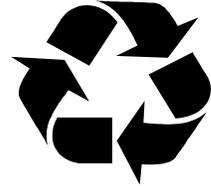




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Greenburgh Recycles

RICHARD C. FON  
 Commissioner of Public Works  
 BRIAN E. SIMMONS, P.E.  
 Deputy Commissioner of Public Works

KENNETH V. CIOCE, P.E.  
 Town Engineer

July 19, 2021

**ADDENDUM NO. 2**

**BOILER PLANT REPLACEMENT - THEODORE D. YOUNG COMMUNITY CENTER**

The attention of the bidders is directed to the following changes, additions, and/or substitutions affecting the above referenced contract:

- **ADDITION: Specification 099123 – Interior Painting (attached)**
- **REVISION: See attached drawings for revisions to Sheet(s):**
  - M4.1
  - M4.2
  - P1.1
  - P4.1

All provisions of the contract not affected by the foregoing shall remain in full force and effect.

All bidders shall acknowledge receipt and acceptance of this Addendum #2 by signing in the space provided, and submit the signed Addendum with the Bid. Bids submitted without this Addendum may be considered informal, and may be rejected.

Carol Murray  
 Assistant Civil Engineer

**Received, acknowledged, and conditions agreed to this \_\_\_ (day) of \_\_\_\_\_ (month), 2021**

**BIDDER:** \_\_\_\_\_

**BOILER PLANT REPLACEMENT  
TOWN OF GREENBURGH THEODORE D. YOUNG COMMUNITY CENTER  
32 MANHATTAN AVENUE  
WHITE PLAINS, NEW YORK**

DOCUMENT 009113 - ADDENDA

1.1 PROJECT INFORMATION

- A. Project Identification: **Theodore D. Young Community Center Boiler Plant Replacement**
- B. Owner: **Town of Greenburgh**
- C. Engineer: **OLA Consulting Engineers , 50 Broadway, Hawthorne, NY 10532.**
- D. Architect Project Number: **TOG0011.00**
- E. Date of Addendum: **July 16, 2021**

1.2 NOTICE TO BIDDERS

- A. This Addendum is issued pursuant to the Instructions to Bidders and Conditions of the Contract. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.
- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form.
- C. The date for receipt of bids is unchanged by this Addendum, at same time and location.

1.3 ATTACHMENTS

- A. This Addendum includes the following attached Documents and Specification Sections:
  - 1. 099123 – Interior Painting
- B. This Addendum includes the following attached Sheets:
  - 1. Mechanical Sheets M4.1, M4.2, Revised 7/16/21
  - 2. Plumbing Sheets P1.1, P4.1, Revised 7/16/21

END OF DOCUMENT 009113

**BOILER PLANT REPLACEMENT  
TOWN OF GREENBURGH THEODORE D. YOUNG COMMUNITY CENTER  
32 MANHATTAN AVENUE  
WHITE PLAINS, NEW YORK**

SECTION 099123 - INTERIOR PAINTING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes surface preparation and the application of paint systems on the following interior substrates:
  - 1. Bare Steel and iron.
  - 2. HVAC Equipment Supports and metal fabrications

1.3 DEFINITIONS

- A. MPI Gloss Level 1: Not more than five units at 60 degrees and 10 units at 85 degrees, according to ASTM D 523.
- B. MPI Gloss Level 2: Not more than 10 units at 60 degrees and 10 to 35 units at 85 degrees, according to ASTM D 523.
- C. MPI Gloss Level 3: 10 to 25 units at 60 degrees and 10 to 35 units at 85 degrees, according to ASTM D 523.
- D. MPI Gloss Level 4: 20 to 35 units at 60 degrees and not less than 35 units at 85 degrees, according to ASTM D 523.
- E. MPI Gloss Level 5: 35 to 70 units at 60 degrees, according to ASTM D 523.
- F. MPI Gloss Level 6: 70 to 85 units at 60 degrees, according to ASTM D 523.
- G. MPI Gloss Level 7: More than 85 units at 60 degrees, according to ASTM D 523.

1.4 ACTION SUBMITTALS

- A. Product Data: For each type of product. Include preparation requirements and application instructions.
  - 1. Include Printout of current "MPI Approved Products List" for each product category specified, with the proposed product highlighted.
  - 2. Indicate VOC content.

