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CONSTRUCTION
DOCUMENTS



JMC Planning Engineering
Landscape Architecture & Land
Surveying, PLLC
 120 BEDFORD ROAD
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2	02/21/2020	DESIGN DEVELOPMENT
1	11/26/2019	SITE PLAN SUBMISSION

No.	Date	Issue
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Sheet Title

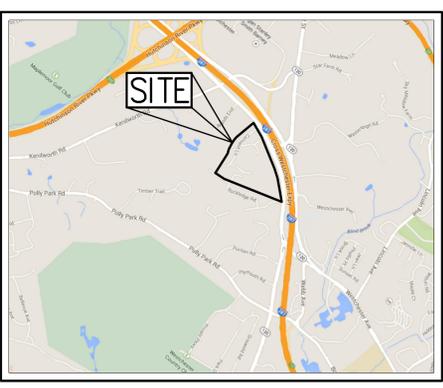
Zoning Compliance Sheet

Job No. JMC-19067 Date 11/26/2019

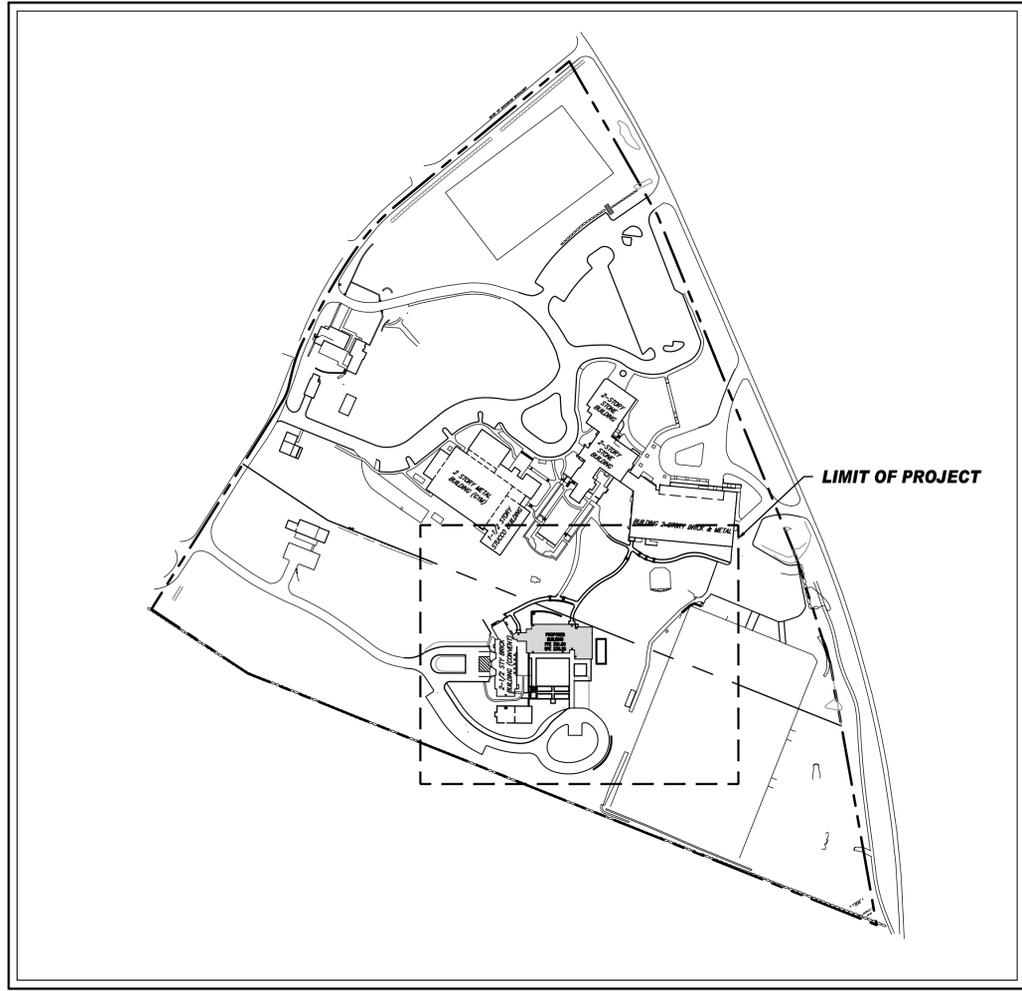
Scale 1"=60' Drawn / Checked DC/JAR

Sheet Number

C000



SITE LOCATION MAP
 SCALE: 1" = 2000'



AREA MAP
 SCALE: 1" = 150'

TABLE OF LAND USE				
BLOCK 601, LOT 4 ZONE "R-1" - "ONE-FAMILY RESIDENCE" PROPOSED USE: SCHOOL FIRE DISTRICT: PURCHASE FIRE DEPARTMENT WATER DISTRICT: WESTCHESTER JOINT WATER WORKS SCHOOL DISTRICT: HARRISON SCHOOL DISTRICT SEWER DISTRICT: BLIND BROOK SEWER DISTRICT				
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	
PERMITTED USES	SCHOOL ⁽¹⁾	SCHOOL ⁽¹⁾	NO CHANGE	
MINIMUM LOT AREA (ACRES)	13 ⁽²⁾	±22.8	NO CHANGE	
MINIMUM LOT FRONTAGE (FEET)	200 ⁽³⁾	1,627	NO CHANGE	
MINIMUM LOT WIDTH (FEET)	200 ⁽³⁾	1,627	NO CHANGE	
MAXIMUM LOT COVERAGE (PERCENTAGE)	15	7.44	7.33 ⁽⁴⁾	
MAXIMUM BUILDING HEIGHT (STORIES/FEET)	2.5/30	2.5/23.5	2.5/29	
MINIMUM BUILDING SETBACKS				
FRONT BUILDING SETBACK (FEET)	50 ⁽⁵⁾	53.5	NO CHANGE	
SIDE BUILDING SETBACK (FEET)	50 ⁽⁵⁾	125.6	NO CHANGE	
REAR BUILDING SETBACK (FEET)	50	N/A	N/A	
PARKING SUMMARY				
PARKING RATIO	1 SPACE/3 PERMANENT SEATS OF AUDITORIUM SEATING AREA ⁽⁶⁾			
STANDARD STALLS (9'X18') (SPACES)	131 ⁽⁶⁾	138	144	
HANDICAPPED (SPACES)	3 ⁽⁶⁾	4	6	
TOTAL SPACES (SPACES)	134 ⁽⁶⁾	142	150	

LAND USE NOTES:

(1) SCHOOL IS PERMITTED AS A SPECIAL EXEMPTION USE IN THE R-1 DISTRICT, IN ACCORDANCE WITH THE RESIDENCE DISTRICTS TABLE OF USE REGULATIONS, WITHIN THE TOWN OF HARRISON ZONING ORDINANCE.

(2) MINIMUM LOT AREA WAS CALCULATED BASED ON THE TOWN OF HARRISON ZONING ORDINANCE, SECTION 235-17, SPECIAL CONDITIONS AND SAFEGUARDS FOR SPECIFIC USES, SUB SECTION N, NON-PROFIT PUBLIC AND PRIVATE SCHOOL, CONDITION #3, WHEREAS SITE AREA SHALL BE FIVE (5) ACRES, PLUS TWO (2) ACRES FOR EACH ONE HUNDRED (100) PUPILS, WITH A MINIMUM OF 10 ACRES. THE SCHOOL PRESENTLY HAS THREE HUNDRED FIFTY SEVEN (357) PUPILS, WHICH WAS ROUNDED UP TO FOUR HUNDRED (400) FOR THE CALCULATION. (5 ACRES + (2 ACRES/ 100 PUPILS X 400))=5+8=13 ACRES REQUIRED.

(3) THE PROPOSED ACTION IS ON A LOT WITHIN TAX BLOCK 601 AND WITHIN THE R-1 RESIDENCE DISTRICT. THEREFORE, THE MINIMUM LOT WIDTH AND FRONTAGE REQUIREMENTS WERE INCREASED TO TWO HUNDRED (200) FEET AND THE MINIMUM FRONT AND SIDE YARD REQUIREMENTS WERE INCREASED TO FIFTY (50) FEET.

(4) REQUIRED PARKING FOR A SCHOOL IS 1 SPACE PER EMPLOYEE + 1 SPACE PER 8 SENIORS (91 EMPLOYEES+(55 SENIORS X 1 SPACE/8 SENIORS)=91+7=98 PARKING SPACES REQUIRED). REQUIRED PARKING FOR AN AUDITORIUM IS 1 SPACE PER 3 PERMANENT SEATS (400 SEATS X 1 SPACE/3 PERMANENT SEATS=134 PARKING SPACES REQUIRED).

(5) PROPOSED LOT COVERAGE CALCULATION INCLUDES ALL PROPOSED SECOND FLOOR OVERHANGS.

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7862) TO HAVE UNDERGROUND UTILITIES LOCATED INCLUDING ARRANGING FOR A PRIVATE MARKOUT ON-SITE WHERE APPLICABLE. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE, WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION OF UTILITY SERVICE.
- CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES, APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISIONS OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.
- CONTRACTOR SHALL REFER TO DRAWINGS BY OTHERS FOR DESIGN OF SITE IMPROVEMENTS SHOWN HEREON FOR INFORMATION AND SPECIFIED AS "DESIGNED BY LANDSCAPE ARCHITECT" OR "DESIGNED BY OTHERS". ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT DESIGN TEAM PRIOR TO THE START OF CONSTRUCTION.

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILATION OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



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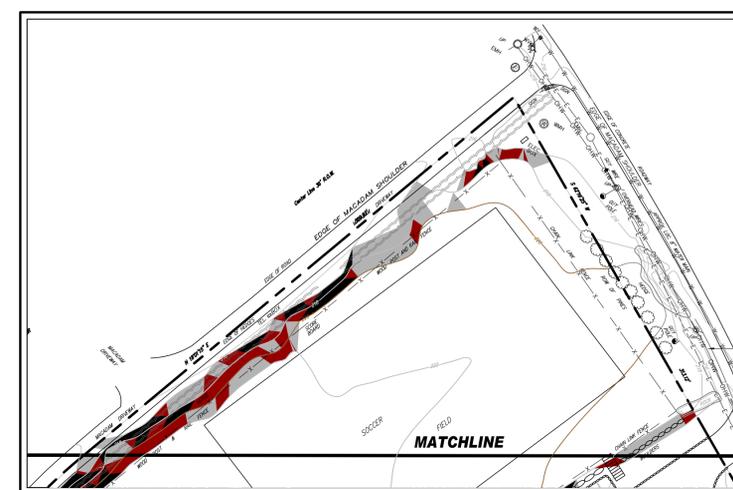
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1	11/26/2019	SITE PLAN SUBMISSION

Sheet Title
**Overall Existing
 Conditions and
 Slope Analysis Map**

Job No. JMC-19067 Date 11/26/2019
 Scale 1"=60' Drawn / Checked DC/JAR
 Sheet Number
C010



Slopes Table (Site)

Number	Minimum Slope	Maximum Slope	Color	Area
1	0.00%	15.00%	White	867,174
2	15.00%	25.00%	Light Gray	64,503
3	25.00%	35.00%	Red	26,216
4	35.00%	Vertical	Black	35,275

LEGEND

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING TELEPHONE LINE
	EXISTING ELECTRIC LINE
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED LIMIT OF DISTURBANCE

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC MAP," PREPARED BY WARD CARPENTER ENGINEERS INC., DATED FEBRUARY 26, 2018 AND UPDATED PER FIELD OBSERVATIONS BY JMC, AS WELL AS RECORD INFORMATION FROM PREVIOUS PROJECTS AT THE SCHOOL.
 - SEE DRAWING C000 FOR ADDITIONAL NOTES ASSOCIATED WITH WORK SHOWN HEREON.
 - THE CONTRACTOR SHALL INSTALL "FLEXSTORM PURE" PERMANENT INLET PROTECTION AS MANUFACTURED BY ADS IN A TOTAL OF 6 EXISTING STRUCTURES IN THE LOCATION SHOWN ON DRAWING C010. EXISTING CONDITIONS AND SLOPE ANALYSIS PLAN. THE TYPE OF STRUCTURES SHALL HAVE MODEL 62XLHD WITH PC BAGS AND THE DI TYPE STRUCTURES SHALL HAVE 62LHD WITH PC BAG.
 - CONTRACTOR SHALL MEASURE STRUCTURES PRIOR TO ORDERING PROPOSED INLET PROTECTION TO CONFIRM PROPER FIT. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND JMC IN WRITING.





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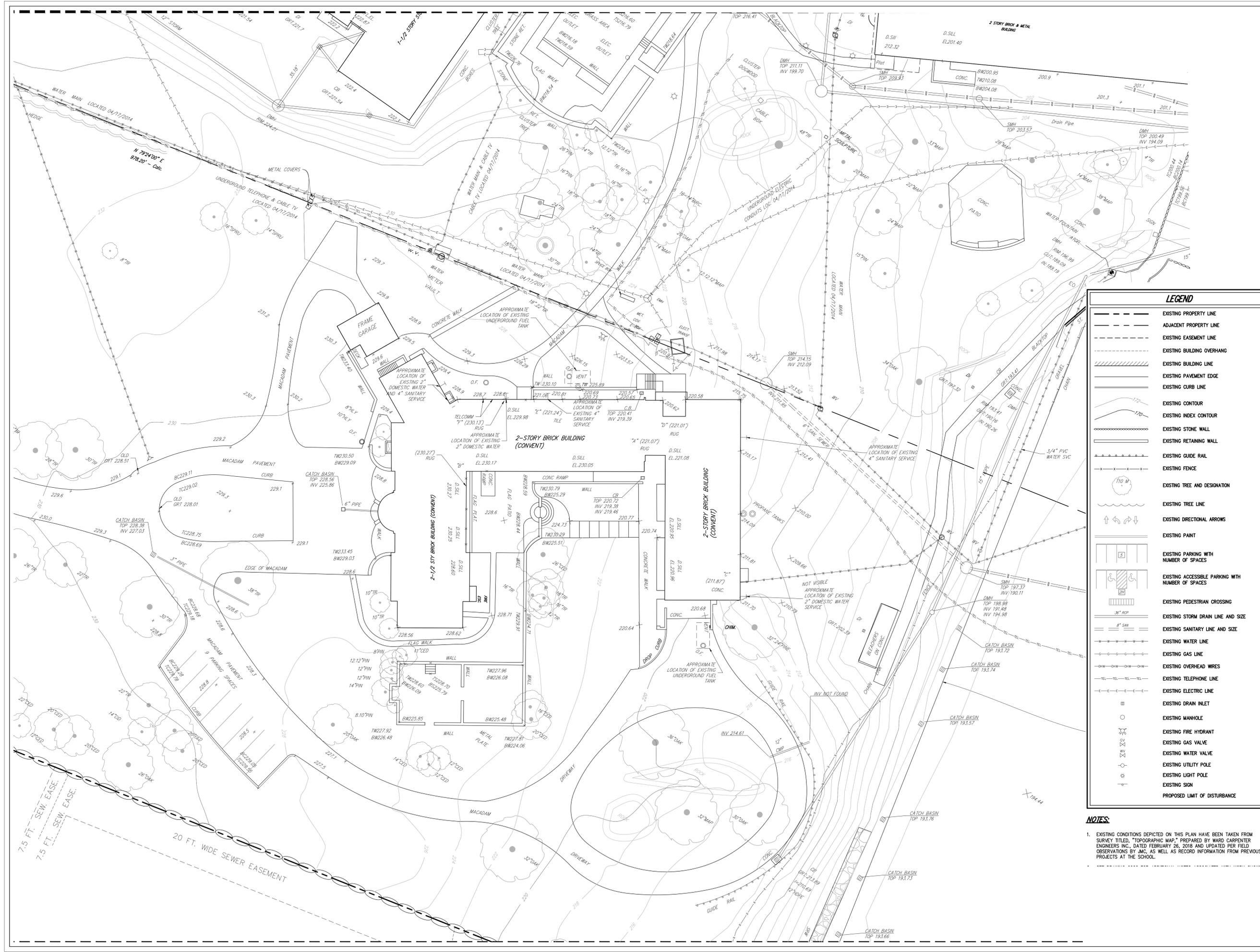
Existing
Conditions Map

Job No. JMC-19067 Date 11/26/2019

Scale 1"=20' Drawn / Checked DC/JAR

Sheet Number

C020



LEGEND

- EXISTING PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - EXISTING BUILDING OVERHANG
- ▨ EXISTING BUILDING LINE
- ▬ EXISTING PAVEMENT EDGE
- ▬ EXISTING CURB LINE
- ~ EXISTING CONTOUR
- ~ EXISTING INDEX CONTOUR
- ▬ EXISTING STONE WALL
- ▬ EXISTING RETAINING WALL
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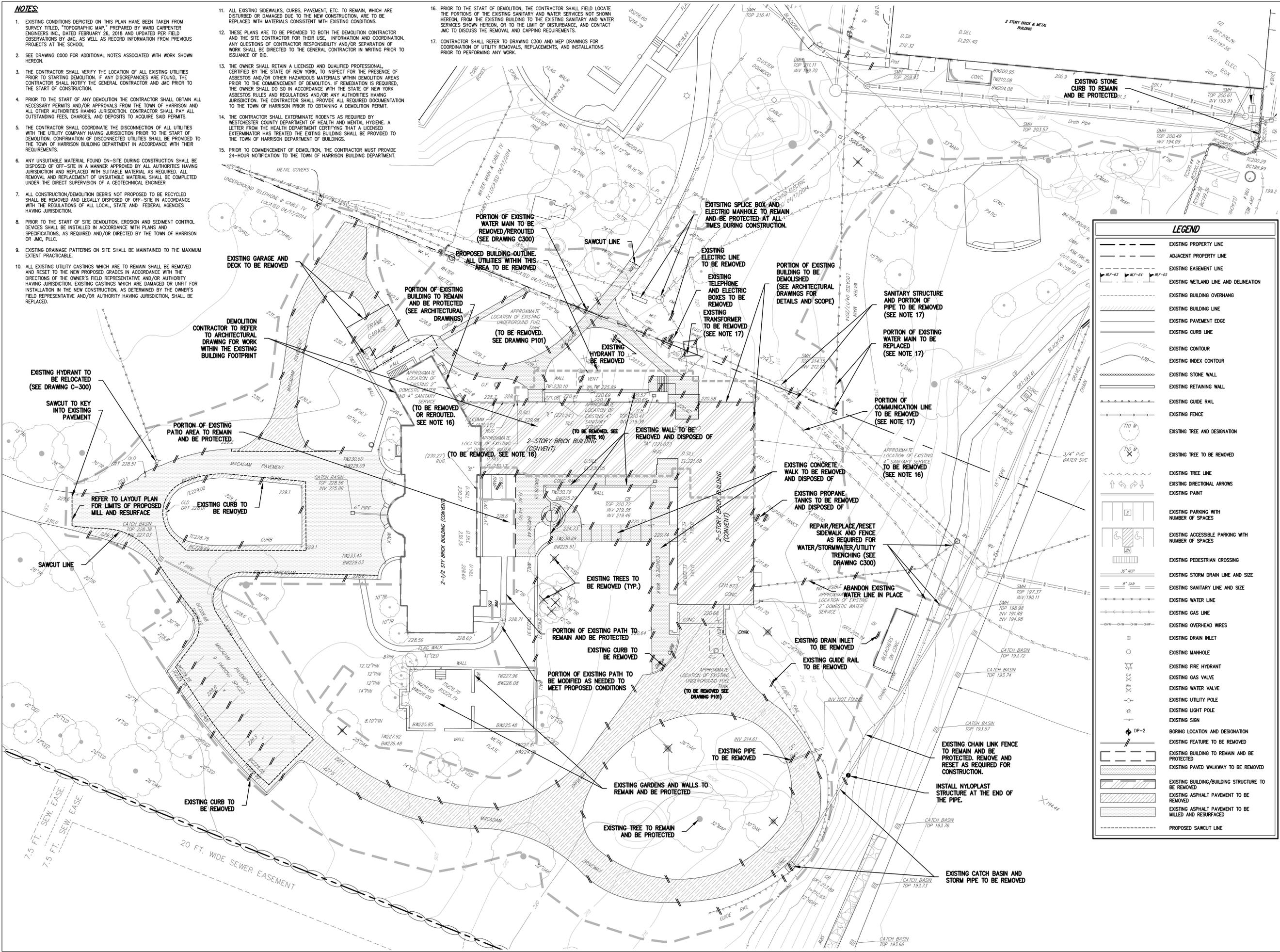
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- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO STARTING DEMOLITION. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR AND JMC PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO THE START OF ANY DEMOLITION THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND/OR APPROVALS FROM THE TOWN OF HARRISON AND ALL OTHER AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL PAY ALL OUTSTANDING FEES, CHARGES, AND DEPOSITS TO ACQUIRE SAID PERMITS.
- THE CONTRACTOR SHALL COORDINATE THE DISCONNECTION OF ALL UTILITIES WITH THE UTILITY COMPANY HAVING JURISDICTION PRIOR TO THE START OF DEMOLITION. CONFIRMATION OF DISCONNECTED UTILITIES SHALL BE PROVIDED TO THE TOWN OF HARRISON BUILDING DEPARTMENT IN ACCORDANCE WITH THEIR REQUIREMENTS.
- ANY UNSUITABLE MATERIAL FOUND ON-SITE DURING CONSTRUCTION SHALL BE DISPOSED OF OFF-SITE IN A MANNER APPROVED BY ALL AUTHORITIES HAVING JURISDICTION AND REPLACED WITH SUITABLE MATERIAL AS REQUIRED. ALL REMOVAL AND REPLACEMENT OF UNSUITABLE MATERIAL SHALL BE COMPLETED UNDER THE DIRECT SUPERVISION OF A GEOTECHNICAL ENGINEER.
- ALL CONSTRUCTION/DEMOLITION DEBRIS NOT PROPOSED TO BE RECYCLED SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH THE REGULATIONS OF ALL LOCAL, STATE AND FEDERAL AGENCIES HAVING JURISDICTION.
- PRIOR TO THE START OF SITE DEMOLITION, EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH PLANS AND SPECIFICATIONS, AS REQUIRED AND/OR DIRECTED BY THE TOWN OF HARRISON OR JMC, PLLC.
- EXISTING DRAINAGE PATTERNS ON SITE SHALL BE MAINTAINED TO THE MAXIMUM EXTENT PRACTICABLE.
- ALL EXISTING UTILITY CASTINGS WHICH ARE TO REMAIN SHALL BE REMOVED AND RESET TO THE NEW PROPOSED GRADES IN ACCORDANCE WITH THE DIRECTIONS OF THE OWNER'S FIELD REPRESENTATIVE AND/OR AUTHORITY HAVING JURISDICTION. EXISTING CASTINGS WHICH ARE DAMAGED OR UNFIT FOR INSTALLATION IN THE NEW CONSTRUCTION, AS DETERMINED BY THE OWNER'S FIELD REPRESENTATIVE AND/OR AUTHORITY HAVING JURISDICTION, SHALL BE REPLACED.
- ALL EXISTING SIDEWALKS, CURBS, PAVEMENT, ETC. TO REMAIN, WHICH ARE DISTURBED OR DAMAGED DUE TO THE NEW CONSTRUCTION, ARE TO BE REPLACED WITH MATERIALS CONSISTENT WITH EXISTING CONDITIONS.
- THESE PLANS ARE TO BE PROVIDED TO BOTH THE DEMOLITION CONTRACTOR AND THE SITE CONTRACTOR FOR THEIR USE, INFORMATION AND COORDINATION. ANY QUESTIONS OF CONTRACTOR RESPONSIBILITY AND/OR SEPARATION OF WORK SHALL BE DIRECTED TO THE GENERAL CONTRACTOR IN WRITING PRIOR TO ISSUANCE OF BID.
- THE OWNER SHALL RETAIN A LICENSED AND QUALIFIED PROFESSIONAL, CERTIFIED BY THE STATE OF NEW YORK, TO INSPECT FOR THE PRESENCE OF ASBESTOS AND/OR OTHER HAZARDOUS MATERIALS WITHIN DEMOLITION AREAS PRIOR TO THE COMMENCEMENT OF DEMOLITION. IF REMEDIATION IS REQUIRED, THE OWNER SHALL DO SO IN ACCORDANCE WITH THE STATE OF NEW YORK ASBESTOS RULES AND REGULATIONS AND/OR ANY AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED DOCUMENTATION TO THE TOWN OF HARRISON PRIOR TO OBTAINING A DEMOLITION PERMIT.
- THE CONTRACTOR SHALL EXTERMINATE RODENTS AS REQUIRED BY WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND MENTAL HYGIENE. A LETTER FROM THE HEALTH DEPARTMENT CERTIFYING THAT A LICENSED EXTERMINATOR HAS TREATED THE EXISTING BUILDING SHALL BE PROVIDED TO THE TOWN OF HARRISON DEPARTMENT OF BUILDINGS.
- PRIOR TO COMMENCEMENT OF DEMOLITION, THE CONTRACTOR MUST PROVIDE 24-HOUR NOTIFICATION TO THE TOWN OF HARRISON BUILDING DEPARTMENT.

