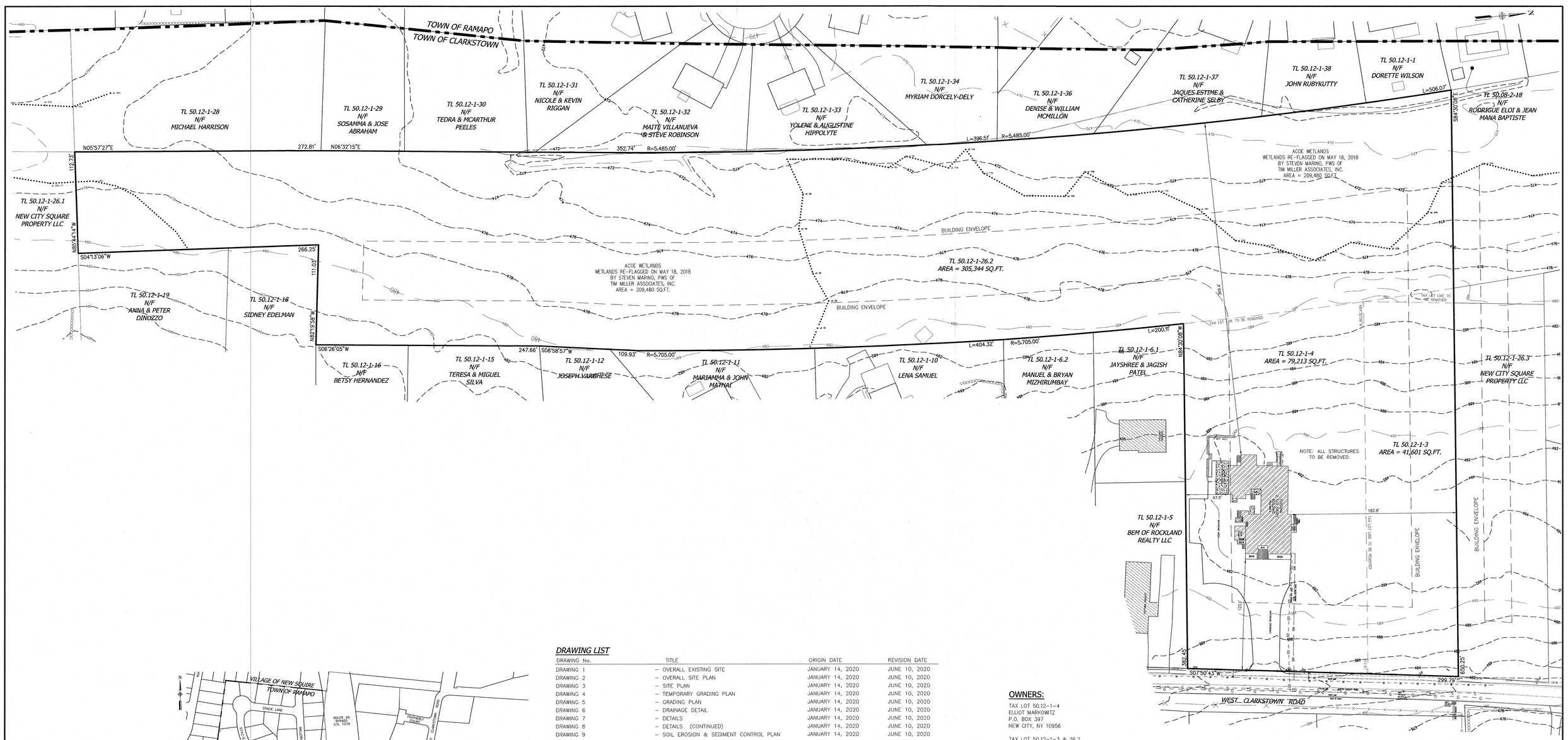


VICINITY MAP
SCALE: 1"=300'

LEGEND

362	EXISTING 2' CONTOUR
360	EXISTING 10' CONTOUR
W	EXISTING WATERLINE
	EXISTING FIRE HYDRANT
G	EXISTING GAS LINE
CB	EXISTING CATCH BASIN
	EXISTING STORM DRAIN LINE
SMH	EXISTING SEWER MANHOLE
S	EXISTING SEWER LINE
+ 360.0	EXISTING SPOT ELEVATION
	EXISTING STONEWALL
	EXISTING SIGN
LP	EXISTING LIGHT POLE
UP	EXISTING UTILITY POLE
WV	EXISTING WATER VALVE
GV	EXISTING GAS VALVE
TBRL	TO BE RELOCATE
	DENOTES EXISTING TREE

DRAWING LIST

DRAWING No.	TITLE	ORIGIN DATE	REVISION DATE
DRAWING 1	– OVERALL EXISTING SITE	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 2	– OVERALL SITE PLAN	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 3	– SITE PLAN	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 4	– TEMPORARY GRADING PLAN	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 5	– GRADING PLAN	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 6	– DRAINAGE DETAIL	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 7	– DETAILS	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 8	– DETAILS (CONTINUED)	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 9	– SOIL EROSION & SEDIMENT CONTROL PLAN	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 10	– LIGHTING PLAN	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 11	– FIRE TRUCK TURNING PLAN	JANUARY 14, 2020	JUNE 10, 2020
DRAWING L-1, L-2 & L-3	– LANDSCAPE & TREE PRESERVATION PLAN	FEBRUARY 10, 2020	JUNE 10, 2020

FLOOR AREA COMPUTATION:

EXISTING BUILDING TO BE REMOVED:
BASEMENT = 1,315 SQ.FT.
FIRST FLOOR = 2,492 SQ.FT.
SECOND FLOOR = 1,315 SQ.FT.
TOTAL = 5,122 SQ.FT.

BULK REQUIREMENTS:

ZONE R-15 SENIOR CITIZEN HOUSING	REQUIRED	EXISTING
MAX. FLOOR AREA RATIO	0.50	0.02
MINIMUM LOT AREA	180,000 SQ.FT.	323,894 SQ.FT. (NET)
MINIMUM FRONT LOT LINE	300 FT.	300 FT.
MINIMUM FRONT YARD	75 FT.	123.1 FT.
MINIMUM SIDE YARD	50 FT.	47.5 FT.
MINIMUM TOTAL SIDE YARD	100 FT.	230.3 FT.
MIN. REAR YARD	100 FT.	369.4 FT.
MAXIMUM BUILDING HEIGHT	35 FT.	30 FT.
MAX. PRINCIPAL BUILDING COVERAGE	33%	<1%
MAX. DEVELOPMENT COVERAGE	50%	5%

PER S290-17 O(A) SPECIAL PERMIT REQUIRED BY PLANNING BOARD

OWNERS:

TAX LOT 50.12-1-4
ELLIOT MARKOWITZ
P.O. BOX 397
NEW CITY, NY 10956

TAX LOT 50.12-1-3 & 26.2
ROCKLAND ALP REALTY LLC
C/O PAZ MANAGEMENT, INC
32 PINE TREE DRIVE
POUGHKEEPSIE, NY 12603

APPLICANT:

L'DOR
156 WEST CLARKSTOWN ROAD
NEW CITY, NY 10956

TAX MAP REFERENCE:

TOWN OF CLARKSTOWN TAX MAP
SECTION 50.12, BLOCK 1, LOT 3, 4 & 26.2

TOTAL AREA:

426,158 SQ.FT.

DISTRICTS

SCHOOL DISTRICT	– EAST RAMAPO CENTRAL SCHOOL DISTRICT
FIRE DISTRICT	– MOLESTON
LIGHT DISTRICT	– CLARKSTOWN
WATER DISTRICT	– SUEZ
SEWER DISTRICT	– CLARKSTOWN MBSIA #1

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, IN ANY WAY, WITHOUT THE APPROVAL OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICTIONS. (NYS EDUCATION LAW SECTION 7209-2)

"UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF THE NYS EDUCATION LAW, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."
"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES."
"CERTIFICATION INDICATED HERE ON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK ASSOCIATION OF HUDSON LAND SURVEYORS ASSOCIATION. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS OR THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS."

STATE OF NEW YORK · RYAN A. NASHER · LICENSED PROFESSIONAL ENGINEER
RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK · JOHN R. ATZL · LICENSED PROFESSIONAL LAND SURVEYOR
JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 50228

REVISION	DATE	DESCRIPTION
2	6-10-20	PER COMMENTS
1	4-21-20	PER TAC 3-11-20

ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

PROJECT:

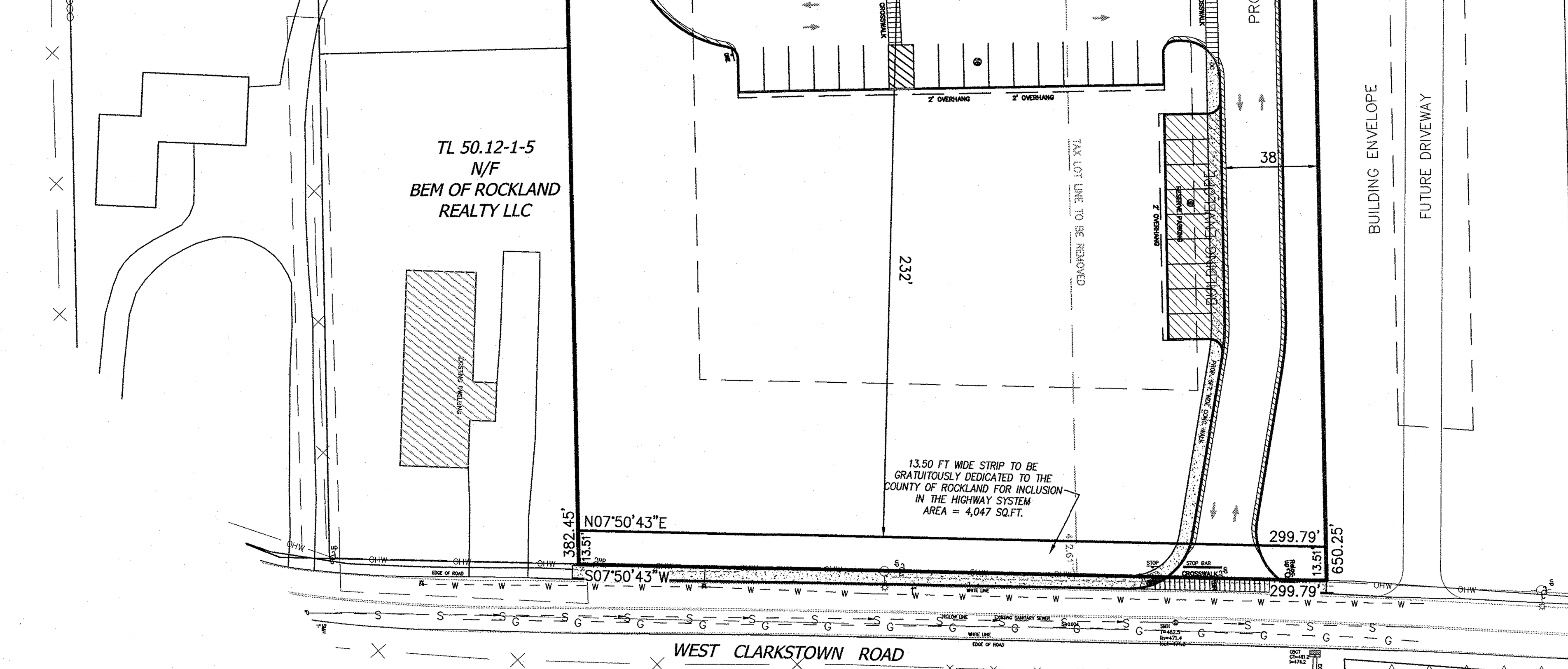
L'DOR

TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

TITLE:

PRELIMINARY OVERALL EXISTING SITE

DRAWN BY: LK	CHECKED BY: JRA
DATE: JANUARY 14, 2020	SCALE: 1 IN. = 50 FT.
PROJECT NO: 2861	DRAWING NO: 1



EXISTING AND PROPOSED USE:

SENIOR CITIZEN HOUSING – ASSISTED CARE LIVING QUARTERS

BULK REQUIREMENTS:

ZONE R-15 SENIOR CITIZEN HOUSING	REQUIRED	EXISTING	PROPOSED
MAX. FLOOR AREA RATIO	0.50	0.02	0.13
MINIMUM LOT AREA	180,000 SQ.FT.	N/A	323,894 SQ.FT.(NET)
MINIMUM FRONT LOT LINE	300 FT.	300 FT.	300 FT.
MINIMUM FRONT YARD	75 FT.	123.1 FT.	225 FT.
MINIMUM SIDE YARD	50 FT.	47.5 FT.	55 FT.
MINIMUM TOTAL SIDE YARD	100 FT.	230.3 FT.	118 FT.
MIN. REAR YARD	100 FT.	369.4 FT.	210 FT.
MAXIMUM BUILDING HEIGHT	35 FT.	30 FT.	2 STORIES 30 FT.
MAX. PRINCIPAL BUILDING COVERAGE	33%	<1%	6%
MAX. DEVELOPMENT COVERAGE	50%	5%	18%

SPECIAL PERMIT REQUIRED BY PLANNING BOARD

LOT AREA COMPUTATION:

426,158 SQ. FT.
-2,024 SQ. FT. 50% ROAD WIDENING
-100,240 SQ. FT. 50% OF WETLAND
323,894 SQ. FT. FOR ZONING PURPOSES

PARKING CALCULATIONS:

ASSISTED CARE LIVING QUARTERS:
0.55 SPACE/1 BEDS
79 BEDS/0.55 SPACE/1 BED =43.5 OR = 44 SPACES REQUIRED
45 SPACES PROVIDED

FLOOR AREA COMPUTATION:

EXISTING BUILDING TO BE REMOVED:
BASEMENT = 1,315 SQ.FT.
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SECOND FLOOR = 1,315 SQ.FT.
TOTAL = 5,122 SQ.FT.

PROPOSED BUILDING:
BASEMENT 5,590 SQ.FT.
FIRST FLOOR 19,180 SQ.FT.
SECOND FLOOR 16,124 SQ.FT.
TOTAL 41,254 SQ.FT.

UNIT BREAKDOWN:

39 TWO BED UNITS
1 ONE BED UNIT
40 TOTAL UNITS

DENSITY CALCULATIONS:

20 UNITS PER ACRE PERMITTED
40 UNITS ÷ 7.43 ACRES = 5.4 UNITS/ACRE

COMMUNITY SPACE:

10% OF FLOOR AREA REQUIRED
0.10 x 41,254 FLOOR AREA = 4,125.4 OR 4,126 SQ. FT. REQUIRED
4,348 SQ. FT. PROVIDED

RECREATION SPACE:

200 SQ. FT. PER UNIT REQUIRED
200 SQ. FT. x 40 UNITS = 8,000 SQ. FT. REQUIRED
38,476 SQ. FT. PROVIDED

BUFFER AREAS PER S290-20(I)(4):

