT HEATER
CMU - CONCRETE MASONRY UNIT	FOT - FLAT ON TOP	NC - NORMALLY CLOSED	UL - UNDERWRITERS LABORATORY
CMP - CORRUGATED METAL PIPE	F.P. - FIRE PROOF	N.I.C. - NOT IN CONTRACT	UNFIN - UNFINISHED
C.O. - CLEAN OUT	FPM - FEET PER MINUTE	NO(S) - NUMBER(S)	UV - UNIT VENTILATOR
COL - COLUMN	FRP - FIBERGLASS REINFORCED POLYSTYRENE	N.OPEN - NORMALLY OPEN	V - VOLT
COMPR - COMPRESSOR	FT - FOOT OR FEET	N.T.S. - NOT TO SCALE	VAV - VARIABLE AIR VOLUME
CONC - CONCRETE	GA - GAUGE	OA - OUTSIDE AIR	VD - VOLUME DAMPER
COND - CONDENSER	GAL - GALLONS	OC - ON CENTER	VEL - VELOCITY
CONST - CONSTRUCTION	GALV - GALVANIZED	OD - OUTSIDE DIAMETER	VEST - VESTIBULE
CONT - CONTINUOUS	G.C. - GENERAL CONSTRUCTION	ODR - OPEN DUCT RETURN	V.I.F. - VERIFY IN FIELD
CONTR - CONTRACTOR	GEN - GENERAL	OF - OUTSIDE FACE	V.LV - VALVE
CONV - CONVECTOR	GL - GLASS	O.H. - OPPOSITE HAND	V.LV - VALVE
CP - CONDENSATE PUMP	GPH - GALLONS PER HOUR	OH - OVERHEAD	VOL - VOLUME
CRR/CRG - CEILING RETURN REGISTER/ GRILLE	GPM - GALLONS PER MINUTE	OPNG - OPENING	V.P. - VISION PANEL
CRT - CARPET	GR - GRAINS	OPP - OPPOSITE	V.V.C. - VINYL WALL COVERING
CRP - CARPET	G.T. - GLAZED WALL TILE	OZ - OUNCE	W - WOMEN/WIDTH/WASHER
CRU - COMPUTER ROOM UNIT	G.V. - GAS VALVE	P - PUMP(IN-LINE OR BASE MOUNTED)	W/ - WITH
CSD - CEILING SUPPLY DIFFUSER	GYP. BD. - GYPSUM BOARD	PART - PARTIAL	W/B - WET BULB
CT - CERAMIC TILE	H - HEIGHT	P-CONTR - PLUMBING CONTRACTOR	W.C. - WATER CLOSET
CTB - CERAMIC TILE BASE	H.B. - HOSE BIB	PB - PANEL BOX	WD - WOOD
C.TWR. - COOLING TOWER	H-CONTR - HEATING, VENTING, AND AIR CONDITIONING CONTRACTOR	PD - PRESSURE DROP	WEF - WALL EXHAUST FAN
CU - CUBIC FEET	H.C. - HOLLOW CORE	PH - PENTHOUSE	WER/WEG - WALL EXHAUST REGISTER/GRILLE
CUH - CABINET UNIT HEATER	H/C - HEATING/COOLING	PI - PLASTIC LAMINATE	WGT - INCHES OF WATER, GAGE (PRESSURE)
CWR - CONDENSER WATER RETURN	HD - HEAD	PLT - PLATE	WK - WORK
CWS - CONDENSER WATER SUPPLY	HEAT.CL. - HEATING COIL	PLUMB - PLUMBING	W.I. - WROUGHT IRON
D/DIA - DIAMETER	HG - REFRIGERANT HOT GAS	PLYWOOD - PLYWOOD	W.P. - WATER PROOF
DB - DRY BULB TEMPERATURE	H.M. - HOLLOW METAL	PNT - PAINT	WPD - WATER PRESSURE DROP
DC - DUST COLLECTOR	HORIZ - HORIZONTAL	PREFAB - PREFABRICATED	W.R. - WATER RESISTANT
DEG - DEGREE	H.P. - HIGH POINT	PRESS - PRESSURE	WRR/WRG - WALL RETURN REGISTER/GRILLE
DEMO - DEMOLITION	HPS - HIGH PRESSURE STEAM	PSI - POUNDS PER SQUARE INCH	WSR/WSG - WALL SUPPLY REGISTER/GRILLE
D.F. - DRINKING FOUNTAIN	H.PWR - HORSE POWER	PT - PRESSURE TREATED	WTR - WATER
D.H. - DOUBLE HUNG	HR - HOUR (S)	QT - QUARRY TILE	W.W.F. - WELDED WIRE FABRIC
DM - DIMENSION	HT - HEAT	QTY - QUANTITY	R - RISER/RADIUS
DN - DOWN	HTHW - HIGH TEMPERATURE HOT WATER	RA - RETURN AIR	W.W.M. - WELDED WIRE MESH
D.O. - REPEAT/DOOR OPENING	HV - HEATING/VENTILATION UNIT	RAD - RADIATION	YD - YARD DRAIN
DP - DEEP	H.W.C. - HIGH IMPACT WALL COVERING	RBT - RUBBER TILE	
DR - DOOR	HWR - HOT WATER RETURN	RD - ROOF DRAIN	
DWG - DRAWING	HWS - HOT WATER SUPPLY	REF - ROOF EXHAUST FAN	
DX - DIRECT EXPANSION	HX - HEAT EXCHANGER -	REINF - REINFORCED	
E - EAST	HZ - FREQUENCY(CYCLES PER MINUTE)	REQ'D - REQUIRED	
EA - EACH	ID - INSIDE DIAMETER	RH - RELATIVE HUMIDITY	
EAT - ENTERING AIR TEMPERATURE	IEF - IN-LINE EXHAUST FAN	RO - ROUGH OPENING	
E-CONTR. - ELECTRICAL CONTRACTOR	INT - INTERIOR	RM - ROOM	
		RMF - REVOLUTIONS PER MINUTE	

NOTE:  
SEE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR STRUCTURAL, MECHANICAL AND ELECTRICAL ABBREVIATIONS

# GENERAL NOTES:

- ALL ELEVATIONS AND DETAILS SHOWN ARE SIMILAR LOCATIONS IN ALL OR PART OF THE ELEVATION DETAIL.
- ANY VARIATIONS FROM CONDITIONS AS SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. WORK SHALL NOT PROCEED UNTIL CLARIFICATION HAS BEEN RECEIVED.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE.
- REVIEW AND COORDINATE ALL CONDITIONS (INCLUDING BUT NOT LIMITED TO PENETRATIONS, FABRICATIONS, INSTALLATIONS) FOR CONFORMANCE TO THE PLANS, SPECIFICATIONS, APPLICABLE REFERENCE STANDARDS AND OTHER PROVISIONS OF THE CONTRACT DOCUMENTS.
- INDICATED DIMENSIONS ARE TO:
  - FACE OF MASONRY OR CONCRETE AND FACE OF FINISH TO FINISH ARE EXACT.
  - CENTER LINES.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- SHOP DRAWINGS WHERE APPLICABLE MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE ANY FABRICATION OR WORK IS COMMENCED.
- ALL WORK MUST CONFORM TO ALL CODES HAVING JURISDICTION AND THE STATE EDUCATION DEPARTMENT PLANNING STANDARDS ANY CONFLICT OF OR BETWEEN CODE, THE MORE STRINGENT CODE SHALL SUPERSEDE ALL OTHERS.
- USE ONLY NEW MATERIALS AND EQUIPMENT, WITHOUT DEFECTS FOR THEIR INTENDED USE.
- DISCREPANCIES AND OMISSIONS ON DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT IN WRITING FOR CLARIFICATION.
- LARGE SCALE DRAWINGS HAVE PRECEDENCE, HOWEVER WORK INDICATED ON SMALL SCALE DRAWINGS SHALL NOT BE OMITTED. SIMILARLY, NOTES TAKE PRECEDENCE OVER SCHEDULES, PIPING AND WIRE DIAGRAMS. HOWEVER WORK SHOWN OR DESCRIBED BY OTHER METHODS SHALL NOT BE OMITTED.
- SET ALL WORK STRAIGHT, PLUMB AND LEVEL OR WITH INDICATED SLOPE.
- IF AMBIGUITIES EXIST IN THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL INCLUDE IN HIS/HER BID THE MORE EXPENSIVE METHOD OF WORK.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF DEBRIS AS PER CONTRACT SPECIFICATION.
- THE ELEVATIONS AND DETAILS ARE APPROXIMATE IN CONDITIONS AND ARE FOR INFORMATION ONLY. ALL DIMENSIONS AND CONDITIONS SHALL BE CONFIRMED AND COORDINATED BY THE CONTRACTOR.