- PRIOR TO THE START OF DEMOLITION, THE CONTRACTOR SHALL FIELD LOCATE THE PORTIONS OF THE EXISTING SANITARY AND WATER SERVICES NOT SHOWN HEREON, FROM THE EXISTING BUILDING TO THE EXISTING SANITARY AND WATER SERVICES SHOWN HEREON, OR TO THE LIMIT OF DISTURBANCE, AND CONTACT JMC TO DISCUSS THE REMOVAL AND CAPPING REQUIREMENTS.
- CONTRACTOR SHALL REFER TO DRAWING C300 AND MEP DRAWINGS FOR COORDINATION OF UTILITY REMOVALS, REPLACEMENTS, AND INSTALLATIONS PRIOR TO PERFORMING ANY WORK.



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- EXISTING LIGHT POLE
- EXISTING SIGN
- BORING LOCATION AND DESIGNATION
- EXISTING FEATURE TO BE REMOVED
- EXISTING BUILDING TO REMAIN AND BE PROTECTED
- EXISTING PAVED WALKWAY TO BE REMOVED
- EXISTING BUILDING/BUILDING STRUCTURE TO BE REMOVED
- EXISTING ASPHALT PAVEMENT TO BE REMOVED
- EXISTING ASPHALT PAVEMENT TO BE MILLED AND RESURFACED
- PROPOSED SAWCUT LINE

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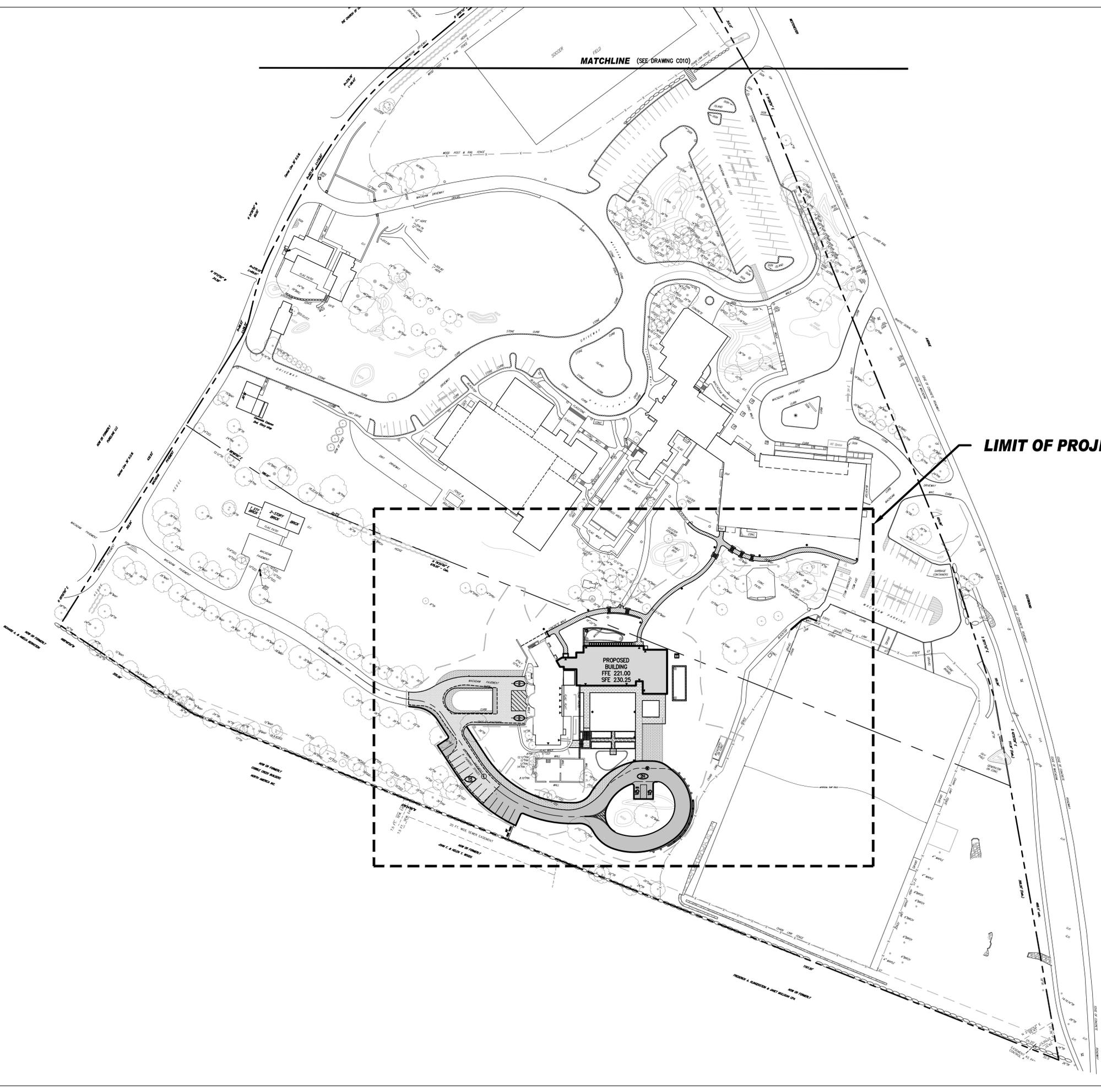
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Professional Seal

No.	Date	Issue
7	08/12/2021	ISSUED FOR CONSTRUCTION
6	06/25/2021	ISSUED FOR PERMIT
5	09/18/2020	REVISED FOR LDA
4	05/08/2020	90% CONSTRUCTION DOCUMENTS
3	02/25/2020	REVISED FOR TBPB APPROVAL
2	02/21/2020	DESIGN DEVELOPMENT
1	11/26/2019	SITE PLAN SUBMISSION

Sheet Title

Site Removals Plan	
Job No.	JMC-19067
Date	11/26/2019
Scale	1"=20'
Drawn / Checked	DC/JAR
Sheet Number	C040



LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING EASEMENT LINE
	EXISTING ROADWAY CENTER LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED RETAINING WALL (DESIGNED BY OTHERS)
	PROPOSED SIDEWALK/PATH (SEE NOTE 2)
	PROPOSED GUIDERAIL
	PROPOSED MILL AND RESURFACE PAVEMENT
	PROPOSED HEAVY DUTY PAVEMENT
	PROPOSED GRASS PAVER SURFACE
	PROPOSED EXTENDED CURB

- NOTES:**
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 - SEE LANDSCAPE (L SERIES) DRAWINGS FOR SURFACE TREATMENT AND DETAILS.
 - SEE DRAWING C000 FOR ADDITIONAL NOTES ASSOCIATED WITH WORK SHOWN HEREON.

STREAM
 CENTER FOR
 EXPERIMENTAL LEARNING
 SCHOOL OF THE HOLY
 CHILD
 2225 WESTCHESTER AVE,
 RYE, NY

KG+D listen
 imagine
 build
 KG+D . ARCHITECTS PC
 285 MAIN STREET MOUNT KISCO . NEW YORK . 10549
 P:914.666.5900 KGDARCHITECTS.COM

**CONSTRUCTION
 DOCUMENTS**



**JMC Planning Engineering
 Landscape Architecture & Land
 Surveying, PLLC**
 120 BEDFORD ROAD
 ARMONK, NY 10504
 (914) 273-5225



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1	11/26/2019	SITE PLAN SUBMISSION

**Overall Site
 Plan**

Job No. JMC-19067	Date 11/26/2019
Scale 1"=60'	Drawn / Checked DC/JAR
Sheet Number C100	

STREAM
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CONSTRUCTION
DOCUMENTS



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Landscape Architecture & Land
Surveying, PLLC
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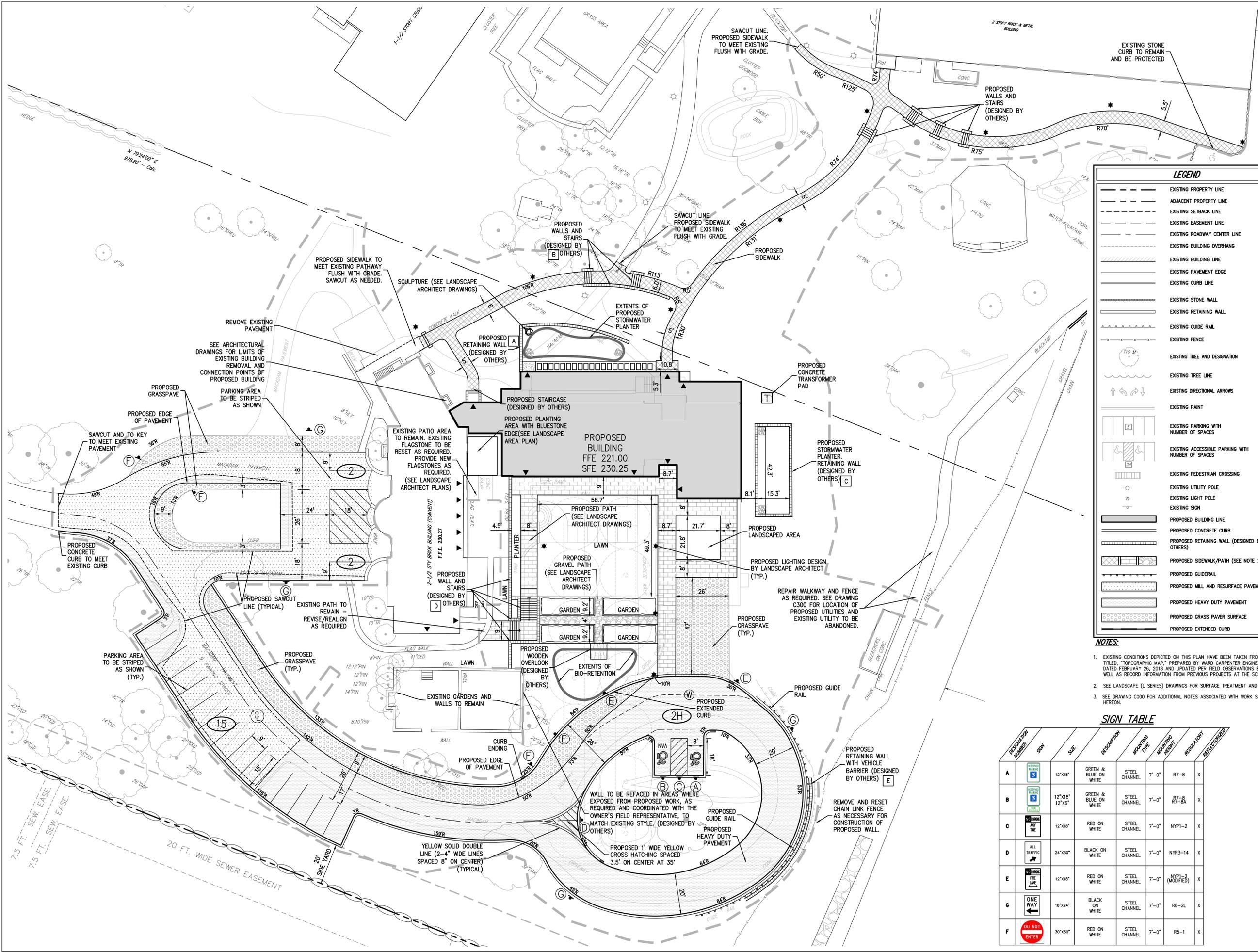
LEGEND

- EXISTING PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - EXISTING SETBACK LINE
- - - EXISTING EASEMENT LINE
- - - EXISTING ROADWAY CENTER LINE
- - - EXISTING BUILDING OVERHANG
- - - EXISTING BUILDING LINE
- - - EXISTING PAVEMENT EDGE
- - - EXISTING CURB LINE
- - - EXISTING STONE WALL
- - - EXISTING RETAINING WALL
- - - EXISTING GUIDE RAIL
- - - EXISTING FENCE
- - - EXISTING TREE AND DESIGNATION
- - - EXISTING TREE LINE
- - - EXISTING DIRECTIONAL ARROWS
- - - EXISTING PAINT
- - - EXISTING PARKING WITH NUMBER OF SPACES
- - - EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
- - - EXISTING PEDESTRIAN CROSSING
- - - EXISTING UTILITY POLE
- - - EXISTING LIGHT POLE
- - - EXISTING SIGN
- - - PROPOSED BUILDING LINE
- - - PROPOSED CONCRETE CURB
- - - PROPOSED RETAINING WALL (DESIGNED BY OTHERS)
- - - PROPOSED SIDEWALK/PATH (SEE NOTE 2)
- - - PROPOSED GUIDERAIL
- - - PROPOSED MILL AND RESURFACE PAVEMENT
- - - PROPOSED HEAVY DUTY PAVEMENT
- - - PROPOSED GRASS PAVER SURFACE
- - - PROPOSED EXTENDED CURB

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 - SEE LANDSCAPE (L SERIES) DRAWINGS FOR SURFACE TREATMENT AND DETAILS.
 - SEE DRAWING C000 FOR ADDITIONAL NOTES ASSOCIATED WITH WORK SHOWN HEREON.

SIGN TABLE

DESCRIPTION NUMBER	SYMBOL	SIZE	DESCRIPTION	MARKING TYPE	MARKING HEIGHT	REGULATORY	RECYCLED
A		12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8	X
B		12"x18" 12"x6"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8A	X
C		12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYPI-2	X
D		24"x30"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	NYR3-14	X
E		12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYPI-2 (MODIFIED)	X
G		18"x24"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	R6-2L	X
F		30"x30"	RED ON WHITE	STEEL CHANNEL	7'-0"	R5-1	X



Site Layout Plan

Job No. JMC-19067 Date 11/26/2019
 Scale 1"=20' Drawn / Checked DCJ/JAR
 Sheet Number

C101



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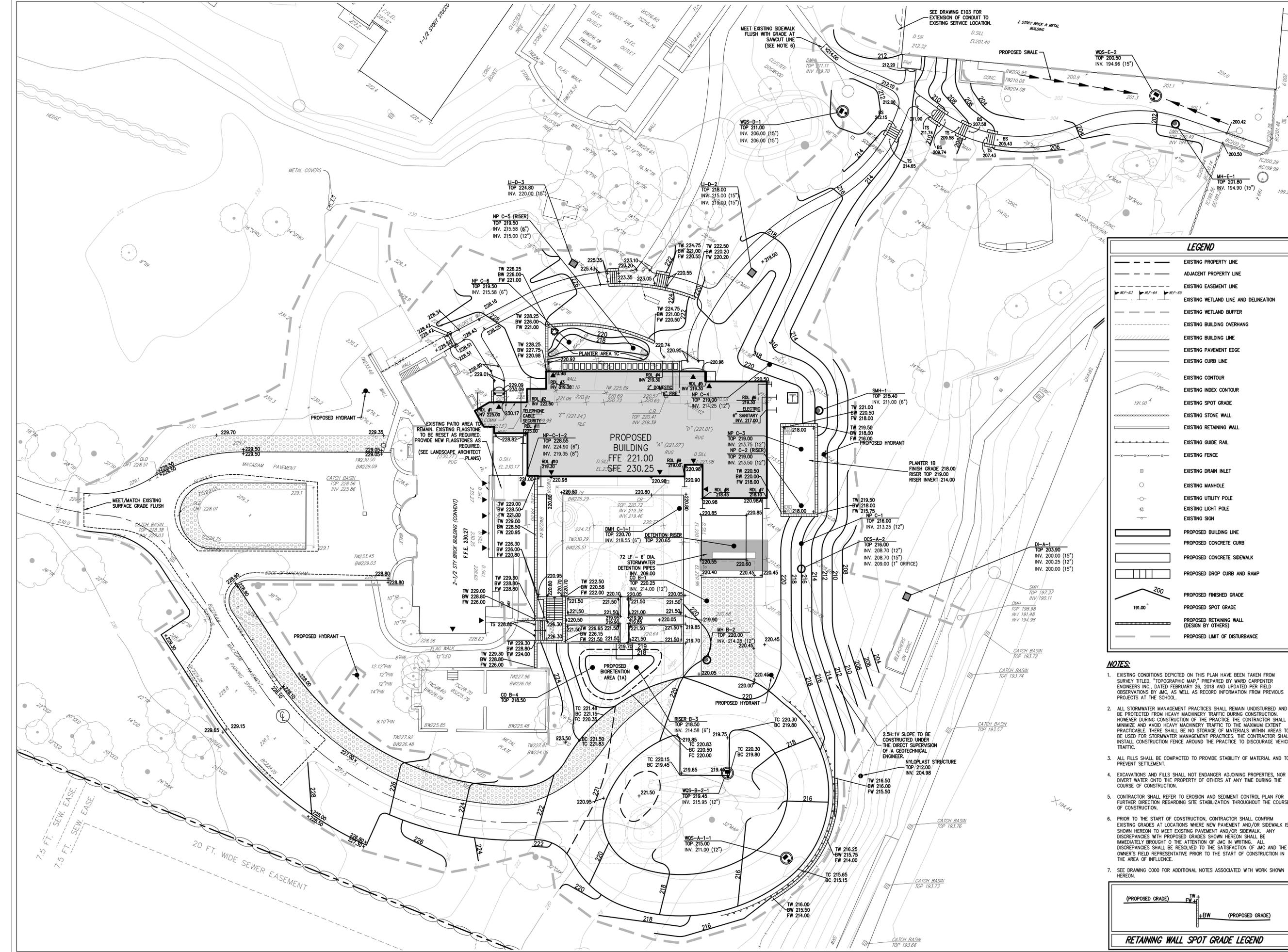
Professional Seal

LEGEND

- EXISTING PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - EXISTING WETLAND LINE AND DELINEATION
- - - EXISTING WETLAND BUFFER
- - - EXISTING BUILDING OVERHANG
- - - EXISTING BUILDING LINE
- - - EXISTING PAVEMENT EDGE
- - - EXISTING CURB LINE
- - - EXISTING CONTOUR
- - - EXISTING INDEX CONTOUR
- - - EXISTING SPOT GRADE
- - - EXISTING STONE WALL
- - - EXISTING RETAINING WALL
- - - EXISTING GUIDE RAIL
- - - EXISTING FENCE
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- ▬ PROPOSED BUILDING LINE
- ▬ PROPOSED CONCRETE CURB
- ▬ PROPOSED CONCRETE SIDEWALK
- ▬ PROPOSED DROP CURB AND RAMP
- ▬ PROPOSED FINISHED GRADE
- ▬ PROPOSED SPOT GRADE
- ▬ PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- ▬ PROPOSED LIMIT OF DISTURBANCE

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 - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
 - EXCAVATIONS AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS AT ANY TIME DURING THE COURSE OF CONSTRUCTION.
 - CONTRACTOR SHALL REFER TO EROSION AND SEDIMENT CONTROL PLAN FOR FURTHER DIRECTION REGARDING SITE STABILIZATION THROUGHOUT THE COURSE OF CONSTRUCTION.
 - PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL CONFIRM EXISTING GRADES AT LOCATIONS WHERE NEW PAVEMENT AND/OR SIDEWALK IS SHOWN HEREON TO MEET EXISTING PAVEMENT AND/OR SIDEWALK. ANY DISCREPANCIES WITH PROPOSED GRADES SHOWN HEREON SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF JMC IN WRITING. ALL DISCREPANCIES SHALL BE RESOLVED TO THE SATISFACTION OF JMC AND THE OWNER'S FIELD REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION IN THE AREA OF INFLUENCE.
 - SEE DRAWING C000 FOR ADDITIONAL NOTES ASSOCIATED WITH WORK SHOWN HEREON.

