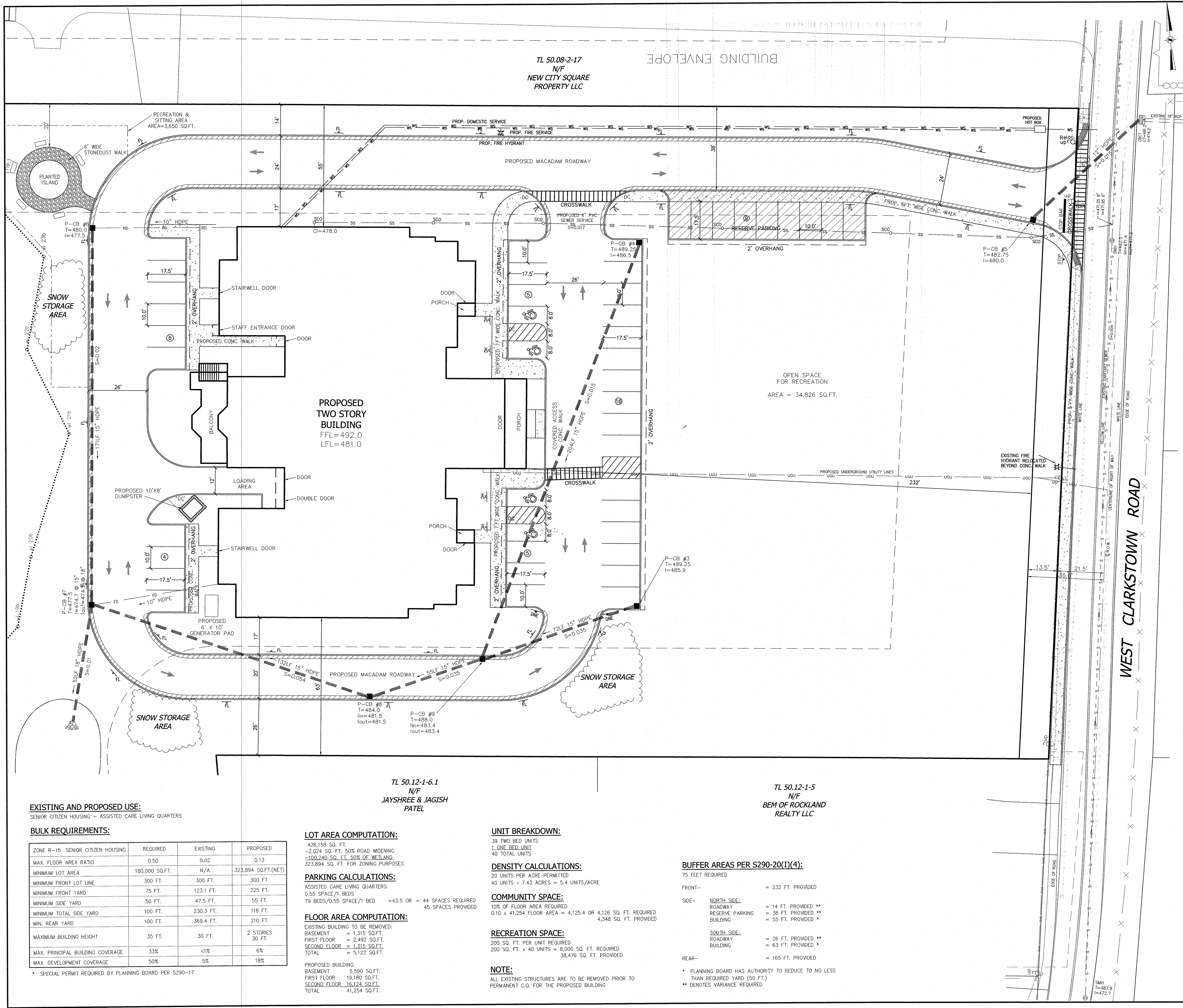
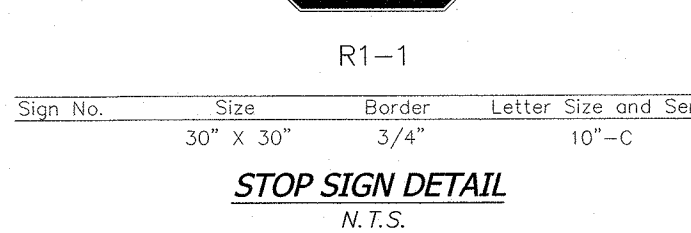
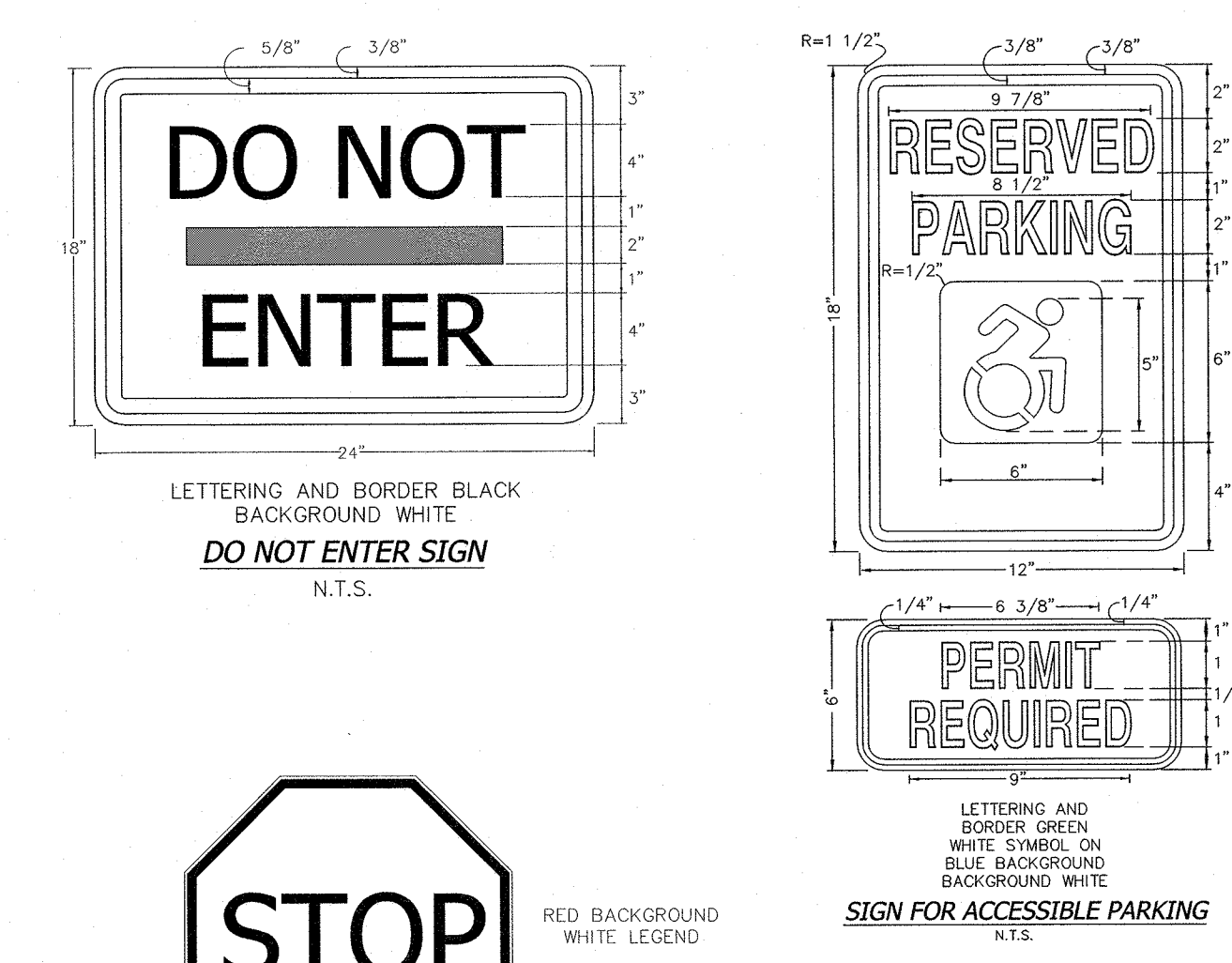