- REMOVE ALL EXISTING MATERIALS INDICATED AND AS REQUIRED TO INSTALL NEW DOORS, WALLS, EQUIPMENT AND RELATED ITEMS AS PER CONTRACT DOCUMENTS.
- CONTRACTOR SHALL PROTECT ALL AREAS OF EXISTING CONSTRUCTION AND RELATED ITEMS FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
- ALL OCCUPIED PORTION OF THE SCHOOL BUILDING SHALL ALWAYS COMPLY WITH THE MINIMUM REQUIREMENTS NECESSARY TO MAINTAIN A CERTIFICATE OF OCCUPANCY.
- CONTRACTOR SHALL MEET THE FOLLOWING MINIMUM SAFETY AND SECURITY STANDARDS FOR CONSTRUCTION PROJECTS.
  - ALL CONSTRUCTION MATERIALS SHALL BE STORED IN A SAFE AND SECURE MANNER.
  - FENCES AROUND CONSTRUCTION SUPPLIES AND DEBRIS SHALL BE MAINTAINED.
  - WORKERS SHALL BE REQUIRED TO WEAR PHOTO IDENTIFICATION BADGES AT ALL TIMES FOR IDENTIFICATION AND SECURITY PURPOSES WHILE WORKING ON SITE.
- CONSTRUCTION AREAS WHICH UNDER THE CONTROL OF THE CONTRACTOR AND THEREFORE NOT OCCUPIED BY DISTRICT STAFF OR STUDENTS SHALL BE SEPARATED FROM OCCUPIED AREAS. PROVISIONS SHALL BE MADE TO PREVENT THE PASSAGE OF DUST AND CONTAMINANTS INTO OCCUPIED PARTS OF THE BUILDING. PERIODIC INSPECTIONS AND REPAIRS OF THE CONTAINMENT BARRIERS MUST BE MADE TO PREVENT EXPOSURE TO DUST AND CONTAMINANTS.
  - A SPECIFIC STAIRWELL AND ENTRANCE SHALL BE PROVIDED FOR CONTRACTORS USE DURING WORK HOURS. WORKERS MAY NOT USE CORRIDORS, STAIRS OR ELEVATORS DESIGNATED FOR STUDENTS OR SCHOOL STAFF.
  - REMOVAL OF ALL DEBRIS SHALL BE THROUGH DESIGNATED, SEPARATED AND PROTECTED AREAS OF THE BUILDING. THERE SHALL BE NO MOVEMENT OF DEBRIS OR EQUIPMENT THROUGH OCCUPIED SPACES OF THE BUILDING.
  - ALL OCCUPIED PARTS OF A BUILDING AFFECTED BY CONSTRUCTION ACTIVITY SHALL BE CLEANED AT THE CLOSE OF EACH WORK DAY.
- CONSTRUCTION OPERATIONS SHALL NOT PRODUCE NOISE IN EXCESS OF 60DBA IN OCCUPIED SPACES OR SHALL BE SCHEDULED FOR TIMES WHEN THE AFFECTED BUILDING SPACES ARE NOT OCCUPIED OR ACOUSTICAL ABATEMENT MEASURES SHALL BE TAKEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF CHEMICAL FUMES, GASES, AND OTHER CONTAMINANTS PRODUCED BY ITS WELDING, GASOLINE OR DIESEL ENGINES, ROOFING, PAVING, PAINTING, ETC. TO ENSURE THEY DO NOT ENTER OCCUPIED PORTION OF THE BUILDING OR AIR INTAKES.
- CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ITS ACTIVITIES AND MATERIALS WHICH RESULT IN "OFF-GASSING" OF VOLATILE ORGANIC COMPOUNDS SUCH AS GLUES, PAINTS, FURNITURE, CARPETING, WALL COVERING, DRAPERY, CURED OR VENTILATED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS BEFORE SPACE CAN BE OCCUPIED.

# GRAPHIC LEGEND:

	PROPOSED ROOM NUMBER		REMOVE EXISTING CONSTRUCTION
	EXISTING ROOM NUMBER		EXISTING CONSTRUCTION
	DOOR NUMBER		REVISION MARK
	INTERIOR WALL ELEVATION NUMBERS		COLUMN GRID LINES
	DWG. NO.		BUILDING SECTION
	WINDOW TYPE OPENING DESIGNATION		WALL SECTION
	OPENING DESIGNATION		REFERENCE POINT
	WORK SCOPE NOTE		INDICATES HIDDEN LINE - ABOVE, BELOW, BEHIND OR ITEMS TO BE REMOVED
	REMOVAL NOTE		INDICATES DOOR NUMBER (SEE SCHEDULE)
	DETAIL NUMBER		DOOR TO BE INSTALLED
	DETAIL NO. DWG. NO.		INDICATES TURNING RADIUS
	PARTITION TYPE		5'-0" ø HANDICAPPED TURNING RADIUS
	EXTERIOR ELEVATIONS		
	CENTERLINE OR N.I.C.		
	FLUSH CURB		
	FLUSH THRESHOLD CONDITION		

# MATERIALS LEGEND:

	CONCRETE		PLY WOOD
	CONCRETE MASONRY UNITS (INDICATES PARTITION TYPE)		ACOUSTICAL TILE
	BRICK		CONTINUOUS WOOD FRAMING THROUGH MEMBER.
	STONE		WOOD FRAMING - INTERRUPTED MEMBER
	METALS		FINISHED WOOD
	COMPACTED GRAVEL		BATT INSULATION
	CRUSHED STONE		ACOUSTICAL INSULATION
	EARTH/UNDISTURBED SOIL		RIGID INSULATION
	PARTICLE BOARD		NEW PARTITION (INDICATES PARTITION TYPE)

# GENERAL REMOVAL NOTES:

- REMOVAL DRAWINGS INDICATE ONLY MAJOR SCOPE OF REMOVALS INCLUDING BUT NOT LIMITED TO PARTITIONS, WALLS, CEILINGS, FLOORS, COLUMNS, COLUMN ENCLOSURES, DOOR FRAMES AND DOORS, ELECTRICAL OR DATA RACEWAYS, AND ANY OTHER EXISTING ITEMS. CONTRACTOR IS REQUIRED TO REMOVE ANY AND ALL ITEMS NOT SHOWN AS REQUIRED TO SUIT ALL NEW WORK. CONTRACTOR IS REQUIRED TO REMOVE, PROTECT AND STORE ANY AND ALL ITEMS SHOWN AS REQUIRED TO SUIT ALL NEW WORK, COORDINATE W/ OWNER FOR STORING LOCATIONS.
- EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT, FIXTURES, RISERS, SHAFTS, PIPES, OUTLETS, DEVICES, ETC. SHOWN ON DRAWINGS ARE APPROXIMATELY LOCATED. CONTRACTOR IS TO DETERMINE EXACT LOCATIONS OF ALL ITEMS IN THE FIELD.
- CONTRACTOR IS TO VERIFY ANY MAJOR DIMENSIONAL DEVIATIONS FROM DRAWINGS OR STRUCTURAL OBSTRUCTIONS. THESE SHALL BE BROUGHT TO THE OWNER'S REPRESENTATIVE'S ATTENTION. ALL CONTRACT DRAWINGS INDICATE APPROXIMATE DIMENSIONS AND EXISTING CONDITIONS BASED ON FIELD SURVEY AND DRAWINGS FURNISHED BY THE OWNER. VARIATIONS MAY EXIST AS TO FIELD CONDITIONS. THE COST FOR ANY SUCH VARIATIONS SHALL BE INCLUDED WITHIN THE CONTRACT BID.
- ALL SURFACES DISTURBED BY REMOVALS SHALL BE PATCHED/REPAIRED TO MATCH EXISTING ADJACENT FINISHES. COORDINATE AND PREPARE SURFACES TO ACCOMMODATE WITH NEW FINISH ACCORDING TO SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- ALWAYS WORK IN A MANNER WHICH PROVIDES CONTINUOUS SUPPORT TO STRUCTURE ABOVE.
- COORDINATE REMOVALS W/ ALL NEW WORK.