75 FEET REQUIRED

FRONT– = 232 FT. PROVIDED

SIDE–
NORTH SIDE:
ROADWAY = 14 FT. PROVIDED **
RESERVE PARKING = 38 FT. PROVIDED **
BUILDING = 55 FT. PROVIDED *

SOUTH SIDE:
ROADWAY = 26 FT. PROVIDED **
BUILDING = 63 FT. PROVIDED *

REAR– = 165 FT. PROVIDED

* PLANNING BOARD HAS AUTHORITY TO REDUCE TO NO LESS THAN REQUIRED YARD (50 FT.)
** DENOTES VARIANCE REQUIRED

STANDARD MAP NOTES

A. DURING THE COURSE OF CONSTRUCTION THE BUILDER SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID THE CREATION OF DRAINAGE, EROSION, AND SILTING PROBLEMS.
B. OMITTED
C. THE BUILDER SHALL COMPLY WITH ALL LOCAL LAWS, REGULATIONS, AND ORDINANCES OF THE TOWN OF CLARKSTOWN. LIGHT SOURCES OF ALL FIXTURES SHALL NOT BE VISIBLE FROM STREETS OR PRIVATE DRIVEWAYS AND SHALL NOT CREATE GLARE ONTO ADJOINING PROPERTIES.
D. THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 L AND M OF THE GENERAL MUNICIPAL LAW.
E. DO NOT FILL AROUND TREES TO BE SAVED. LANDSCAPE AND TREE PRESERVATION TO BE PER ARCHITECTURE AND HISTORIC REVIEW BOARD RECOMMENDATION.
F. OMITTED
G. FOOTING AND ROOF DRAINS TO BE PIPED TO THE DRAINAGE SYSTEM.
H. ENTRANCE ROAD AND PARKING AREA TO HAVE CONCRETE CURBING.
I. NO WILLOW TREES TO BE PLANTED IN ANY TOWN EASEMENTS.
J. ALL UTILITIES TO BE INSTALLED UNDERGROUND EXCEPT AS SHOWN.
K. OMITTED
L. ALL SCREENING AND LANDSCAPING SHALL CONFORM TO REQUIREMENTS OF THE ARCHITECTURE AND HISTORIC REVIEW BOARD AND LANDSCAPING PLANS SHALL BE APPROVED BY ARCHITECTURE AND HISTORIC REVIEW BOARD. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE BUILDING INSPECTOR, THE REGISTERED LANDSCAPE ARCHITECT WILL CERTIFY THAT THE WORK ON THE SITE HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN ON FILE WITH THE TOWN. A WRITTEN TWO YEAR GUARANTEE SHALL BE PROVIDED BY THE APPLICANT TO THE DEPARTMENT OF ENGINEERING AND FACILITIES MANAGEMENT/ARCHITECTURE AND HISTORIC REVIEW BOARD, STATING THAT ALL PLANTS WHICH DIE OR ARE LIKELY TO DIE WITHIN THE GUARANTEE PERIOD WILL BE REPLACED. THE CERTIFICATE OF OCCUPANCY MAY BE REVOKED FOR FAILURE TO HONOR THE TERMS OF THE GUARANTEE.
M. NO BUILDING PERMIT FOR A BUILDING SUBJECT TO SITE PLAN APPROVAL SHALL BE ISSUED BY THE BUILDING INSPECTOR EXCEPT UPON AUTHORIZATION OF AND IN CONFORMITY WITH THE SITE PLAN APPROVED BY THE PLANNING BOARD. BUILDING PERMITS SHALL SHOW LOWEST FLOOR ELEVATIONS SUBJECT TO APPROVAL AND INSPECTION BY THE DEPARTMENT OF ENGINEERING AND FACILITIES MANAGEMENT
N. ANY PROPOSED RETAINING WALLS SHALL BE DESIGNED AND INSPECTED DURING CONSTRUCTION, AND CERTIFIED THAT THEY HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE DESIGN BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW YORK.
O. EROSION CONTROL SHALL BE PROVIDED AS SHOWN ON THE APPROVED EROSION CONTROL PLAN, AND AS MAY BE MODIFIED BY THE DEPARTMENT OF ENGINEERING AND FACILITIES MANAGEMENT TO CONFORM TO FIELD CONDITIONS AND THE DEVELOPMENT OF THE SITE PROGRESS.
P. ALL NEW PAVEMENT MARKINGS SHALL BE EPOXY OR PREFORMED.
Q. ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
R. FIRE LANES SHALL BE DESIGNATED BY THE FIRE INSPECTOR AND THE APPLICANT SHALL EXECUTE AN ENFORCEMENT CONSENT AGREEMENT WITH THE TOWN. FIRE LANE SIGNAGE AND STRIPING SHALL BE INSTALLED AS SHOWN ON THE APPROVED PLAN BY THE HE APPLICANT OR BUILDER PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR THE BUILDING. THIS WORK SHALL NOT BE SUBJECT TO ESCROW DEPOSIT. FIRE LANE SIGNAGE AND STRIPING SHALL BE MAINTAINED BY THE OWNER TO THE SATISFACTION OF THE FIRE INSPECTOR.
S. THE OWNER(S) SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL STORMWATER FACILITIES WITHIN THE SITE. SHOULD THE OWNER'S FAIL TO MAINTAIN THE FACILITIES AS REQUIRED BY THE TOWN OF CLARKSTOWN, THE ROCKLAND COUNTY DRAINAGE AGENCY OR THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, THE TOWN OF CLARKSTOWN IS HEREBY GIVEN THE RIGHT OF ACCESS TO PERFORM SAID WORK AND TO ASSESS THE COST PLUS A 10 PERCENT PENALTY TO THE OWNER(S) AS A SPECIAL LEVY.
T. ALL PARKING SPACES SHALL BE 10' X 19.5'.
U. RESERVE PARKING SHALL BE CONSTRUCTED IF DEEMED NECESSARY BY THE BUILDING INSPECTOR AND DIRECTOR OF ENGINEERING & FACILITIES MANAGEMENT.
V. ALL EXISTING BUILDINGS AND APPURTENANCES ARE TO BE REMOVED PRIOR TO FINAL CERTIFICATE OF OCCUPANCY.
W. ALL TAX LOTS WILL BE MERGED.
X. THE GENERAL STORE WILL UTILIZED BY THE RESIDENTS OF L'DOR FOR BASIC NECESSITIES.

THESE SERVICES WILL INCLUDE:

- PAPER GOODS AND SOAPS
- STAMPS AND GREETING CARDS
- PERSONAL HYGIENE ITEMS
- OVER THE COUNTER MEDICINE
- TABLE AND LAWN GAMES FOR BORROWING

THE GENERAL STORE WILL BE FOR THE RESIDENTS OF L'DOR ONLY AND WILL BE STAFFED BY L'DOR PERSONNEL. ALL ITEMS WILL BE MADE AVAILABLE BY MANAGEMENT THROUGH GRANTS AND CONTRIBUTIONS. THERE WILL NOT BE ANY EXCHANGE OF MONEY. DONATIONS WILL BE REQUESTED.

DRAWING LIST

DRAWING No.	TITLE	ORIGIN DATE	REVISION DATE
DRAWING 1	– OVERALL EXISTING SITE	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 2	– OVERALL SITE PLAN	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 3	– SITE PLAN	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 4	– TEMPORARY GRADING PLAN	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 5	– GRADING PLAN	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 6	– DRAINAGE DETAIL	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 7	– DETAILS	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 8	– DETAILS (CONTINUED)	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 9	– SOIL EROSION & SEDIMENT CONTROL PLAN	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 10	– LIGHTING PLAN	JANUARY 14, 2020	JUNE 10, 2020
DRAWING 11	– FIRE TRUCK TURNING PLAN	JANUARY 14, 2020	JUNE 10, 2020
DRAWING L-1, L-2 & L-3	– LANDSCAPE & TREE PRESERVATION PLAN	FEBRUARY 10, 2020	JUNE 10, 2020

LEGEND

———362———	EXISTING 2' CONTOUR
———360———	EXISTING 10' CONTOUR
——W——	EXISTING WATERLINE
	EXISTING FIRE HYDRANT
——G——	EXISTING GAS LINE
CB	EXISTING CATCH BASIN
=======	EXISTING STORM DRAIN LINE
(S) SMH	EXISTING SEWER MANHOLE
— S — — S —	EXISTING SEWER LINE
+ 360.0	EXISTING SPOT ELEVATION
OOOOOOOO	EXISTING STONEWALL
	EXISTING SIGN
LP	EXISTING LIGHT POLE
UP	EXISTING UTILITY POLE
WV	EXISTING WATER VALVE
GV	EXISTING GAS VALVE
TBRL	TO BE RELOCATE

OWNERS:

TAX LOT 50.12-1-4
ELLIOT MARKOWITZ
P.O. BOX 397
NEW CITY, NY 10956

TAX LOT 50.12-1-3 & 26.2
ROCKLAND ALP REALTY LLC
C/O PAZ MANAGEMENT, INC
32 PINE TREE DRIVE
POUGHKEEPSIE, NY 12603

APPLICANT:

L'DOR
156 WEST CLARKSTOWN ROAD
NEW CITY, NY 10956

TAX MAP REFERENCE:

TOWN OF CLARKSTOWN TAX MAP
SECTION 50.12, BLOCK 1, LOT 3, 4 & 26.2

TOTAL AREA:

426,158 SQ.FT.

FINAL PLANNING BOARD APPROVAL

CHAIRPERSON PLANNING BOARD
TOWN OF CLARKSTOWN

OWNERS APPROVAL FOR FILING

OWNER OR REPRESENTATIVE DATE

DISTRICTS

SCHOOL DISTRICT – EAST RAMAPO CENTRAL SCHOOL DISTRICT
FIRE DISTRICT – MOLESTON
LIGHT DISTRICT – CLARKSTOWN LT001
WATER DISTRICT – SUEZ WATER
SEWER DISTRICT – CLARKSTOWN MBSIA #1

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STATE OF NEW YORK – RYAN A. NASHER – PROFESSIONAL ENGINEER
RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK – JOHN R. ATZL
JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 50228

REVISION	DATE	DESCRIPTION
2	6-10-20	PER COMMENTS
1	4-21-20	PER TAC 3-11-20

AN&Z
ATZL, NASHER & ZIGLER P.C.
ENGINEERS–SURVEYORS–PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

PROJECT:

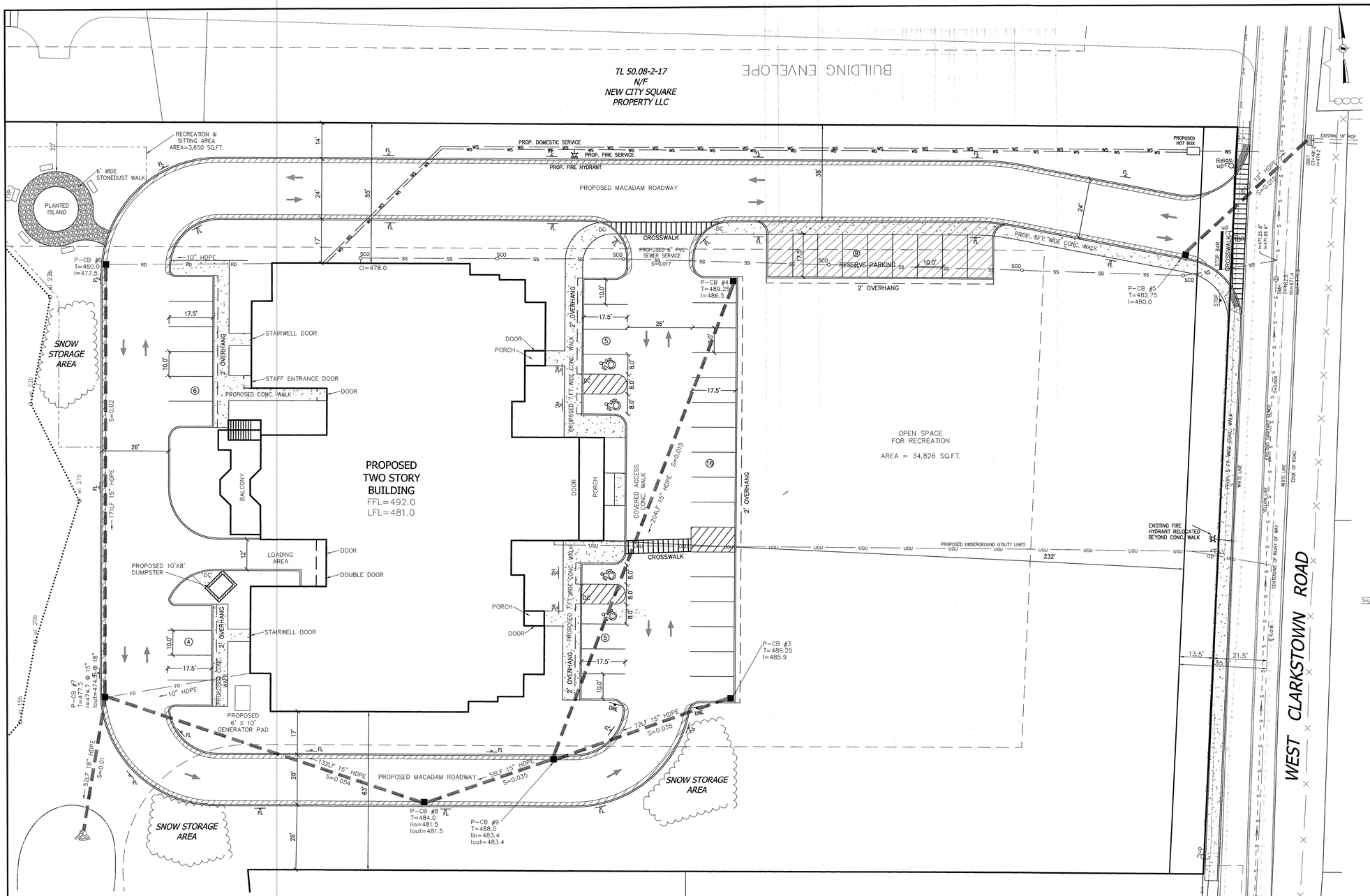
L'DOR

TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

TITLE:

PRELIMINARY OVERALL SITE PLAN

DRAWN BY: LK	CHECKED BY: JRA
DATE: JANUARY 14, 2020	SCALE: 1 IN. = 50 FT.
PROJECT NO: 2861	DRAWING NO: 2



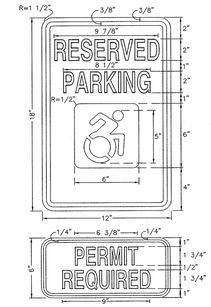
LEGEND

262	EXISTING 2' CONTOUR	262	PROPOSED 2' CONTOUR
260	EXISTING 10' CONTOUR	260	PROPOSED 10' CONTOUR
W	EXISTING WATERLINE	WS	PROPOSED WATER SERVICE
	EXISTING WATER VALVE		PROPOSED WATER VALVE
	EXISTING FIRE HYDRANT		PROPOSED FIRE HYDRANT
G	EXISTING GAS LINE	GS	PROPOSED GAS SERVICE
	EXISTING GAS VALVE		PROPOSED GAS VALVE
CB	EXISTING CATCH BASIN	CB	PROPOSED CATCH BASIN
	EXISTING STORM DRAIN LINE		PROPOSED STORM DRAIN LINE
SMH	EXISTING SEWER MANHOLE	CO	PROPOSED SEWER CLEANOUT
S S	EXISTING SEWER LINE	SS	PROPOSED SEWER HOUSE CONNECTION
+ 360.0	EXISTING SPOT ELEVATION	+262.0	PROPOSED SPOT ELEVATION
	EXISTING STONEWALL	SF	PROPOSED SILT FENCE
UP	EXISTING UTILITY POLE	FM	PROPOSED FORCE MAIN
LP	EXISTING LIGHT POLE	FL	DENOTES FIRE LANE SIGN
	EXISTING SIGN	HC	DENOTES HANDICAP SIGN
		DNE	DENOTES DO NOT ENTER SIGN

LETTERING AND BORDER BLACK
BACKGROUND WHITE

DO NOT ENTER SIGN

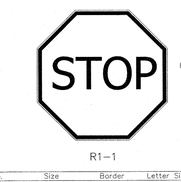
N.T.S.



LETTERING AND
BORDER GREEN
WHITE SYMBOL ON
BLUE BACKGROUND
BACKGROUND WHITE

SIGN FOR ACCESSIBLE PARKING

N.T.S.



RED BACKGROUND
WHITE LEGEND

R1-1

Sign No.	Size	Border	Letter Size and Series
	30" x 30"	3/4"	10"-C

STOP SIGN DETAIL

N.T.S.

EXISTING AND PROPOSED USE:

SENIOR CITIZEN HOUSING – ASSISTED CARE LIVING QUARTERS

BULK REQUIREMENTS:

ZONE R-15 SENIOR CITIZEN HOUSING	REQUIRED	EXISTING	PROPOSED
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MINIMUM LOT AREA	180,000 SQ.FT.	N/A	323,894 SQ.FT.(NET)
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* SPECIAL PERMIT REQUIRED BY PLANNING BOARD PER S290-17

LOT AREA COMPUTATION:

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-2,024 SQ. FT. 50% ROAD WIDENING
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40 UNITS ÷ 7.43 ACRES = 5.4 UNITS/ACRE

COMMUNITY SPACE:

10% OF FLOOR AREA REQUIRED
0.10 x 41,254 FLOOR AREA = 4,125.4 OR 4,126 SQ. FT. REQUIRED
4,348 SQ. FT. PROVIDED

RECREATION SPACE:

200 SQ. FT. PER UNIT REQUIRED
200 SQ. FT. x 40 UNITS = 8,000 SQ. FT. REQUIRED
38,476 SQ. FT. PROVIDED

NOTE:

ALL EXISTING STRUCTURES ARE TO BE REMOVED PRIOR TO PERMANENT C.O. FOR THE PROPOSED BUILDING

BUFFER AREAS PER S290-20(I)(4):

75 FEET REQUIRED

FRONT– = 232 FT. PROVIDED

SIDE– NORTH SIDE:
ROADWAY = 14 FT. PROVIDED **
RESERVE PARKING = 38 FT. PROVIDED **
BUILDING = 55 FT. PROVIDED *

SOUTH SIDE:
ROADWAY = 26 FT. PROVIDED **
BUILDING = 63 FT. PROVIDED *

REAR– = 165 FT. PROVIDED

* PLANNING BOARD HAS AUTHORITY TO REDUCE TO NO LESS THAN REQUIRED YARD (50 FT.)
** DENOTES VARIANCE REQUIRED

REVISION	DATE	DESCRIPTION
2	6-10-20	PER COMMENTS
1	4-21-20	PER TAC 3-11-20

ATZL, NASHER & ZIGLER P.C.
ENGINEERS–SURVEYORS–PLANNERS
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STATE OF NEW YORK · RYAN A. NASHER · LICENSED PROFESSIONAL ENGINEER

RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

"UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."
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STATE OF NEW YORK · JOHN R. ATZL · LICENSED PROFESSIONAL ENGINEER

JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 50228

PROJECT:

