

PVMS TOILET ROOM ALTERATIONS

CAPITAL PROJECTS PHASE 2
142 PEEKSKILL HOLLOW RD
PUTNAM VALLEY, NY 10579

KG+D listen imagine build
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NY SED PROJECT CONTROL NO.
48-05-03-04-0-004-016

CONSTRUCTION DOCUMENTS

LEGEND

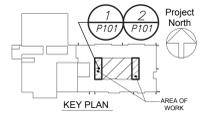
---	EXISTING PIPING, FIXTURES, ETC. TO REMAIN
---	NEW PIPING, FIXTURES, ETC.
---	COLD WATER PIPING
---	HOT WATER PIPING
---	HOT WATER RETURN PIPING
---	PLUMBING VENT PIPING
---	SANITARY PIPING (UNDERGROUND)
---	EXISTING SANITARY PIPING (UNDERGROUND)
---	EXISTING SANITARY PIPING
---	FLOW DIRECTION WITHIN PIPE
---	CLEANOUT
---	CLEANOUT DECK PLATE
---	SHUT-OFF VALVE
---	COMBINATION BALANCING & SHUT-OFF VALVE
---	PIPE CONNS. (BOTTOM; TOP 45 OR 90; PIPE UP)
---	PLUMBING FIXTURE IDENTIFICATION
---	VTR VENT THRU ROOF
---	FD FLOOR DRAIN
---	COWP CLEAN OUT WALL PLATE
---	POINT OF CONNECTION
---	PART PLAN, DETAIL, SECTION NUMBER
---	SECTION IDENTIFICATION

PLUMBING FIXTURE SCHEDULE

MARK	DESCRIPTION	W	H	D	C
A1	WALL MOUNTED WATER CLOSET	4"	2"	-	1"
A2	WALL MOUNTED WATER CLOSET (HANDICAPPED)	4"	2"	-	1"
B1	WALL MOUNTED LAVATORY (HANDICAPPED)	1-1/2"	1-1/2"	1/2"	1/2"
C	URINAL - WALL MOUNTED	3"	2"	-	1/2"
D1	WATER COOLER - RECESSED	2"	1-1/2"	-	1/2"
D2	WATER COOLER	2"	1-1/2"	-	1/2"
F1	EXISTING FIXTURE TO REMAIN	-	-	-	-
X	EXISTING FIXTURE TO BE REMOVED	-	-	-	-

REMOVAL NOTES

- THE SCOPE OF REMOVAL SHOWN IS DIAGRAMMATIC ONLY AND INDICATES THE INTENT OF THE WORK TO BE PERFORMED AND NOT THE COMPLETE SCOPE OF DEMOLITION AND/OR REMOVAL WORK. IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO REMOVE ANY RELATED MECHANICAL DEVICES EVEN IF NOT SPECIFICALLY INDICATED TO BE REMOVED IN ORDER TO ACCOMMODATE NEW WORK.
- REMOVE ALL PLUMBING EQUIPMENT, SPECIALTIES, DRAINS, CONTROLS, HANGERS, BASES, SUPPORTS, PIPING, VALVES, TUBING AND PLUMBING ACCESSORIES THAT ARE NOT INCORPORATED IN THE NEW LAYOUT.
- WHERE REMOVAL IS INDICATED OR IMPLIED OR NOT INCORPORATED IN THE NEW LAYOUT, THE ITEM ITSELF IS TO BE REMOVED COMPLETELY TOGETHER WITH ALL CONNECTING PIPING, SPECIALTIES, SUPPORTS, CONTROLS, ETC. CONNECTING PIPING IS TO BE REMOVED BACK TO MAINS WHERE THE ARE TO BE CAPPED OR DISCONNECTED. THIS INCLUDES ALL GAS, SANITARY, VENT, WATER, AND PUMP DISCHARGE PIPING. REFER TO DIVISION 1 OF SPECIFICATION FOR CUTTING AND PATCHING REQUIREMENTS.
- WHERE EXISTING PIPING ENTERS INACCESSIBLE TRENCHES, TUNNELS, SHAFTS, WALLS AND CEILING, INSIDE THE EXISTING BUILDING, IT SHALL BE CUT BACK AT LEAST 2" INTO SUCH INACCESSIBLE SPACES AND SHALL BE SUITABLY CAPPED AND SEALED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL EXERCISE NORMAL CAUTION TO PREVENT UNNECESSARY CUTTING AND DAMAGE TO THE EXISTING BUILDING. ANY EXCESSIVE DAMAGE AS DETERMINED BY THE OWNER SHALL BE REPAIRED AND PAID FOR BY THE CONTRACTOR CAUSING THE DAMAGE.
- ALL DEMOLISHED EQUIPMENT ETC. EXCEPT THOSE ITEMS SPECIFICALLY REQUESTED BY THE OWNER SHALL BECOME THE CONTRACTOR'S PROPERTY, SHALL BE REMOVED FROM THE PREMISES, AND DISPOSED OF LEGALLY.