# LIST OF DRAWINGS:

<b>GENERAL</b>	
T-1	TITLE SHEET
G-1	ABBREVIATIONS, MATERIALS LEGEND, GRAPHIC LEGEND, GENERAL NOTES, GENERAL REMOVAL NOTES, LIST OF DRAWINGS
<b>ARCHITECTURE</b>	
A-100	BOILER ROOM PLAN - BASEMENT FLOOR, DETAILS, & FINISH SCHEDULE
A-101	PARTIAL ATTIC FLOOR PLAN, PARTIAL FRAMING PLAN, SECTIONS, PHOTO, LADDER DETAIL, AND NOTES. (ALTERNATE No. 3)
<b>PLUMBING</b>	
P-201	LENGEND, NOTES AND PART BASEMENT FLOOR PLAN
<b>ELECTRICAL</b>	
E-001	LENGEND, NOTES AND DETAILS
E-101	PART BASEMENT ELECTRICAL PLAN AND RISER

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NOTE:  
EXISTING CONDITIONS OF CONSTRUCTION SHOWN ON THESE DRAWINGS ARE APPROXIMATELY LOCATED AND ARE AVAILABLE TO THE DESIGN TEAM AND ARE FOR REFERENCE ONLY (NOT AS-BUILT DRAWINGS). ALL EXISTING CONDITIONS ARE TO BE FIELD VERIFIED.

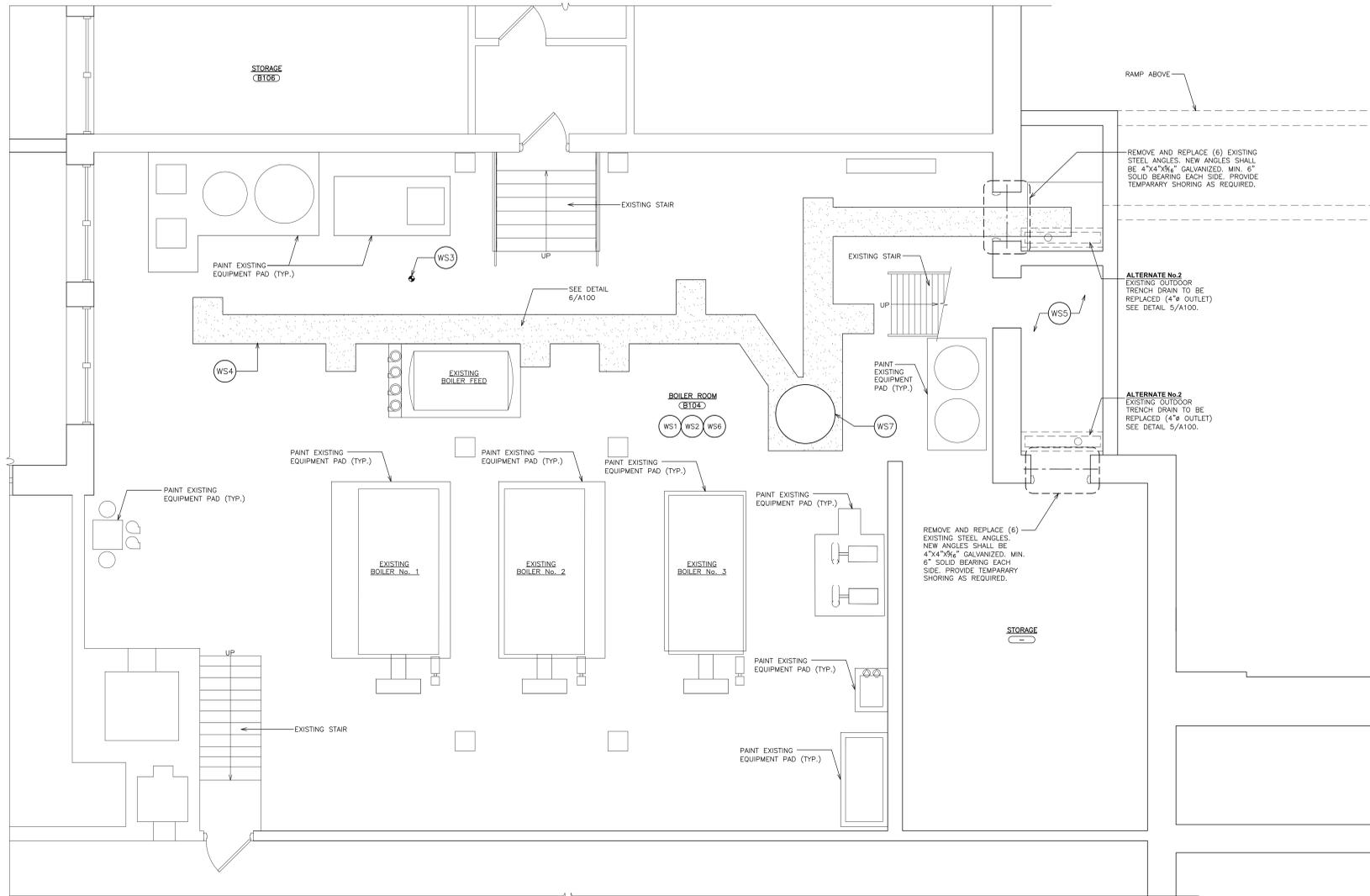
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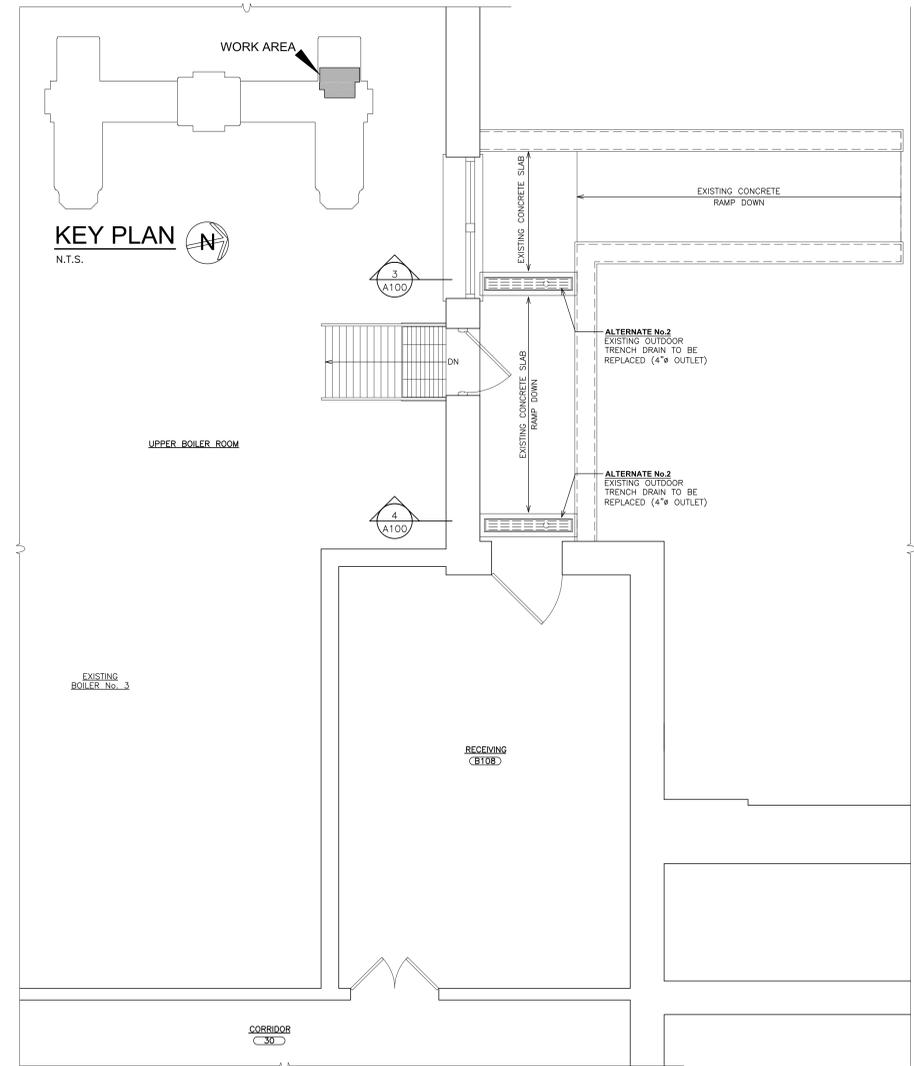
PROJECT TITLE  
PORT CHESTER HIGH SCHOOL  
BOILER ROOM SUMP PUMP AND ATTIC CATWALK  
1 PARAMOUNT RD., PORT CHESTER, NY 10573  
DRAWING TITLE

ABBREVIATIONS, MATERIALS LEGEND, GRAPHIC LEGEND,  
GENERAL NOTES, GENERAL REMOVAL NOTES, LIST OF DWGS.