RETAINING WALL SPOT GRADE LEGEND



STREAM
CENTER FOR
EXPERIMENTAL LEARNING
SCHOOL OF THE HOLY
CHILD
2225 WESTCHESTER AVE,
RYE, NY

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CONSTRUCTION
DOCUMENTS



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 120 BEDFORD ROAD
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Professional Seal

3	08/12/2021	ISSUED FOR CONSTRUCTION
2	06/25/2021	ISSUED FOR PERMIT
1	09/18/2020	REVISED FOR LDA
No.	Date	Revised For
Sheet Title		

Slope
Disturbance Plan

LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING OVERHANG
- EXISTING BUILDING LINE
- EXISTING CURVED EDGE
- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- EXISTING TREE LINE
- EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING PARKING WITH NUMBER OF SPACES
- EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
- EXISTING PEDESTRIAN CROSSING
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING TELEPHONE LINE
- EXISTING ELECTRIC LINE
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED LIMIT OF DISTURBANCE

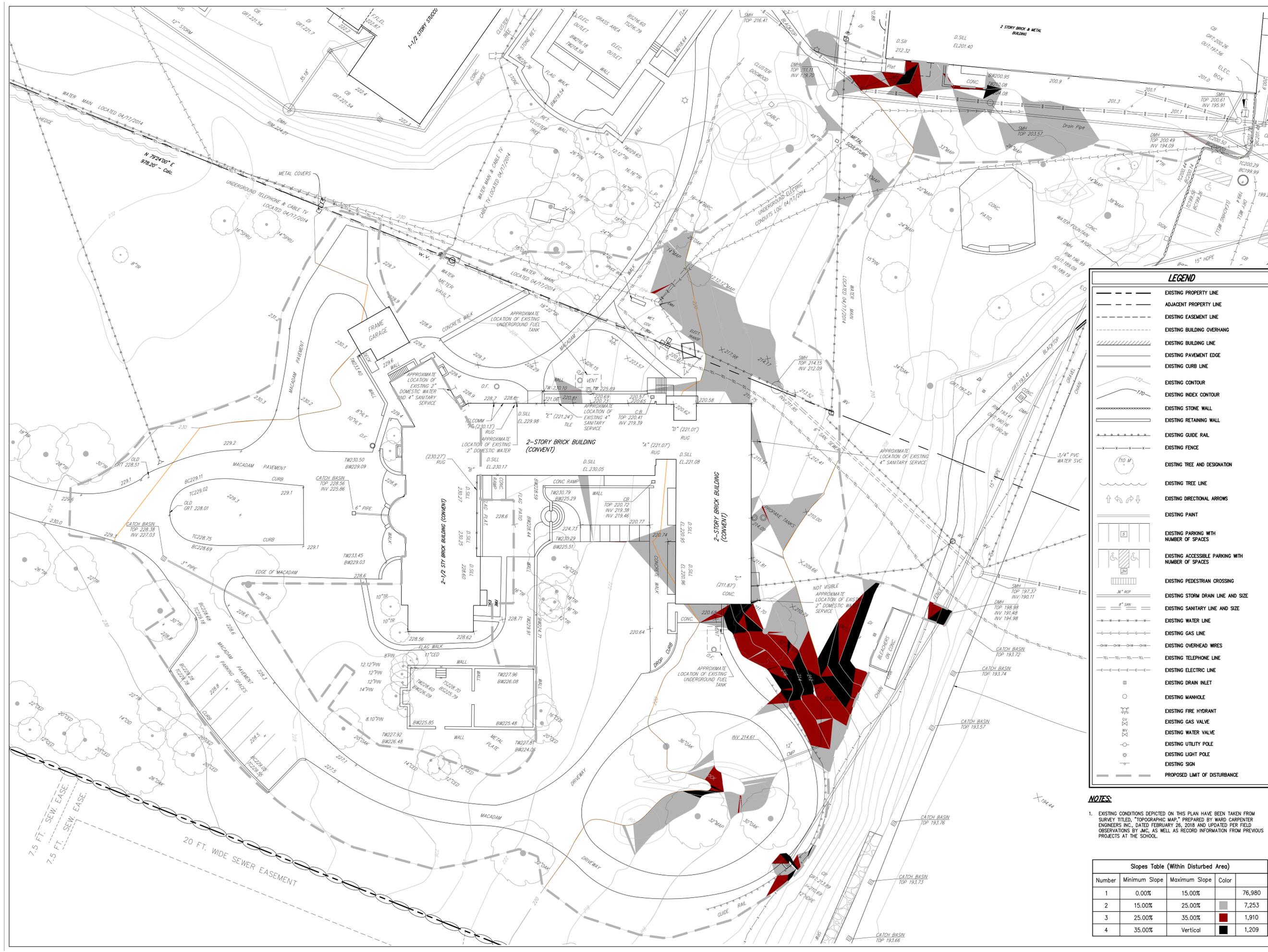
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Slopes Table (Within Disturbed Area)

Number	Minimum Slope	Maximum Slope	Color	Area
1	0.00%	15.00%	Light Gray	76,980
2	15.00%	25.00%	Medium Gray	7,253
3	25.00%	35.00%	Dark Gray	1,910
4	35.00%	Vertical	Black	1,209

Job No.	JMC-19067	Date	09/18/2020
Scale	1"=20'	Drawn / Checked	DC/JAR
Sheet Number	C210		





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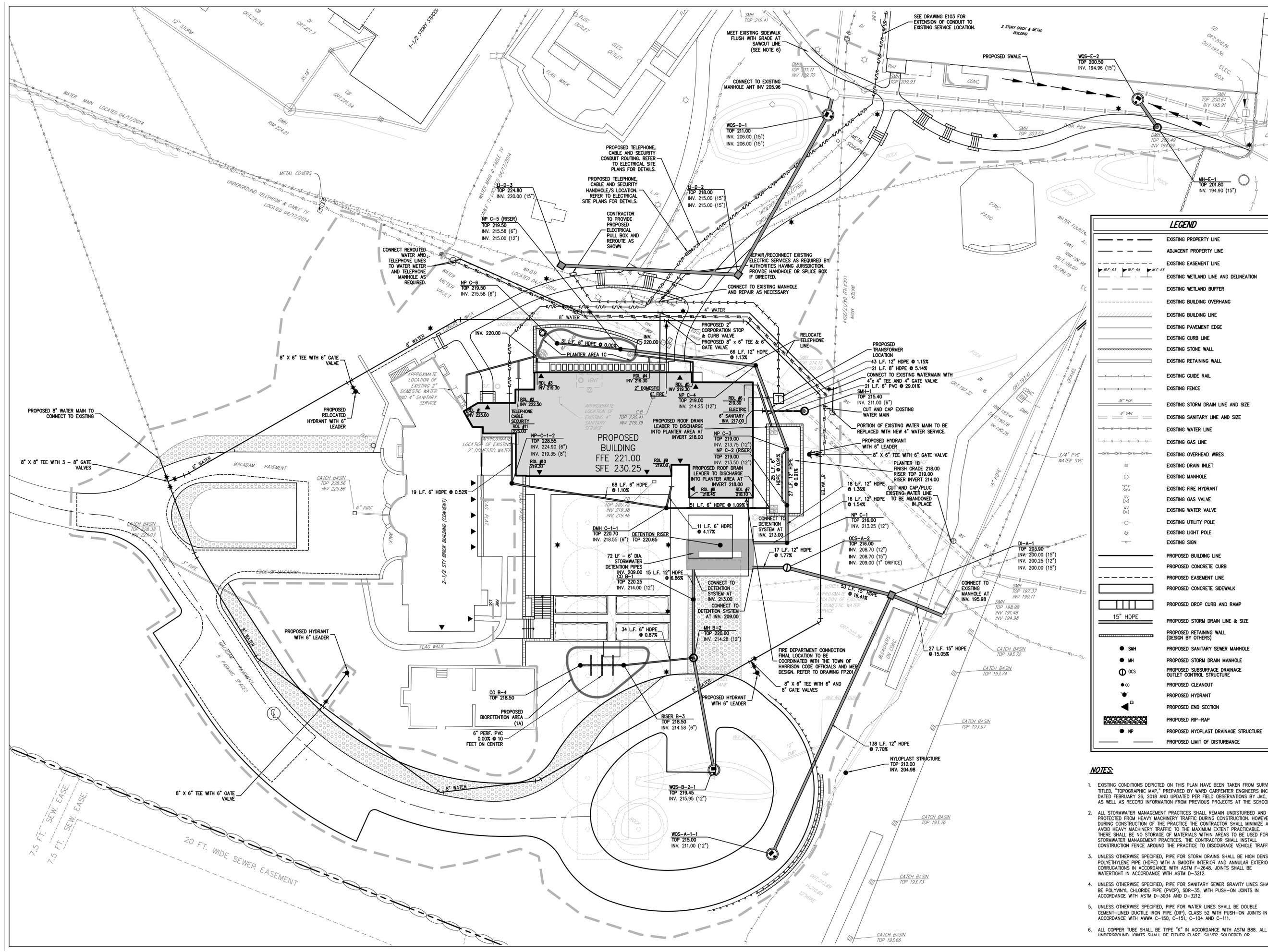
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2	02/21/2020	DESIGN DEVELOPMENT
1	11/26/2019	SITE PLAN SUBMISSION

Sheet Title

Utilities Plan

Job No.	JMC-19067	Date	11/26/2019
Scale	1"=20'	Drawn / Checked	DC/JAR
Sheet Number			

C300



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 - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2648. JOINTS SHALL BE WATER-TIGHT IN ACCORDANCE WITH ASTM D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), SDR-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE (DIP), CLASS 52 WITH PUSH-ON JOINTS IN ACCORDANCE WITH AWWA C-150, C-151, C-104 AND C-111.
 - ALL COPPER TUBE SHALL BE TYPE "K" IN ACCORDANCE WITH ASTM B88. ALL IMPERMEABLE JOINTS SHALL BE EITHER G-FLANGE OR EPDM Gaskets.

STREAM
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Professional Seal

LEGEND

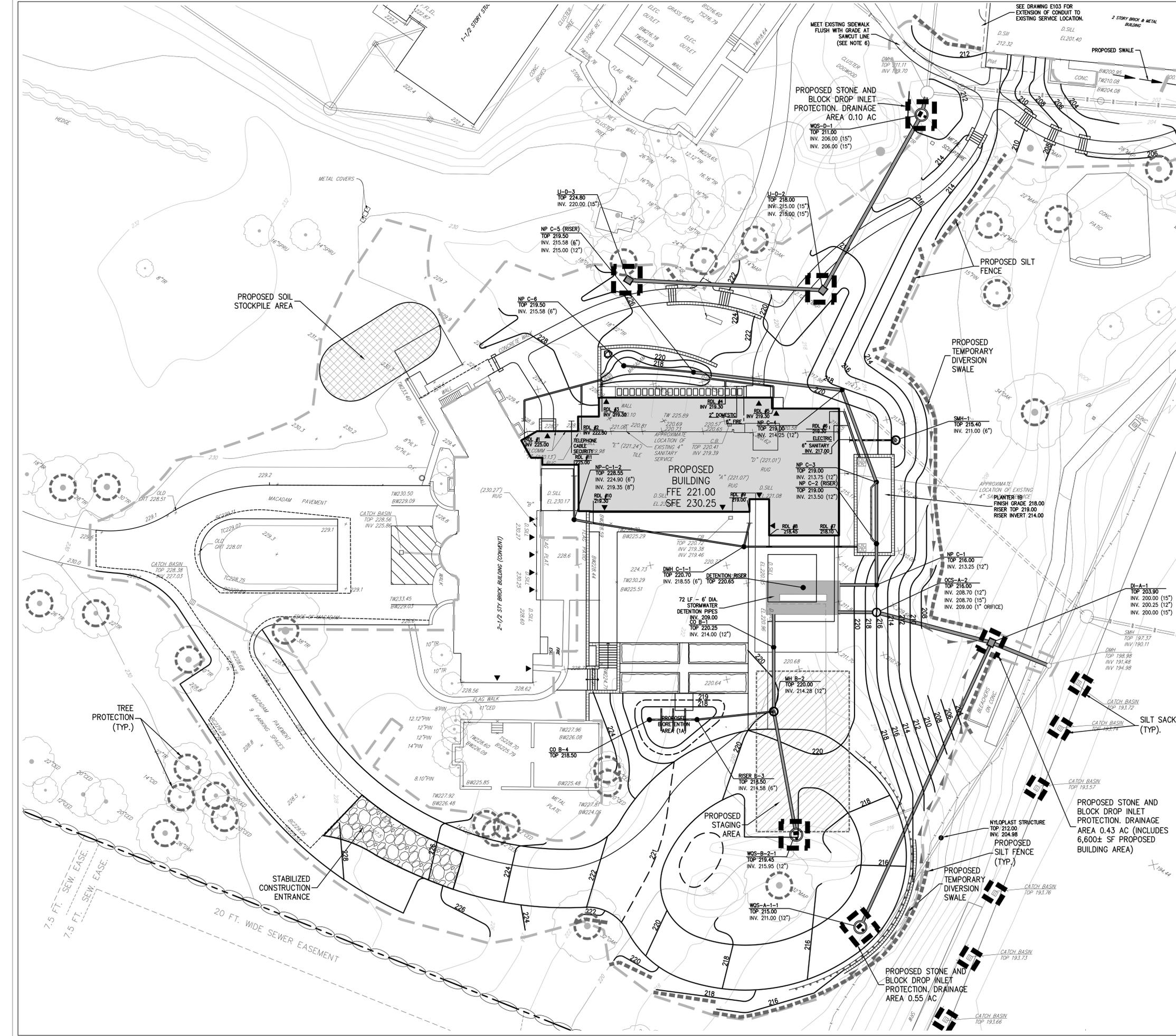
- PROPOSED SILT SACK
- PROPOSED INLET PROTECTION
- PROPOSED STAGING AREA
- PROPOSED CONSTRUCTION FENCE
- PROPOSED SILT FENCE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED SOIL STOCKPILE AREA
- PROPOSED TEMPORARY DIVERSION SWALE
- PROPOSED TREE PROTECTION

NOTES:

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC MAP," PREPARED BY WARD CARPENTER ENGINEERS INC., DATED FEBRUARY 26, 2018 AND UPDATED PER FIELD OBSERVATIONS BY JMC, AS WELL AS RECORD INFORMATION FROM PREVIOUS PROJECTS AT THE SCHOOL.
2. THIS PLAN IS FOR TEMPORARY EROSION AND SEDIMENT CONTROL INFORMATION ONLY.
3. PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE PLANS AND SPECIFICATIONS. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN.
4. THE CONTRACTOR SHALL INSPECT AND MAINTAIN ON-SITE EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY AS REQUIRED TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIERS. ALL SEDIMENT COLLECTED SHALL BE RESPAID ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNERS REPRESENTATIVE.
5. THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS, AFTER EACH RAINSTORM, AND AS MAY BE REQUIRED OR DIRECTED BY ALL APPLICABLE APPROVALS AND PERMITS. THE CONTRACTOR SHALL IMMEDIATELY PROVIDE A WRITTEN REPORT ON FINDINGS OF SEDIMENT IN DOWNSTREAM AREAS TO ALL AUTHORITIES HAVING JURISDICTION AND MAKE REPAIRS AS REQUIRED OR DIRECTED.
6. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED/WARRANTED BY FIELD CONDITIONS AND AS DIRECTED BY THE OWNERS REPRESENTATIVE, JMC, AND/OR ANY AUTHORITY HAVING JURISDICTION.
7. STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED ON THIS PLAN OR AS APPROVED BY THE OWNERS REPRESENTATIVE. STOCKPILED EXCAVATED MATERIAL SHALL HAVE TWO ROWS OF SILT FENCE LOCATED AROUND ITS PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPEDE ON PEDESTRIAN AND/OR VEHICULAR TRAFFIC CIRCULATION ROUTES.
7. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNERS REPRESENTATIVE.
8. ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
9. THE STORMWATER SYSTEM MUST BE INSPECTED DURING CONSTRUCTION BY A NY'S LICENSED PROFESSIONAL ENGINEER AND THAT ENGINEER MUST PROVIDE A CERTIFICATION OF CONSTRUCTION COMPLIANCE TO THE TOWN OF HARRISON ENGINEERING DEPARTMENT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
10. EROSION AND SEDIMENT CONTROL INSPECTION REPORTING SHALL FOLLOW THE REGULATIONS SET BY THE NYSDEC MANUAL.
11. AS-BUILT DRAWINGS SHALL BE PROVIDED TO THE TOWN OF HARRISON ENGINEERING DEPARTMENT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

SEQUENCE OF CONSTRUCTION

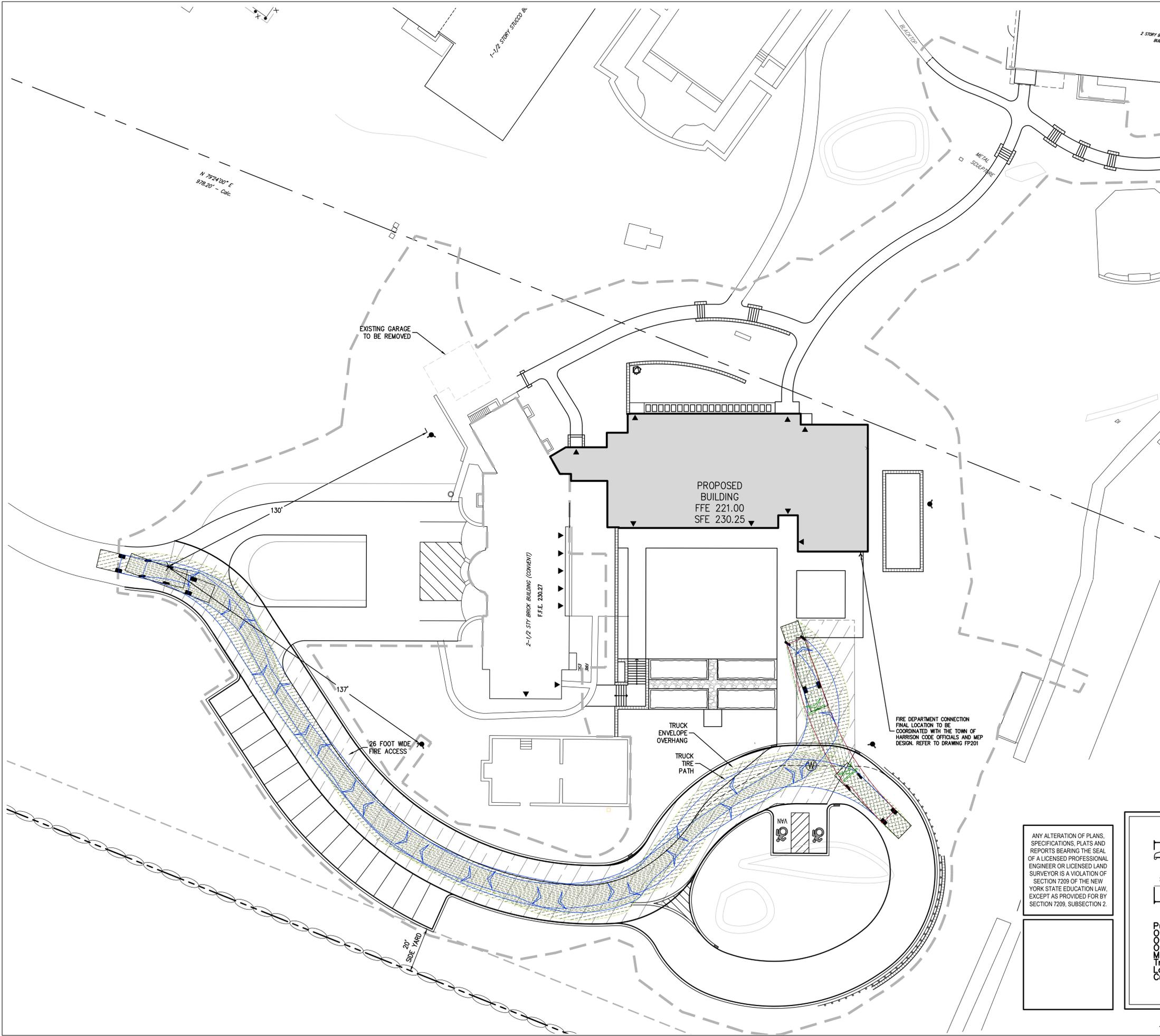
- CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL FIRST BE PROTECTED WITH SEDIMENT EROSION CONTROLS AS INDICATED ON THIS PLAN. PARTICULAR REQUIREMENTS ARE GIVEN AS FOLLOWS:
1. DEMOLITION OF EXISTING BUILDINGS AS REQUIRED.
 2. INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN.
 3. CLEAR UNDEVELOPED PORTION OF PROPERTY WHICH IS TO BE DEVELOPED.
 4. STRIP AND STOCKPILE TOPSOIL.
 5. BEGIN BUILDING AND PARKING LOT CONSTRUCTION, ROUGH GRADING.
 6. INSTALL STORM DRAIN SYSTEM COMPLETE (IMMEDIATELY INSTALL HAYBALE FILTERS ON ALL INLETS).
 7. INSTALL PUBLIC UTILITIES (GAS, ELECTRIC AND TELEPHONE) AS REQUIRED.
 8. INSTALL CONCRETE AND ASPHALT CONCRETE PAVEMENT COMPLETE.
 9. FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPING.
 10. CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
 11. COMPLETE SITE AND BUILDING CONSTRUCTION.