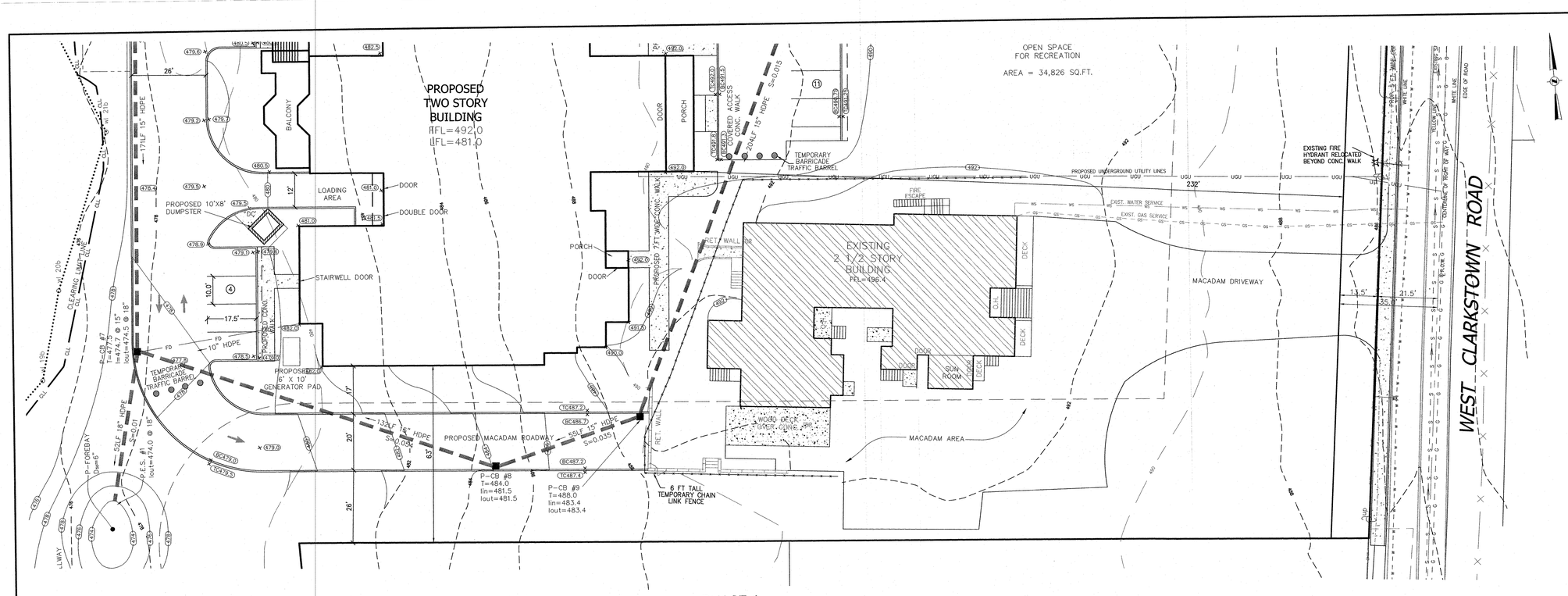
L'DOR

TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

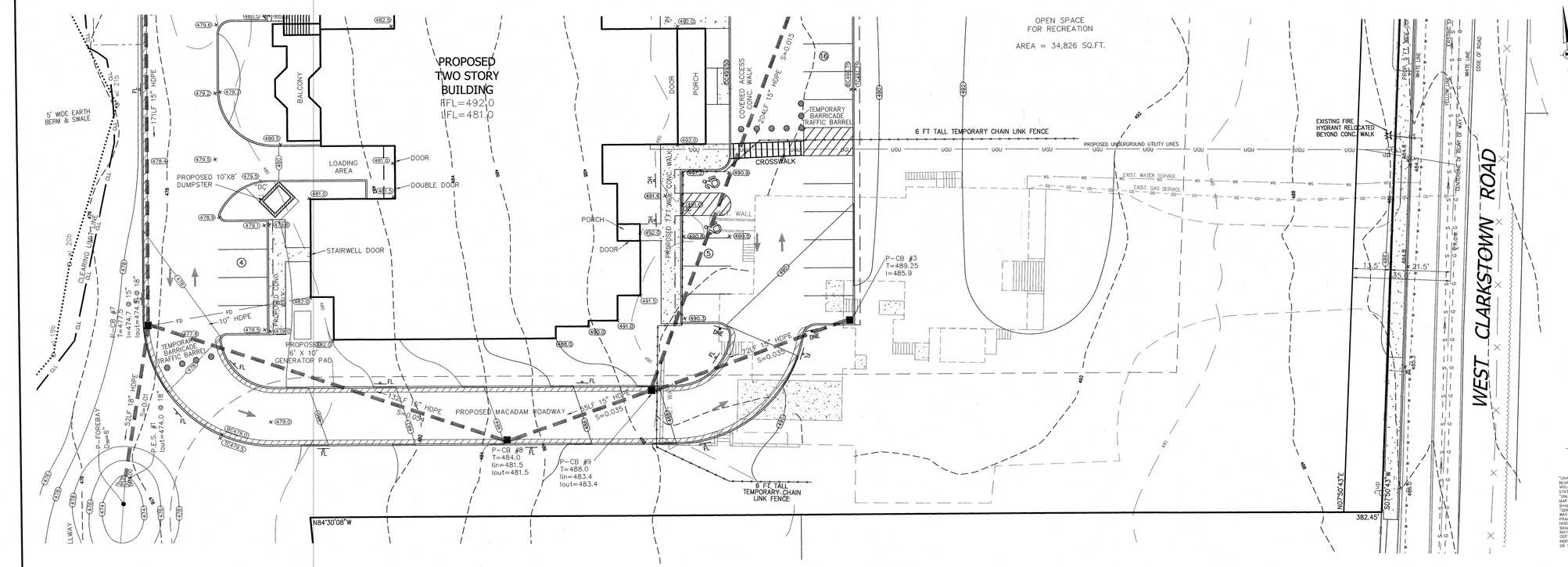
TITLE:

PRELIMINARY SITE PLAN

DRAWN BY: LK	CHECKED BY: JRA
DATE: JANUARY 14, 2020	SCALE: 1 IN. = 20 FT.
PROJECT NO: 2861	DRAWING NO: 3



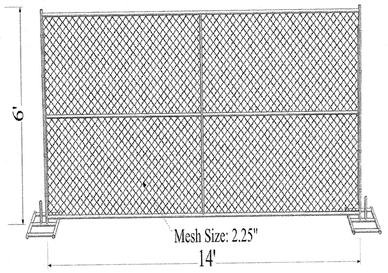
PHASE 1



PHASE 2

LEGEND

EXISTING 2' CONTOUR	PROPOSED 2' CONTOUR
EXISTING 10' CONTOUR	PROPOSED 10' CONTOUR
EXISTING WATERLINE	PROPOSED WATER SERVICE
EXISTING WATER VALVE	PROPOSED WATER VALVE
EXISTING FIRE HYDRANT	PROPOSED FIRE HYDRANT
EXISTING GAS LINE	PROPOSED GAS SERVICE
EXISTING GAS VALVE	PROPOSED GAS VALVE
EXISTING CATCH BASIN	PROPOSED CATCH BASIN
EXISTING STORM DRAIN LINE	PROPOSED STORM DRAIN LINE
EXISTING SEWER MANHOLE	PROPOSED SEWER CLEANOUT
EXISTING SEWER LINE	PROPOSED SEWER HOUSE CONNECTION
EXISTING SPOT ELEVATION	PROPOSED SPOT ELEVATION
EXISTING STONEWALL	PROPOSED SILT FENCE
EXISTING UTILITY POLE	PROPOSED FORCE MAIN
EXISTING LIGHT POLE	DENOTES FIRE LANE SIGN
EXISTING SIGN	DENOTES HANDICAP SIGN
	DENOTES DO NOT ENTER SIGN



TEMPORARY 6' CHAIN LINK FENCE DETAIL
N.T.S.

TEMPORARY BARRICADE TRAFFIC BARREL DETAIL
N.T.S.

PHASING NOTES

PHASE 1 – TEMPORARY CHAIN LINK FENCE IS TO BE INSTALLED PRIOR TO ANY CONSTRUCTION AND WILL REMAIN UNTIL A TEMPORARY CERTIFICATE OF OCCUPANCY IS ISSUED AND THE RESIDENTS ARE RELOCATED TO THE NEW BUILDING.

PHASE 2 – UPON RELOCATING THE RESIDENTS TO THE NEW BUILDING, THE TEMPRORARY CHAIN LINK FENCE WILL BE RELOCATED AND REMAIN UNTIL DEMOLITION OF THE EXISTING FACILITY IS DEMOLISHED AND SITE CONSTRUCTION COMPLETED.

REVISION	DATE	DESCRIPTION
2	6-10-20	PER COMMENTS
1	4-21-20	PER TAC 3-11-20

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STATE OF NEW YORK · RYAN A. NASHER · LICENSED PROFESSIONAL ENGINEER

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STATE OF NEW YORK · JOHN R. ATZL · LICENSED PROFESSIONAL ENGINEER

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Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

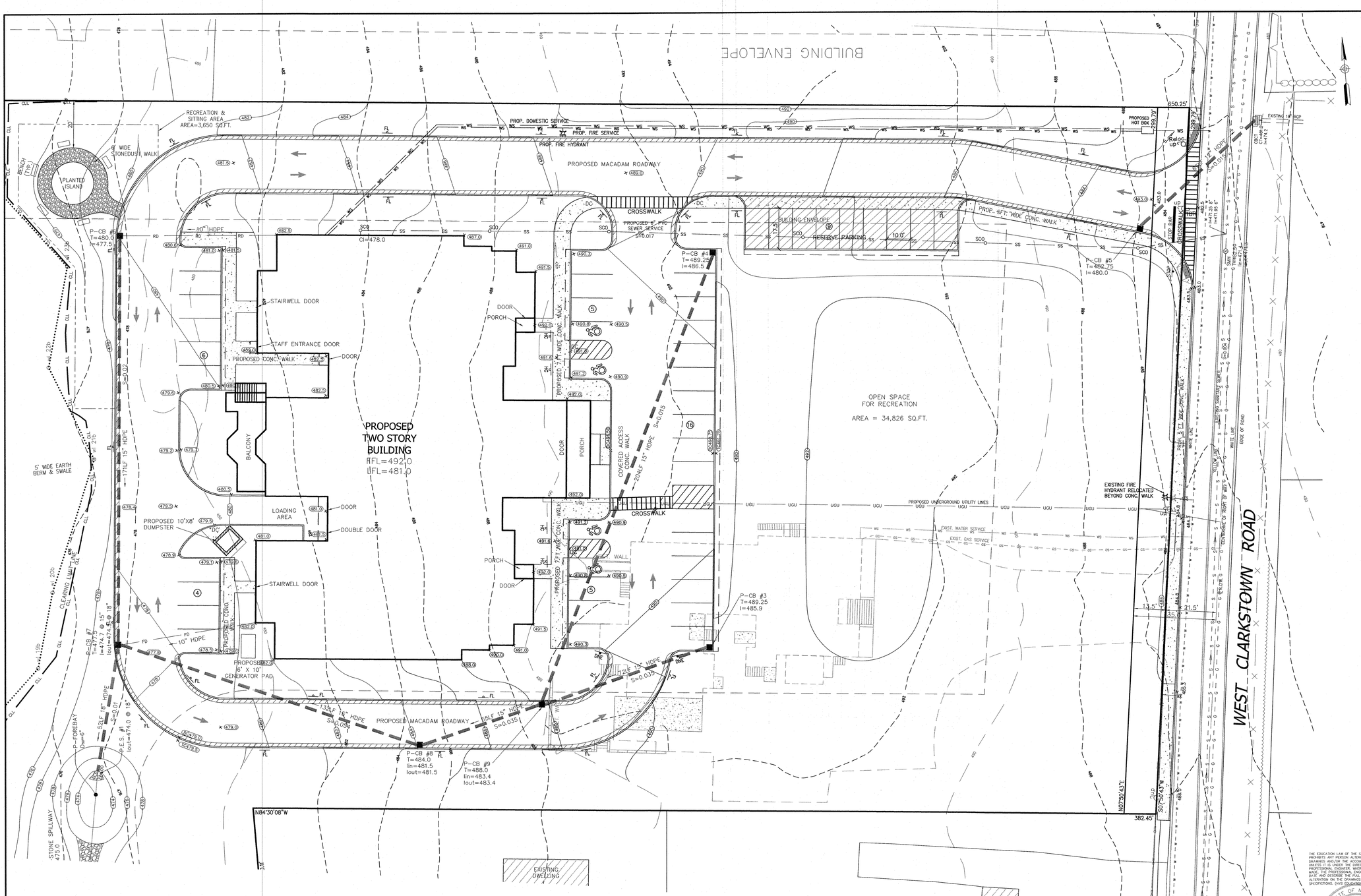
PROJECT:

L'DOR

TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

TITLE: *PRELIMINARY TEMPORARY GRADING PLAN & SITE PHASING PLAN*

DRAWN BY: LK	CHECKED BY: JRA
DATE: JANUARY 14, 2020	SCALE: 1 IN. = 20 FT.
PROJECT NO: 2861	DRAWING NO: 4



LEGEND

362	EXISTING 2' CONTOUR	362	PROPOSED 2' CONTOUR
360	EXISTING 10' CONTOUR	360	PROPOSED 10' CONTOUR
W	EXISTING WATERLINE	WS	PROPOSED WATER SERVICE
	EXISTING WATER VALVE		PROPOSED WATER VALVE
	EXISTING FIRE HYDRANT		PROPOSED FIRE HYDRANT
G	EXISTING GAS LINE	GS	PROPOSED GAS SERVICE
GV	EXISTING GAS VALVE	GV	PROPOSED GAS VALVE
CB	EXISTING CATCH BASIN	CB	PROPOSED CATCH BASIN
	EXISTING STORM DRAIN LINE		PROPOSED STORM DRAIN LINE
S SMH	EXISTING SEWER MANHOLE	CO	PROPOSED SEWER CLEANOUT
S	EXISTING SEWER LINE	SS	PROPOSED SEWER HOUSE CONNECTION
+ 360.0	EXISTING SPOT ELEVATION	360.0	PROPOSED SPOT ELEVATION
	EXISTING STONEWALL	SF	PROPOSED SILT FENCE
UP	EXISTING UTILITY POLE	FM	PROPOSED FORCE MAIN
LP	EXISTING LIGHT POLE	FL	DENOTES FIRE LANE SIGN
	EXISTING SIGN	HC	DENOTES HANDICAP SIGN
		DNE	DENOTES DO NOT ENTER SIGN

REVISION	DATE	DESCRIPTION
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STATE OF NEW YORK · RYAN A. NASHER · LICENSED PROFESSIONAL ENGINEER

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STATE OF NEW YORK · JOHN R. ATZL · LICENSED PROFESSIONAL ENGINEER

JOHN R. ATZL
N.Y.S. P.E.S. LIC. NO. 50228

PROJECT:

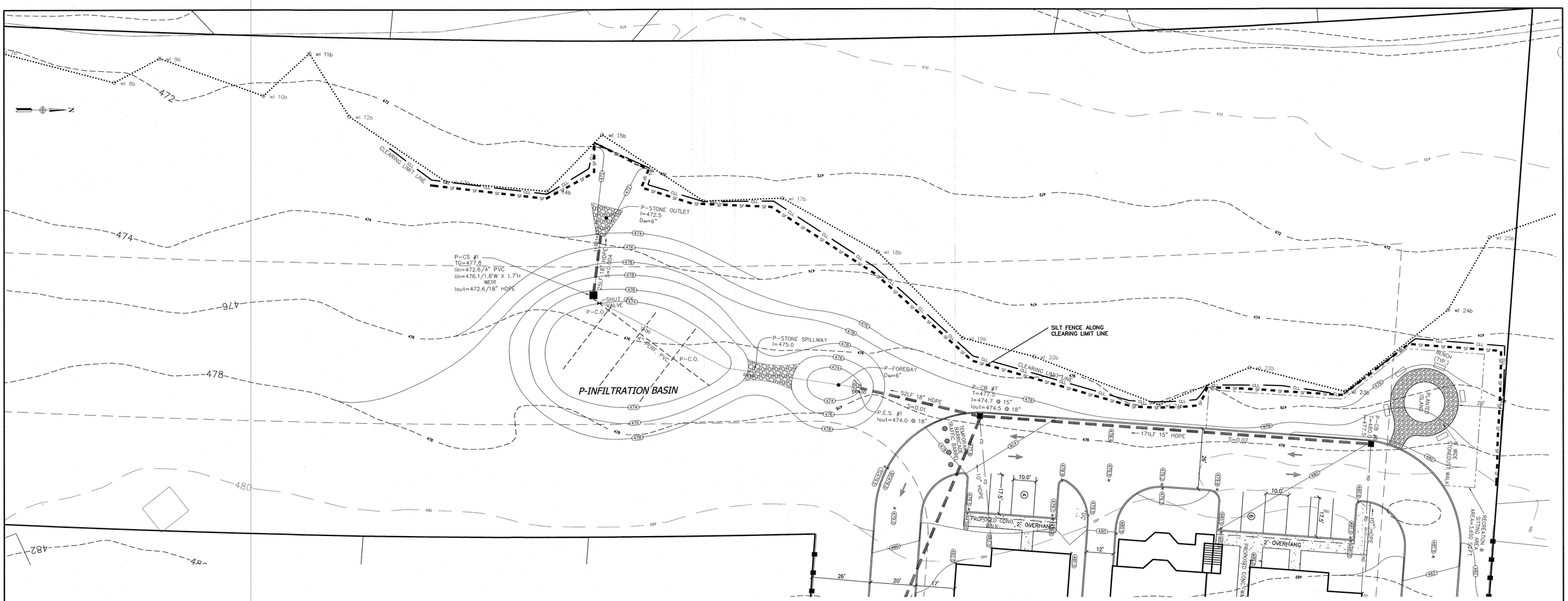
L'DOR

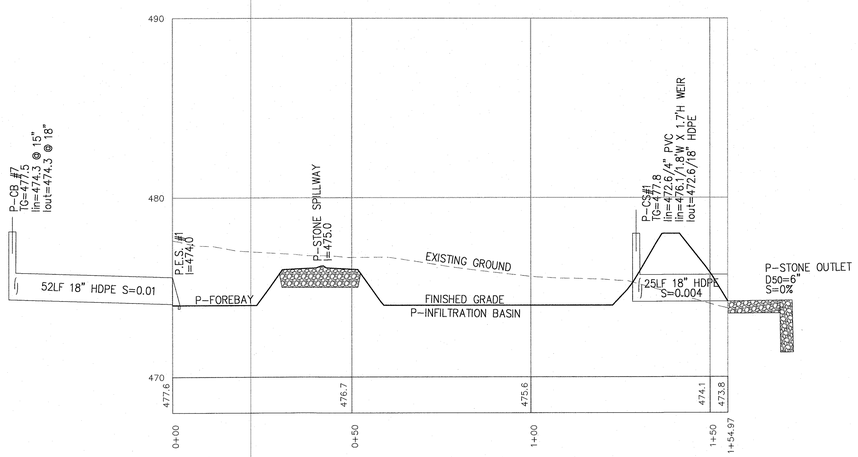
TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

TITLE:

PRELIMINARY GRADING PLAN

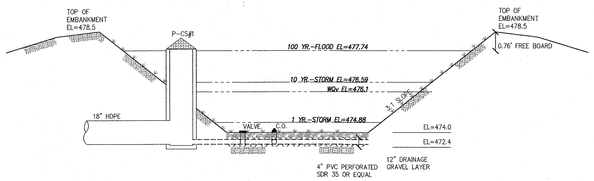
DRAWN BY: LK	CHECKED BY: JRA
DATE: JANUARY 14, 2020	SCALE: 1 IN. = 20 FT.
PROJECT NO: 2861	DRAWING NO: 5





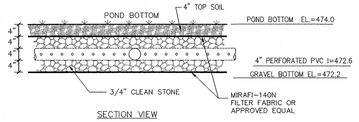
P-INFILTRATION BASIN PROFILE VIEW

SCALE: H/1"=20' V/1"=4'



P-INFILTRATION BASIN SECTION

SCALE: N.T.S.