**BOILER PLANT REPLACEMENT  
TOWN OF GREENBURGH THEODORE D. YOUNG COMMUNITY CENTER  
32 MANHATTAN AVENUE  
WHITE PLAINS, NEW YORK**

- B. Samples for Initial Selection: For each type of topcoat product.
- C. Samples for Verification: For each type of paint system and in each color and gloss of topcoat.
  - 1. Submit Samples on rigid backing, 8 inches square.
  - 2. Apply coats on Samples in steps to show each coat required for system.
  - 3. Label each coat of each Sample.
  - 4. Label each Sample for location and application area.
- D. Product List: Cross-reference to paint system and locations of application areas. Use same designations indicated on Drawings and in schedules. Include color designations.

1.5 MAINTENANCE MATERIAL SUBMITTALS

- A. Furnish extra materials that match products installed and that are packaged with protective covering for storage and identified with labels describing contents.
  - 1. Paint: **1 gal.** of each material and color applied.

1.6 QUALITY ASSURANCE

- A. Mockups: Apply mockups of each paint system indicated and each color and finish selected to verify preliminary selections made under Sample submittals and to demonstrate aesthetic effects and set quality standards for materials and execution.
  - 1. Architect will select one surface to represent surfaces and conditions for application of each paint system.
    - a. Vertical and Horizontal Surfaces: Provide samples of at least 100 sq. ft.
    - b. Other Items: Architect will designate items or areas required.
  - 2. Final approval of color selections will be based on mockups.
    - a. If preliminary color selections are not approved, apply additional mockups of additional colors selected by Architect at no added cost to Owner.
  - 3. Approval of mockups does not constitute approval of deviations from the Contract Documents contained in mockups unless Architect specifically approves such deviations in writing.
  - 4. Subject to compliance with requirements, approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.

1.7 DELIVERY, STORAGE, AND HANDLING

- A. Store materials not in use in tightly covered containers in well-ventilated areas with ambient temperatures continuously maintained at not less than 45 deg F

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1. Maintain containers in clean condition, free of foreign materials and residue.
2. Remove rags and waste from storage areas daily.

1.8 FIELD CONDITIONS

- A. Apply paints only when temperature of surfaces to be painted and ambient air temperatures are between 50 and 95 deg F
- B. Do not apply paints when relative humidity exceeds 85 percent; at temperatures less than 5 deg F above the dew point; or to damp or wet surfaces.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to the following:
  1. Benjamin Moore & Co.
  2. Glidden Professional.
  3. Sherwin-Williams Company (The).
- B. Products: Subject to compliance with requirements, available products that may be incorporated into the Work include, but are not limited to products listed in the Interior Painting Schedule for the paint category indicated.

2.2 PAINT, GENERAL

- A. MPI Standards: Products shall comply with MPI standards indicated and shall be listed in its "MPI Approved Products Lists."
- B. Material Compatibility:
  1. Materials for use within each paint system shall be compatible with one another and substrates indicated, under conditions of service and application as demonstrated by manufacturer, based on testing and field experience.
  2. For each coat in a paint system, products shall be recommended in writing by topcoat manufacturers for use in paint system and on substrate indicated.
- C. VOC Content: Products shall comply with VOC limits of authorities having jurisdiction.
  1. Flat Paints and Coatings: 50 g/L.
  2. Nonflat Paints and Coatings: 150 g/L.
  3. Dry-Fog Coatings: 400 g/L.
  4. Primers, Sealers, and Undercoaters: 200 g/L.
  5. Anticorrosive and Antirust Paints Applied to Ferrous Metals: 250 g/L.

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6. Zinc-Rich Industrial Maintenance Primers: 340 g/L.
  7. Pretreatment Wash Primers: 420 g/L.
  8. Floor Coatings: 100 g/L.
  9. Shellacs, Clear: 730 g/L.
  10. Shellacs, Pigmented: 550 g/L.
- D. Colors: As selected by Owner from manufacturer's full range.
1. Match existing conditions in renovation projects.

### PART 3 - EXECUTION

#### 3.1 EXAMINATION

- A. Examine substrates and conditions, with Applicator present, for compliance with requirements for maximum moisture content and other conditions affecting performance of the Work.
- B. Maximum Moisture Content of Substrates: When measured with an electronic moisture meter as follows:
  1. Concrete: 12 percent.
  2. Gypsum Board: 12 percent.
  3. Plaster: 12 percent.
- C. Gypsum Board Substrates: Verify that finishing compound is sanded smooth.
- D. Verify suitability of substrates, including surface conditions and compatibility, with existing finishes and primers.
- E. Proceed with coating application only after unsatisfactory conditions have been corrected.
  1. Application of coating indicates acceptance of surfaces and conditions.