No.	Date	Issue
7	08/12/2021	ISSUED FOR CONSTRUCTION
6	06/25/2021	ISSUED FOR PERMIT
5	09/18/2020	REVISED FOR LDA
4	05/08/2020	90% CONSTRUCTION DOCUMENTS
3	02/25/2020	REVISED FOR TBPB APPROVAL
2	02/21/2020	DESIGN DEVELOPMENT
1	11/26/2019	SITE PLAN SUBMISSION

No.	Date	Issue
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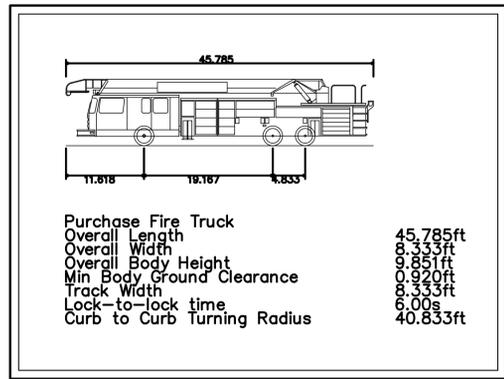
Job No.	JMC-19067	Date	11/26/2019
Scale	1"=20'	Drawn / Checked	DCJ/AR
Sheet Number	C400		



LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING EASEMENT LINE
	EXISTING ROADWAY CENTER LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED RETAINING WALL (DESIGNED BY OTHERS)
	PROPOSED SIDEWALK/PATH (SEE NOTE 2)
	PROPOSED GUIDERAIL
	PROPOSED MILL AND RESURFACE PAVEMENT
	PROPOSED HEAVY DUTY PAVEMENT
	PROPOSED GRASS PAVER SURFACE
	PROPOSED EXTENDED CURB

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PURCHASE FIRE TRUCK PROFILE

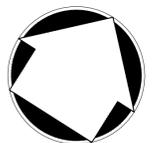
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**JMC Planning Engineering
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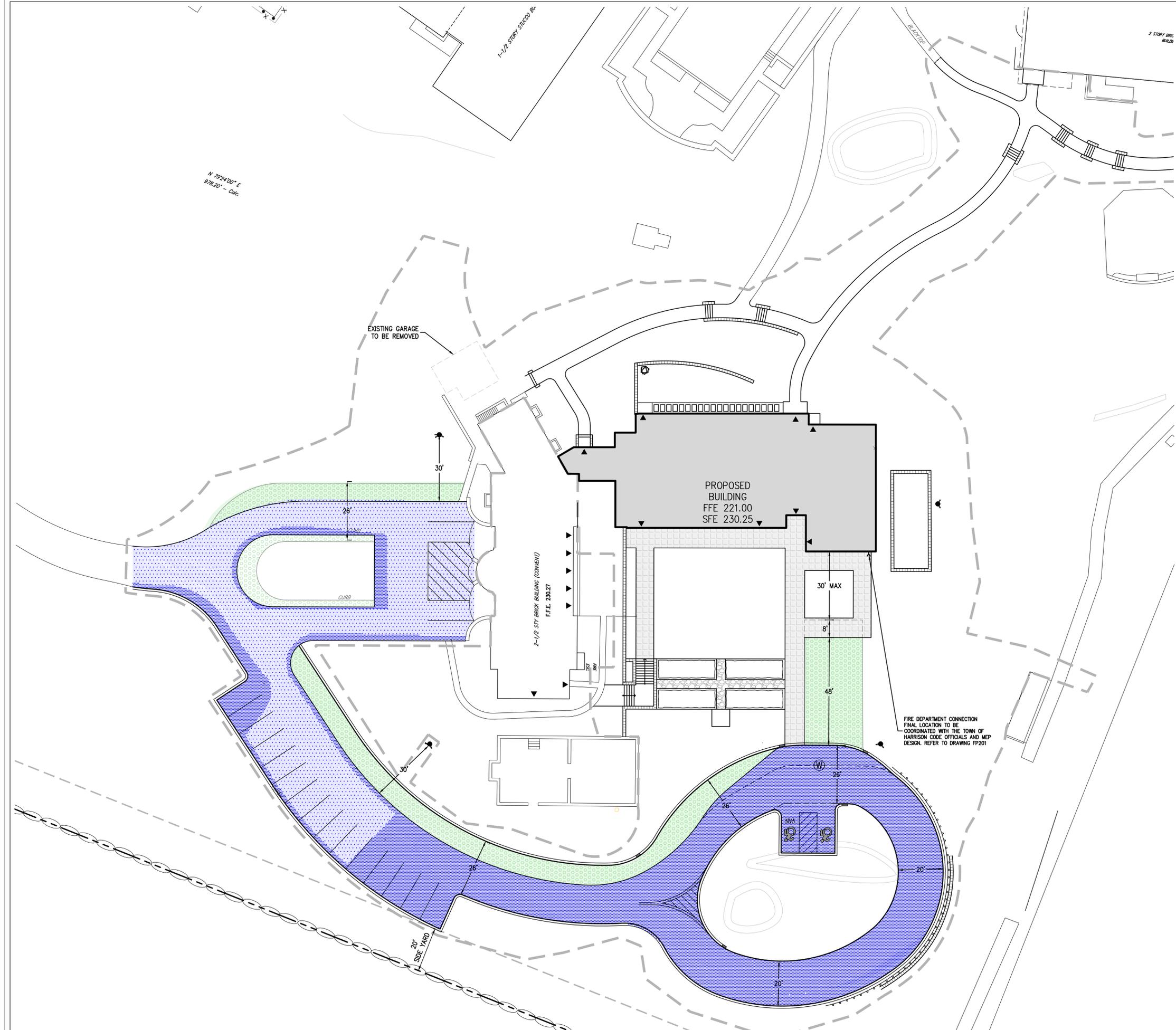
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1	02/21/2020	DESIGN DEVELOPMENT

Fire Safety Plan	
Job No.	Date
JMC-19067	02/21/2020
Scale	Drawn / Checked
1"=20'	DC/JAR
Sheet Number	

C601



LEGEND

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING WETLAND BUFFER
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED EASEMENT LINE
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED STORM DRAIN LINE & SIZE
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED SUBSURFACE DRAINAGE OUTLET CONTROL STRUCTURE
	PROPOSED CLEANOUT
	PROPOSED HYDRANT
	PROPOSED END SECTION
	PROPOSED RIP-RAP
	PROPOSED NYOPLAST DRAINAGE STRUCTURE
	PROPOSED LIMIT OF DISTURBANCE

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LEGEND

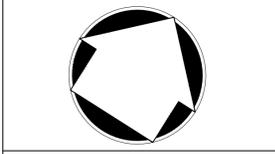
	PROPOSED FULL DEPTH PAVEMENT
	PROPOSED MILL AND RESURFACE PAVEMENT
	PROPOSED HARDENED SURFACE
	PROPOSED SIDEWALK ADEQUATE TO SUPPORT FIRE TRUCK

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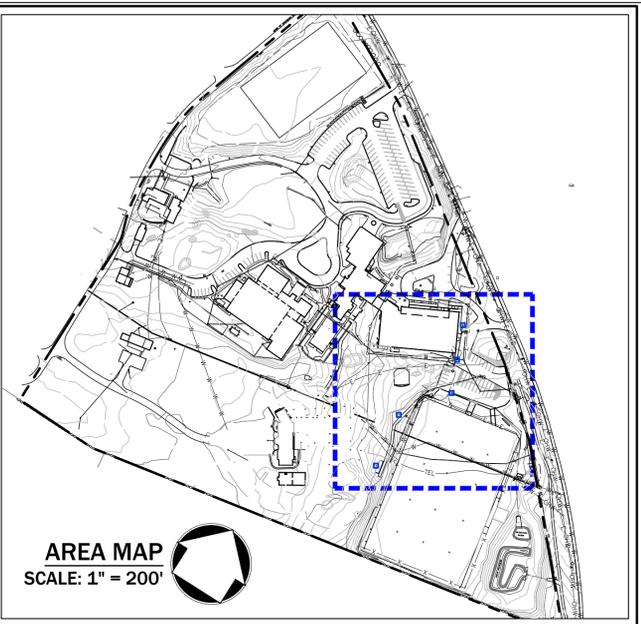
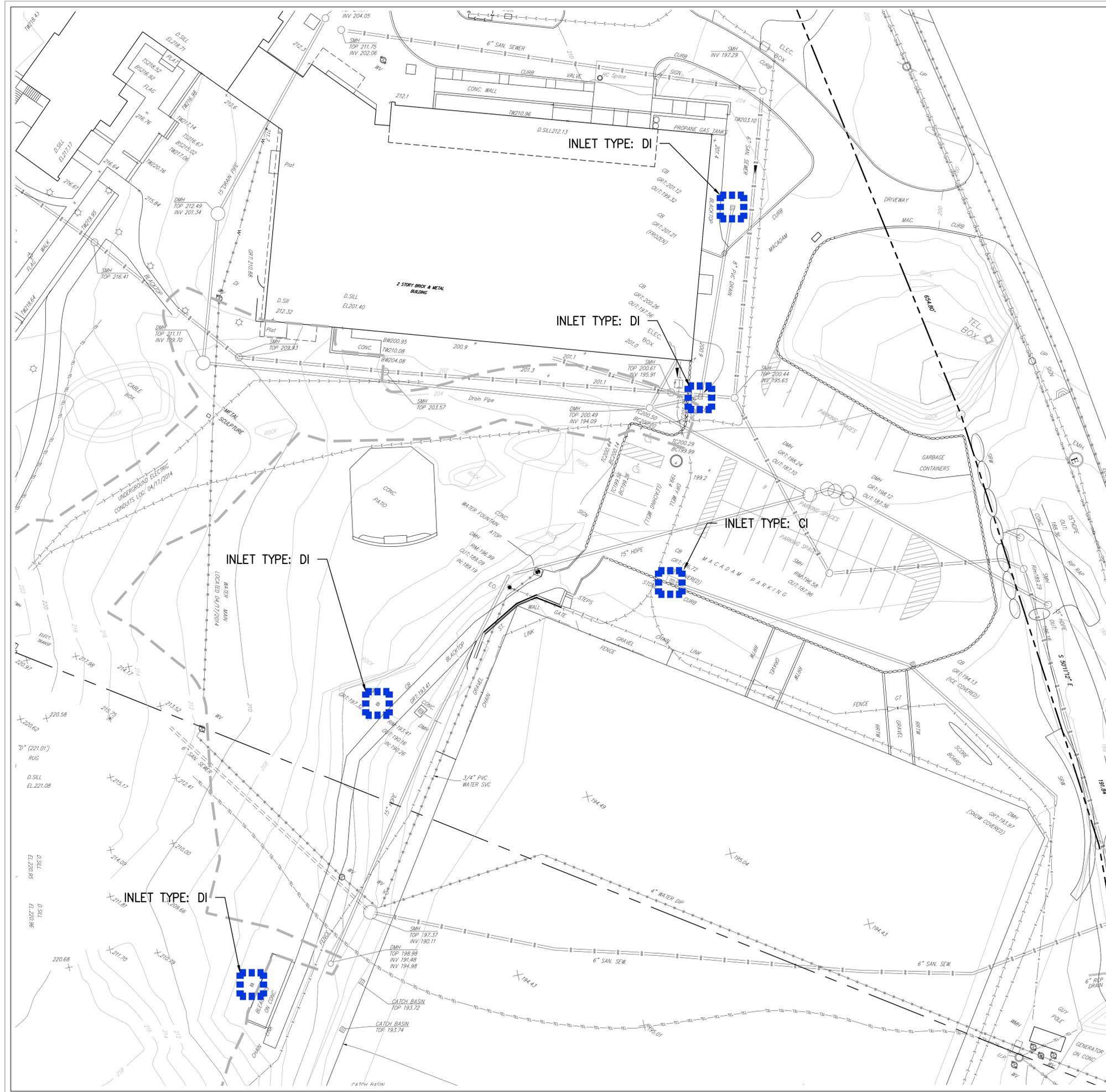
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1	02/21/2020	DESIGN DEVELOPMENT
No.	Date	Issue

**Fire Vehicle
 Access Plan**

Job No.	JMC-19067	Date	02/21/2020
Scale	1"=20'	Drawn / Checked	DC/JAR

Sheet Number
C602

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LEGEND

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING TELEPHONE LINE
	EXISTING ELECTRIC LINE
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN

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 - SEE DRAWING C000 FOR ADDITIONAL NOTES ASSOCIATED WITH WORK SHOWN HEREON.
 - THE CONTRACTOR SHALL INSTALL "FLEXSTORM PURE" PERMANENT INLET PROTECTION AS MANUFACTURED BY ADS IN A TOTAL OF 5 EXISTING STRUCTURES IN THE LOCATIONS SHOWN ON THIS PLAN. THE TYPE CI STRUCTURES SHALL HAVE MODEL 62XLHD WITH PC BAGS AND THE DI TYPE STRUCTURES SHALL HAVE MODEL 62LHD WITH PC BAG.
 - CONTRACTOR SHALL MEASURE STRUCTURES PRIOR TO ORDERING PROPOSED INLET PROTECTION TO CONFIRM PROPER FIT. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND JMC IN WRITING.

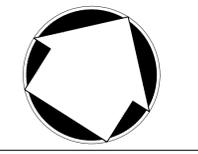
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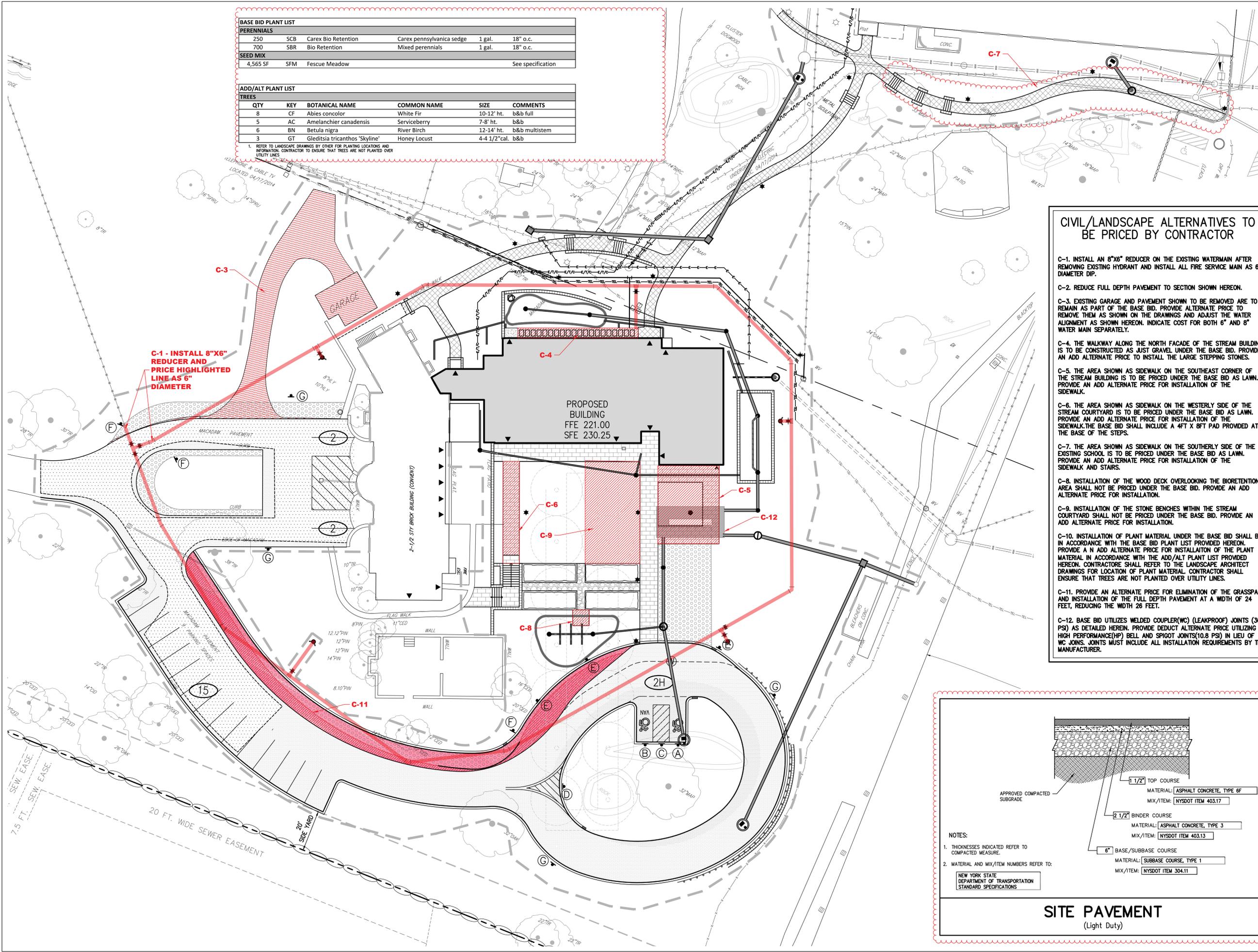
**Water Quality
 Improvement Plan**

Job No.	JMC-19067	Date	02/25/2020
Scale	1"=20'	Drawn / Checked	DC/JAR
Sheet Number	C700		

BASE BID PLANT LIST					
PERENNIALS					
250	SCB	Carex Bio Retention	Carex pennsylvanica sedge	1 gal.	18" o.c.
700	SBR	Bio Retention	Mixed perennials	1 gal.	18" o.c.
SEED MIX					
4,565 SF	SFM	Fescue Meadow			See specification

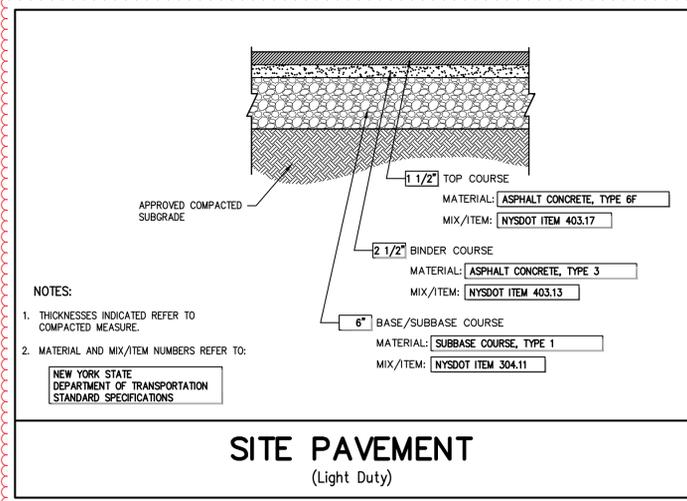
ADD/ALT PLANT LIST					
TREES					
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
8	CF	Abies concolor	White Fir	10-12' ht.	b&b full
5	AC	Amelanchier canadensis	Serviceberry	7-8' ht.	b&b
6	BN	Betula nigra	River Birch	12-14' ht.	b&b multistem
3	GT	Gleditsia tricanthos 'Skyline'	Honey Locust	4-4 1/2' cal.	b&b

1. REFER TO LANDSCAPE DRAWINGS BY OTHER FOR PLANTING LOCATIONS AND INFORMATION. CONTRACTOR TO ENSURE THAT TREES ARE NOT PLANTED OVER UTILITY LINES.