UNDER DRAIN PIPE SECTION

SCALE: N.T.S.

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STATE OF NEW YORK · RYAN A. NASHER · LICENSED PROFESSIONAL ENGINEER

RYAN A. NASHER, P.E.
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STATE OF NEW YORK · JOHN R. ATZL · LICENSED PROFESSIONAL ENGINEER

JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 50228

REVISION	DATE	DESCRIPTION
2	6-10-20	PER COMMENTS
1	4-21-20	PER TAC 3-11-20

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E-mail: info@anzny.com
Web: www.ANZNY.com

PROJECT:

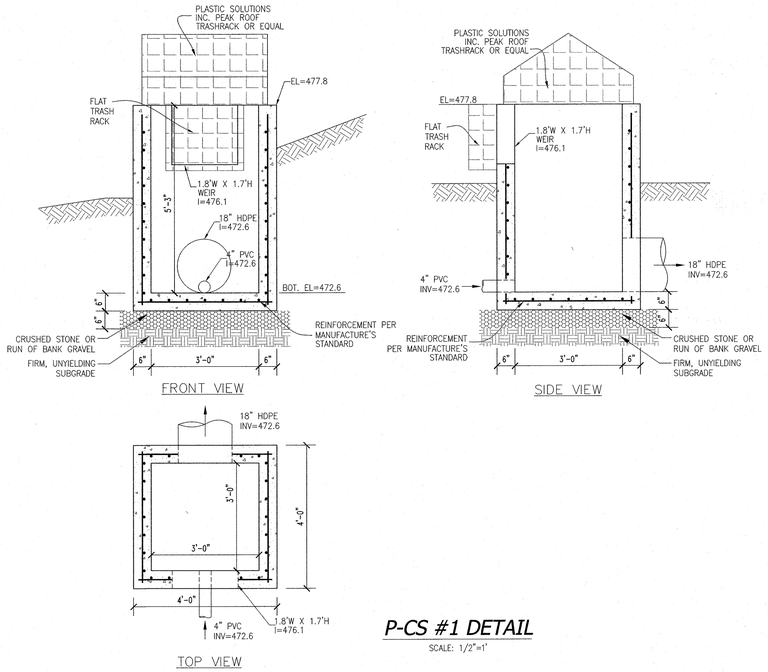
L'DOR

TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

TITLE:

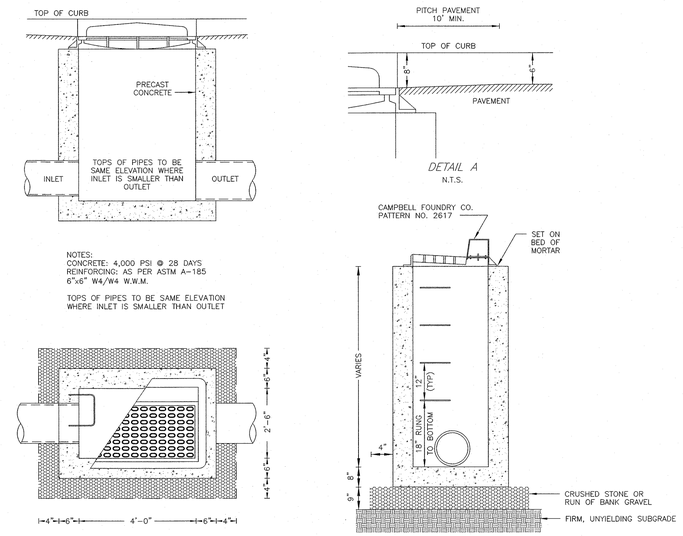
PRELIMINARY DRAINAGE DETAILS

DRAWN BY: LK	CHECKED BY: JRA
DATE: JANUARY 14, 2020	SCALE: 1 IN. = 20 FT.
PROJECT NO: 2861	DRAWING NO: 6



P-CS #1 DETAIL

SCALE: 1/2"=1'

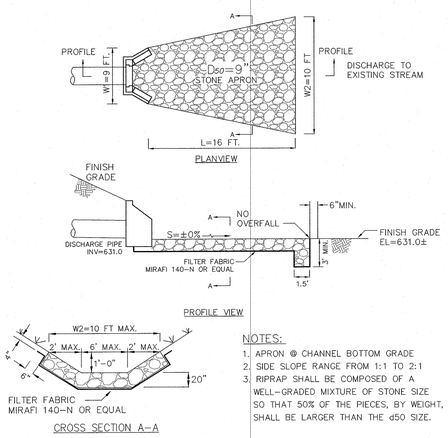


NOTES:
CONCRETE: 4,000 PSI @ 28 DAYS
REINFORCING: AS PER ASTM A-185
6"x6" W4/W4 W.W.M.

TOPS OF PIPES TO BE SAME ELEVATION WHERE INLET IS SMALLER THAN OUTLET

PRECAST CATCH BASIN DETAIL

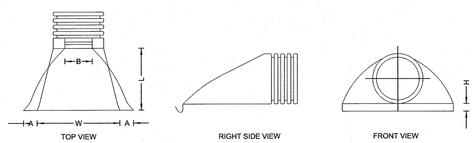
(NOT TO SCALE)



NOTES:
1. APRON @ CHANNEL BOTTOM GRADE
2. SIDE SLOPE RANGE FROM 1:1 TO 2:1
3. RIPRAP SHALL BE COMPOSED OF A WELL-GRADED MIXTURE OF STONE SIZE SO THAT 50% OF THE PIECES, BY WEIGHT, SHALL BE LARGER THAN THE d50 SIZE.

STONE OUTLET PROTECTION DETAIL

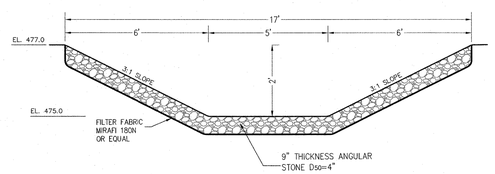
N.T.S.



PART ##	PIPE SIZE	A	B (MAX)	H	L	W
1510NP OR EQUAL	18 IN. 457 MM	8.0 IN. 203 MM	10.0 IN. 254 MM	6.0 IN. 152 MM	31.0 IN. 787 MM	36.0 IN. 914 MM

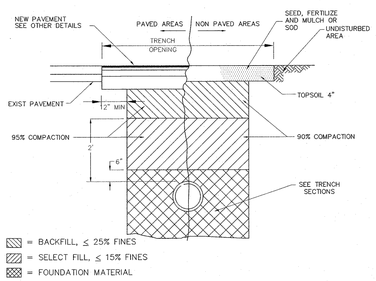
18" HDPE END SECTION DETAIL

N.T.S.



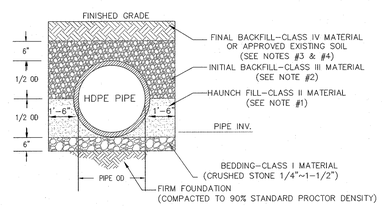
P-INFILTERATION BASIN SPILLWAY DETAIL

SCALE: 1"=3'



ROCKLAND COUNTY SEWER DISTRICT NO. 1 PIPE TRENCH BACKFILL DETAIL

N.T.S.



DRAINAGE TRENCH DETAIL

N.T.S.

PIPE STORAGE SYSTEM NOTES:

1. CLASS II MATERIAL CONSISTS OF CLEAN, COARSE GRAINED MATERIALS, SUCH AS GRAVEL, COARS SANDS AND GRAVEL/SAND MIXTURES (1-1/2 INCH IN SIZE). (AASHTO CLASSIFICATION A1 & A3)
2. CLASS III MATERIAL CONSISTS OF COARSE GRAINED MATERIALS WITH FINES INCLUDING SILTY OR CLAYEY GRAVELS OR SANDS. GRAVEL OR SAND MUST COMPRISE MORE THAN 50 PERCENT OF CLASS III MATERIALS.
3. CLASS IV MATERIAL CONSISTS OF FINE GRAINED MATERIALS, SUCH AS FINE SAND AND SOILS CONTAINING 50 PERCENT OR MORE CLAY OR SILT. SOILS CLASSIFIED AS IVa OR IVb WHICH HAVE PLASTICITY ARE NOT RECOMMENDED FOR EMBEDMENT ZONE.
4. USING EXISTING SOIL FOR FINAL BACKFILL IS ALLOWED ONLY IF IT IS FREE OF ORGANIC OR RECYCLED MATERIALS.

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N.Y.S. P.E. LIC. NO. 89066

JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 50228

REVISION	DATE	DESCRIPTION
2	6-10-20	PER COMMENTS
1	4-21-20	PER TAC 3-11-20

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ENGINEERS-SURVEYORS-PLANNERS
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P.O. Box 636, Chester, New York 10918, Tel: (845) 469-1015, Fax: (845) 469-1016
Web: ANZNY.com

PROJECT:
L'DOR

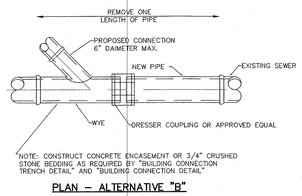
TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

TITLE:
PRELIMINARY DETAILS

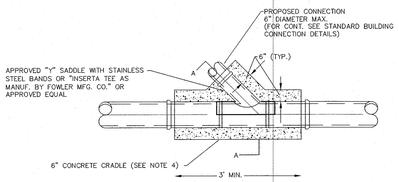
DRAWN BY: EP	CHECKED BY: JRA
DATE: JUNE 27, 2018	SCALE: 1 IN. = 20 FT.
PROJECT NO: 2861	DRAWING NO: 7

NOTES:

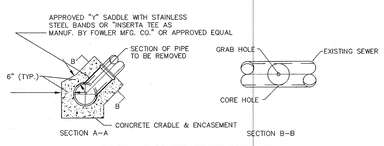
1) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT DETAILS AND SPECIFICATIONS OF THE SADDLE THAT IS TO BE USED, FOR THE ROCKLAND COUNTY SEWER DISTRICT OR REVIEWING AGENCY TO REVIEW AND APPROVE.
2) ENCASE ENTIRE SADDLE IN CONCRETE.
3) THE NEW SERVICE PIPE SHALL NOT PROTRUDE INTO THE EXISTING INTERCEPTOR PIPE.
4) WHERE SEWER IS 24" DIAM OR LARGER, CONTRACTOR MAY USE "INSERTA TEE" AND ENCASE TEE AND TOP OF PIPE WITH 6" OF QUICKSETTING WATERPROOF CEMENT WITHIN 12" OF THE TEE RATHER THAN CONCRETE ENCASEMENT ALL AROUND PIPE.



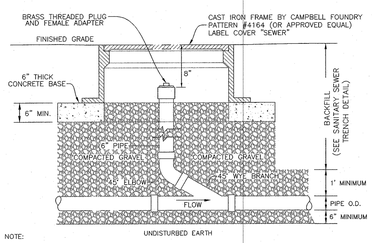
PLAN – ALTERNATIVE "B"



PLAN – ALTERNATIVE "A"



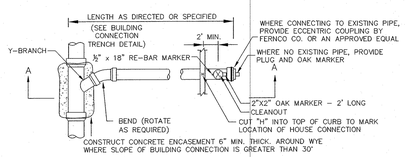
ROCKLAND COUNTY SEWER DISTRICT NO. 1
BUILDING CONNECTION TO EXISTING SEWER DETAIL
N.T.S.



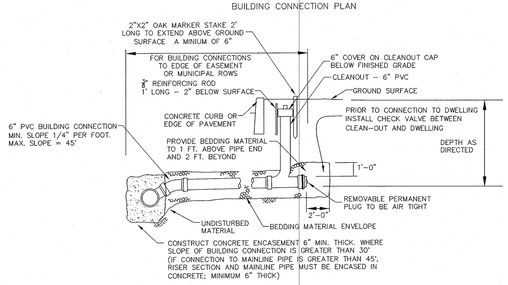
NOTE:

EACH BUILDING SEWER SHALL HAVE A CLEANOUT INSTALLED APPROXIMATELY 2' DOWNSTREAM OF THE BUILDING PIPE TO BUILDING SEWER CONNECTION. THEREAFTER, CLEANOUTS SHALL BE INSTALLED ALONG THE BUILDING SEWER APPROXIMATELY EVERY 75' (MAXIMUM), FOR THE PURPOSE OF CLEANOUT LOCATIONS DISTANCE SHALL BE MEASURED FROM THE FIRST CLEANOUT LOCATED DOWNSTREAM OF THE HOUSE PIPE TO BUILDING SEWER CONNECTION HENCE DOWNSTREAM ALONG THE BUILDING SEWER TO THE CENTER OF THE SEWER MAIN LINE (GENERALLY LOCATED IN THE CENTER OF THE STREET)

CLEAN OUT DETAIL
N.T.S.



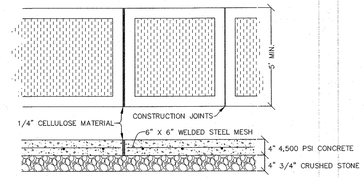
BUILDING CONNECTION PLAN



SECTION A–A

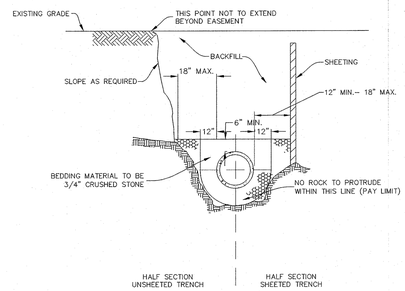
BUILDING CONNECTION ELEVATION

SANITARY SEWER BUILDING CONNECTION DETAIL
N.T.S.

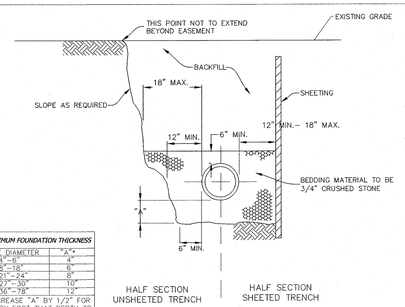


1. CONSTRUCTION JOINTS HAVING A 1/4 INCH RADIUS SHALL BE PLACED AT 4 FEET INTERVALS.
2. INSTALL EXPANSION JOINTS OF 1/4 INCH CELLULOSE MATERIAL OR EQUAL AT 20 FEET INTERVALS.
3. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.
4. CONCRETE SHALL BE AIR ENTRAINED 6% PLUS or MINUS 1%.
5. SIDEWALK REINFORCEMENT SHALL CONSIST OF #6 GUAGE 6" X 6" STEEL MESH PLACED 2 INCHES FROM THE BOTTOM OF THE SIDEWALK SLAB.

CONCRETE SIDEWALK
N.T.S.



TRENCH IN ROCK



TRENCH IN EARTH

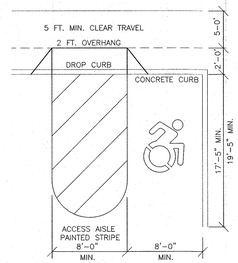
MINIMUM FOUNDATION THICKNESS	
PIPE DIAMETER	"A"*
4"–6"	4"
8"–18"	6"
21"–24"	8"
27"–30"	10"
36"–78"	12"

*INCREASE "A" BY 1/2" FOR EVERY FOOT THAT DEPTH TO TOP OF PIPE EXCEEDS 16'

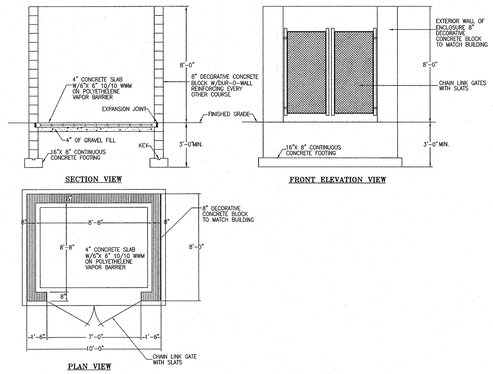
ROCKLAND COUNTY SEWER DISTRICT NO. 1
TRENCH SECTIONS
N.T.S.

NOTES:

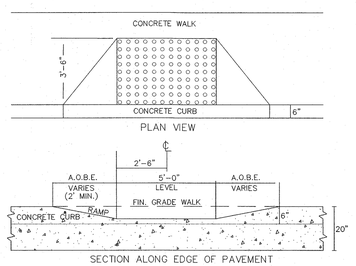
1. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL APPLICABLE SAFETY CONDITIONS ALONG TRENCH.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING NECESSARY SIDE SLOPES, AND IF SHORING AND/OR A TRENCH SHIELD IS REQUIRED.
3. THRUSTS BLOCKS SHALL BE USED FOR ALL BENDS ALONG FORCEMAIN. IF TWO MAINS ARE PARALLEL THE INSIDE PIPE SHALL BE RESTRAINED JOINT FITTINGS AND PIPE THREE LENGTHS EACH SIDE OF BEND.
4. PARALLEL PIPE SHALL HAVE A MINIMUM SEPARATION OF 2' BETWEEN OUTSIDE WALLS OF PIPE.



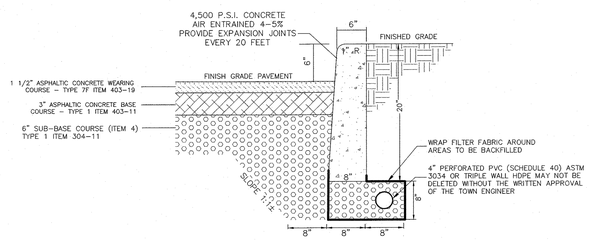
ACCESSIBLE PARKING DETAIL
N.T.S.



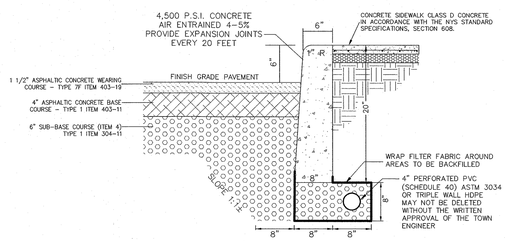
REFUSE DUMPSTER ENCLOSURE DETAIL
N.T.S.



DROP CURB AND SIDEWALK RAMP DETAIL
N.T.S.