09-13-2021	B I D
DATE	ISSUED TO
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**1 BOILER ROOM - PLAN**  
SCALE: 1/4" = 1'-0"



**2 BOILER ROOM - BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"

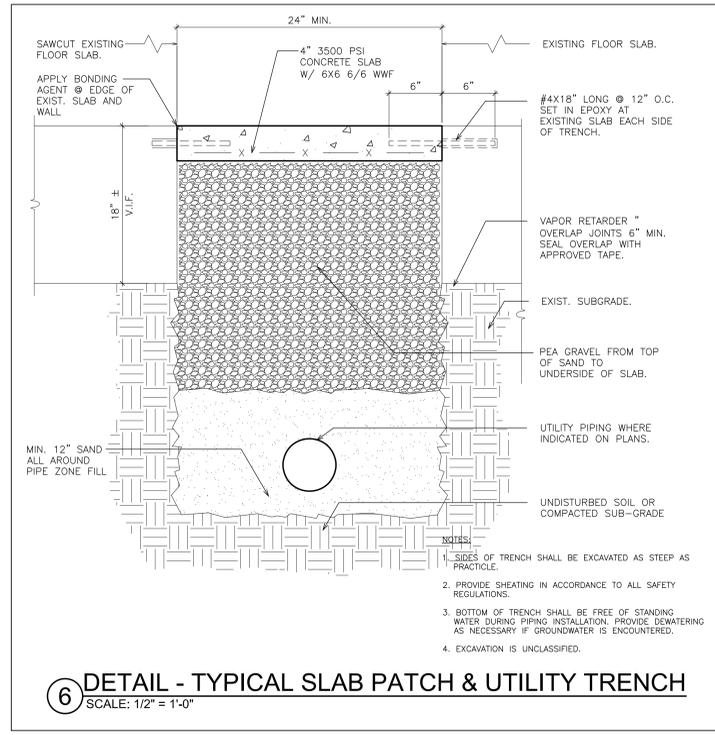
- WORKSCOPE NOTES:**
- WS1 ALTERNATE No. 1 PAINT FLOOR IN IT'S ENTIRETY INCLUDING EQUIPMENT PADS. REFER TO SPECIFICATIONS. COLORS TO BE SELECTED BY OWNER. EQUIPMENT PADS - PAINT VERTICAL EDGE AND 4" OF PAD YELLOW WALLS - PROVIDE TWO COLORS.
  - WS2 ALTERNATE No. 1 PAINT WALLS AND CEILING IN THEIR ENTIRETY. REFER TO SPECIFICATIONS. COLOR SELECTED BY OWNER.
  - WS3 CONTRACTOR SHALL ESTABLISH A VERTICAL DATUM FOR 0'-0" ELEVATION AT THIS POINT.
  - WS4 SAW CUT AND REMOVE FLOOR SLAB FOR PLUMBING PIPING. COORDINATE WITH PLUMBING DRAWINGS. SEE DETAIL 6/A100.
  - WS5 REMOVE EXISTING WOOD FORM WORK.
  - WS6 PRIOR TO CONSTRUCTION PROVIDE PRE-CLEANING OF ENTIRE SPACE AND EQUIPMENT. REFER TO SPECIFICATIONS ALLOWANCE FOR ADDITIONAL INFORMATION.
  - WS7 NEW SUMP PUMP AND PIT. REFER TO PLUMBING DRAWING.

**FINISH SCHEDULE**

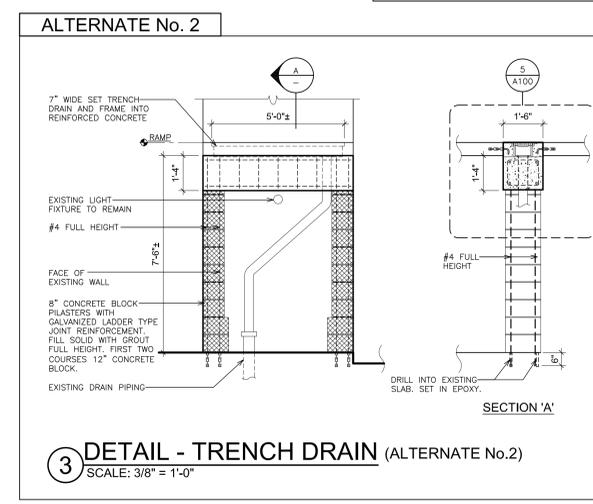
LEVEL	LINE	DESIGNATION	FLOOR	BASE (MAT.)	WALL 1	WALL 2	WALL 3	WALL 4	CLG.	TRIM				CASEWORK		REMARKS
										DOORS	DOOR FRAMES	CABINETS	COUNTER TOPS	EDGING		
BASEMENT	01	BOILER ROOM B104	P-1	-	P-2	P-2	P-2	P-2	P-2	-	-	-	-	-	-	ALTERNATE No. 1
	02															
	03															

**FINISH SCHEDULE LEGEND**

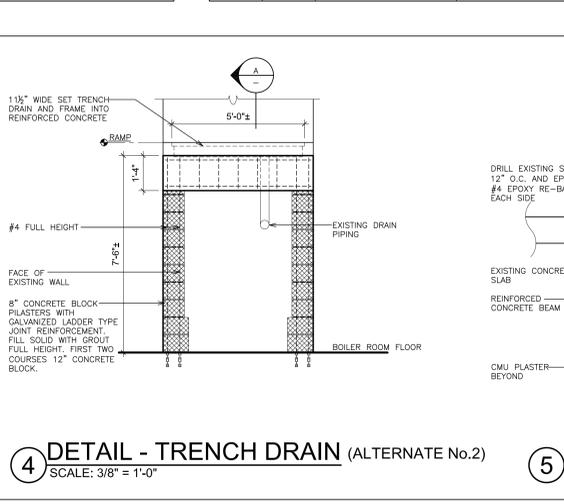
LEGEND	SIZE	MANUFACTURER	SERIES/MODEL NO. / COLOR	DESCRIPTION	LOCATION / REMARKS
P-1	-	PREFER TO SPECIFICATIONS	COLOR TO BE SELECTED BY OWNER	PREFER TO SPECIFICATIONS	FLOOR
P-2	-	PREFER TO SPECIFICATIONS	COLOR TO BE SELECTED BY OWNER	PREFER TO SPECIFICATIONS	WALLS & CEILINGS



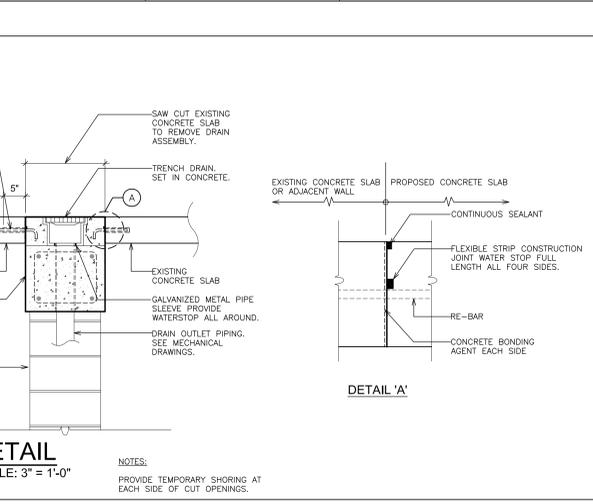
**6 DETAIL - TYPICAL SLAB PATCH & UTILITY TRENCH**  
SCALE: 1/2" = 1'-0"



**3 DETAIL - TRENCH DRAIN (ALTERNATE No. 2)**  
SCALE: 3/8" = 1'-0"



**4 DETAIL - TRENCH DRAIN (ALTERNATE No. 2)**  
SCALE: 3/8" = 1'-0"



**5 DETAIL - TRENCH DRAIN (ALTERNATE No. 2)**  
SCALE: 3" = 1'-0"

NOTES:  
PROVIDE TEMPORARY SHORING AT EACH SIDE OF CUT OPENINGS.