CIVIL/LANDSCAPE ALTERNATIVES TO BE PRICED BY CONTRACTOR

- C-1. INSTALL AN 8"x6" REDUCER ON THE EXISTING WATERMAIN AFTER REMOVING EXISTING HYDRANT AND INSTALL ALL FIRE SERVICE MAIN AS 6" DIAMETER DIP.
- C-2. REDUCE FULL DEPTH PAVEMENT TO SECTION SHOWN HEREON.
- C-3. EXISTING GARAGE AND PAVEMENT SHOWN TO BE REMOVED ARE TO REMAIN AS PART OF THE BASE BID. PROVIDE ALTERNATE PRICE TO REMOVE THEM AS SHOWN ON THE DRAWINGS AND ADJUST THE WATER ALIGNMENT AS SHOWN HEREON. INDICATE COST FOR BOTH 6" AND 8" WATER MAIN SEPARATELY.
- C-4. THE WALKWAY ALONG THE NORTH FACADE OF THE STREAM BUILDING IS TO BE CONSTRUCTED AS JUST GRAVEL UNDER THE BASE BID. PROVIDE AN ADD ALTERNATE PRICE TO INSTALL THE LARGE STEPPING STONES.
- C-5. THE AREA SHOWN AS SIDEWALK ON THE SOUTHEAST CORNER OF THE STREAM BUILDING IS TO BE PRICED UNDER THE BASE BID AS LAWN. PROVIDE AN ADD ALTERNATE PRICE FOR INSTALLATION OF THE SIDEWALK.
- C-6. THE AREA SHOWN AS SIDEWALK ON THE WESTERLY SIDE OF THE EXISTING SCHOOL IS TO BE PRICED UNDER THE BASE BID AS LAWN. PROVIDE AN ADD ALTERNATE PRICE FOR INSTALLATION OF THE SIDEWALK. THE BASE BID SHALL INCLUDE A 4FT X 8FT PAD PROVIDED AT THE BASE OF THE STEPS.
- C-7. THE AREA SHOWN AS SIDEWALK ON THE SOUTHERLY SIDE OF THE EXISTING SCHOOL IS TO BE PRICED UNDER THE BASE BID AS LAWN. PROVIDE AN ADD ALTERNATE PRICE FOR INSTALLATION OF THE SIDEWALK AND STAIRS.
- C-8. INSTALLATION OF THE WOOD DECK OVERLOOKING THE BIORETENTION AREA SHALL NOT BE PRICED UNDER THE BASE BID. PROVIDE AN ADD ALTERNATE PRICE FOR INSTALLATION.
- C-9. INSTALLATION OF THE STONE BENCHES WITHIN THE STREAM COURTYARD SHALL NOT BE PRICED UNDER THE BASE BID. PROVIDE AN ADD ALTERNATE PRICE FOR INSTALLATION.
- C-10. INSTALLATION OF PLANT MATERIAL UNDER THE BASE BID SHALL BE IN ACCORDANCE WITH THE BASE BID PLANT LIST PROVIDED HEREON. PROVIDE AN ADD ALTERNATE PRICE FOR INSTALLATION OF THE PLANT MATERIAL IN ACCORDANCE WITH THE ADD/ALT PLANT LIST PROVIDED HEREON. CONTRACTOR SHALL REFER TO THE LANDSCAPE ARCHITECT DRAWINGS FOR LOCATION OF PLANT MATERIAL. CONTRACTOR SHALL ENSURE THAT TREES ARE NOT PLANTED OVER UTILITY LINES.
- C-11. PROVIDE AN ALTERNATE PRICE FOR ELIMINATION OF THE GRASSPAVE AND INSTALLATION OF THE FULL DEPTH PAVEMENT AT A WIDTH OF 24 FEET, REDUCING THE WIDTH 26 FEET.
- C-12. BASE BID UTILIZES WELDED COUPLER(WC) (LEAKPROOF) JOINTS (30 PSI) AS DETAILED HEREIN. PROVIDE DEDUCT ALTERNATE PRICE UTILIZING HIGH PERFORMANCE(HP) BELL AND SPIGOT JOINTS(10.8 PSI) IN LIEU OF WC JOINS. JOINTS MUST INCLUDE ALL INSTALLATION REQUIREMENTS BY THE MANUFACTURER.



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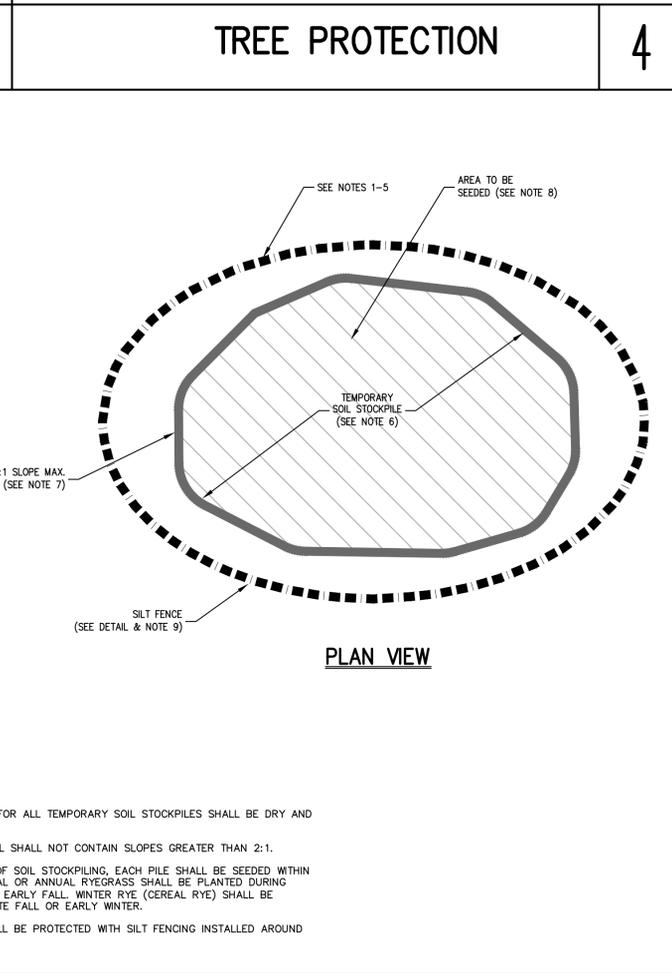
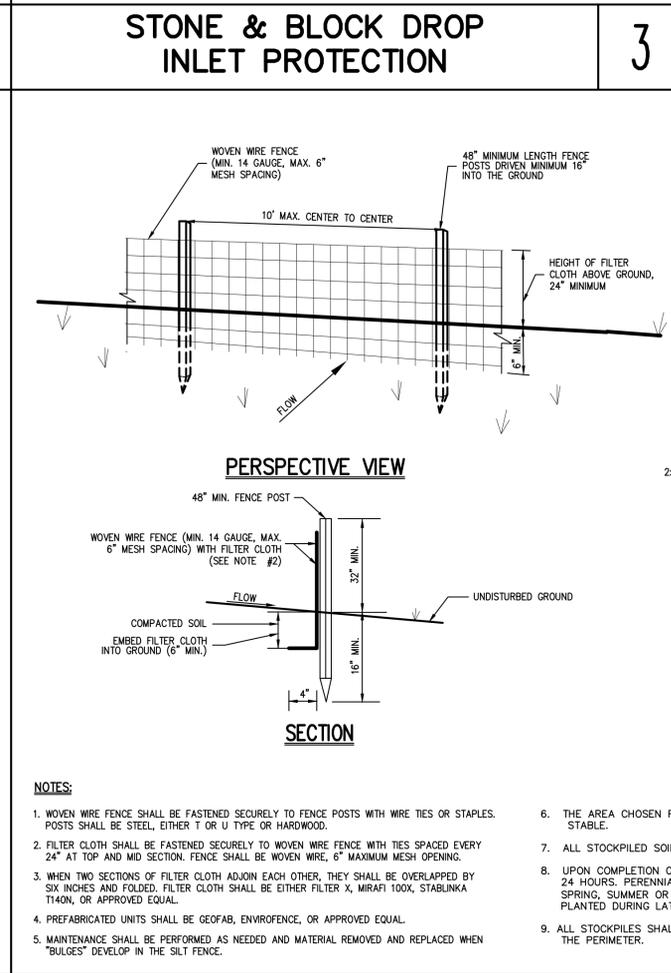
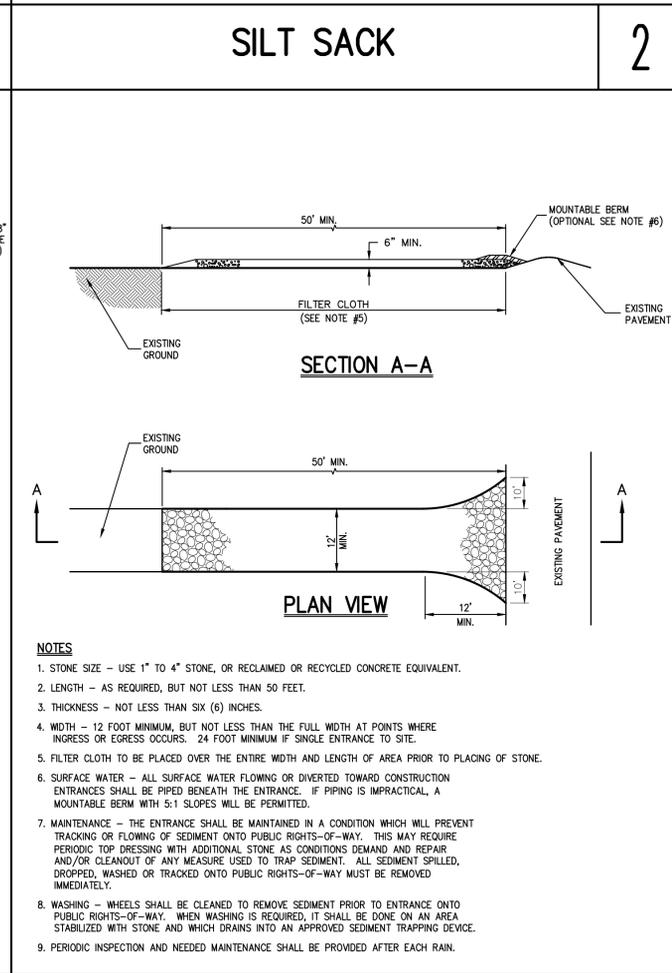
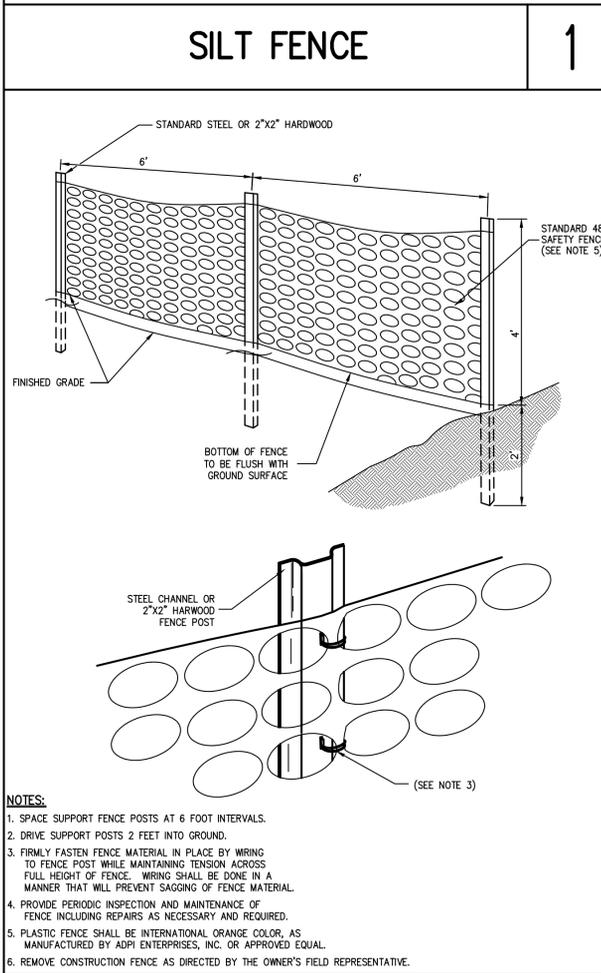
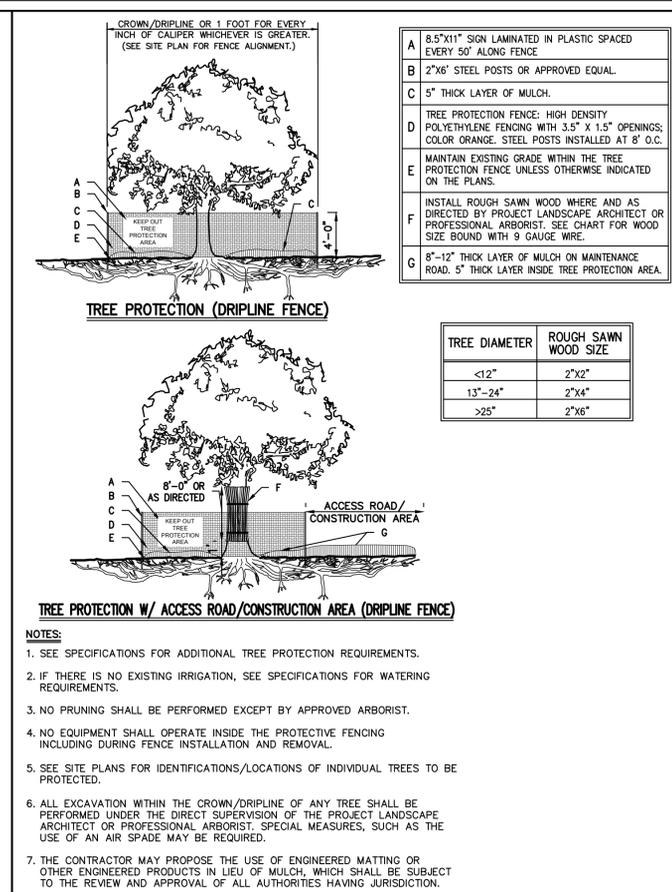
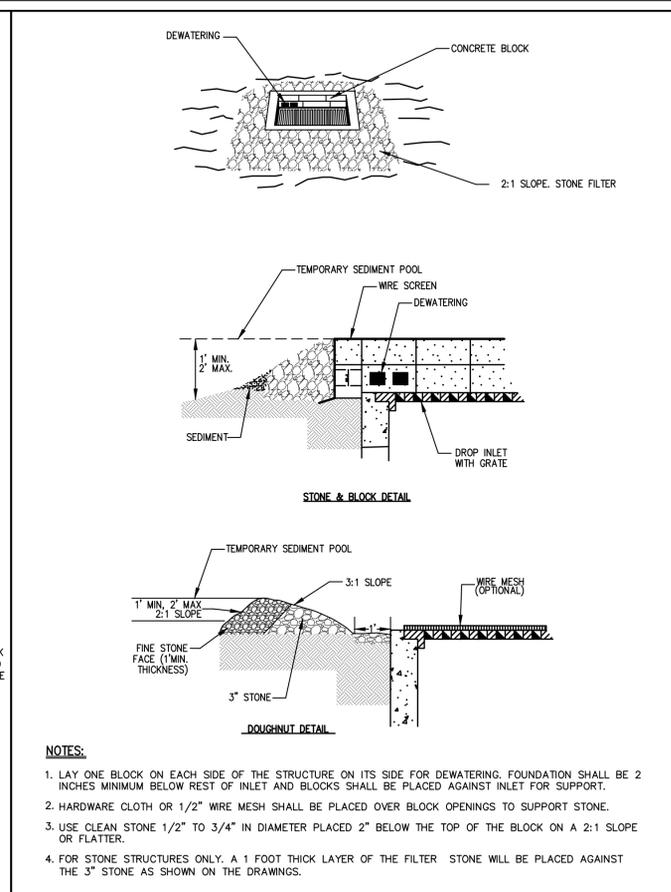
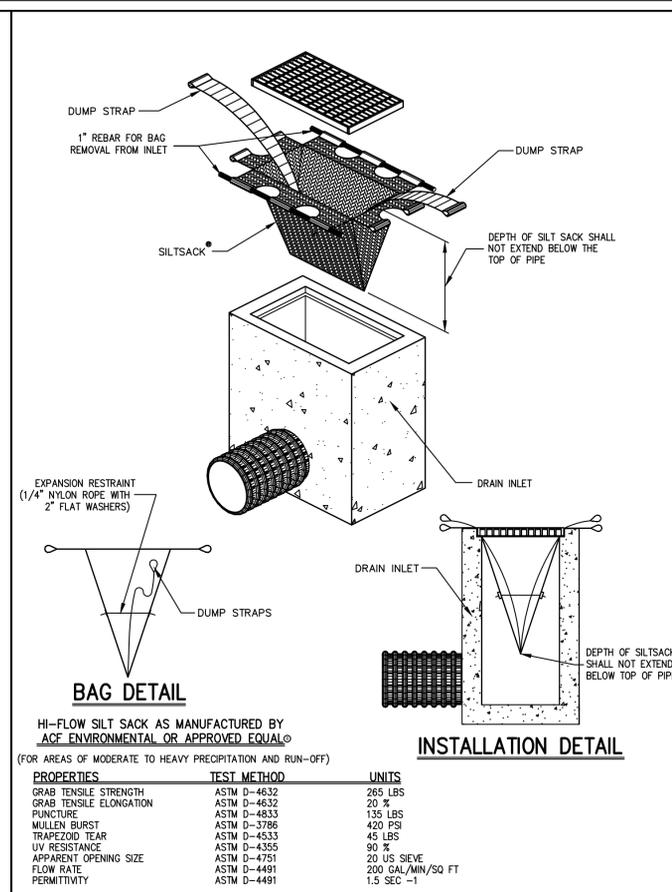
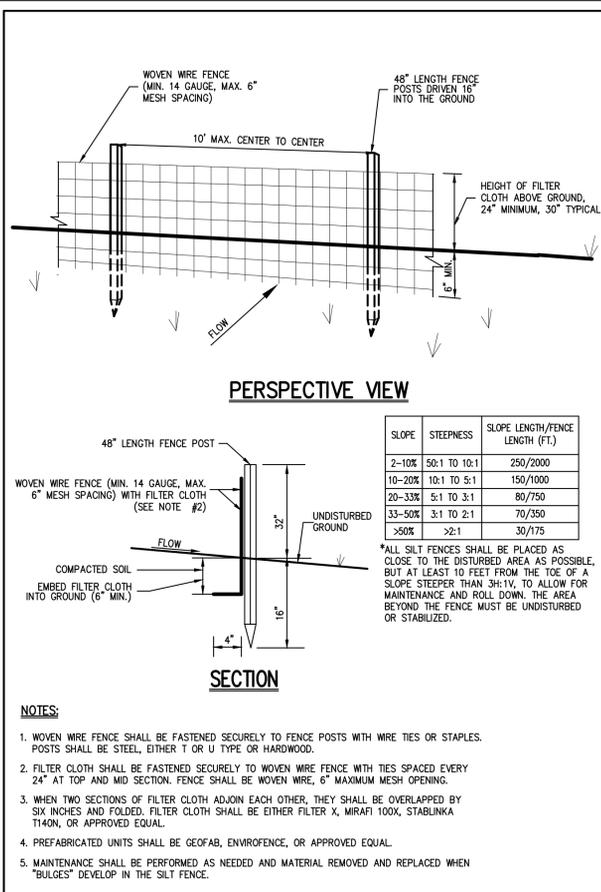
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2	08/12/2021	ISSUED FOR CONSTRUCTION
1	05/08/2020	90% CONSTRUCTION DOCUMENTS
No.	Date	Issue

Civil and Landscape Alternatives Plan

Job No.	JMC-19067	Date	05/08/2020
Scale	1"=20'	Drawn / Checked	DC/JAR

Sheet Number
C800



CONSTRUCTION FENCE **5**

STABILIZED CONSTRUCTION ACCESS **6**

TEMPORARY SOIL STOCKPILE WITH SILT FENCE **7**

TEMPORARY SOIL STOCKPILE WITH SILT FENCE **7**

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KEY PLAN

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5	09/18/2020	REVISED FOR LDA
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3	02/25/2020	REVISED FOR TB/PB APPROVAL
2	02/21/2020	DESIGN DEVELOPMENT
1	11/26/2019	SITE PLAN SUBMISSION

Sheet Title

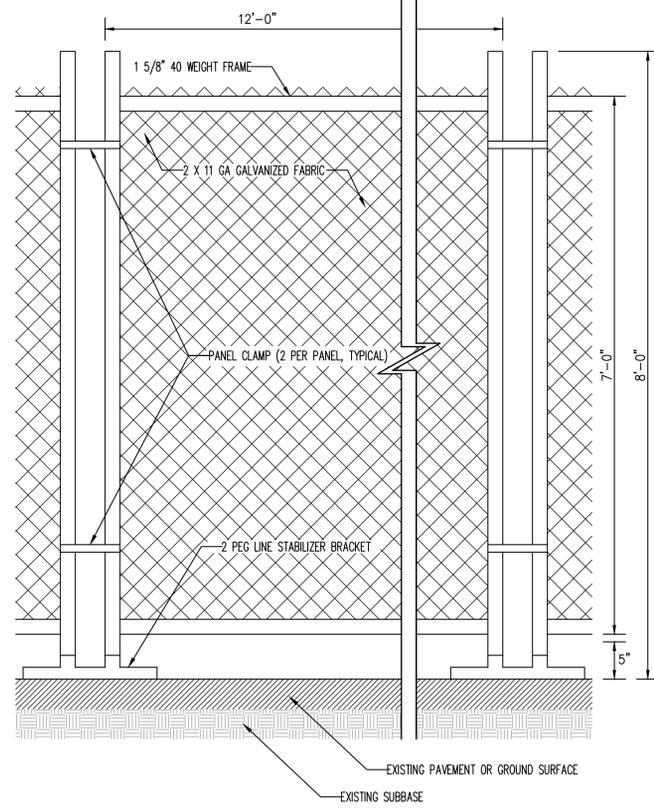
Construction Details

Job No.	Date
JMC-19067	11/26/2019

Scale	Drawn / Checked
N.T.S.	DC/JAR

Sheet Number

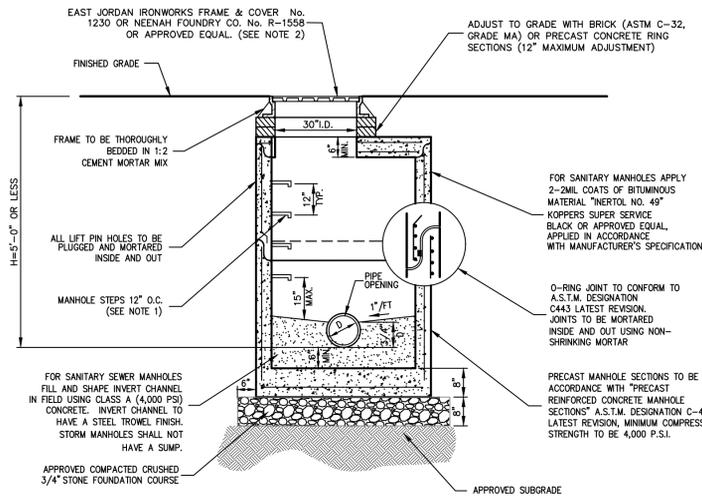
C900



- NOTES:**
- HOT DIPPED GALVANIZED STABILIZER BRACKET TO BE STEEL PIPE.
 - PROVIDE GATES AS REQUIRED.