ASPHALTIC CONCRETE PAVEMENT & CONCRETE
CURB DETAIL FOR PARKING AREAS
N.T.S.



ASPHALTIC CONCRETE PAVEMENT & CONCRETE
CURB DETAIL FOR TRAVELLED WAY
N.T.S.

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICTIONS. (NYS EDUCATION LAW SECTION 7209-2)

"UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."
"ONLY COPIES FROM THE ORIGINAL DRAWING OF THIS SURVEY MAP BEARING THE LICENSED LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES."
"CERTIFICATION INDICATED HERE ON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYOR'S ADOPTED BY THE DELAWARE – HUDSON CONFERENCE OF LICENSED LAND SURVEYORS AND SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS."

STATE OF NEW YORK · RYAN A. NASHER · LICENSED PROFESSIONAL ENGINEER

RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK · JOHN R. ATZL · LICENSED PROFESSIONAL ENGINEER

JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 50228

REVISION	DATE	DESCRIPTION
2	6–10–20	PER COMMENTS
1	4–21–20	PER TAC 3–11–20

ATZL, NASHER & ZIGLER P.C.
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Tel: (845) 469–1015
Fax: (845) 469–1016

Web: ANZNY.com

PROJECT:

L'DOR

TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

TITLE:

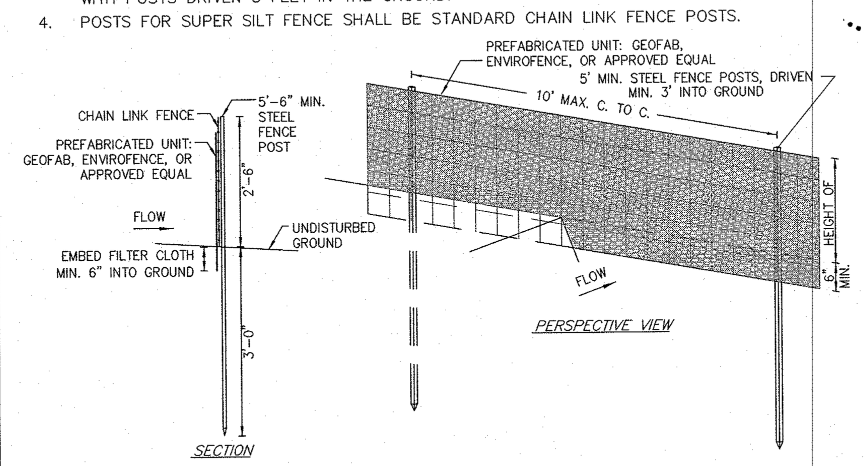
PRELIMINARY DETAILS

DRAWN BY: EP	CHECKED BY: JRA
DATE: JUNE 27, 2018	SCALE: 1 IN. = 20 FT.
PROJECT NO: 2861	DRAWING NO: 8

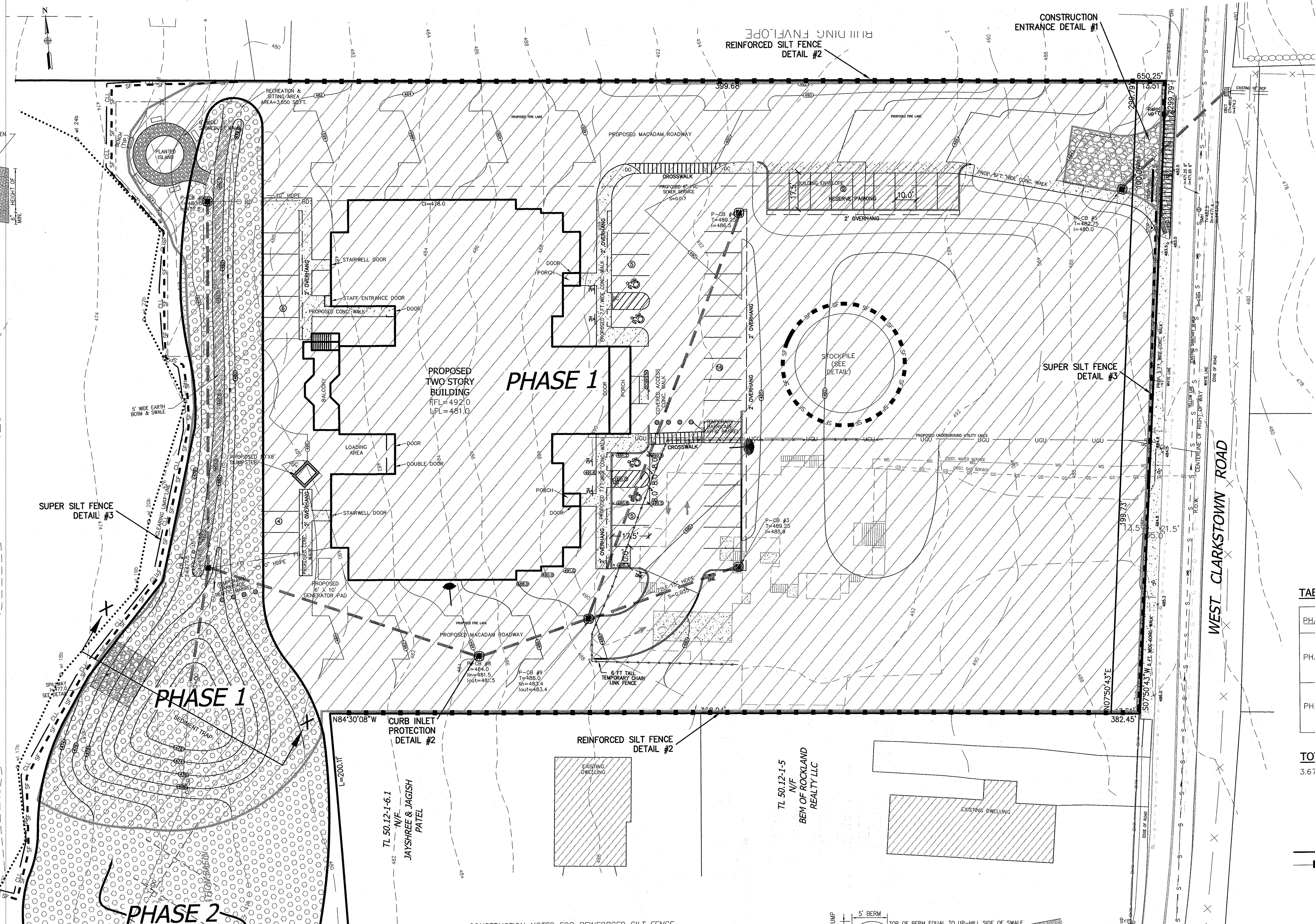
CONSTRUCTION NOTES FOR PRE FABRICATED SILT FENCE

PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

1. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
2. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
3. THE FABRIC SHALL BE PLACED AGAINST CHAIN LINK FENCE AS SUPPORT BACKING WITH POSTS DRIVEN 3 FEET IN THE GROUND.
4. POSTS FOR SUPER SILT FENCE SHALL BE STANDARD CHAIN LINK FENCE POSTS.



DETAIL #3 SUPER SILT FENCE
N.T.S.



GENERAL CONTSTRUCTION SEQUENCE

1. SCHEDULE A PRE-CONSTRUCTION MEETING
2. LOCATE NATURAL RESOURCE AND LIMIT OF DISTURBANCE PER PLAN
3. INSTALL PERIMETER E&SC PRACTICE PER PLAN
4. CREATE CONSTRUCTION ENTRANCE & TEMPORARY STAGING
5. LIMIT GRADING FOR E&SC PRACTICES
6. INSTALL ALL TEMPORARY EROSION & SEDIMENT CONTROL PRACTICES PER PLAN.
7. INSTALL SEDIMENT TRAP PER PLAN
8. DISPOSE CLEARING AND GRADING MATERIALS AS CONSTRUCTION IS IN PROGRESS
9. STOCK PILE TOP SOIL AND STABILIZE
10. ROUGH GRADING/CUT & FILL AND STABILIZE
11. INSTALL UTILITIES AND DRAINAGE STRUCTURES
12. PROCEED PARTIAL ROAD CONSTRUCTION WHERE APPLICABLE
13. CONSTRUCT FOUNDATION & BUILDING STRUCTURES AS PER PLAN
14. CONSTRUCT FINAL GRADING AND STABILIZE AS PER PLAN
15. APPLY SOIL RESTORATION AS SHOWN ON PLAN
16. FINAL STABILIZATION TO APPLY, I.E. TOP SOIL, PERMANENT GREEN INFRASTRUCTURE PRACTICES AND LANDSCAPING
17. REMOVE SEDIMENT & COMPLETE PERMANENT POST CONSTRUCTION SMPs PER PLAN
18. REMOVE E&SC PRACTICES AND APPLY FOR NOTICE OF TERMINATION (N.O.T.)

PHASE 1:

1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON THE PLAN.
2. INSTALL TEMPORARY EROSION & SEDIMENT CONTROL SUCH AS SILT FENCE, CONSTRUCTION ENTRANCE, SEDIMENT TRAP, SWALE, INLET PROTECTION PER PLAN.
3. PERFORM CLEARING AND GRUBBING ACTIVITIES IN DESIGNATED LIMIT OF DISTURBANCE AREA.
4. PERFORM CONSTRUCTION OF BUILDING FOUNDATION IN STAGES FOLLOWED BY WATER, SEWER AND OTHER UTILITIES INSTALLATION.
5. INSTALL STORM DRAINAGE SYSTEM PER PLAN EXCEPT THE INFILTRATION BASIN.
6. IMMEDIATELY FOLLOWING INSTALLATION OF THE DRAINAGE SYSTEM, INSTALL CURBS AND UPGRADED EROSION & SEDIMENT CONTROL PRACTICES AND MAINTAIN THEM UNTIL ALL DISTURBED AREA ARE STABILIZED WITH VEGETATION AND ALL PAVEMENTS ARE PAVED WITH A BASE COURSE.
7. AFTER COMPLETION OF PHASE 1, THE SITE SHALL BE STABILIZED PRIOR TO STARTING PHASE 2.

PHASE 2:

1. PERFORM GRADING FOR THE PROPOSED INFILTRATION BASIN AS SHOWN ON THE PLAN AND REMOVE THE TEMPORARY SEDIMENT TRAP.
2. AFTER INSTALLATION OF POST CONSTRUCTION SMPs, ALL TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE REMOVED AND REGRADED TO MATCH WITH THE PROPOSED APPROVED SITE PLAN.
3. AFTER COMPLETION OF ALL PHASES, INSPECTION SHALL BE REQUIRED BY QUALIFIED PROFESSIONAL IN ORDER TO APPLY FOR NOTICE OF TERMINATION.

TABLE FOR PHASING SCHEDULE

PHASING ID	DISTURBED AREA	SYMBOL
PHASING-1	3.334 ACS	(hatched)
PHASING-2	0.774 ACS	(dotted)

TOTAL AREA OF DISTURBANCE:

3.675 ACS.

LEGEND

— SF — PROPOSED SUPER SILT FENCE

—■—■— PROPOSED REINFORCED SILT FENCE

GENERAL SOIL RESTORATION NOTES AND REQUIREMENTS:

1) Soil restoration is not required to the area where no soil disturbance is proposed.

2) Soil restoration is not required to the area where minimal soil disturbance is proposed such as clearing and grubbing.

3) Aerate and apply 6 inch of top soil to areas where topsoil is stripped only and no change in grade. Aeration includes the use of machines such as tractor-drawn implements with coulters making a narrow slit in the soil, a roller with many spikes making indentations in the soil, or prongs which function like a mini-subsoiler.

4) Soil Restoration (de-compaction and compost enhancement) is required to areas where cut and fill are proposed.

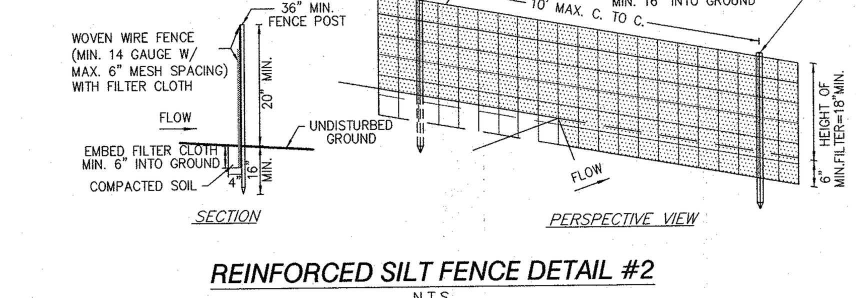
5) Soil Restoration (de-compaction and compost enhancement) is required to areas where heavy traffic areas on site, especially in a zone 5-25 feet around buildings but not within a 5 feet perimeter around foundation wall.

6) Soil Restoration (de-compaction and compost enhancement) is required on redevelopment projects in areas where existing impervious area will be converted to pervious area. During periods of relatively low to moderate subsoil moisture, the disturbed subsoils are returned to rough grade and the following Soil Restoration steps applied:

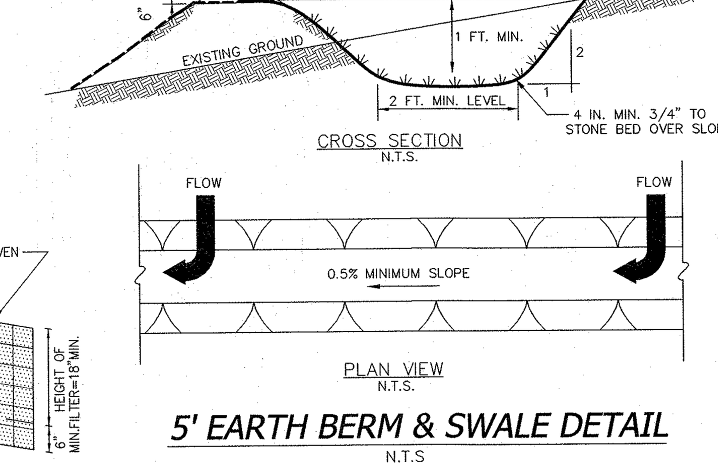
a) Apply 3 inches of compost over subsoil
b) Till compost into subsoil to a depth of at least 12 inches using a cat-mounted ripper, tractor-mounted disc, or tiller, mixing, and circulating air and compost into subsoils
c) Rock-pick until uplifted stone/rock materials of four inches and larger size are cleaned off the site
d) Apply topsoil to a depth of 6 inches
e) Vegetate as required by approved plan.

CONSTRUCTION NOTES FOR REINFORCED SILT FENCE

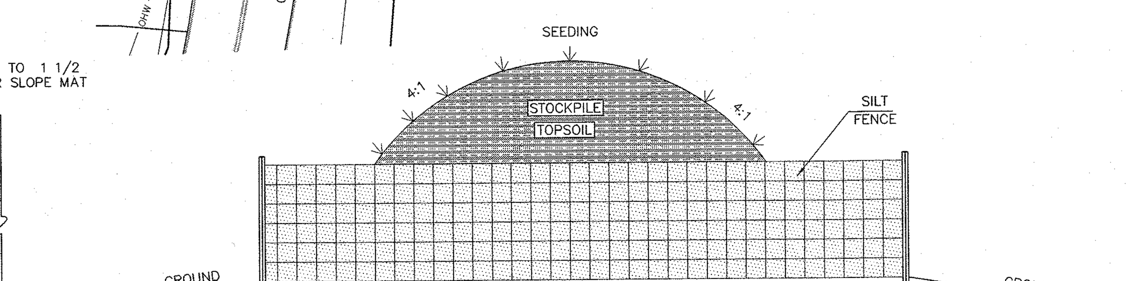
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE MEET THE MINIMUM REQUIREMENTS SHOWN.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



REINFORCED SILT FENCE DETAIL #2
N.T.S.



5' EARTH BERM & SWALE DETAIL
N.T.S

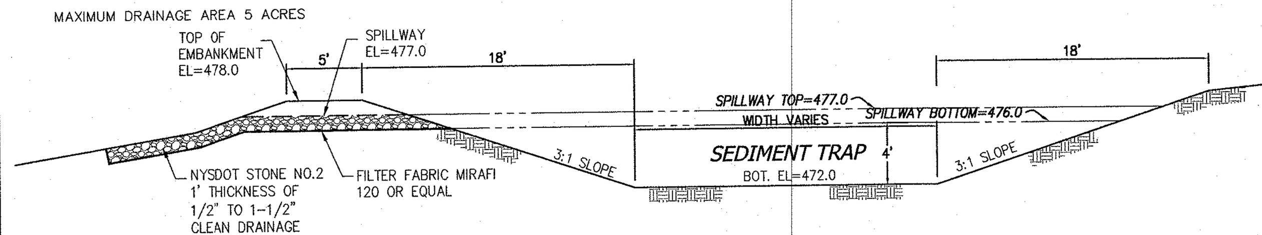


DETAIL #5 STOCKPILE
N.T.S.