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NOTE:  
EXISTING CONDITIONS OF CONSTRUCTION SHOWN ON DRAWINGS ARE FOR INFORMATION ONLY AND ARE FOR REFERENCE ONLY (NOT AS-BUILT DRAWINGS). ALL EXISTING CONDITIONS ARE TO BE FIELD VERIFIED.

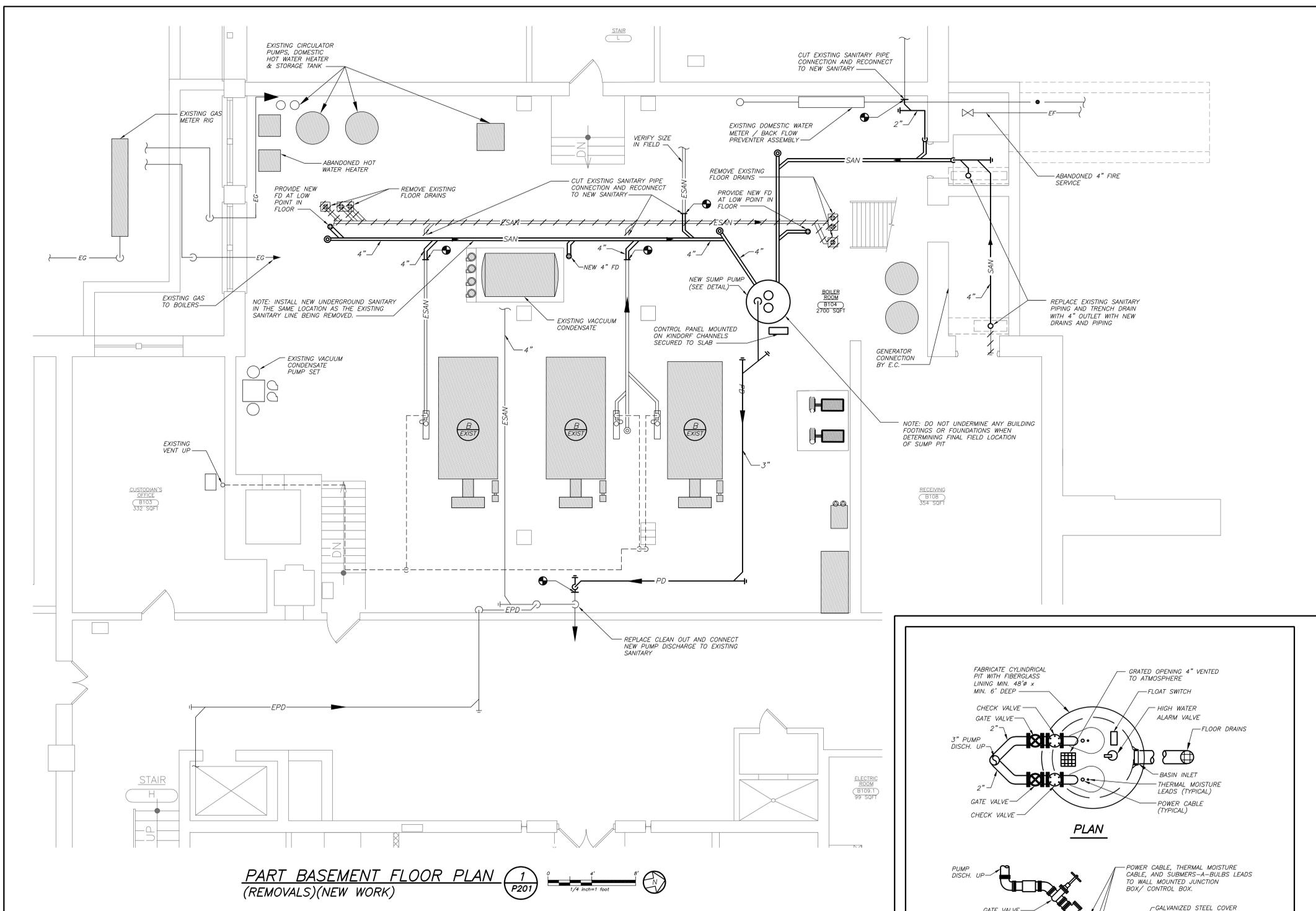
48 KENNESAW ROAD ELLENHURST, NY 11533  
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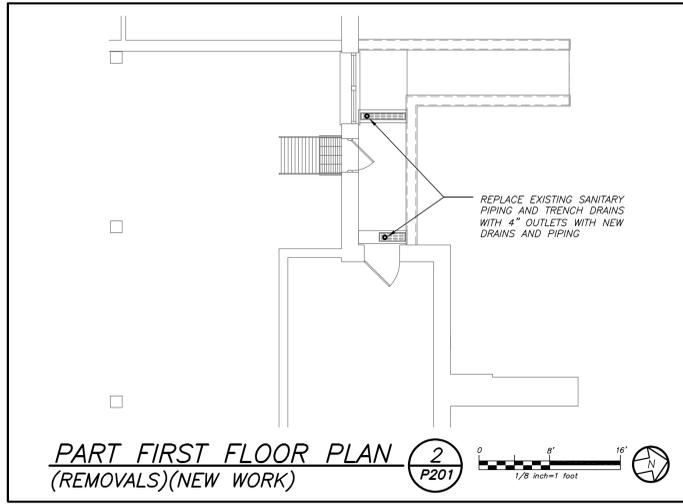
PROJECT: PORT CHESTER HIGH SCHOOL  
BOILER ROOM SUMP PUMP AND ATTIC CATWALK  
DRAWING TITLE: BOILER ROOM PLAN - BASEMENT FLOOR  
DRAWING NO: A100

DATE: 09-13-2021  
ISSUED TO: B I D  
SCALE: AS NOTED  
DRAWING NO: A100  
CHECKED BY: F & D  
FILE NO: 21438.00  
21445.00

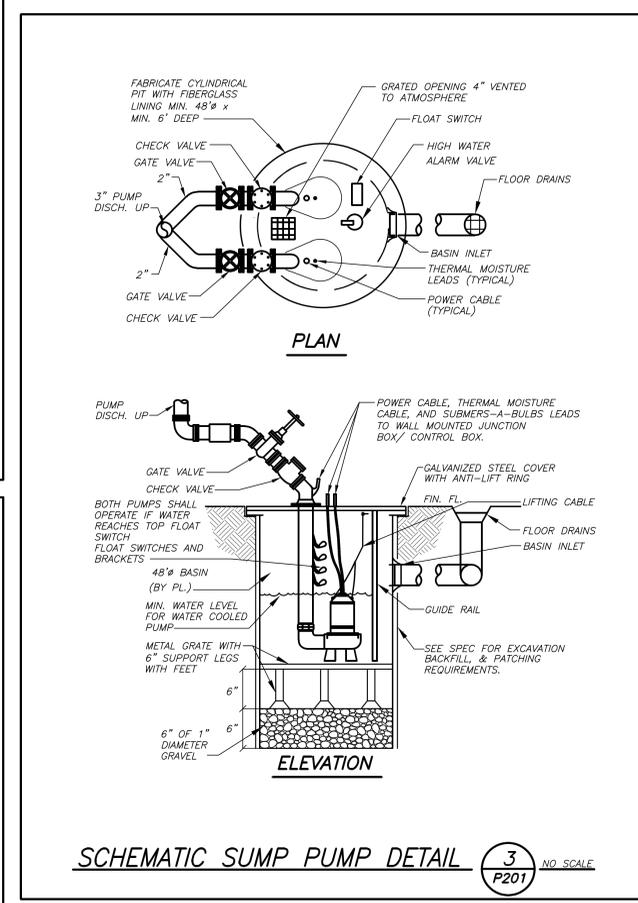




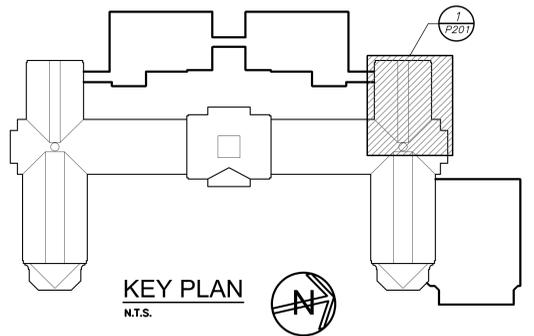
**PART BASEMENT FLOOR PLAN** (1) (REMOVALS)(NEW WORK) P201