TEMPORARY CHAIN LINK CONSTRUCTION FENCE

8

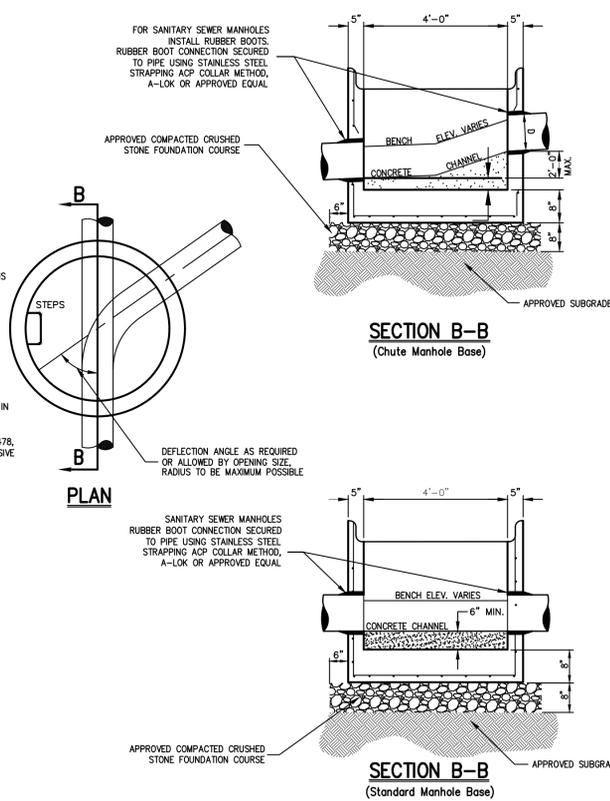


- NOTES:**
- MANHOLE STEPS SHALL BE CAST IRON NENEAH No. R-1981-0 OR CAMPBELL FOUNDRY No. 2588-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.
 - UNLESS OTHERWISE SPECIFIED, SANITARY SEWER MANHOLES SHALL HAVE LETTERS "SEWER" AND STORM DRAIN MANHOLES SHALL HAVE LETTERS "DRAIN" CAST ON COVER. THE COVERS SHALL HAVE VENT HOLES.
 - MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS.
 - SEE "NOTES PERTAINING TO MANHOLES" UNDER "UTILITY NOTES" ON DRAWING C-901.

MANHOLE (TYPE A)

(H < 5'-0")

9

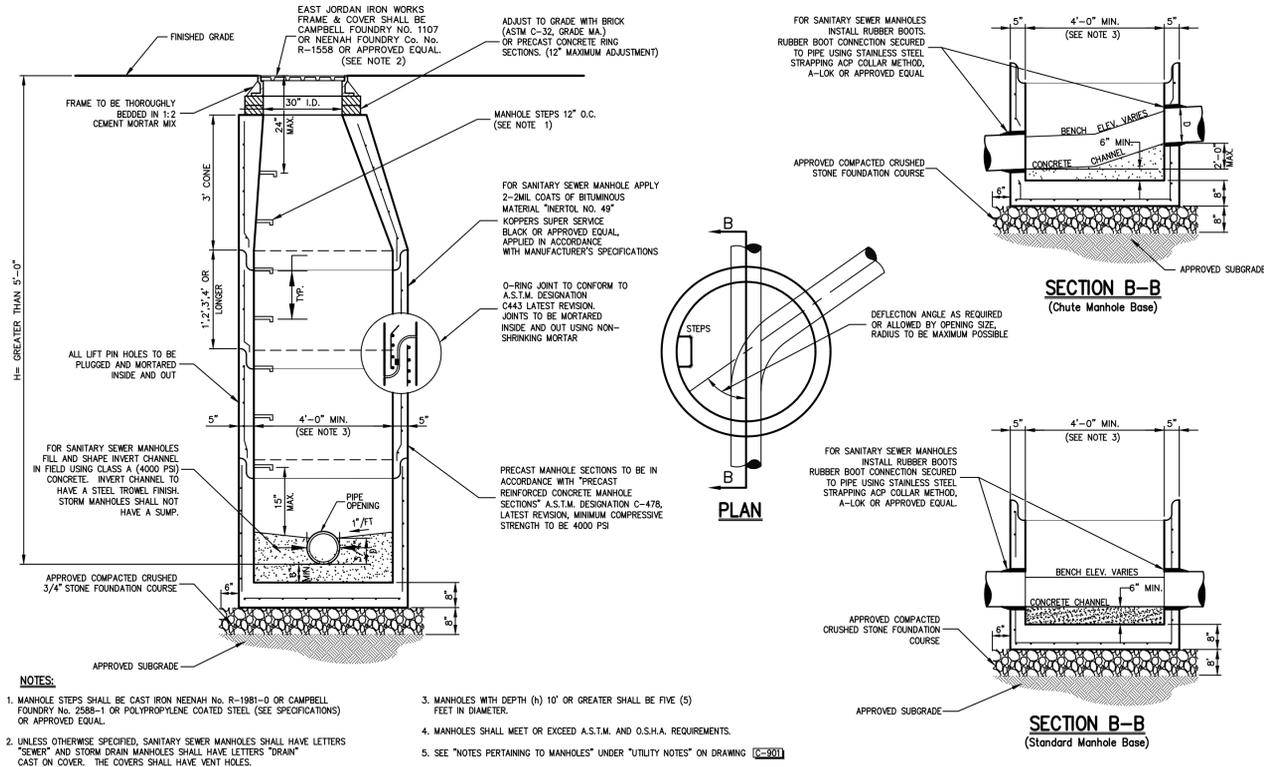


NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR STORM DRAINS, SANITARY SEWERS AND WATER LINES

- C-1 ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
- C-2 STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.

UTILITY NOTES

10



- NOTES:**
- MANHOLE STEPS SHALL BE CAST IRON NENEAH No. R-1981-0 OR CAMPBELL FOUNDRY No. 2588-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.
 - UNLESS OTHERWISE SPECIFIED, SANITARY SEWER MANHOLES SHALL HAVE LETTERS "SEWER" AND STORM DRAIN MANHOLES SHALL HAVE LETTERS "DRAIN" CAST ON COVER. THE COVERS SHALL HAVE VENT HOLES.
 - MANHOLES WITH DEPTH (H) 10' OR GREATER SHALL BE FIVE (5) FEET IN DIAMETER.
 - MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS.
 - SEE "NOTES PERTAINING TO MANHOLES" UNDER "UTILITY NOTES" ON DRAWING C-901.

MANHOLE (TYPE B)

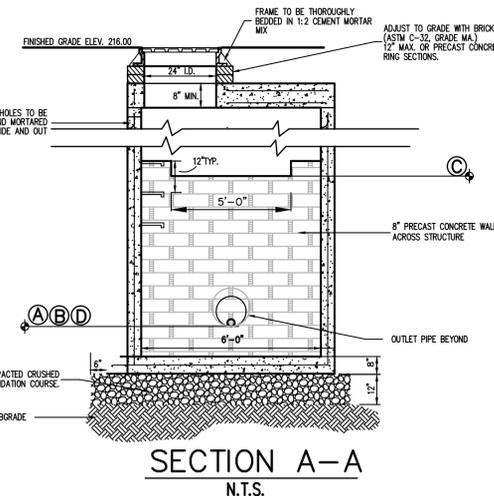
(H > 5'-0") < 10'-0")

11

SCHEDULE OF INVERTS

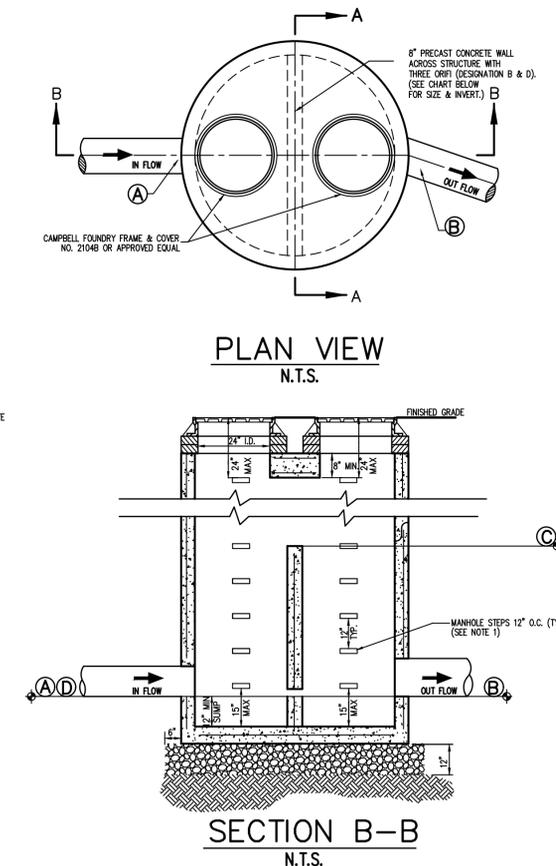
DESIGNATION	A		B		C		D	
	INLET	OUTLET	INLET	OUTLET	INLET	OUTLET	INLET	OUTLET
OCS-A-2	12" HDPE	208.70	15" HDPE	208.70	3'	214.40	1"	209.00

- NOTES:**
- STEPS SHALL BE CAST IRON NENEAH No. R-1981-0 OR CAMPBELL FOUNDRY No. 2588-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.
 - STRUCTURES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS.
 - STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE H-20 LOADING.



PRECAST CONCRETE OUTLET CONTROL STRUCTURE

12



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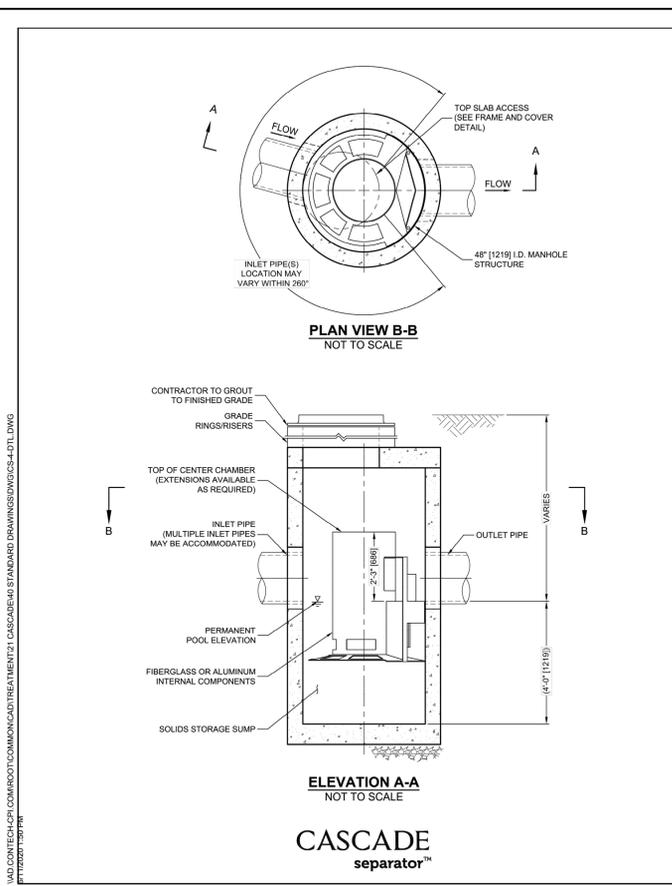
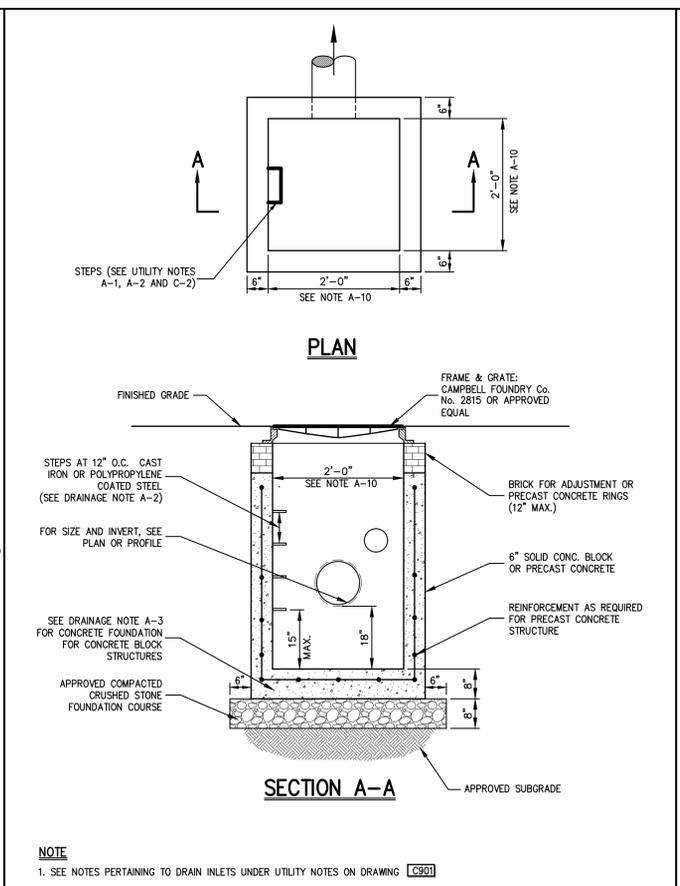
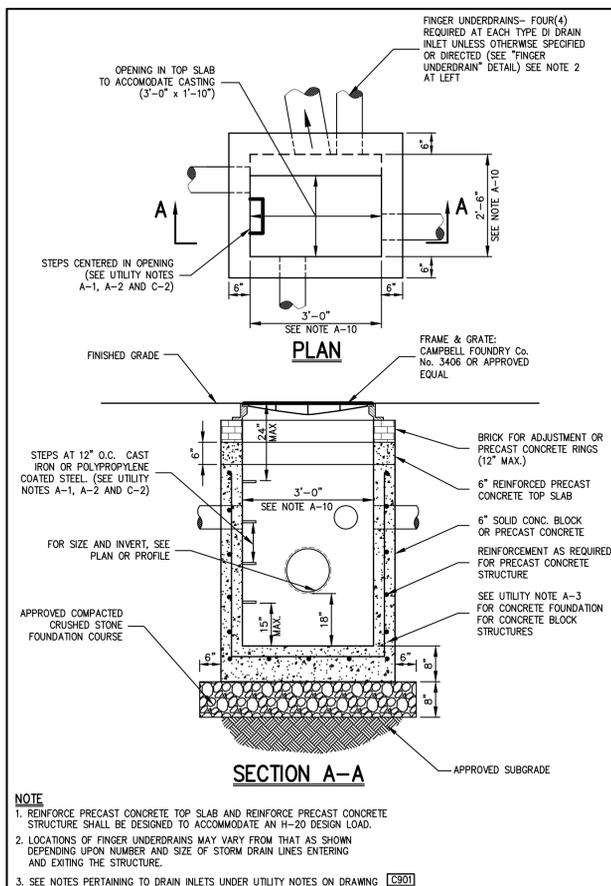
No. Date Issue

Construction Details

Job No.	JMC-19067	Date	11/26/2019
Scale	N.T.S.	Drawn / Checked	DC/JAR

Sheet Number

C901



CASCADE SEPARATOR DESIGN NOTES

THE STANDARD CS-4 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

GRATED INLET ONLY (NO INLET PIPE)

GRATED INLET WITH INLET PIPE OR PIPES

CURB INLET ONLY (NO INLET PIPE)

CURB INLET WITH INLET PIPE OR PIPES

SITE SPECIFIC DATA REQUIREMENTS				SITE SPECIFIC DATA REQUIREMENTS			
STRUCTURE ID	WQS-B-2-1	STRUCTURE ID	WQS-D-1	STRUCTURE ID	WQS-A-1-1	STRUCTURE ID	WQS-E-2
WATER QUALITY FLOW RATE (cfs [L/s])	0.09	WATER QUALITY FLOW RATE (cfs [L/s])	0.90	WATER QUALITY FLOW RATE (cfs [L/s])	0.43	WATER QUALITY FLOW RATE (cfs [L/s])	0.06
PEAK FLOW RATE (cfs [L/s])	0.55	PEAK FLOW RATE (cfs [L/s])	13.43	PEAK FLOW RATE (cfs [L/s])	3.93	PEAK FLOW RATE (cfs [L/s])	0.91
RETURN PERIOD OF PEAK FLOW (yrs)	100	RETURN PERIOD OF PEAK FLOW (yrs)	100	RETURN PERIOD OF PEAK FLOW (yrs)	100	RETURN PERIOD OF PEAK FLOW (yrs)	100
RIM ELEVATION	219.45	RIM ELEVATION	211.00	RIM ELEVATION	215.00	RIM ELEVATION	200.50
PIPE DATA:	INVERT	MATERIAL	DIAMETER	PIPE DATA:	INVERT	MATERIAL	DIAMETER
INLET PIPE 1	215.95	HDPE	12"	INLET PIPE 1	206.00	HDPE	15"
INLET PIPE 2				INLET PIPE 2	206.00	HDPE	15"
OUTLET PIPE				OUTLET PIPE			

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERING SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
- CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- CASCADE SEPARATOR STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0'-2' (B10), AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M200 AND BE CAST WITH THE CONTECH LOCK.
- CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
- ALTERNATE UNITS ARE SHOWN IN MILLIMETERS [mm].