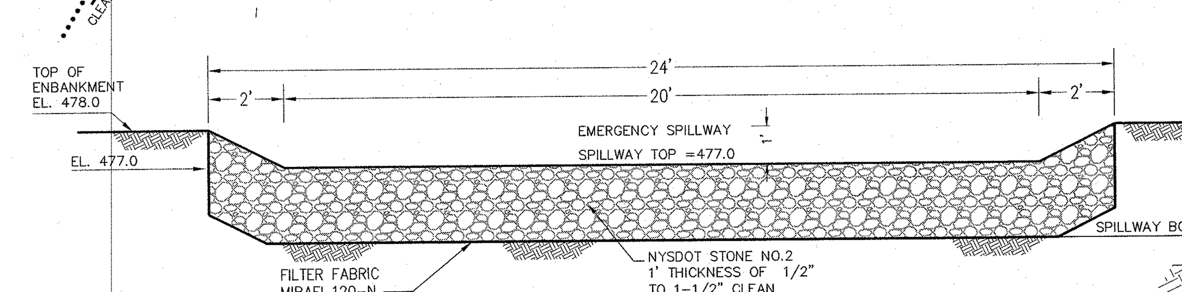
CONSTRUCTION SPECIFICATIONS

1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
3. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
4. THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4"-8" ALONG WITH A 1' THICKNESS OF 2" AGGREGATE PLACED ON THE UP-GRADE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP.
5. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP.
6. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
7. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED.
8. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

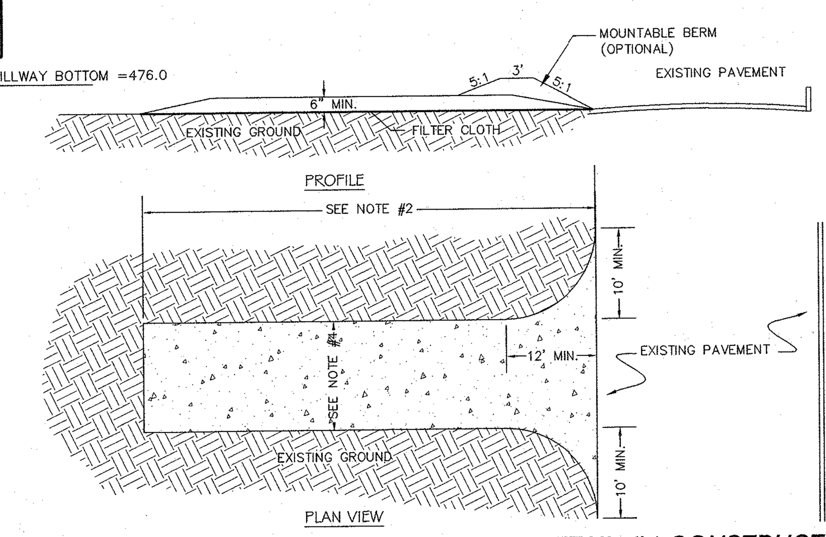
MAXIMUM DRAINAGE AREA 5 ACRES



SEDIMENT TRAP CROSS SECTION X-X
SCALE: 1"=10'



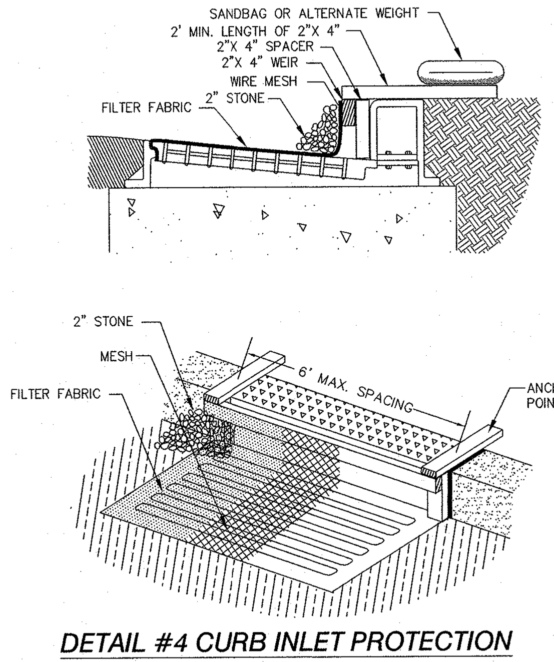
TEMPORARY SEDIMENT TRAP SPILLWAY DETAIL
SCALE: 1"=4'



SPECIFICATIONS FOR CONSTRUCTION ENTRANCE

1. STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – NOT LESS THAN 50 FT. (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FT. MINIMUM LENGTH WOULD APPLY).
3. THICKNESS – NOT LESS THAN 6 IN..
4. WIDTH – 12 FT. MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR. 24 FT. IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACEMENT OF STONE.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

DETAIL #1 CONSTRUCTION ENTRANCE
N.T.S.



DETAIL #4 CURB INLET PROTECTION
N.T.S.

SPECIFICATIONS FOR CURB INLET PROTECTION

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2"X 4" CONSTRUCTION GRADE LUMBER.
3. WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30" MINIMUM WIDTH WITH A LENGTH 4 FT. LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2"X 4" WEIR.
4. THE WEIR SHALL BE SECURELY NAILED TO 2"X 4" SPACERS 9" LONG SPACED NO MORE THAN 6 FT. APART.
5. THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2"X 4" ANCHORS 2 FT. LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.

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RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 50228

REVISION	DATE	DESCRIPTION
2	6-10-20	PER COMMENTS
1	4-21-20	PER TAC 3-11-20

ATZL, NASHER & ZIGLER P.C.
ENGINEERS–SURVEYORS–PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

PROJECT:

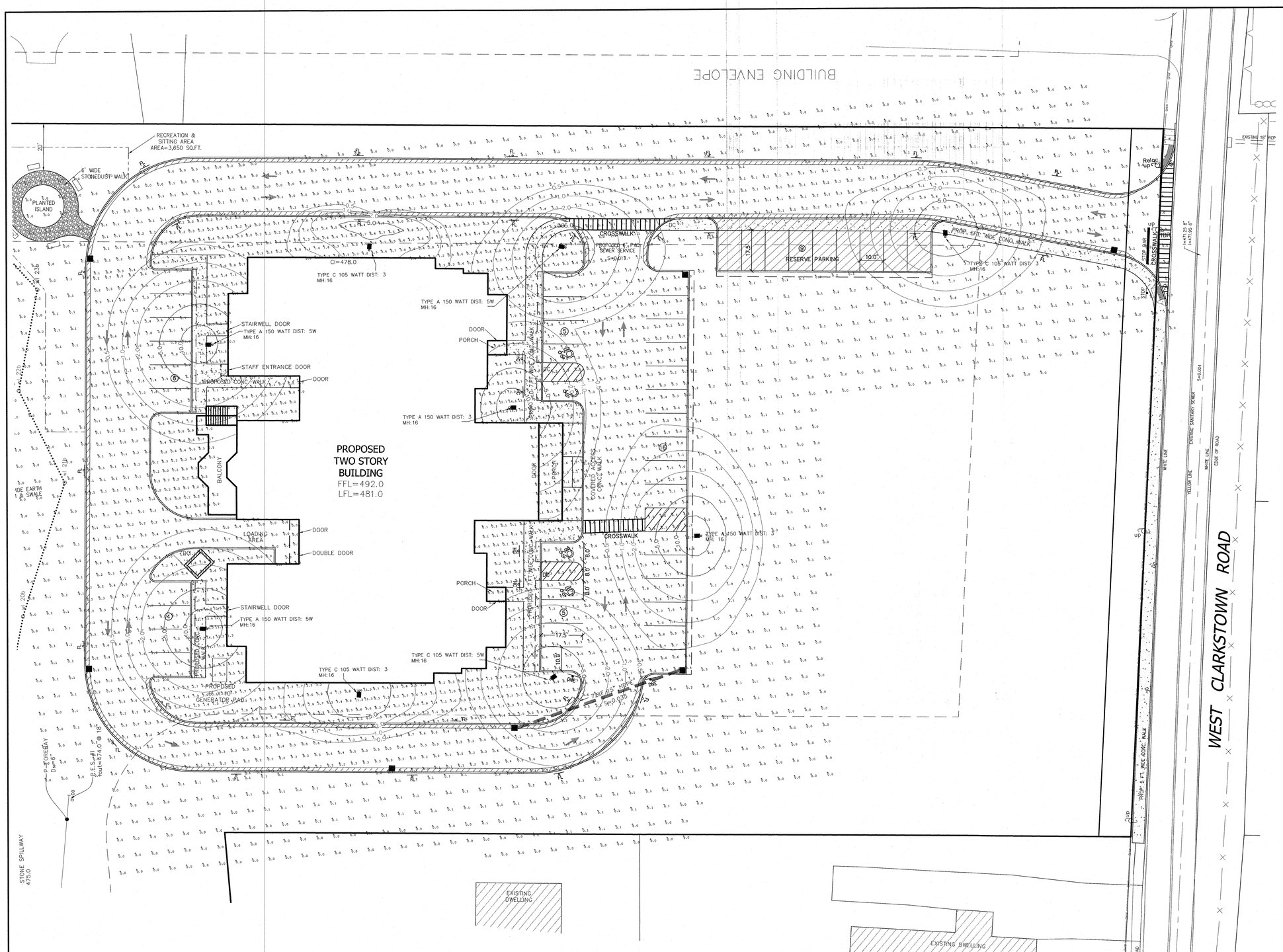
L'DOR

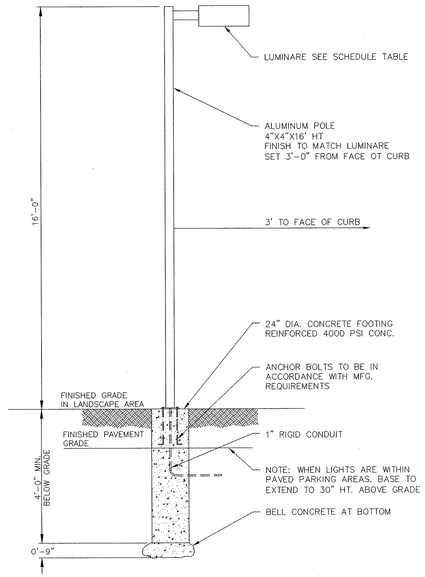
TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

TITLE:

PRELIMINARY SOIL EROSION & SEDIMENT CONTROL AND CONSTRUCTION PHASING PLAN

DRAWN BY: LK	CHECKED BY: JRA
DATE: JANUARY 14, 2020	SCALE: 1 IN. = 30 FT.
PROJECT NO: 2861	DRAWING NO: 9





LUMINAIRE DETAIL

N.T.S.

Luminaire Schedule				
Symbol	Qty	Label	Description	Lum. Watts
	2	SSA-LED-18L-ACR-5W-40	SSA-LED-18L-ACR-5W-40	151
	2	SSA-LED-18L-ACR-3-40	SSA-LED-18L-ACR-3-40	151
	1	SSA-LED-12L-ACR-5W-40	SSA-LED-12L-ACR-5W-40	105
	1	MRM-LED-07L-SIL-FT-40-70CRI-I	MRM-LED-07L-SIL-FT-40-70CRI-IL	53
	3	SSA-LED-12L-ACR-3-40	SSA-LED-12L-ACR-3-40	105

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Building Perimeter	Illuminance	Fc	2.88	15.8	0.0	N.A.	N.A.
Connecting Driveway	Illuminance	Fc	0.74	5.4	0.1	7.40	54.00
Driveway	Illuminance	Fc	0.52	8.6	0.0	N.A.	N.A.
Overspill	Illuminance	Fc	0.25	11.5	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	1.65	12.9	0.2	8.25	64.50
Rear Buidling	Illuminance	Fc	1.50	11.2	0.0	N.A.	N.A.
Small Parking Area	Illuminance	Fc	0.99	8.7	0.1	9.90	87.00

REVISION	DATE	DESCRIPTION
2	6-10-20	PER COMMENTS
1	4-21-20	PER TAC 3-11-20

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Chester, New York 10918
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Fax: (845) 469-1016

Web: ANZNY.com

PROJECT:

L'DOR

TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

TITLE:

PRELIMINARY LIGHTING PLAN

DRAWN BY: LK	CHECKED BY: JRA
DATE: JANUARY 14, 2020	SCALE: 1 IN. = 20 FT.
PROJECT NO: 2861	DRAWING NO: 10

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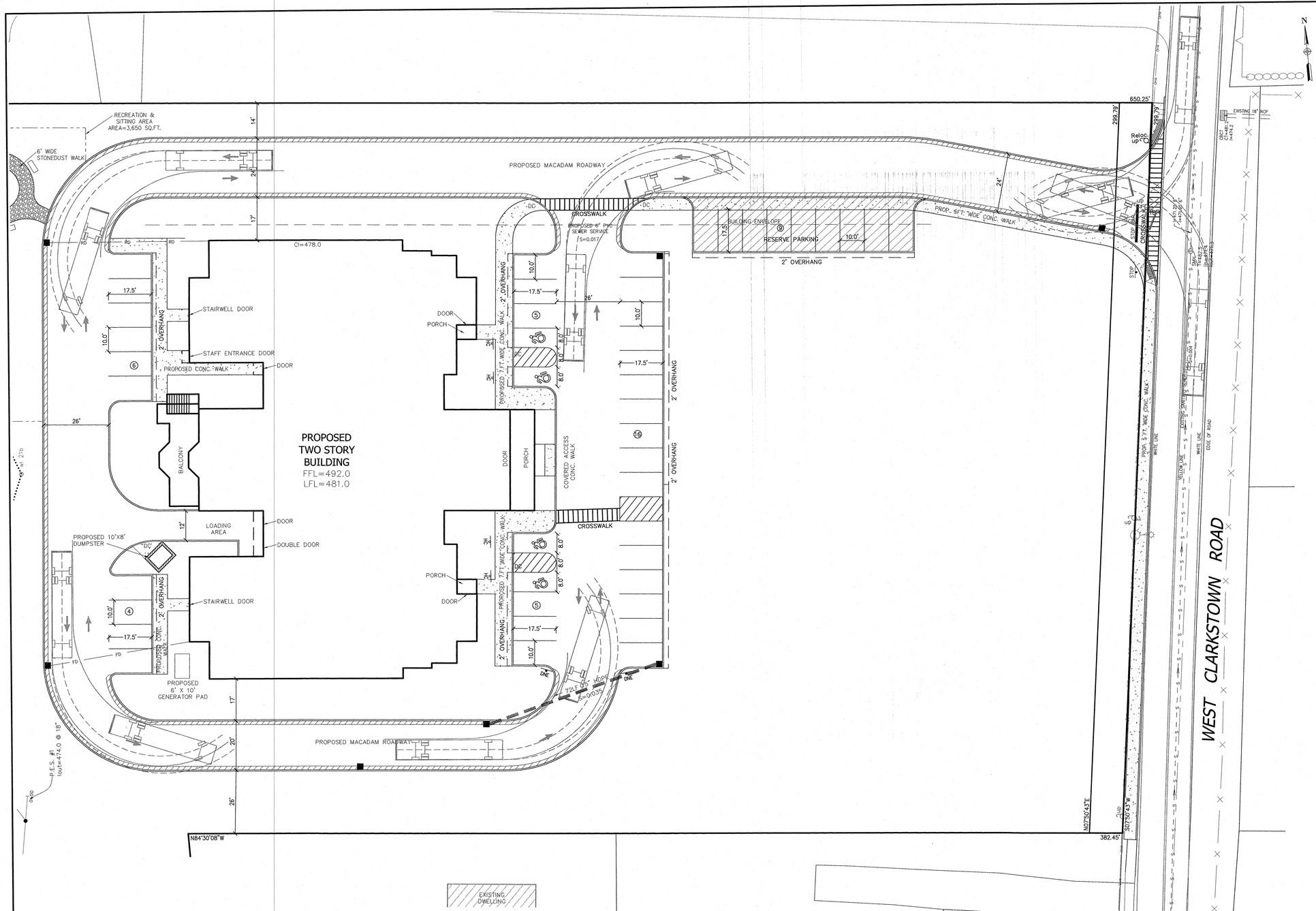
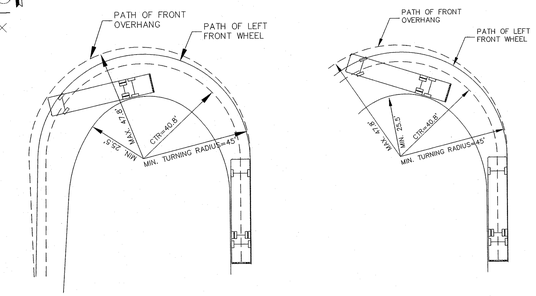
STATE OF NEW YORK · RYAN A. NASHER · LICENSED PROFESSIONAL ENGINEER

RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK · JOHN R. ATZL · LICENSED PROFESSIONAL LAND SURVEYOR

JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 50228



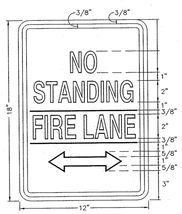


FIRE TRUCK TURNING RADIUS DETAIL

SCALE: 1"=30'

LEGEND

EXISTING 2' CONTOUR	PROPOSED 2' CONTOUR
EXISTING 10' CONTOUR	PROPOSED 10' CONTOUR
EXISTING WATERLINE	PROPOSED WATER SERVICE
EXISTING WATER VALVE	PROPOSED WATER VALVE
EXISTING FIRE HYDRANT	PROPOSED FIRE HYDRANT
EXISTING GAS LINE	PROPOSED GAS SERVICE
EXISTING GAS VALVE	PROPOSED GAS VALVE
EXISTING CATCH BASIN	PROPOSED CATCH BASIN
EXISTING STORM DRAIN LINE	PROPOSED STORM DRAIN LINE
EXISTING SEWER MANHOLE	PROPOSED SEWER CLEANOUT
EXISTING SEWER LINE	PROPOSED SEWER HOUSE CONNECTION
EXISTING SPOT ELEVATION	PROPOSED SPOT ELEVATION
EXISTING STONEWALL	PROPOSED SILT FENCE
EXISTING UTILITY POLE	PROPOSED FORCE MAIN
EXISTING LIGHT POLE	DENOTES FIRE LANE SIGN
EXISTING SIGN	DENOTES HANDICAP SIGN
	DENOTES DO NOT ENTER SIGN

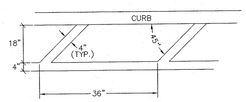


LETTERING AND BORDER RED BACKGROUND WHITE (SEE SITE PLAN FOR ARROW DIRECTION)

SIGN TYPE "A" TOWN OF CLARKSTOWN

SIGN FOR FIRE LANES

N.T.S.