NOTE: ALL LEGAL DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF BARILLE GALLAGHER & ASSOCIATES ARCHITECTS PC (BGA) AND WERE CREATED FOR USE ON THIS PROJECT. NONE OF SUCH LEGAL ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PARTY WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF BGA.

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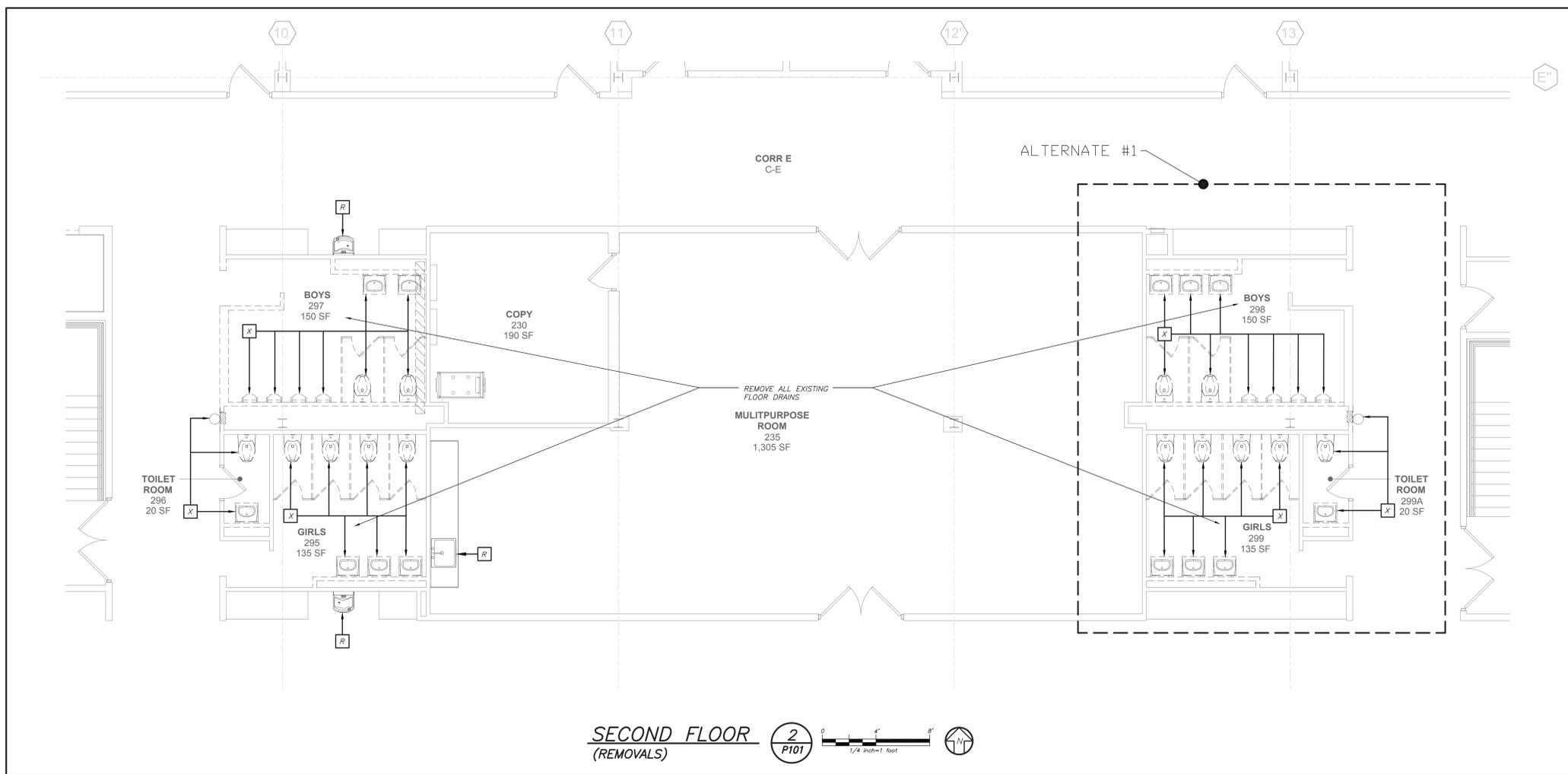
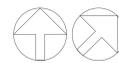
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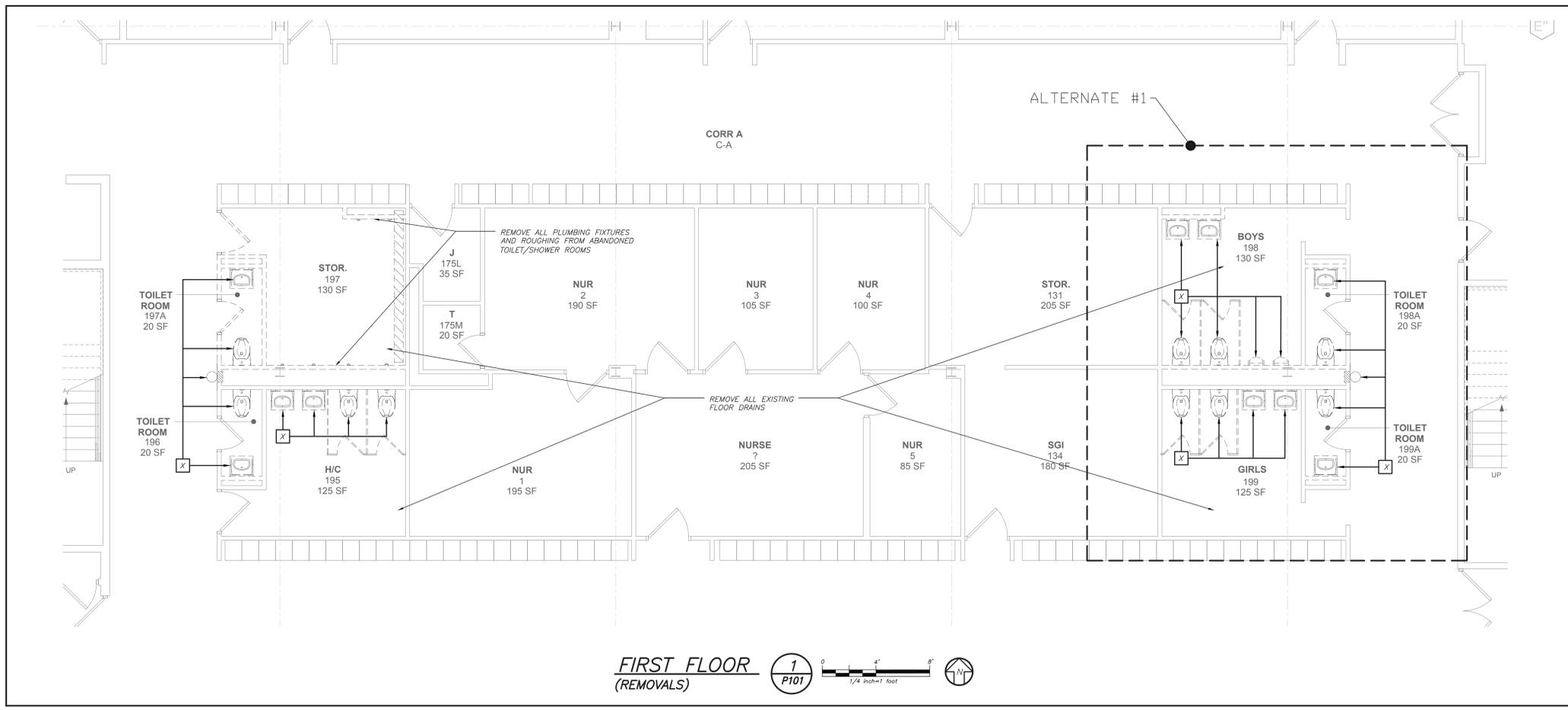
3	03/15/21	CONSTRUCTION DOCUMENTS
1	02/01/21	SED SUBMISSION