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

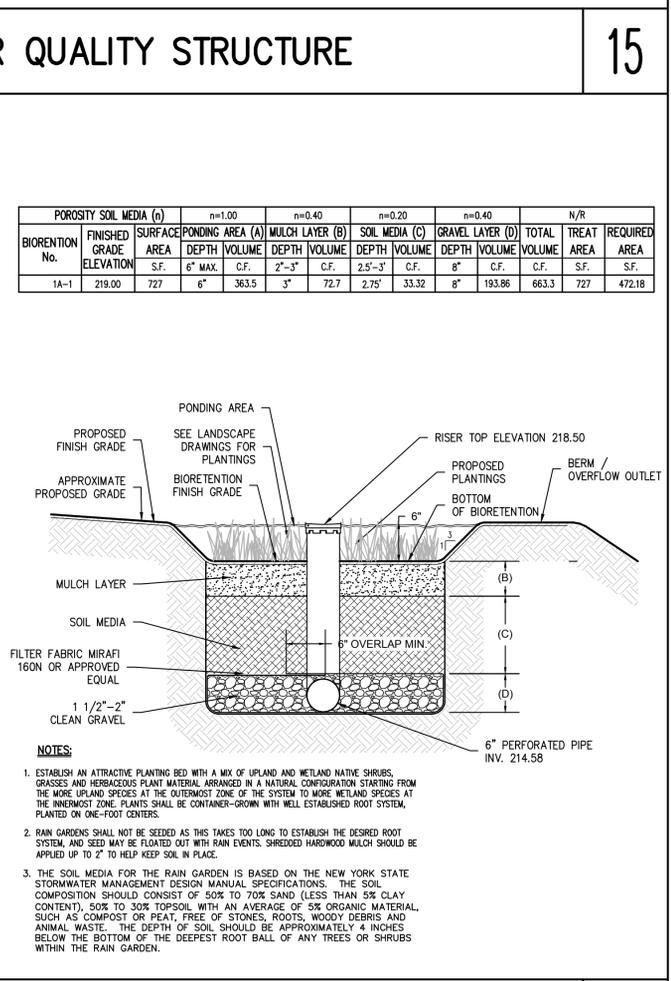
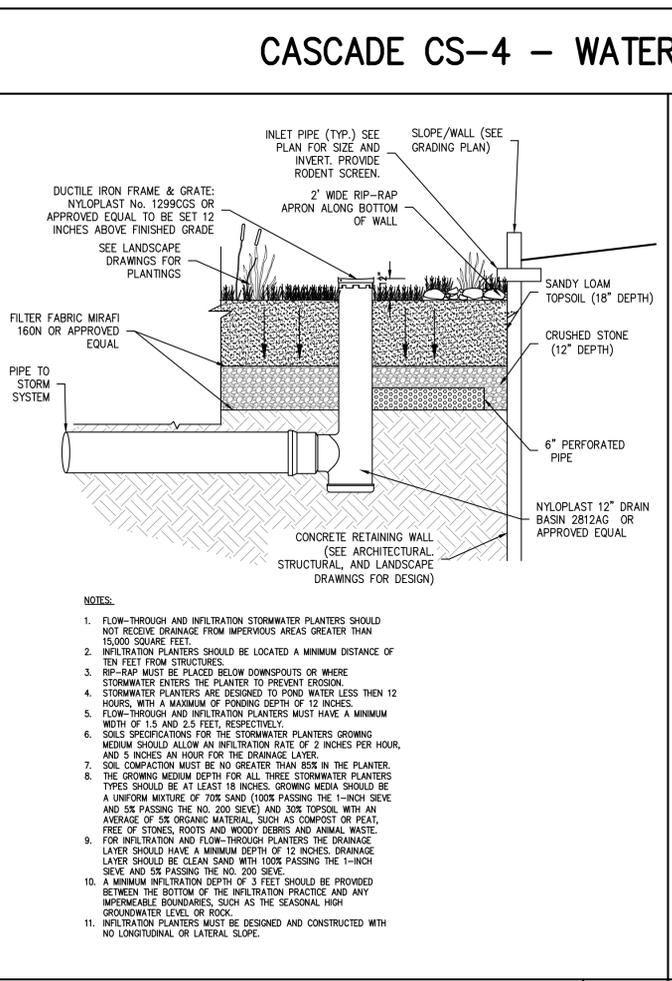
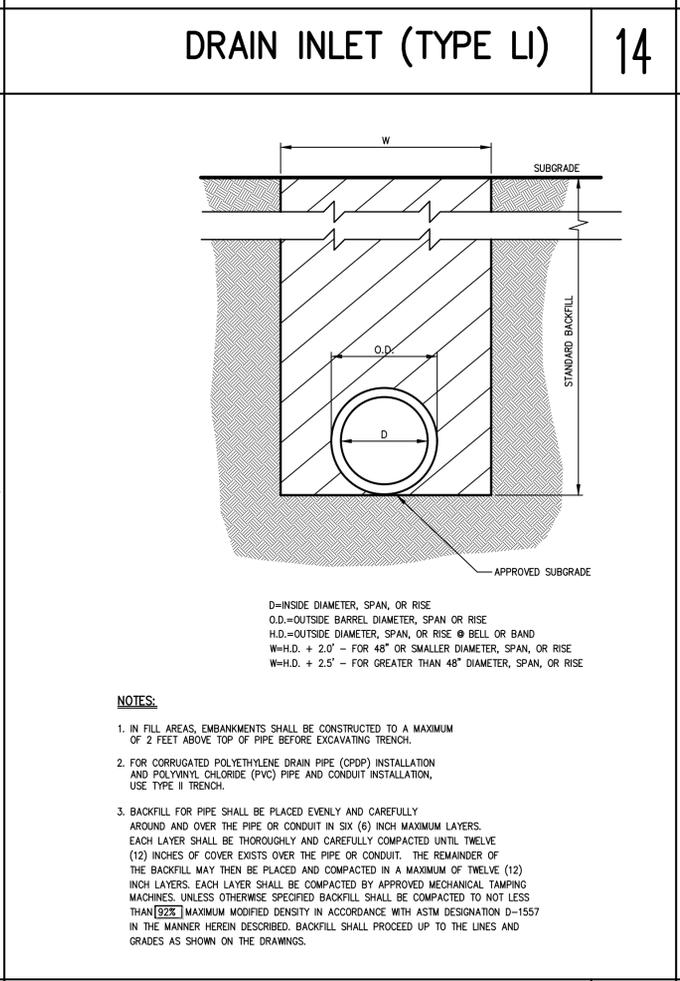
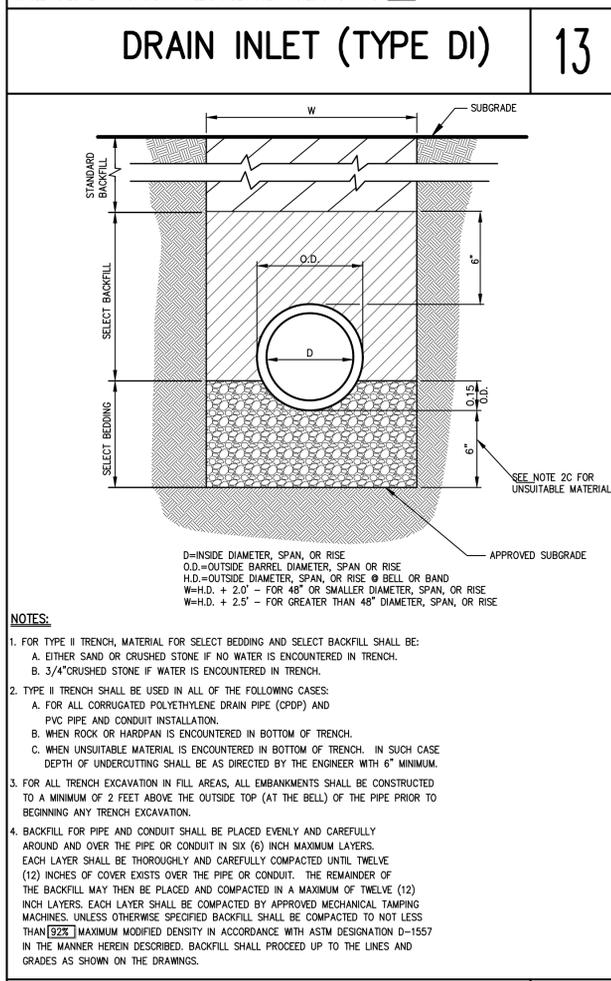
CONTECH ENGINEERED SOLUTIONS LLC

www.contechES.com

9035 Centre Pointe Dr., Suite 400, West Chester, OH 45399

800-338-1122 513-645-7000 513-645-7993 FAX

CS-4 CASCADE SEPARATOR STANDARD DETAIL



TYPE II TRENCH 16

TYPE I TRENCH (FLAT BOTTOM) 17

FLOW-THROUGH STORMWATER PLANTER 1B & 1C (WITH UNDER DRAIN) 18

BIORETENTION AREA 1A CROSS SECTION 19

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Sheet Title

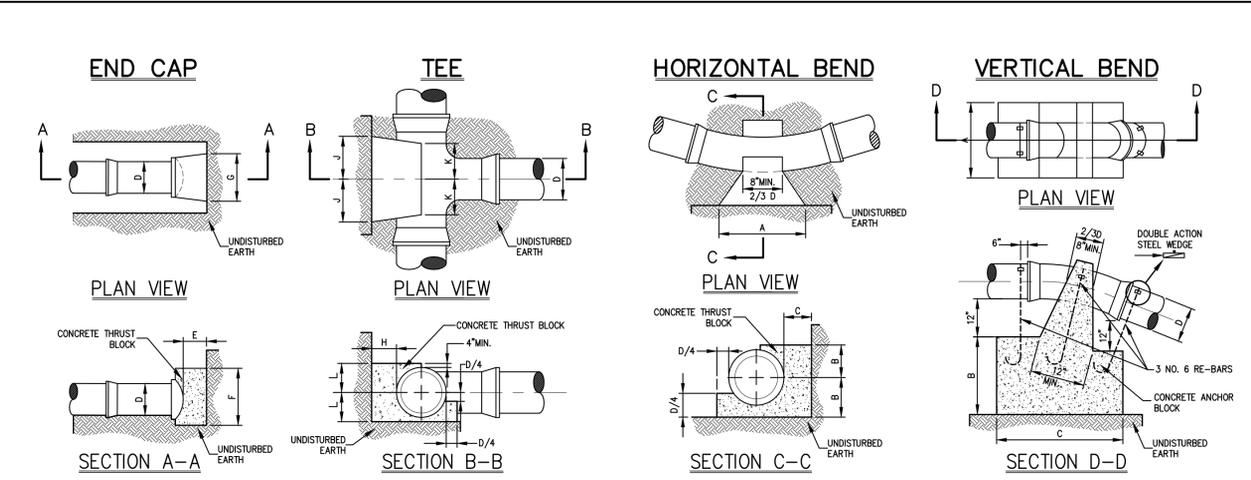
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Job No. JMC-19067 Date 11/26/2019

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Sheet Number

C902



END CAP CHART

D	4"	6"	8"	10"	12"
E	6"	6"	8"	8"	10"
F	12"	12"	1'-4"	1'-8"	2'-0"
G	1'-5"	1'-5"	2'-0"	2'-5"	3'-0"

TEE CHART

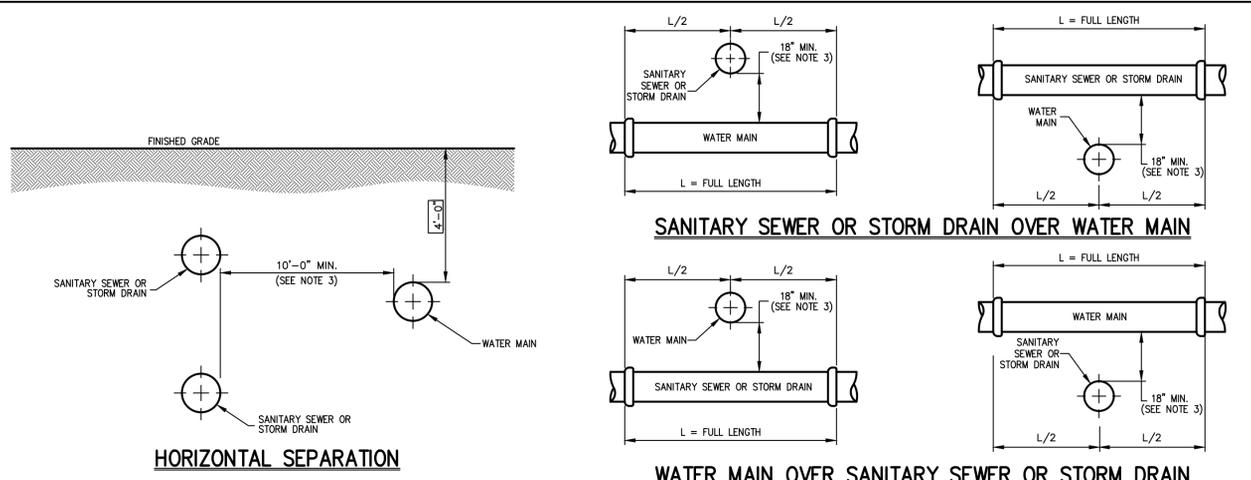
D	4"	6"	8"	10"	12"
H	6"	7"	9"	10"	12"
L	8"	8"	10"	12"	1'-3"
J	7"	7"	9"	12"	1'-2"
K	6"	6"	8"	8"	8"

HORIZONTAL BEND CHART

BEND (DEGREES)		DIAMETER (D)				
		4"	6"	8"	10"	12"
1/32 (14)	A	8"	8"	8"	10"	12"
	B	7"	7"	7"	8"	10"
	C	7"	7"	7"	8"	8"
	A	9"	9"	12"	1'-6"	1'-9"
1/16 (22)	B	7"	7"	8"	9"	10"
	C	8"	8"	9"	10"	11"
1/8 (4)	A	1'-3"	1'-3"	1'-8"	2'-1"	2'-6"
	B	7"	7"	8"	9"	11"
	C	8"	8"	9"	10"	11"
1/4 (8)	A	2'-0"	2'-0"	2'-6"	3'-0"	3'-6"
	B	7"	7"	9"	12"	1'-3"
	C	2'-0"	2'-0"	1'-9"	1'-8"	1'-7"

VERTICAL BEND CHART

BEND (DEGREES)		DIAMETER (D)					
		4"	6"	8"	10"	12"	16"
1/32 (14)	A	1'-6"	1'-6"	2'-0"	2'-6"	3'-0"	3'-6"
	B	1'-3"	1'-3"	1'-9"	1'-3"	2'-0"	2'-0"
	C	2'-0"	2'-0"	2'-6"	2'-9"	3'-0"	4'-0"
1/16 (22)	A	2'-0"	2'-0"	3'-4"	3'-8"	4'-0"	4'-0"
	B	1'-9"	1'-9"	2'-3"	2'-6"	2'-6"	2'-6"
	C	2'-6"	2'-6"	2'-8"	4'-0"	4'-0"	5'-6"
1/8 (4)	A	2'-6"	2'-6"	3'-0"	4'-0"	4'-6"	5'-2"
	B	2'-6"	2'-6"	2'-9"	3'-0"	3'-6"	4'-0"
	C	3'-0"	3'-0"	4'-0"	4'-6"	4'-9"	6'-6"



NOTES:

- NORMAL CONDITIONS:**
 - WHENEVER A WATER MAIN MUST CROSS OVER OR UNDER A SANITARY SEWER OR STORM DRAIN, THE PIPES SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION BETWEEN THEM OF AT LEAST 18 INCHES, AS MEASURED FROM THE BOTTOM OF THE HIGHER PIPE TO THE CROWN OF THE LOWER PIPE.
 - FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
- WATER MAIN CROSSING UNDER SANITARY SEWERS:**
 - VERTICAL SEPARATION OF 18 INCHES MUST BE PROVIDED.
 - ADEQUATE STRUCTURAL SUPPORT MUST BE PROVIDED FOR THE SANITARY SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING.
 - FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
- IF DURING CONSTRUCTION IT IS FOUND THAT THE REQUIRED SEPARATION OF WATER MAINS, SANITARY SEWERS, STORM SEWERS AND BUILDING SANITARY SEWERS CANNOT BE MET, THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL IN WRITING ADVISE JOHN METER CONSULTING OF THE SPECIFIC CONDITIONS ENCOUNTERED. APPROVAL OF ALTERNATIVE SEPARATION CRITERIA SHALL BE OBTAINED FROM THE CONTRACTOR PRIOR TO INSTALLATION.

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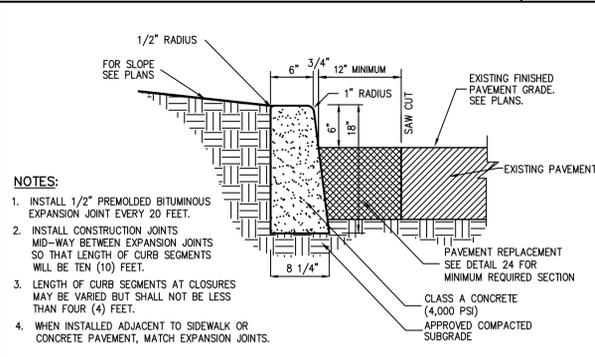
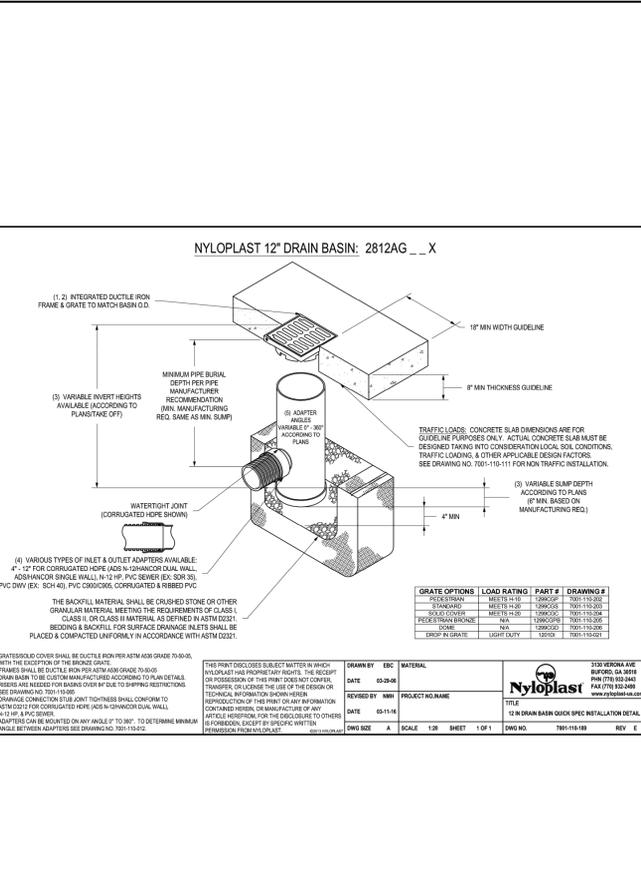
JMC Planning Engineering
 Landscape Architecture & Land
 Surveying, PLLC
 120 BEDFORD ROAD
 ARMONK, NY 10504
 (914) 273-5225

ANCHOR AND THRUST BLOCKS

20

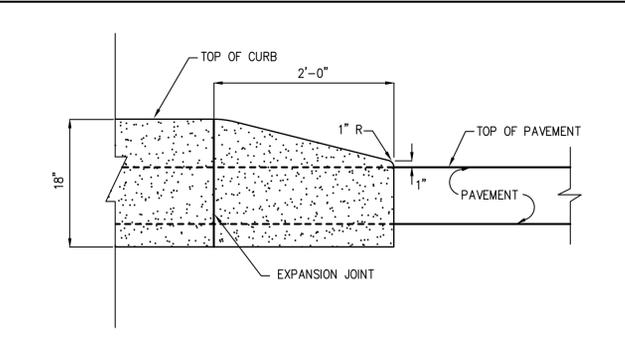
SEPARATION OF WATER AND SANITARY SEWER/STORM DRAIN LINES

21



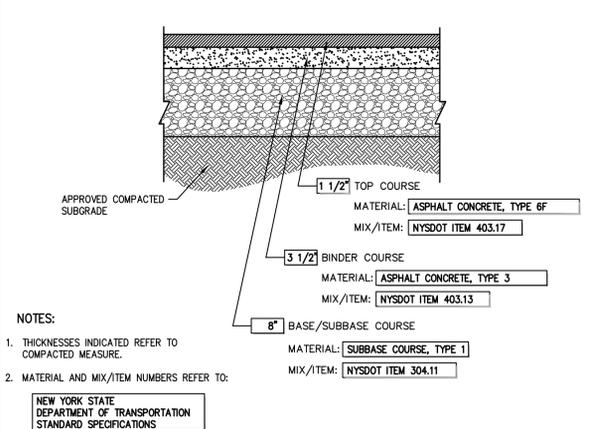
CAST-IN-PLACE CONCRETE CURB
 (IN EXISTING PAVEMENT)

23



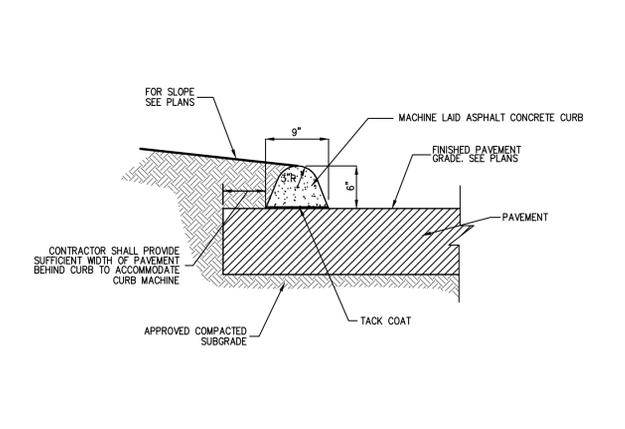
CONCRETE CURB ENDING

25



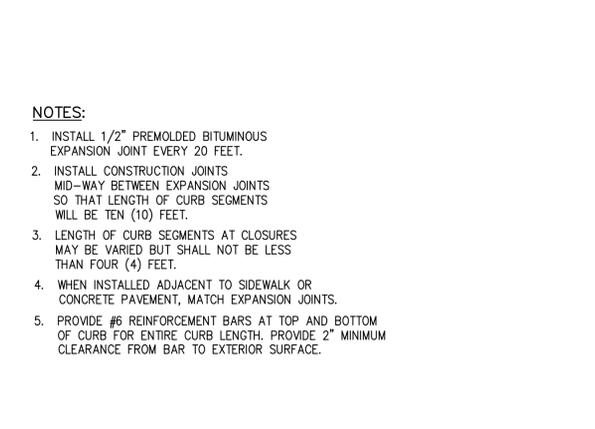
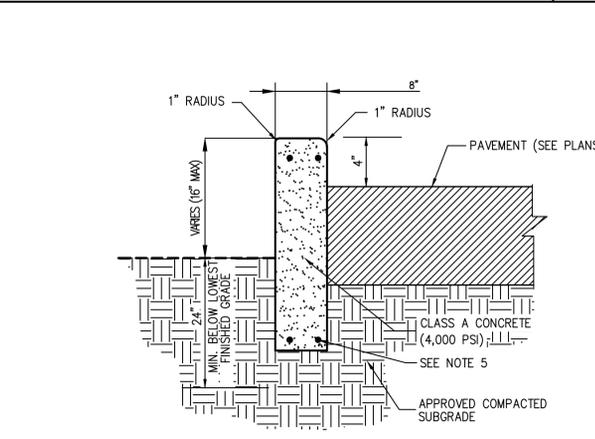
SITE PAVEMENT
 (Heavy Duty)

24



ASPHALTIC CONCRETE CURB
 (TYPE I)