PAINT STRIPES WITH BRIGHT YELLOW EXTERIOR GRADE ROADWAY PAINT

FIRE LANE STRIPING DETAIL

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STATE OF NEW YORK — RYAN A. NASHER — LICENSED PROFESSIONAL ENGINEER

RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK — JOHN R. ATZL — LICENSED PROFESSIONAL ENGINEER

JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 50228

REVISION	DATE	DESCRIPTION
2	6-10-20	PER COMMENTS
1	4-21-20	PER TAC 3-11-20

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ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

PROJECT:

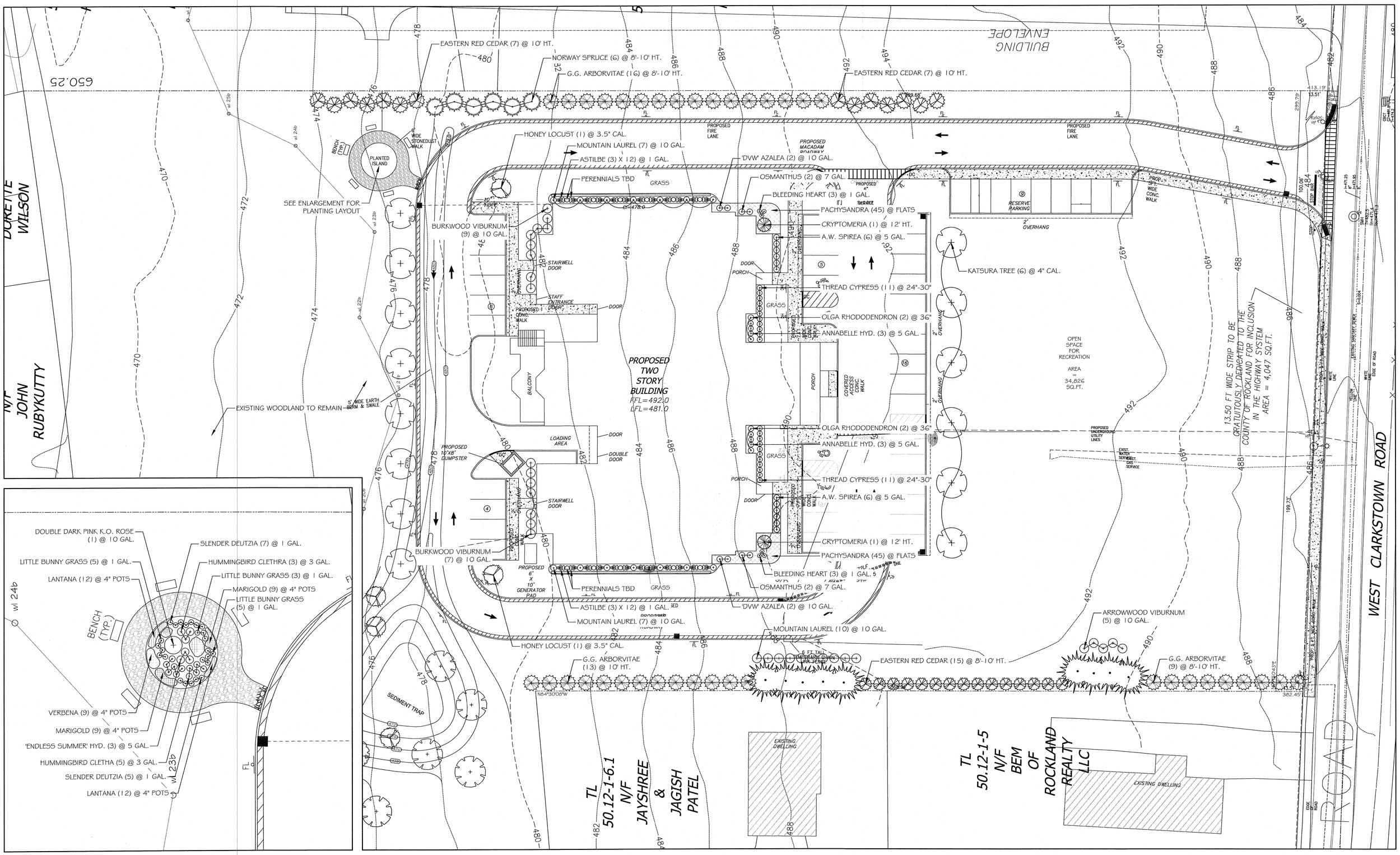
L'DOR

TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK

TITLE:

PRELIMINARY FIRE TRUCK TURNING RADIUS PLAN

DRAWN BY: LK	CHECKED BY: JRA
DATE: JANUARY 14, 2020	SCALE: 1 IN. = 20 FT.
PROJECT NO: 2861	DRAWING NO: 11



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REGISTERED LANDSCAPE ARCHITECT DANIEL SHERMAN 000919 STATE OF NEW YORK

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Valhalla, NY 10595
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PLANTING PLAN (FRONT)

DRAWN BY: AL	DATE: 02/10/20	REV: 06/10/20
SCALE: 1" - 20' - 0"	SHEET: L - 1	

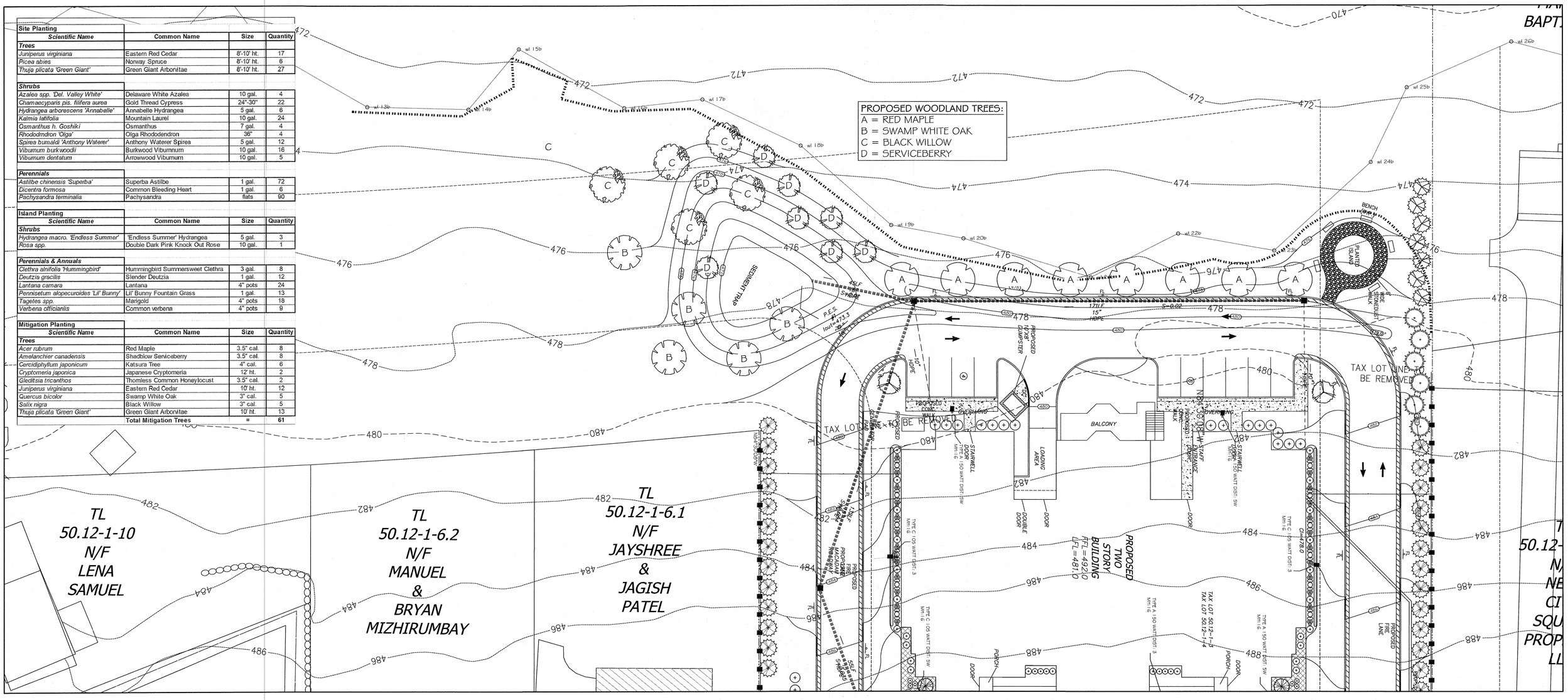
L'DOR
156 W CLARKSTOWN RD
NEW CITY, NY 10956

2861

Site Planting			
Scientific Name	**Common Name**	**Size**	**Quantity**
Trees			
Juniperus virginiana	Eastern Red Cedar	8'-10' ht.	17
Picea abies	Norway Spruce	8'-10' ht.	6
Thuja plicata 'Green Giant'	Green Giant Arborvitae	8'-10' ht.	27
Shrubs			
Azalea spp. 'Del. Valley White'	Delaware White Azalea	10 gal.	4
Chamaecyparis pis. filifera aurea	Gold Thread Cypress	24"-30"	22
Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 gal.	6
Kalmia latifolia	Mountain Laurel	10 gal.	24
Osmanthus h. Goshiki	Osmanthus	7 gal.	4
Rhododindron 'Olga'	Olga Rhododendron	36"	4
Spirea bumaldi 'Anthony Waterer'	Anthony Waterer Spirea	5 gal.	12
Viburnum burkwoodii	Burkwood Viburnum	10 gal.	16
Viburnum dentatum	Arrowwood Viburnum	10 gal.	5
Perennials			
Astilbe chinensis 'Superba'	Superba Astilbe	1 gal.	72
Dicentra formosa	Common Bleeding Heart	1 gal.	6
Pachysandra terminalis	Pachysandra	flats	90

Island Planting			
Scientific Name	**Common Name**	**Size**	**Quantity**
Shrubs			
Hydrangea macro. 'Endless Summer'	'Endless Summer' Hydrangea	5 gal.	3
Rosa spp.	Double Dark Pink Knock Out Rose	10 gal.	1
Perennials & Annuals			
Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet Clethra	3 gal.	8
Deutzia gracilis	Slender Deutzia	1 gal.	12
Lantana camara	Lantana	4" pots	24
Pennisetum alopecuroides 'Lil' Bunny'	Lil' Bunny Fountain Grass	1 gal.	13
Tagetes spp.	Marigold	4" pots	18
Verbena officianlis	Common verbena	4" pots	9

Mitigation Planting			
Scientific Name	**Common Name**	**Size**	**Quantity**
Trees			
Acer rubrum	Red Maple	3.5" cal.	8
Amelanchier canadensis	Shadblow Serviceberry	3.5" cal.	8
Cercidiphyllum japonicum	Katsura Tree	4" cal.	6
Cryptomeria japonica	Japanese Cryptomeria	12' ht.	2
Gleditsia tricanthos	Thornless Common Honeylocust	3.5" cal.	2
Juniperus virginiana	Eastern Red Cedar	10' ht.	12
Quercus bicolor	Swamp White Oak	3" cal.	5
Salix nigra	Black Willow	3" cal.	5
Thuja plicata 'Green Giant'	Green Giant Arborvitae	10' ht.	13
	Total Mitigation Trees	**=**	**61**



PLANTING SPECIFICATIONS:

GENERAL: All plants, trees, and shrubs shall meet the specifications for "plant material" as per the American Standard for Nursery Stock. The landscape architect reserves the right to inspect all plants prior to shipping and installation. There are to be no substitutions of the plants without the consent of the landscape architect.

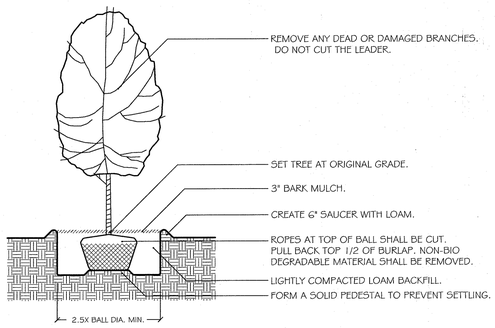
PLANTING: All plants shall be planted in pits two times the diameter of the root ball or container. Plant height should be placed at or slightly above previous grade. Pull back burlap from top of ball and cut wire on tree basket. Ensure that the burlap is not exposed above grade because of water loss. Staking and guying shall be used only when necessary. When the method is used, care should be taken to protect the tree bark and wires should be removed as soon as possible.

MULCHING: All planting beds (EXCEPT GROUNDCOVER) shall be mulched with three inches of shredded bark to conserve water and keep roots covered during initial growth stage. Do not place mulch heavily around crown of plants.

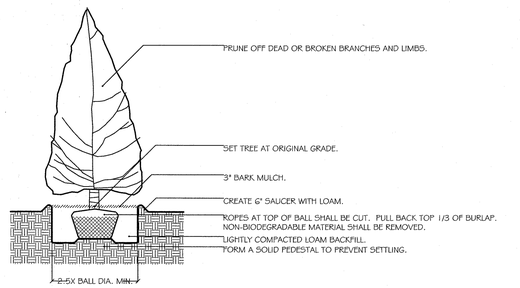
WINTER CARE: All trees and shrubs shall be sprayed with an anti-desiccant the first November after planting.

WATERING: All plants shall be watered by the contractor during the initial growth stage. Trees shall be heavily watered several times during the first month after planting and then regularly for the next two summers.

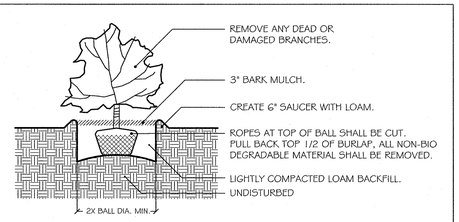
PLANT GUARANTEE: Contractor shall guarantee all newly installed plants for one-year provided that they are given proper watering/care and contractor is notified of unhealthy stressed plants immediately.



DECIDUOUS TREE PLANTING



EVERGREEN PLANTING



SHRUB PLANTING

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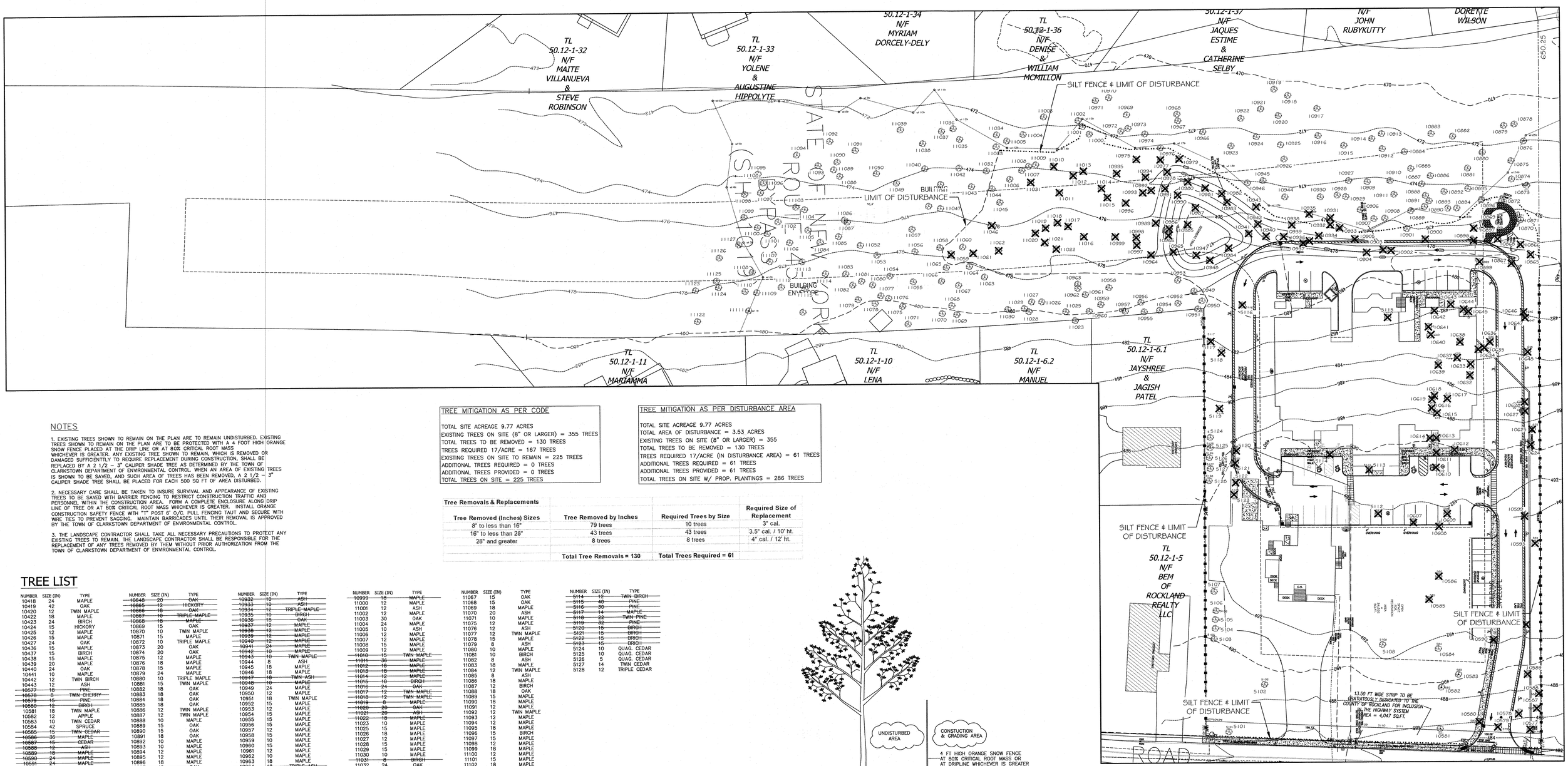
PLANTING PLAN (REAR)

DRAWN BY: AL	DATE: 02/10/20	REV: 06/10/20
SCALE: 1" - 20' - 0"	SHEET: L - 2	

L'DOR
156 W CLARKSTOWN RD
NEW CITY, NY 10956

2861



NOTES

1. EXISTING TREES SHOWN TO REMAIN ON THE PLAN ARE TO REMAIN UNDISTURBED. EXISTING TREES SHOWN TO REMAIN ON THE PLAN ARE TO BE PROTECTED WITH A 4 FOOT HIGH ORANGE SNOW FENCE PLACED AT THE DRIP LINE OR AT 80% CRITICAL ROOT MASS WHICHEVER IS GREATER. ANY EXISTING TREE SHOWN TO REMAIN, WHICH IS REMOVED OR DAMAGED SUFFICIENTLY TO REQUIRE REPLACEMENT DURING CONSTRUCTION, SHALL BE REPLACED BY A 2 1/2 – 3" CALIPER SHADE TREE AS DETERMINED BY THE TOWN OF CLARKSTOWN DEPARTMENT OF ENVIRONMENTAL CONTROL. WHEN AN AREA OF EXISTING TREES IS SHOWN TO BE SAVED, AND SUCH AREA OF TREES HAS BEEN REMOVED, A 2 1/2 – 3" CALIPER SHADE TREE SHALL BE PLACED FOR EACH 500 SQ FT OF AREA DISTURBED.