FIRST AND SECOND FLOOR REMOVAL PLANS

Job No.	2020-1051	Date	01/14/2021
Scale	AS NOTED	Drawn / Checked	BGA/BGA
Sheet Number	P101		



SECOND FLOOR (REMOVALS) 2 P101



FIRST FLOOR (REMOVALS) 1 P101

BEFORE FABRICATION THIS CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS ON JOB AND COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS

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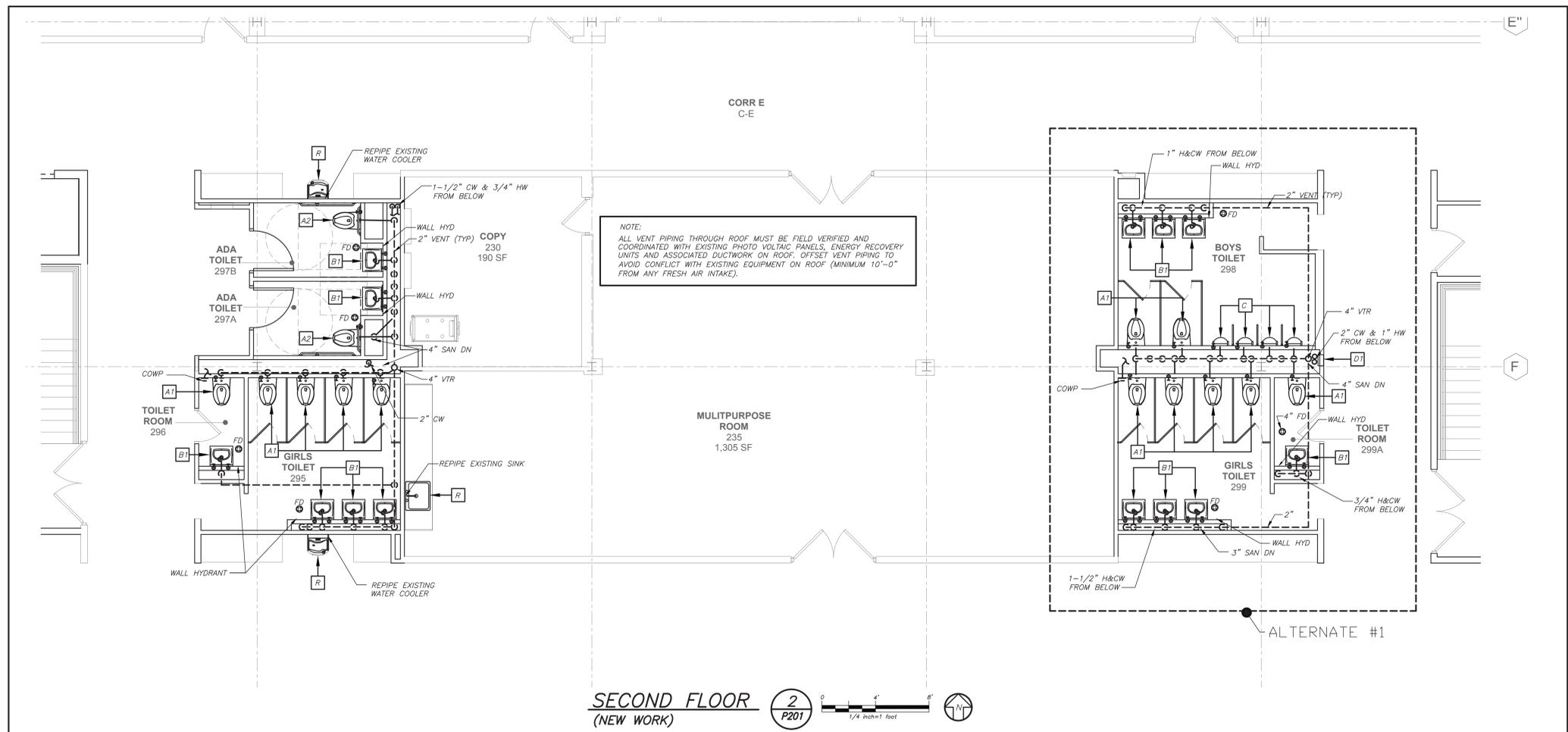