#### 3.2 PREPARATION

- A. Comply with manufacturer's written instructions and recommendations in "MPI Architectural Painting Specification Manual" applicable to substrates and paint systems indicated.
- B. Remove hardware, covers, plates, and similar items already in place that are removable and are not to be painted. If removal is impractical or impossible because of size or weight of item, provide surface-applied protection before surface preparation and painting.
  1. After completing painting operations, use workers skilled in the trades involved to reinstall items that were removed. Remove surface-applied protection if any.
- C. Clean substrates of substances that could impair bond of paints, including dust, dirt, oil, grease, and incompatible paints and encapsulants.

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1. Remove incompatible primers and reprime substrate with compatible primers or apply tie coat as required to produce paint systems indicated.
- D. Steel Substrates: Remove rust, loose mill scale, and shop primer, if any. Clean using methods recommended in writing by paint manufacturer, but not less than the following:
  1. SSPC-SP 3.
- E. Shop-Primed Steel Substrates: Clean field welds, bolted connections, and areas where shop paint is abraded. Paint exposed areas with the same material as used for shop priming to comply with SSPC-PA 1 for touching up shop-primed surfaces.

### 3.3 APPLICATION

- A. Apply paints according to manufacturer's written instructions and to recommendations in "MPI Manual."
  1. Use applicators and techniques suited for paint and substrate indicated.
  2. Paint surfaces behind movable equipment and furniture same as similar exposed surfaces. Before final installation, paint surfaces behind permanently fixed equipment or furniture with prime coat only.
  3. Paint front and backsides of access panels, removable or hinged covers, and similar hinged items to match exposed surfaces.
  4. Do not paint over labels of independent testing agencies or equipment name, identification, performance rating, or nomenclature plates.
  5. Primers specified in painting schedules may be omitted on items that are factory primed or factory finished if acceptable to topcoat manufacturers.
- B. Tint each undercoat a lighter shade to facilitate identification of each coat if multiple coats of same material are to be applied. Tint undercoats to match color of topcoat, but provide sufficient difference in shade of undercoats to distinguish each separate coat.
- C. If undercoats or other conditions show through topcoat, apply additional coats until cured film has a uniform paint finish, color, and appearance.
- D. Apply paints to produce surface films without cloudiness, spotting, holidays, laps, brush marks, roller tracking, runs, sags, ropiness, or other surface imperfections. Cut in sharp lines and color breaks.
- E. Painting Fire Suppression, HVAC equipment supports, Structural Steel, metal fabrications
  1. Paint the following work where exposed in equipment rooms:
    - a. Uninsulated metal piping.
    - b. All exposed structural steel work installed under this project.
  2. Paint the following work where exposed in occupied spaces:
    - a. Uninsulated metal piping.
    - b. All exposed structural steel work installed under this project.

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3.4 FIELD QUALITY CONTROL

- A. Dry Film Thickness Testing: Owner may engage the services of a qualified testing and inspecting agency to inspect and test paint for dry film thickness.
1. Contractor shall touch up and restore painted surfaces damaged by testing.
  2. If test results show that dry film thickness of applied paint does not comply with paint manufacturer's written recommendations, Contractor shall pay for testing and apply additional coats as needed to provide dry film thickness that complies with paint manufacturer's written recommendations.

3.5 CLEANING AND PROTECTION

- A. At end of each workday, remove rubbish, empty cans, rags, and other discarded materials from Project site.
- B. After completing paint application, clean spattered surfaces. Remove spattered paints by washing, scraping, or other methods. Do not scratch or damage adjacent finished surfaces.
- C. Protect work of other trades against damage from paint application. Correct damage to work of other trades by cleaning, repairing, replacing, and refinishing, as approved by Architect, and leave in an undamaged condition.
- D. At completion of construction activities of other trades, touch up and restore damaged or defaced painted surfaces.

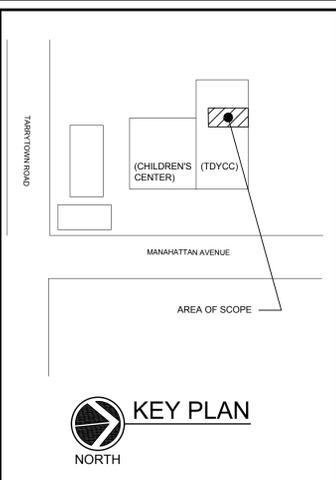
3.6 INTERIOR PAINTING SCHEDULE

- A. Steel Substrates: (for structural steel, HVAC equipment supports, metal fabrications, and uninsulated piping)
1. Alkyd System:
    - a. Prime Coat: Primer, alkyd, anti-corrosive, for metal.
      - 1) Benjamin Moore Co. , Ferrous Metal Primer: One (1) coat Ironclad Retardo rust inhibitor, or equal.
    - b. Intermediate Coat: Alkyd, interior, matching topcoat.
    - c. Topcoat: Alkyd, interior (MPI Gloss Level 3)[, **MPI #51**].
      - 1) Benjamin Moore Co. , One (1) coat urethane alkyd gloss enamel No. P22, or equal.