2. NECESSARY CARE SHALL BE TAKEN TO INSURE SURVIVAL AND APPEARANCE OF EXISTING TREES TO BE SAVED WITH BARRIER FENCING TO RESTRICT CONSTRUCTION TRAFFIC AND PERSONNEL WITHIN THE CONSTRUCTION AREA. FORM A COMPLETE ENCLOSURE ALONG DRIP LINE OF TREE OR AT 80% CRITICAL ROOT MASS WHICHEVER IS GREATER. INSTALL ORANGE CONSTRUCTION SAFETY FENCE WITH "T" POST 6' O/G. PULL FENCING TAUT AND SECURE WITH WIRE TIES TO PREVENT SAGGING. MAINTAIN BARRICADES UNTIL THEIR REMOVAL IS APPROVED BY THE TOWN OF CLARKSTOWN DEPARTMENT OF ENVIRONMENTAL CONTROL.

3. THE LANDSCAPE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ANY EXISTING TREES TO REMAIN. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY TREES REMOVED BY THEM WITHOUT PRIOR AUTHORIZATION FROM THE TOWN OF CLARKSTOWN DEPARTMENT OF ENVIRONMENTAL CONTROL.

TREE MITIGATION AS PER CODE

TOTAL SITE ACREAGE 9.77 ACRES
EXISTING TREES ON SITE (8" OR LARGER) = 355 TREES
TOTAL TREES TO BE REMOVED = 130 TREES
TREES REQUIRED 17/ACRE = 167 TREES
EXISTING TREES ON SITE TO REMAIN = 225 TREES
ADDITIONAL TREES REQUIRED = 0 TREES
ADDITIONAL TREES PROVIDED = 0 TREES
TOTAL TREES ON SITE = 225 TREES

TREE MITIGATION AS PER DISTURBANCE AREA

TOTAL SITE ACREAGE 9.77 ACRES
TOTAL AREA OF DISTURBANCE = 3.53 ACRES
EXISTING TREES ON SITE (8" OR LARGER) = 355
TOTAL TREES TO BE REMOVED = 130 TREES
TREES REQUIRED 17/ACRE (IN DISTURBANCE AREA) = 61 TREES
ADDITIONAL TREES REQUIRED = 61 TREES
ADDITIONAL TREES PROVIDED = 61 TREES
TOTAL TREES ON SITE W/ PROP. PLANTINGS = 286 TREES

Tree Removals & Replacements

Tree Removed (Inches) Sizes	Tree Removed by Inches	Required Trees by Size	Required Size of Replacement
8" to less than 16"	79 trees	10 trees	3" cal.
16" to less than 28"	43 trees	43 trees	3.5" cal. / 10' ht.
28" and greater	8 trees	8 trees	4" cal. / 12' ht.
	Total Tree Removals = 130	**Total Trees Required = 61**	

TREE LIST

NUMBER	SIZE (IN)	TYPE
10418	24	MAPLE
10419	42	OAK
10420	12	TWIN MAPLE
10422	18	MAPLE
10423	24	BIRCH
10424	15	HICKORY
10425	12	MAPLE
10426	15	MAPLE
10427	24	OAK
10436	15	MAPLE
10437	15	BIRCH
10438	15	MAPLE
10439	20	MAPLE
10440	24	OAK
10441	10	MAPLE
10442	12	TWIN BIRCH
10443	12	ASH
~~10577~~	~~18~~	~~PINE~~
~~10578~~	~~8~~	~~TWIN CHERRY~~
~~10579~~	~~15~~	~~PINE~~
~~10580~~	~~12~~	~~BIRCH~~
10581	18	TWIN MAPLE
10582	12	APPLE
10583	10	TWIN CEDAR
10584	42	SPRUCE
~~10585~~	~~15~~	~~TWIN CEDAR~~
~~10586~~	~~36~~	~~MAPLE~~
~~10587~~	~~15~~	~~CEDAR~~
~~10588~~	~~12~~	~~ASH~~
~~10589~~	~~18~~	~~MAPLE~~
~~10590~~	~~24~~	~~MAPLE~~
~~10591~~	~~24~~	~~MAPLE~~
~~10593~~	~~18~~	~~OAK~~
~~10599~~	~~20~~	~~HICKORY~~
~~10607~~	~~10~~	~~ASH~~
~~10608~~	~~15~~	~~TWIN CEDAR~~
~~10609~~	~~48~~	~~MAPLE~~
~~10610~~	~~15~~	~~MAPLE~~
~~10611~~	~~15~~	~~TWIN MAPLE~~
~~10612~~	~~12~~	~~TWIN MAPLE~~
~~10613~~	~~15~~	~~MAPLE~~
~~10614~~	~~18~~	~~TWIN MAPLE~~
~~10615~~	~~15~~	~~TWIN MAPLE~~
~~10616~~	~~8~~	~~ASH~~
~~10617~~	~~12~~	~~MAPLE~~
~~10618~~	~~12~~	~~TRIPLE MAPLE~~
~~10619~~	~~8~~	~~ASH~~
~~10624~~	~~18~~	~~TWIN MAPLE~~
~~10625~~	~~24~~	~~ASH~~
~~10627~~	~~18~~	~~HICKORY~~
~~10628~~	~~18~~	~~HICKORY~~
~~10632~~	~~15~~	~~TWIN MAPLE~~
~~10633~~	~~10~~	~~TWIN MAPLE~~
~~10634~~	~~10~~	~~MAPLE~~
~~10635~~	~~12~~	~~MAPLE~~
~~10636~~	~~15~~	~~MAPLE~~
~~10637~~	~~15~~	~~MAPLE~~
~~10638~~	~~12~~	~~TWIN MAPLE~~
~~10639~~	~~24~~	~~OAK~~
~~10640~~	~~12~~	~~MAPLE~~
~~10641~~	~~18~~	~~MAPLE~~
~~10642~~	~~24~~	~~OAK~~
~~10643~~	~~8~~	~~ASH~~
~~10644~~	~~15~~	~~MAPLE~~
~~10645~~	~~18~~	~~MAPLE~~
~~10646~~	~~30~~	~~OAK~~
~~10647~~	~~24~~	~~OAK~~

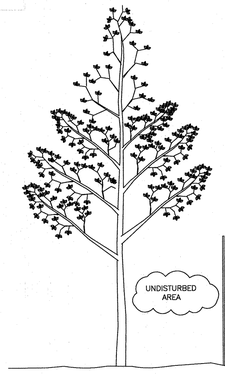
NUMBER	SIZE (IN)	TYPE
~~10648~~	~~20~~	~~OAK~~
~~10665~~	~~12~~	~~HICKORY~~
~~10666~~	~~18~~	~~OAK~~
~~10667~~	~~10~~	~~TRIPLE MAPLE~~
~~10668~~	~~18~~	~~MAPLE~~
10869	15	OAK
10870	10	TWIN MAPLE
10871	15	MAPLE
10872	10	TRIPLE MAPLE
10873	20	OAK
10874	20	OAK
10875	12	MAPLE
10876	18	MAPLE
10878	15	MAPLE
10879	24	MAPLE
10880	10	TRIPLE MAPLE
10881	15	TWIN MAPLE
10882	18	OAK
10883	18	OAK
10884	18	OAK
10885	18	OAK
10886	12	TWIN MAPLE
10887	12	TWIN MAPLE
10888	10	MAPLE
10889	15	OAK
10890	15	OAK
10891	18	OAK
10892	10	MAPLE
10893	10	MAPLE
10894	12	MAPLE
10895	12	MAPLE
10896	18	MAPLE
~~10897~~	~~18~~	~~OAK~~
~~10898~~	~~10~~	~~MAPLE~~
~~10899~~	~~15~~	~~TWIN ASH~~
~~10900~~	~~15~~	~~MAPLE~~
10901	12	MAPLE
~~10902~~	~~18~~	~~ASH~~
~~10903~~	~~10~~	~~MAPLE~~
~~10904~~	~~15~~	~~ASH~~
~~10905~~	~~15~~	~~TWIN MAPLE~~
10906	10	MAPLE
10907	15	MAPLE
10908	15	MAPLE
10909	10	MAPLE
10910	12	MAPLE
10911	15	MAPLE
10912	12	ASH
10913	15	ASH
10914	12	MAPLE
10915	24	OAK
10916	12	QUAD MAPLE
10917	12	ASH
10918	12	ASH
10919	8	TWIN MAPLE
10920	20	HICKORY
10921	18	MAPLE
10922	8	MAPLE
10923	24	OAK
10924	8	ASH
10925	10	BIRCH
10926	15	MAPLE
10927	15	MAPLE
10928	12	TWIN MAPLE
10929	8	ASH
10930	12	TWIN MAPLE
~~10931~~	~~15~~	~~OAK~~

NUMBER	SIZE (IN)	TYPE
~~10932~~	~~10~~	~~ASH~~
~~10933~~	~~10~~	~~ASH~~
~~10934~~	~~12~~	~~TRIPLE MAPLE~~
~~10935~~	~~10~~	~~BIRCH~~
~~10936~~	~~18~~	~~OAK~~
~~10937~~	~~12~~	~~MAPLE~~
~~10938~~	~~12~~	~~MAPLE~~
~~10939~~	~~12~~	~~MAPLE~~
~~10940~~	~~12~~	~~MAPLE~~
~~10941~~	~~24~~	~~MAPLE~~
~~10942~~	~~10~~	~~MAPLE~~
~~10943~~	~~10~~	~~TWIN MAPLE~~
10944	8	ASH
10945	18	MAPLE
10946	18	MAPLE
~~10947~~	~~18~~	~~TWIN ASH~~
~~10948~~	~~10~~	~~MAPLE~~
10949	24	MAPLE
10950	12	MAPLE
10951	18	TWIN MAPLE
10952	15	MAPLE
10953	12	MAPLE
10954	15	MAPLE
10955	15	MAPLE
10956	15	MAPLE
10957	12	MAPLE
10958	15	MAPLE
10959	10	MAPLE
10960	15	MAPLE
10961	12	MAPLE
10962	10	MAPLE
10963	18	MAPLE
~~10964~~	~~18~~	~~TRIPLE ASH~~
~~10965~~	~~10~~	~~ASH~~
~~10966~~	~~20~~	~~MAPLE~~
10967	12	MAPLE
10968	15	MAPLE
10969	24	MAPLE
10970	12	MAPLE
10971	10	MAPLE
10972	15	MAPLE
10973	8	ASH
10974	15	MAPLE
~~10975~~	~~18~~	~~MAPLE~~
10976	10	TWIN MAPLE
~~10977~~	~~12~~	~~MAPLE~~
~~10978~~	~~12~~	~~MAPLE~~
~~10979~~	~~12~~	~~MAPLE~~
~~10980~~	~~36~~	~~MAPLE~~
~~10981~~	~~8~~	~~BIRCH~~
~~10982~~	~~8~~	~~ASH~~
~~10983~~	~~10~~	~~BIRCH~~
~~10984~~	~~24~~	~~OAK~~
~~10985~~	~~10~~	~~TWIN HICKORY~~
~~10986~~	~~20~~	~~HICKORY~~
~~10987~~	~~18~~	~~MAPLE~~
10988	15	HICKORY
~~10989~~	~~12~~	~~TWIN MAPLE~~
~~10990~~	~~15~~	~~BIRCH~~
~~10991~~	~~12~~	~~BIRCH~~
~~10992~~	~~12~~	~~BIRCH~~
~~10993~~	~~15~~	~~ASH~~
~~10994~~	~~12~~	~~BIRCH~~
~~10995~~	~~10~~	~~ASH~~
~~10996~~	~~12~~	~~ASH~~
~~10997~~	~~20~~	~~MAPLE~~
~~10998~~	~~12~~	~~MAPLE~~

NUMBER	SIZE (IN)	TYPE
~~10999~~	~~18~~	~~MAPLE~~
11000	12	MAPLE
11001	12	ASH
11002	12	MAPLE
11003	30	OAK
11004	24	MAPLE
11005	10	ASH
11006	12	MAPLE
11007	12	MAPLE
11008	15	MAPLE
11009	12	MAPLE
~~11010~~	~~15~~	~~TWIN MAPLE~~
~~11011~~	~~36~~	~~MAPLE~~
~~11012~~	~~18~~	~~MAPLE~~
~~11013~~	~~18~~	~~MAPLE~~
~~11014~~	~~12~~	~~MAPLE~~
~~11015~~	~~10~~	~~BIRCH~~
~~11016~~	~~24~~	~~OAK~~
~~11017~~	~~12~~	~~TWIN MAPLE~~
~~11018~~	~~12~~	~~TWIN MAPLE~~
~~11019~~	~~8~~	~~MAPLE~~
~~11020~~	~~20~~	~~OAK~~
~~11021~~	~~20~~	~~ASH~~
~~11022~~	~~18~~	~~MAPLE~~
11023	10	MAPLE
11025	15	MAPLE
11026	18	MAPLE
11027	12	MAPLE
11028	15	MAPLE
11029	15	MAPLE
11030	10	MAPLE
~~11031~~	~~8~~	~~BIRCH~~
11032	24	OAK
11033	10	OAK
11034	30	OAK
11035	15	BIRCH
11036	8	ASH
11037	15	MAPLE
11038	10	ASH
11039	36	OAK
11040	18	MAPLE
11041	10	MAPLE
11042	30	OAK
11043	12	MAPLE
11044	10	MAPLE
11045	15	OAK
~~11046~~	~~18~~	~~OAK~~
11047	15	MAPLE
11048	24	OAK
11049	12	TWIN MAPLE
11050	18	OAK
11051	18	MAPLE
11052	8	HICKORY
11053	15	MAPLE
11054	12	MAPLE
11055	10	TWIN MAPLE
11056	18	TWIN MAPLE
11057	15	MAPLE
11058	10	BIRCH
~~11059~~	~~18~~	~~MAPLE~~
11060	8	ASH
~~11061~~	~~24~~	~~OAK~~
~~11062~~	~~15~~	~~TWIN MAPLE~~
11063	15	ASH
11064	18	MAPLE
11065	15	TWIN MAPLE
11066	15	MAPLE

NUMBER	SIZE (IN)	TYPE
11067	15	OAK
11068	15	OAK
11069	18	MAPLE
11070	20	ASH
11071	10	MAPLE
11075	12	MAPLE
11076	12	ASH
11077	12	TWIN MAPLE
11078	15	MAPLE
11079	8	ASH
11080	10	MAPLE
11081	10	BIRCH
11082	8	ASH
11083	18	MAPLE
11084	12	TWIN MAPLE
11085	8	ASH
11086	18	MAPLE
11087	12	BIRCH
11088	18	OAK
11089	15	MAPLE
11090	18	MAPLE
11091	12	MAPLE
11092	12	TWIN MAPLE
11093	12	MAPLE
11094	12	MAPLE
11095	18	MAPLE
11096	15	BIRCH
11097	15	MAPLE
11098	12	MAPLE
11099	18	MAPLE
11100	12	MAPLE
11101	15	MAPLE
11102	18	MAPLE
11103	12	TWIN MAPLE
11104	12	ASH
11105	8	BIRCH
11106	10	ASH
11107	12	TWIN MAPLE
11108	12	OAK
11109	15	MAPLE
11110	8	MAPLE
11111	12	MAPLE
11112	15	TWIN MAPLE
11113	8	MAPLE
11114	18	ASH
11115	12	MAPLE
11116	8	MAPLE
11117	15	TWIN MAPLE
11122	18	MAPLE
11123	12	MAPLE
11124	12	MAPLE
11125	12	TRIPLE MAPLE
11126	12	MAPLE
11127	10	HICKORY
5101	10	TWIN MAPLE
5102	40	OAK
5103	10	QUAG. CEDAR
5104	10	TWIN CEDAR
5105	16	TRIPLE CEDAR
5106	16	TRIPLE CEDAR
5107	24	PINE
5108	38	OAK
5109	10	TWIN MAPLE
5110	12	MAPLE
5111	6	QUAD MAPLE
~~5112~~	~~6~~	~~QUAD IRONWOOD~~
~~5113~~	~~24~~	~~ASH~~

NUMBER	SIZE (IN)	TYPE
~~5114~~	~~12~~	~~TWIN BIRCH~~
~~5115~~	~~40~~	~~PINE~~
~~5116~~	~~30~~	~~PINE~~
~~5117~~	~~14~~	~~MAPLE~~
~~5118~~	~~22~~	~~TWIN PINE~~
~~5119~~	~~32~~	~~PINE~~
~~5120~~	~~15~~	~~BIRCH~~
~~5121~~	~~15~~	~~BIRCH~~
~~5122~~	~~15~~	~~BIRCH~~
~~5123~~	~~8~~	~~BIRCH~~
5124	10	QUAG. CEDAR
5125	10	QUAG. CEDAR
5126	5	QUAG. CEDAR
5127	14	TWIN CEDAR
5128	12	TRIPLE CEDAR



A TREE PROTECTION PROGRAM WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS WHICH WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES, ARE AS FOLLOWS:

A) NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
B) THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
C) TREES TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES.
D) TREES TO BE SAVED WILL BE FENCED AT THE OUTER DRIP LINE.
E) NO EARTH FILLS GREATER THAN 6" IN DEPTH WILL BE MADE BENEATH TREES TO BE PRESERVED.
F) IN FILL AREAS, TREES WILL BE PRESERVED IN TREE WELLS OR THROUGH THE USE OF RETAINING WALLS AT THE DRIP LINE.
G) IN CUT AREAS, TREES WILL BE PRESERVED WITH RETAINING WALLS AT THE DRIP LINE.

TREE PROTECTION DETAIL
N.T.S.

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F:914-824-0251

TREE PRESERVATION PLAN

DRAWN BY: AL	DATE: 02/10/20	REV:06/10/20
SCALE: 1" - 40' - 0"	SHEET: L - 3	

L'DOR
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NEW CITY, NY 10956

2861