**PART FIRST FLOOR PLAN** (2) (REMOVALS)(NEW WORK) P201



**SCHEMATIC SUMP PUMP DETAIL** (3) NO SCALE P201



**KEY PLAN** N.T.S.

LEGEND	
---	EXISTING PIPING, FIXTURES, ETC. TO REMAIN
----	EXISTING PIPING, FIXTURES, ETC. TO BE REMOVED
---	NEW PIPING, FIXTURES, ETC.
---	COLD WATER PIPING
---	HOT WATER PIPING
---	HOT WATER RETURN PIPING
---	PLUMBING VENT PIPING
---	EXISTING SANITARY PIPING
---	EXISTING SANITARY PIPING (UNDERGROUND)
---	EXISTING STORM PIPING
---	EXISTING STORM PIPING (UNDERGROUND)
---	SANITARY PIPING
---	SANITARY PIPING (UNDERGROUND)
---	STORM PIPING
---	STORM PIPING (UNDERGROUND)
---	EXISTING FIRE PIPING
---	EXISTING GAS PIPING
---	PUMP DISCHARGE PIPING
---	EXISTING PUMP DISCHARGE PIPING
---	FLOW DIRECTION WITHIN PIPE
---	CLEANOUT
---	CLEANOUT DECK PLATE
---	GATE VALVE
---	COMBINATION BALANCING & SHUT-OFF VALVE
---	TAMPER PROOF OS&Y VALVE WITH TAMPER SWITCH
---	CHECK VALVE
---	GAS SHUT OFF COCK
---	PIPE CONNS. (BOTTOM; TOP 45 OR 90; PIPE UP)
P.C.	PLUMBING CONTRACTOR
G.C.	GENERAL CONTRACTOR
E.C.	ELECTRICAL CONTRACTOR
VTR	VENT THRU ROOF
FAI	FRESH AIR INTAKE
FD	FLOOR DRAIN
---	POINT OF CONNECTION, NEW TO EXISTING
---	PART PLAN, DETAIL, SECTION NUMBER
---	DRAWING NUMBER
---	SECTION IDENTIFICATION

- REMOVAL NOTES:**
- THE SCOPE OF REMOVAL SHOWN ON "REMOVALS" DRAWINGS IS DIAGRAMMATIC ONLY AND INDICATES THE INTENT OF THE WORK TO BE PERFORMED AND NOT THE COMPLETE SCOPE OF DEMOLITION AND/OR REMOVAL WORK. IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO REMOVE ANY RELATED MECHANICAL DEVICES EVEN IF NOT SPECIFICALLY INDICATED TO BE REMOVED ON THESE DRAWINGS IN ORDER TO ACCOMMODATE NEW WORK.
  - DEVICES SHOWN CROSS HATCHED ON DRAWINGS ARE ITEMS TO BE REMOVED. ANY DEVICES REMOVED SHALL INCLUDE (BUT SHALL NOT BE LIMITED TO) THE REMOVAL OF ALL ASSOCIATED PIPING, CONTROLS, ETC. THAT ARE NOT INCORPORATED IN THE NEW LAYOUT. UNTIL SUCH REMOVAL IS COMPLETE THIS CONTRACTOR SHALL PERFORM ALL WORK REQUIRED TO INSURE CONTINUITY OF SERVICE TO EXISTING REMAINING EQUIPMENT. NO EXTRAS RELATING TO THE SCOPE OF WORK DESCRIBED WILL BE ALLOWED.
  - EQUIPMENT, PIPING, ETC., REQUIRED TO RECONNECT SHALL BE INSTALLED CONCEALED WITHIN THE NEW SUSPENDED CEILING, PARTITIONS AND/OR WALLS, FLOORS, NO SURFACE MOUNTED OR EXPOSED EQUIPMENT, PIPING, ETC., SHALL BE PERMITTED, UNLESS SPECIFICALLY INDICATED.
  - ALL ITEMS TO BE REMOVED SHALL BE REVIEWED WITH THE OWNER PRIOR TO REMOVAL. OWNER SHALL HAVE FIRST SALVAGE RIGHTS. ITEMS THE OWNER WISHES TO KEEP SHALL BE REMOVED WITH CARE AND STORED AS DIRECTED BY OWNER. ITEMS THE OWNER DOES NOT WISH TO KEEP SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
  - REMOVE OR RELOCATE ALL DEVICES LOCATED ON THE EXTERIOR OF THE BUILDING OR ON THE INTERIOR OF EXTERIOR WALLS AS REQUIRED TO ACCOMMODATE THE NEW BUILDING ADDITION OR TO ALLOW THE ADDITION OF DOORWAYS INTO THE NEW ADDITION.

**NOTE: SLAB THICKNESS IS MINIMUM 18". CONTRACTOR TO ALLOW FOR ALL REQUIRED CUTTING AND PATCHING.**

BEFORE FABRICATION THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS ON JOB AND COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS.

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PROJECT TITLE: RYE UNION FREE SCHOOL DISTRICT  
PORT CHESTER HIGH SCHOOL  
BOILER ROOM SUMP PUMP  
DRAWING TITLE: LEGEND, NOTES AND PART BASEMENT FLOOR PLAN

09-13-2021	BID
07-16-2021	PROGRESS TO OWNER
DATE	ISSUED TO
SHEET SIZE: 30"x42"	DRAWING NO.:
SCALE: AS NOTED	<b>PCHS</b>
DRAWN BY: BGA	FILE NO: XXXXXX

BEFORE FABRICATION THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS ON JOB AND COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS.

LEGEND	
	CONDUCTORS IN CONDUIT CONCEALED BY WALL OR CEILING.
	CONDUIT TURNING UP.
	CONDUIT TURNING DOWN.
	FLEXIBLE LIQUIDTIGHT FINAL EQUIPMENT CONNECTION.
	HOMERUN TO DESIGNATED PANEL, NUMBERS IN PARENTHESIS INDICATE MULTIPLE CIRCUIT, I.E. 2-HOTS AND 1-GROUND U.O.N.
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	NEW
	SURFACE MOUNTED EXISTING ELECTRICAL PANELBOARD.
	HEAVY DUTY TYPE DISCONNECT SWITCH WITH FINAL FLEXIBLE EQUIPMENT CONNECTION. 240 INDICATES VOLTAGE, 2 INDICATES NO. OF POLES, 60 INDICATES AMPERE RATING, NF INDICATES NON-FUSED(OR FUSE SIZE) U.O.N. REFER TO SPECIFICATION AND DRAWINGS FOR ENCLOSURE. "WP" WHERE USED INDICATES WEATHERPROOF ENCLOSURE (NEMA 3R).
	MOTOR (F.B.O. WIRED BY ELEC.) - NUMBER INDICATES HORSEPOWER. REFER TO PANEL SCHEDULES FOR WIRING AND OVER CURRENT PROTECTION.
MECHANICAL EQUIPMENT IDENTIFICATION:	
	EQUIPMENT ABBREVIATION (FE, SF, HV, ETC. SEE ABBREVIATIONS ON THIS DWG.)
	EQUIPMENT NUMBER
DETAIL/PART PLAN NUMBER IDENTIFICATION:	
	DETAIL/PART PLAN NUMBER
	DRAWING NUMBER