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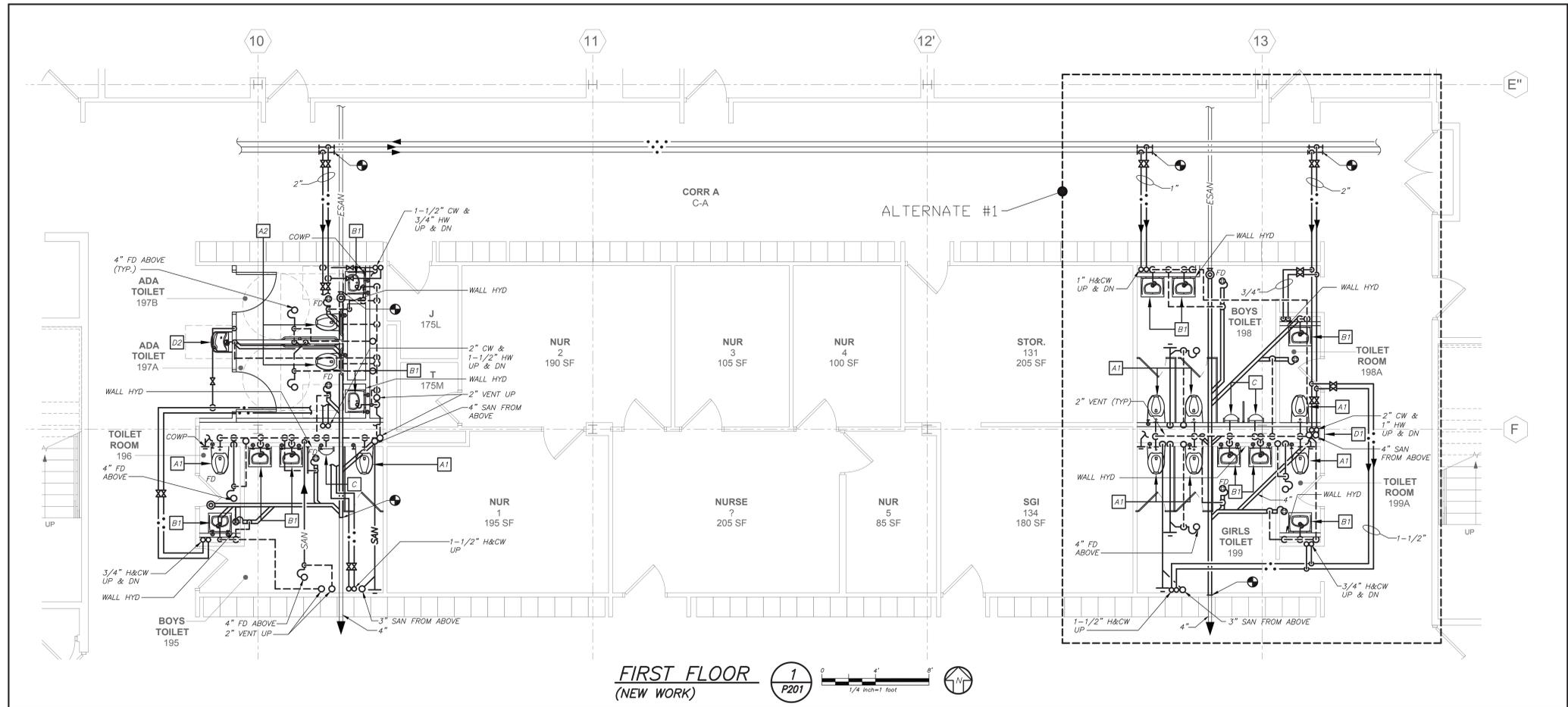
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CONSTRUCTION DOCUMENTS



SECOND FLOOR
(NEW WORK)

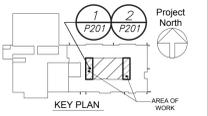
2
P201
1/4" = 1' - 0"



FIRST FLOOR
(NEW WORK)

1
P201
1/4" = 1' - 0"

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FIRST AND SECOND FLOOR PLANS

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