26



**NYLOPLAST 12\"/>
 (TYPE NP)**

27

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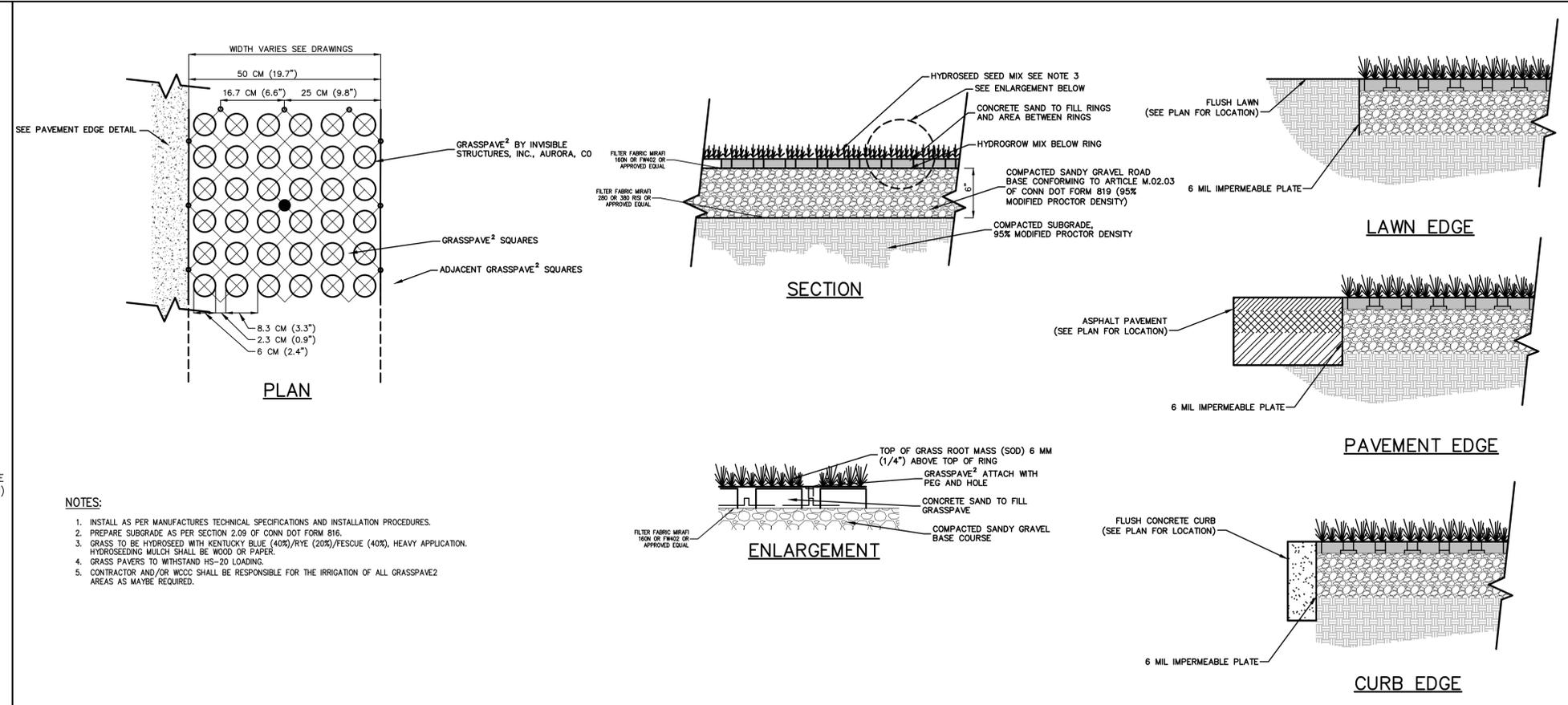
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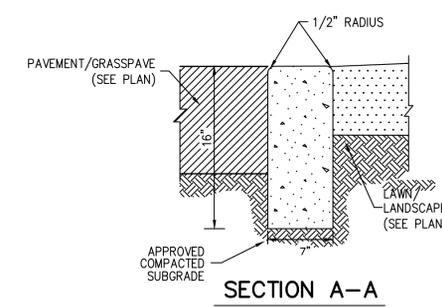
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2	02/21/2020	DESIGN DEVELOPMENT
1	11/26/2019	SITE PLAN SUBMISSION

Construction Details

Job No.	JMC-19067	Date	11/26/2019
Scale	N.T.S.	Drawn / Checked	DC/JAR
Sheet Number	C903		

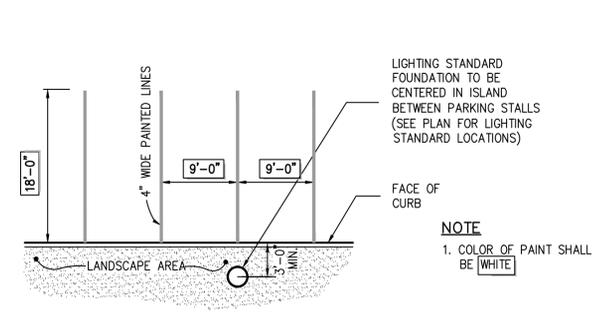


- NOTES:**
1. INSTALL AS PER MANUFACTURES TECHNICAL SPECIFICATIONS AND INSTALLATION PROCEDURES.
 2. PREPARE SUBGRADE AS PER SECTION 2.09 OF CONN DOT FORM 816.
 3. GRASS TO BE HYDROSEED WITH KENTUCKY BLUE (40%/RYE (20%/FESCUE (40%), HEAVY APPLICATION. HYDROSEEDING MULCH SHALL BE WOOD OR PAPER.
 4. GRASS PAVERS TO WITHSTAND HS-20 LOADING.
 5. CONTRACTOR AND/OR WCCC SHALL BE RESPONSIBLE FOR THE IRRIGATION OF ALL GRASSPAVE² AREAS AS MAYBE REQUIRED.



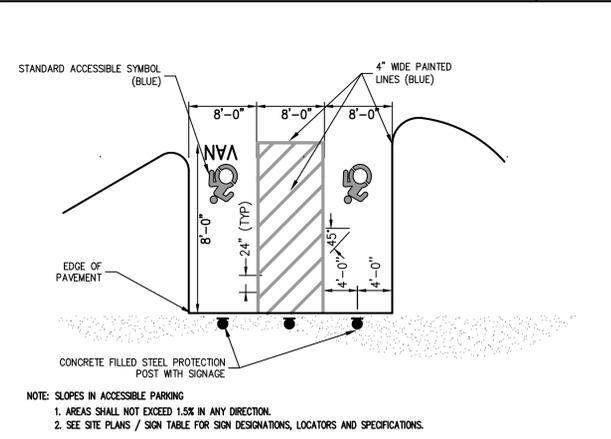
FLUSH CURB

28



90° PARKING
(SINGLE STRIPING - CURBED PERIMETER)

30

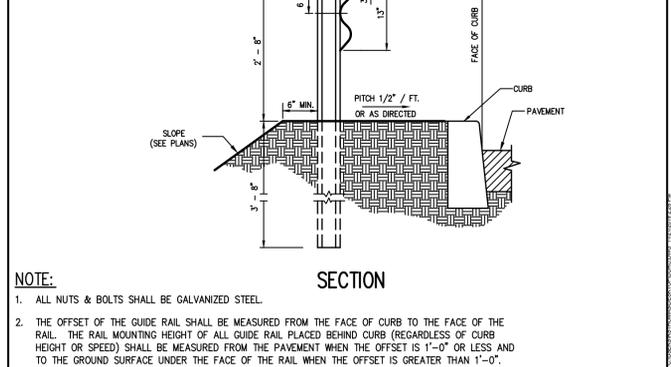
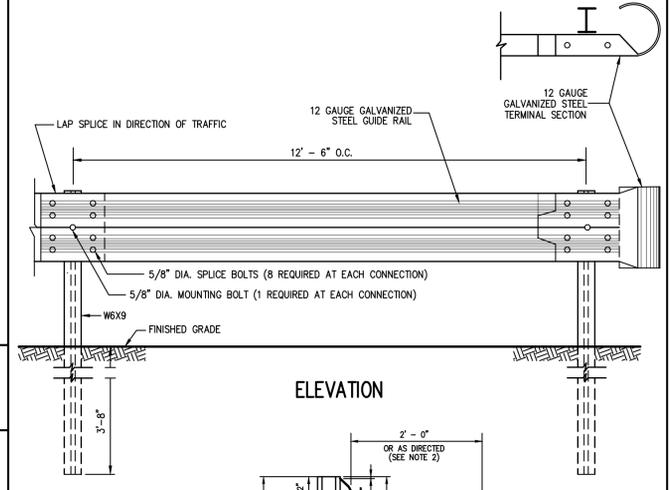


ACCESSIBLE PARKING
(SINGLE STRIPING - CURBED ALIGNMENT - W/O SIDEWALK)

31

GRASS PAVERS AND EDGE
(Fire Access Improvements)

29



CORRUGATED STEEL GUIDE RAIL

32

THE UNDERSIGNED HEREBY APPROVES THE ATTACHED (5) PAGES INCLUDING THE FOLLOWING:

- PIPE STORAGE = 2,036 CF
- WALL TYPE = SOLID
- DIAMETER = 72"

CUSTOMER _____ DATE _____

ASSEMBLY
SCALE: 1" = 10'
PIPE STORAGE: 2,036 CF
LOADING: H20
PIPE INV. = 209±

STUB INFORMATION		
PIECE	STUB INVERT	SYSTEM INVERT
12"Ø STUB A1	214.00	209.00
12"Ø STUB A2	213.00	209.00
12"Ø STUB A3	209.00	209.00

RISER INFORMATION		
PIECE	RIM ELEV.	SYSTEM INVERT
30"Ø RISER B2	220.85	209.00

PROJECT NO. 634238, DATE 11/21/2019
DESIGNED BY RST, DRAWN BY RST
CHECKED BY RST, APPROVED BY BCL
PROJECT P1 OF 5

CONTECH
ENGINEERED SOLUTIONS LLC
7037 Ridge Road, Hanover, MD 21076
866-740-3319 410-796-5026 866-378-8111 FAX

DuroMaxx
72"Ø DUROMAXX SYSTEM - 634238-010
HOLY CHILD SCIENCE, DESIGN & ART CENTER
RYE, NY
SITE DESIGNATION: Stormwater Detention Pipes

CONSTRUCTION PROPOSAL DRAWING

DURO MAXX SUBSURFACE DETENTION PIPE STORAGE SYSTEM

33

KEY PLAN

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Sheet Title

Construction Details

Job No.	Date
JMC-19067	11/26/2019

Scale: N.T.S. Drawn / Checked: DC/JAR

Sheet Number: C904

TYPICAL SECTION VIEW
NOT TO SCALE

SUITABLE ON-SITE SOIL OR IMPORTED SAND AND GRAVEL CONTAINS <20% BY WEIGHT PASSING # 800 SIEVE; 8" MAX LAYERS, COMPACTED TO 90% (ASTM D1557)

ANGULAR GRANULAR WELL GRADED SOIL/AGGREGATE MIXTURES, 35% FINES COMPACTED TO 90% (ASTM D1557)

3/4" CLEAN CRUSHED UNIFORMLY GRADED STONE

6" THICK, 3/4" CLEAN CRUSHED STONE

APPROVED FOUNDATION SOIL COMPACTED TO 92% OF MAXIMUM MODIFICATION DRY DENSITY (ASTM D1557)

CLASSES OF NATIVE SOIL EMBEDMENT & BACKFILL MATERIALS

DESCRIPTION	SOIL CLASSIFICATION	
	ASTM D2321	ASTM D2487
GRADED OR CRUSHED STONE CRUSHED GRAVEL	CLASS I	-
WELL-GRADED SAND, GRAVELS, AND GRAVEL-SAND MIXTURES; POORLY GRADED SAND, GRAVELS AND GRAVEL-SAND MIXTURES; LITTLE OR NO FINES	CLASS II	GW GP SW SP

72" DUROMAXX SYSTEM - 634238-010
HOLY CHILD SCIENCE, DESIGN & ART CENTER
RYE, NY
SITE DESIGNATION: Stormwater Detention Pipes

PROJECT NO. 634238 010 DATE 11/21/2019
DESIGNED BY RST DRAWN BY RST
CHECKED BY RST APPROVED BY BCL
SHEET P2 OF 5

WELDED COUPLER DIMENSIONS

DIAMETER	SLEEVE THICKNESS	MATERIAL
30"-60"	0.130"	HDPE
66"-120"	0.230"	HDPE

GENERAL NOTES:

- BAND FASTENERS ARE ATTACHED WITH SPOT WELDS, RIVETS OR HAND WELDS.
- DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.
- WELDED CONNECTION TYPE DETERMINED PRIOR TO APPROVAL.
- ELECTROFUSION OR EXTRUSION WELDS TO BE DONE IN THE FIELD. THESE CONNECTIONS RESULT IN WATERTIGHT CONNECTIONS.

72" DUROMAXX SYSTEM - 634238-010
HOLY CHILD SCIENCE, DESIGN & ART CENTER
RYE, NY
SITE DESIGNATION: Stormwater Detention Pipes

PROJECT NO. 634238 010 DATE 11/21/2019
DESIGNED BY RST DRAWN BY RST
CHECKED BY RST APPROVED BY BCL
SHEET P3 OF 5

DURO MAXX SUBSURFACE DETENTION PIPE STORAGE SYSTEM 34

REINFORCING TABLE

ØSRPE RISER	A	ØB	REINFORCING	**BEARING PRESSURE (PSF)
30"	Ø 4'-6" 4'-6" X 4'-6"	36"	#4 @ 10" OC/W #4 @ 9" OC/W	2,830 1,850

72" DUROMAXX SYSTEM - 634238-010
HOLY CHILD SCIENCE, DESIGN & ART CENTER
RYE, NY
SITE DESIGNATION: Stormwater Detention Pipes

PROJECT NO. 634238 010 DATE 11/21/2019
DESIGNED BY RST DRAWN BY RST
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SHEET P4 OF 5

DURO MAXX SUBSURFACE DETENTION PIPE STORAGE SYSTEM 36

DURO MAXX SUBSURFACE DETENTION PIPE STORAGE SYSTEM 35

KEY PLAN

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72" DUROMAXX SYSTEM - 634238-010
HOLY CHILD SCIENCE, DESIGN & ART CENTER
RYE, NY
SITE DESIGNATION: Stormwater Detention Pipes

PROJECT NO. 634238 010 DATE 11/21/2019
DESIGNED BY RST DRAWN BY RST
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SHEET P5 OF 5

DURO MAXX SUBSURFACE DETENTION PIPE STORAGE SYSTEM 37

STREAM
CENTER FOR
EXPERIMENTAL LEARNING
SCHOOL OF THE HOLY
CHILD
2225 WESTCHESTER AVE,
RYE, NY

KG+D listen
imagine
build
KG+D . ARCHITECTS PC
285 MAIN STREET MOUNT KISCO . NEW YORK . 10549
P:914.666.5900 KGDARCHITECTS.COM

CONSTRUCTION
DOCUMENTS



JMC Planning Engineering
Landscape Architecture & Land
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120 BEDFORD ROAD
ARMONK, NY 10504
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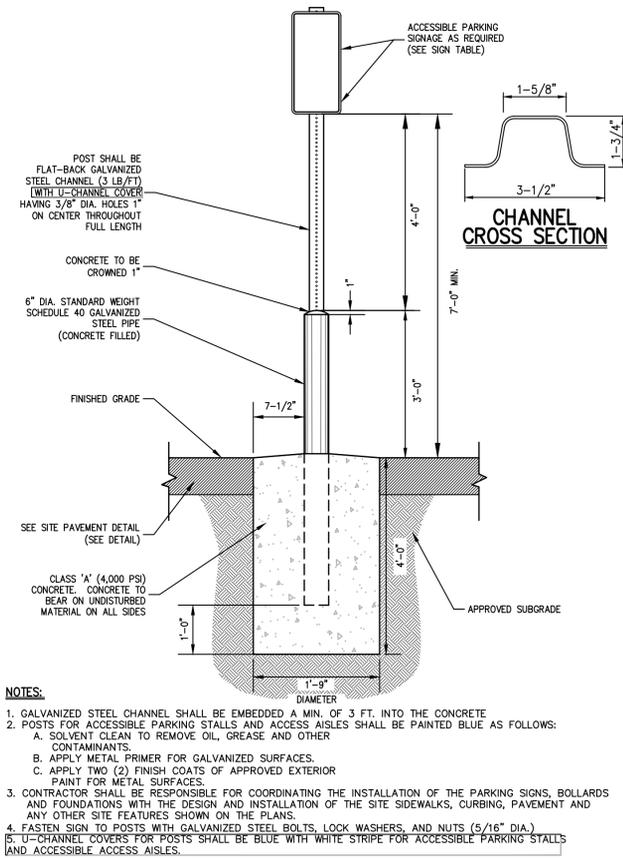
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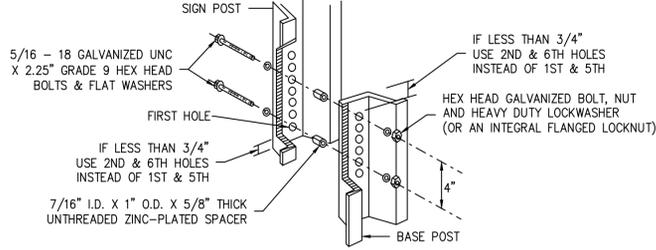
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Details

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Sheet Number

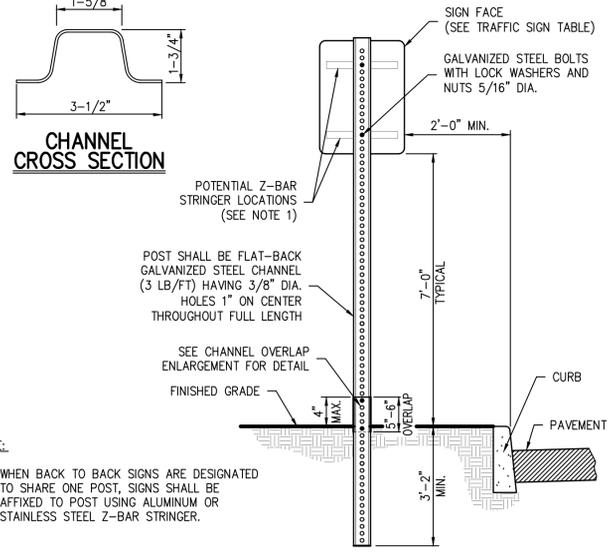
C905



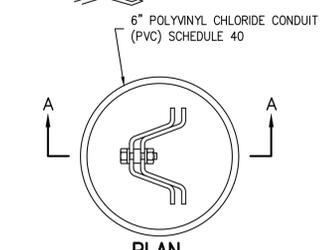
- NOTES:**
1. GALVANIZED STEEL CHANNEL SHALL BE EMBEDDED A MIN. OF 3 FT. INTO THE CONCRETE
 2. POSTS FOR ACCESSIBLE PARKING STALLS AND ACCESS AISLES SHALL BE PAINTED BLUE AS FOLLOWS:
 - A. SOLVENT CLEAN TO REMOVE OIL, GREASE AND OTHER CONTAMINANTS.
 - B. APPLY METAL PRIMER FOR GALVANIZED SURFACES.
 - C. APPLY TWO (2) FINISH COATS OF APPROVED EXTERIOR PAINT FOR METAL SURFACES.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF THE PARKING SIGNS, BOLLARDS AND FOUNDATIONS WITH THE DESIGN AND INSTALLATION OF THE SITE SIDEWALKS, CURBING, PAVEMENT AND ANY OTHER SITE FEATURES SHOWN ON THE PLANS.
 4. FASTEN SIGN TO POSTS WITH GALVANIZED STEEL BOLTS, LOCK WASHERS, AND NUTS (5/16" DIA.)
 5. U-CHANNEL COVERS FOR POSTS SHALL BE BLUE WITH WHITE STRIPE FOR ACCESSIBLE PARKING STALLS AND ACCESSIBLE ACCESS AISLES.



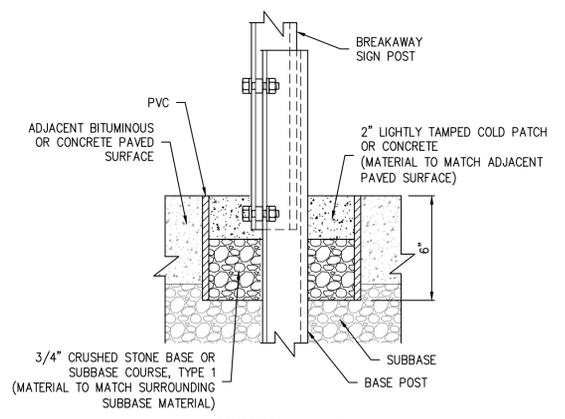
CHANNEL OVERLAP ENLARGEMENT



- NOTE:**
1. WHEN BACK TO BACK SIGNS ARE DESIGNATED TO SHARE ONE POST, SIGNS SHALL BE AFFIXED TO POST USING ALUMINUM OR STAINLESS STEEL Z-BAR STRINGER.



TRAFFIC SIGN POST IN PAVED AREAS



SECTION A-A TRAFFIC SIGN POST IN PAVED AREAS

ACCESSIBLE PARKING SIGN DETAIL

39

TRAFFIC SIGN POST
(BREAKAWAY STEEL CHANNEL)

40

XX

XX

XX

XX

STREAM
CENTER FOR
EXPERIMENTAL LEARNING
SCHOOL OF THE HOLY
CHILD
2225 WESTCHESTER AVE,
RYE, NY

KG+D listen
imagine
build
ARCHITECTS PC
285 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P-914.666.5900 KGDARCHITECTS.COM

SITE PLAN SUBMISSION



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120 BEDFORD ROAD
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(914) 273-5225

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C907