- ### GENERAL NOTES
- DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK. CONTRACTOR SHALL FURNISH ALL NECESSARY OUTLETS, SUPPORTS, FITTINGS AND ACCESSORIES TO FULFILL APPLICABLE CODES, REGULATIONS, BUILDING STANDARDS AND THE BEST PRACTICES OF THE TRADE FOR FIRST CLASS ELECTRICAL INSTALLATION.
  - THE DRAWINGS INDICATE SIZE AND GENERAL LOCATION OF WORK. SCALED DIMENSIONS SHALL NOT BE USED. THE EXACT LOCATION AND ELEVATION OF ALL ELECTRICAL EQUIPMENT SHALL BE COORDINATED IN FIELD WITH RESPECTIVE CONTRACTOR/OWNER.
  - WHERE PANELBOARDS, SWITCHES, CIRCUIT BREAKERS, ETC. ARE EXISTING AND TO BE REUSED THE CONTRACTOR SHALL CLEAN AND REFURBISH THE EQUIPMENT. THIS SHALL INCLUDE TIGHTENING ALL CONNECTIONS, REPLACING DEFECTIVE MECHANISMS AND PROVIDING ALL REQUIRED AND NECESSARY MISCELLANEOUS COMPONENTS SO THAT THE EQUIPMENT SHALL BE IN PERFECT WORKING ORDER.
  - THE CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO SUBMISSION OF BID TO DETERMINE WHAT WORK MUST BE PERFORMED AFTER NORMAL BUSINESS HOURS. UNLESS OTHERWISE DIRECTED ANY NOISY WORK (CHOPPING, CORE DRILLING, HAMMERING, ETC.) AND BUILDING POWER INTERRUPTIONS SHALL BE PERFORMED OUTSIDE OF NORMAL BUSINESS HOURS. CONFIRM NORMAL BUSINESS HOURS WITH BUILDING OWNER. NO ADDITIONAL COST WILL BE CHARGED TO OWNER FOR WORK PERFORMED OUTSIDE NORMAL BUSINESS HOURS.
  - CIRCUIT NUMBERS TO EXISTING PANELS ARE SHOWN FOR INTENT ONLY. ACTUAL CIRCUIT NUMBERS TO BE USED SHALL BE AS PER FIELD CONDITIONS BY UTILIZING SPARE CIRCUITS, BREAKERS OR SPACES IN EXISTING PANEL. SIZE AS INDICATED ON THE PLANS. THE ELECTRICAL CONTRACTOR SHALL BALANCE LOAD OF CIRCUITS EVENLY ON ALL PHASES.
  - FEEDERS AND BRANCH CIRCUITRY SHALL BE RUN IN MINIMUM 3/4" CONDUIT UNLESS OTHERWISE NOTED. FINAL CONNECTIONS TO MOTORS MAY BE MADE WITH FLEXIBLE METALLIC CONDUIT (NO LONGER THAN 18"). IN UNFINISHED AREAS CONDUIT SHALL BE RUN EXPOSED AND IN FINISHED AREAS CONDUIT SHALL BE RUN CONCEALED.
  - ALL CONDUCTORS SHALL BE COPPER, TYPE THHN/THWN INSULATED. ALL CONDUCTORS SHALL HAVE 600 VOLT RATED INSULATION UNLESS OTHERWISE NOTED.
  - EXACT LOCATION AND MOUNTING HEIGHTS OF ALL DEVICES SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO THE INSTALLATION.
  - CONDUIT RUNS SHALL BE PARALLEL WITH OR AT RIGHT ANGLES TO WALLS AND CEILINGS. CONDUIT SHALL BE SUPPORTED BY APPROVED MEANS. SUPPORTS FOR HORIZONTAL RUNS OF CONDUIT SHALL NOT EXCEED SEVEN FEET ON CENTERS.
  - PROVIDE PULL BOXES, JUNCTION BOXES, CONDUIT ELBOWS AND OFFSETS TO SUIT FIELD CONDITIONS AND THE NATIONAL ELECTRICAL CODE.
  - THE MINIMUM WIRE SIZE FOR 120 VOLT BRANCH CIRCUITS SHALL BE NO. 12 AWG, EXCEPT OVER 100' IN LENGTH SHALL BE NO. 10 AWG.
  - PROVIDE ALL REQUIRED AND NECESSARY ACCESSORIES (EX. CONNECTORS, ADAPTERS, BUSHINGS, CLAMPS, ETC.) TO FACILITATE COMPLETE INSTALLATION.
  - ALL JUNCTION OR OUTLET BOXES SHALL BE INSTALLED SO AS TO ALLOW ACCESS TO COVER. PROVIDE ARCHITECT APPROVED ACCESS DOORS OR PLATES AS REQUIRED IN AREAS WHERE UNOBSTRUCTED ACCESS TO BOX OR OUTLET IS NOT POSSIBLE.
  - PRIOR TO ANY CHASING, CHOPPING OR CORE DRILLING BEING PERFORMED, THE CONTRACTOR SHALL FIELD INVESTIGATE CONDITIONS AND COORDINATE ALL WORK TO ENSURE THAT IT WILL BE IN HARMONY AND NOT AFFECT ANY EXISTING BUILDING SYSTEMS. THIS WORK MUST BE APPROVED BY BUILDING OWNER PRIOR TO PROCEEDING.
  - OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE RESISTANCE RATED WALLS, PARTITIONS, FLOORS OR CEILINGS SHALL BE FIRE STOPPED USING APPROVED METHODS. ALL SLEEVES MUST HAVE BUSHINGS. SEALANT SHALL BE 3 HOUR FIRE BARRIER #CP-25 (NO LESS THAN 3" THICK BACKED UP WITH MINERAL WOOL).
  - ALL PANELBOARD COVERS SHALL BE INSTALLED IN PLACE AT THE COMPLETION OF EACH DAYS WORK.
  - PREPARE "AS-BUILT" DRAWINGS THAT REFLECT ACTUAL CONSTRUCTION AND SHOW DEVIATIONS FROM DESIGN DRAWINGS.
  - ALL NEW CIRCUIT BREAKERS INSTALLED INTO EXISTING PANELBOARDS SHALL BE UL LISTED FOR USE IN THE PANEL.

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PROJECT TITLE  
PORT CHESTER-40E UNION FREE SCHOOL DISTRICT  
PORT CHESTER HIGH SCHOOL  
BOILER ROOM SUMP PUMP

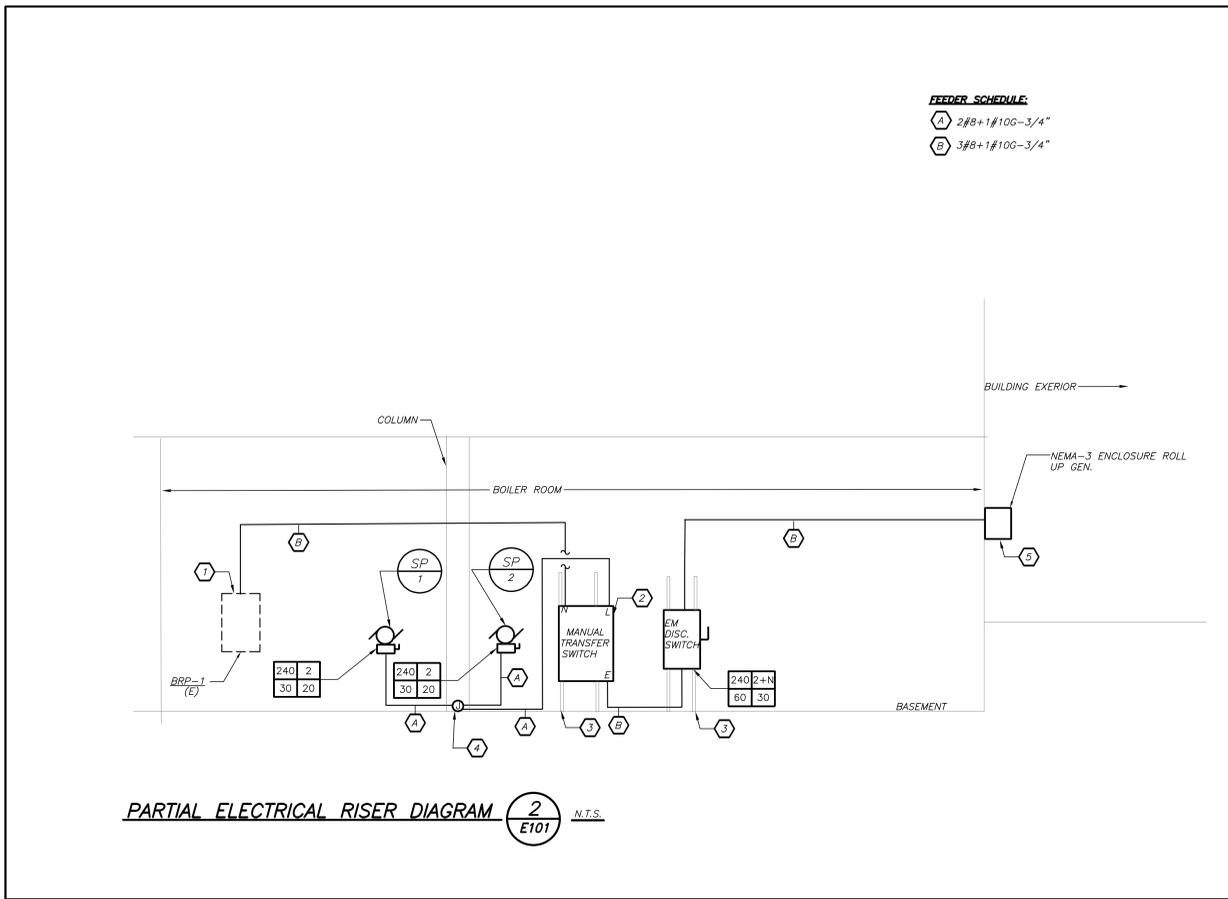
PROJECT NO.  
1 TAMMANGK RD., PORT CHESTER, NY 10573