LEGEND

---	EXISTING 2' CONTOUR	---	PROPOSED 2' CONTOUR
---	EXISTING 10' CONTOUR	---	PROPOSED 10' CONTOUR
W	EXISTING WATERLINE	WS	PROPOSED WATER SERVICE
W	EXISTING WATER VALVE	WV	PROPOSED WATER VALVE
W	EXISTING FIRE HYDRANT	WF	PROPOSED FIRE HYDRANT
G	EXISTING GAS LINE	GS	PROPOSED GAS SERVICE
G	EXISTING GAS VALVE	GV	PROPOSED GAS VALVE
CB	EXISTING CATCH BASIN	CB	PROPOSED CATCH BASIN
SDH	EXISTING STORM DRAIN LINE	SDH	PROPOSED STORM DRAIN LINE
SMH	EXISTING SEWER MANHOLE	SMH	PROPOSED SEWER MANHOLE
S	EXISTING SEWER LINE	SS	PROPOSED SEWER HOUSE CONNECTION
S	EXISTING SPOT ELEVATION	SE	PROPOSED SPOT ELEVATION
S	EXISTING STONEWALL	SF	PROPOSED SILT FENCE
UP	EXISTING UTILITY POLE	FM	PROPOSED FORCE MAIN
LP	EXISTING LIGHT POLE	FL	DENOTES FIRE LINE SIGN
---	EXISTING SIGN	HC	DENOTES HANDICAP SIGN
---	---	ONE	DENOTES DO NOT ENTER SIGN