DRAWING TITLE  
LEGEND, NOTES AND  
DETAILS

DATE	ISSUED TO
09-13-2021	BID
07-16-2021	PROGRESS TO OWNER
DATE	ISSUED TO

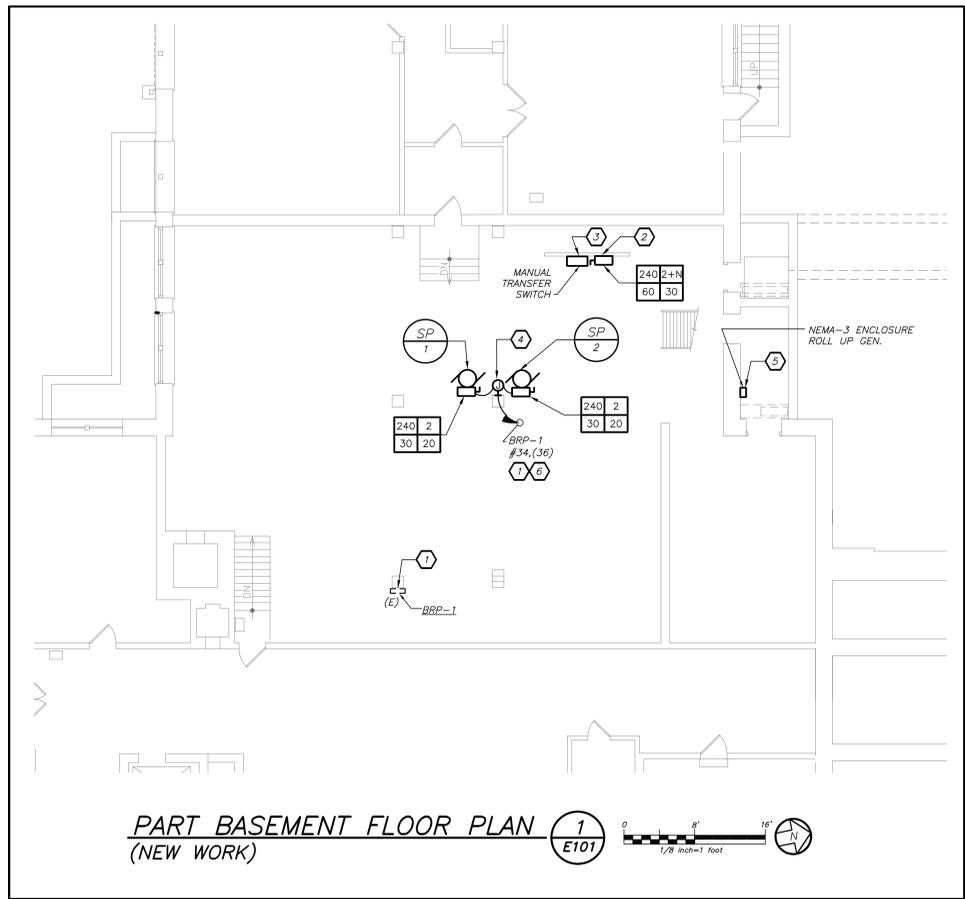
SHEET SIZE	DRAWING NO.
30"x42"	PCHS
SCALE	E001
AS NOTED	
DRAWN BY	FILE NO.
BGA	XXXXXX

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**FEDER SCHEDULE:**  
 (A) 2#8+1#10G-3/4"  
 (B) 3#8+1#10G-3/4"

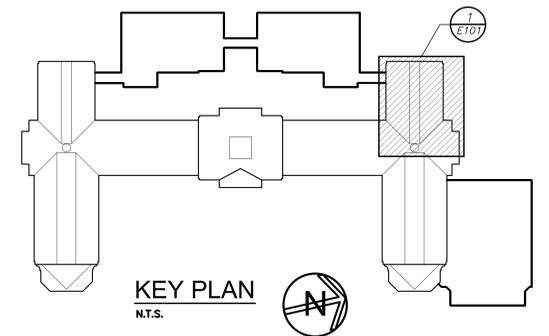
PARTIAL ELECTRICAL RISER DIAGRAM (2/E101) N.T.S.



PART BASEMENT FLOOR PLAN (1/E101) (NEW WORK)

**FLOOR PLAN AND RISER WORK NOTES**

- (1) PROVIDE 2#8+1#10G IN 3/4" CONDUIT TO CIRCUIT AS SHOWN. PROVIDE A 2P-30AMP BREAKER IN AVAILABLE AT PANEL BRP-1
- (2) PROVIDE CUMMINS POWER COMMAND X SERIES B MANUAL TRANSFER SWITCH, MODEL #CXS40-B-B, 2 POLES WITH SOLID NEUTRAL, 40 AMPERES, ARRANGED TO OPERATE ON A NORMAL AND EMERGENCY VOLTAGE OF 120/240V, 1 PHASE, 3 WIRE+ GROUND, 60 HERTZ AND TO INCLUDE STANDARD ACCESSORY GROUP G CONTROLLER UNIT FURNISHED IN A NEMA 3R BOX.
- (3) PROVIDE KINDORF SUPPORT FOR EQUIPMENT.
- (4) PROVIDE A TRIPLE GANG BOX. BOX SHALL BE MOUNTED ON WALL.
- (5) PROVIDE WEATHERPROOF NEMA L 14-30 RECEPTACLE RATED AT 125V/250V 30 AMPS TO MATCH EXISTING PORTABLE GENERATOR REQUIRED AND NECESSARY ACCESSORIES. PROVIDE WEATHERPROOF 2 GANG DEEP BOX WITH A LOCKABLE HINGED COVER. COORDINATE EXACT LOCATION OF ENCLOSURE AND OUTLET CONFIGURATION WITH OWNERS BEFORE THE START OF ANY WORK.
- (6) SUMP PUMP POWER SHALL BE FED FROM MANUAL TRANSFER SWITCH. REFER TO RISER DIAGRAM FOR ADDITIONAL DETAILS.



KEY PLAN N.T.S.

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PROJECT TITLE PORT CHESTER-4VE UNION FREE SCHOOL DISTRICT PORT CHESTER HIGH SCHOOL BOILER ROOM SUMP PUMP 1 TAMMANGUE RD., PORT CHESTER, NY 10573	DRAWING TITLE PART BASEMENT ELECTRICAL PLAN AND RISER
DATE 09-13-2021	BID
DATE 07-16-2021	PROGRESS TO OWNER
DATE	ISSUED TO
SHEET SIZE 30"x42"	DRAWING NO. PCHS E101
SCALE AS NOTED	FILE NO. XXXXXX
DRAWN BY BGA	