EXISTING AND PROPOSED USE:
SENIOR CITIZEN HOUSING - ASSISTED CARE LIVING QUARTERS

BULK REQUIREMENTS:

ZONE R-15 SENIOR CITIZEN HOUSING	REQUIRED	EXISTING	PROPOSED
MAX. FLOOR AREA RATIO	0.50	0.02	0.13
MINIMUM LOT AREA	180,000 SQ.FT.	N/A	325,894 SQ.FT.(NET)
MINIMUM FRONT LOT LINE	300 FT.		300 FT.
MINIMUM FRONT YARD	75 FT.	123.1 FT.	225 FT.
MINIMUM SIDE YARD	50 FT.	47.5 FT.	55 FT.
MINIMUM TOTAL SIDE YARD	100 FT.	230.3 FT.	118 FT.
MIN. REAR YARD	100 FT.	369.4 FT.	210 FT.
MAXIMUM BUILDING HEIGHT	35 FT.	30 FT.	2 STORIES 30 FT.
MAX. PRINCIPAL BUILDING COVERAGE	33%	<1%	6%
MAX. DEVELOPMENT COVERAGE	50%	5%	18%

* SPECIAL PERMIT REQUIRED BY PLANNING BOARD PER S290-17

LOT AREA COMPUTATION:
426,158 SQ. FT.
-2,024 SQ. FT. 50% ROAD WIDENING
-100,240 SQ. FT. 50% OF WETLAND
323,894 SQ. FT. FOR ZONING PURPOSES

PARKING CALCULATIONS:
ASSISTED CARE LIVING QUARTERS:
0.55 SPACE/1 BEDS
79 BEDS/0.55 SPACE/1 BED = 43.5 OR = 44 SPACES REQUIRED
45 SPACES PROVIDED

FLOOR AREA COMPUTATION:
EXISTING BUILDING TO BE REMOVED:
BASEMENT = 1,315 SQ.FT.
FIRST FLOOR = 2,492 SQ.FT.
SECOND FLOOR = 1,315 SQ.FT.
TOTAL = 5,122 SQ.FT.

PROPOSED BUILDING:
BASEMENT = 5,590 SQ.FT.
FIRST FLOOR = 19,180 SQ.FT.
SECOND FLOOR = 16,124 SQ.FT.
TOTAL = 41,254 SQ.FT.

UNIT BREAKDOWN:
39 TWO BED UNITS
1 ONE BED UNIT
40 TOTAL UNITS

DENSITY CALCULATIONS:
20 UNITS PER ACRE PERMITTED
40 UNITS ÷ 7.43 ACRES = 5.4 UNITS/ACRE

COMMUNITY SPACE:
10% OF FLOOR AREA REQUIRED
0.10 x 41,254 FLOOR AREA = 4,125.4 OR 4,126 SQ. FT. REQUIRED
4,348 SQ. FT. PROVIDED

RECREATION SPACE:
200 SQ. FT. PER UNIT REQUIRED
200 SQ. FT. x 40 UNITS = 8,000 SQ. FT. REQUIRED
38,476 SQ. FT. PROVIDED

NOTE:
ALL EXISTING STRUCTURES ARE TO BE REMOVED PRIOR TO PERMANENT C.O. FOR THE PROPOSED BUILDING

BUFFER AREAS PER S290-20(1)(4):
75 FEET REQUIRED

FRONT-	= 232 FT. PROVIDED
SIDE-	
NORTH SIDE:	
ROADWAY	= 14 FT. PROVIDED **
RESERVE PARKING	= 38 FT. PROVIDED **
BUILDING	= 55 FT. PROVIDED *
SOUTH SIDE:	
ROADWAY	= 26 FT. PROVIDED **
BUILDING	= 63 FT. PROVIDED *
REAR-	= 165 FT. PROVIDED

* PLANNING BOARD HAS AUTHORITY TO REDUCE TO NO LESS THAN REQUIRED YARD (50 FT.)
** DENOTES VARIANCE REQUIRED

STATE OF NEW YORK
COUNTY OF ROCKLAND
TOWN OF CLARKSTOWN
RYAN A. NASH, P.E.
N.Y.S. P.E. NO. 89066
JANUARY 14, 2020
2861

ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

L'DOR

**TOWN OF CLARKSTOWN
ROCKLAND COUNTY, NEW YORK**

PRELIMINARY SITE PLAN

DRAWN BY: LK	CHECKED BY: JRA
DATE: JANUARY 14, 2020	SCALE: 1 IN. = 20 FT.
PROJECT NO: 2861	DRAWING NO: 3