END OF SECTION 099123

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No.	ISSUE OR REVISION	DATE
2	ADDENDUM #2	7/16/21
3	ISSUED FOR BID	7/2/21
2	ISSUE FOR PROGRESS	5/14/21
1	ISSUED FOR PROGRESS	3/26/21

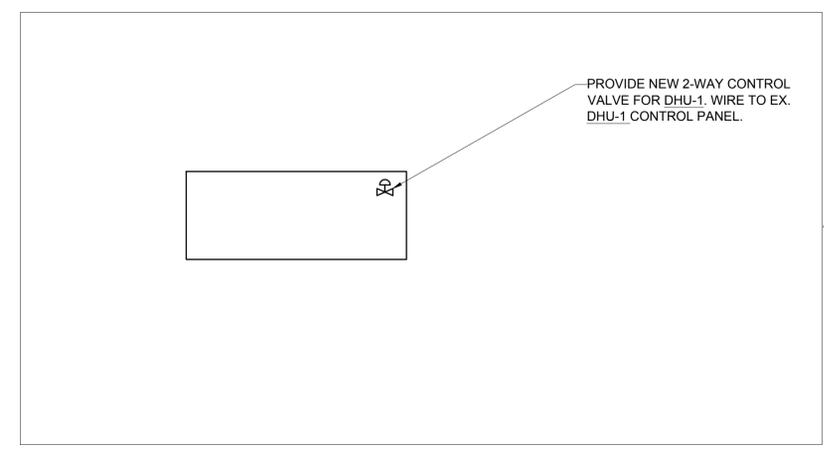
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**PROJECT TITLE**  
**TOWN OF GREENBURGH**  
**THEODORE D. YOUNG**  
**COMMUNITY CENTER**  
**BOILER PLANT REPLACEMENT**  
 32 MANHATTAN AVENUE  
 WHITE PLAINS, NY 10607

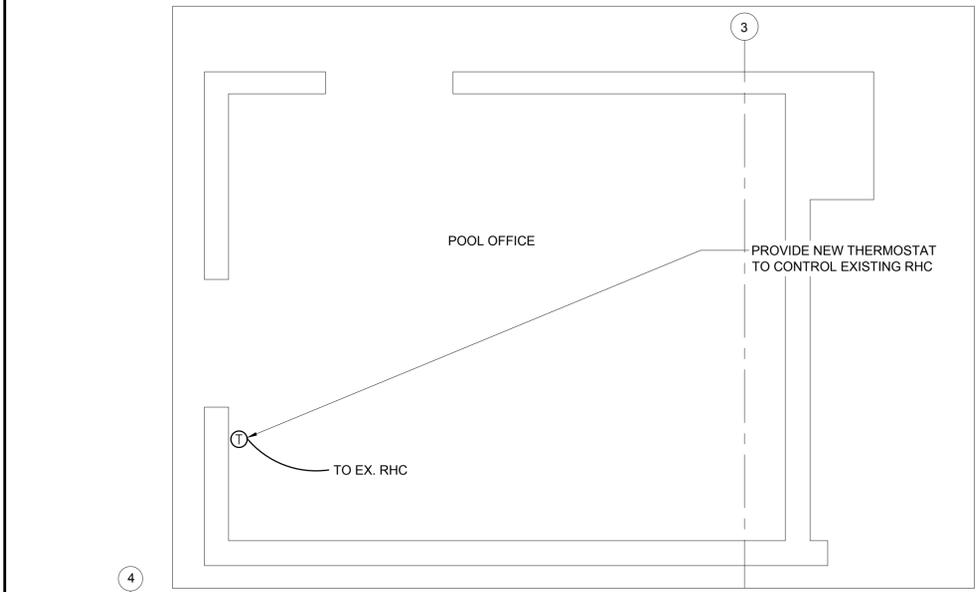
**DRAWING TITLE**  
**MECHANICAL**  
**BOILER ROOM**  
**NEW WORK PIPING PLAN**

SEAL	SCALE	PROJECT NO.
	AS NOTED	NTOG0011.00
	DRAWN BY	DRAWING NO.
	TO / AC	
	CHECKED BY	
	JK	M4.1
	DATE	
	1/29/21	

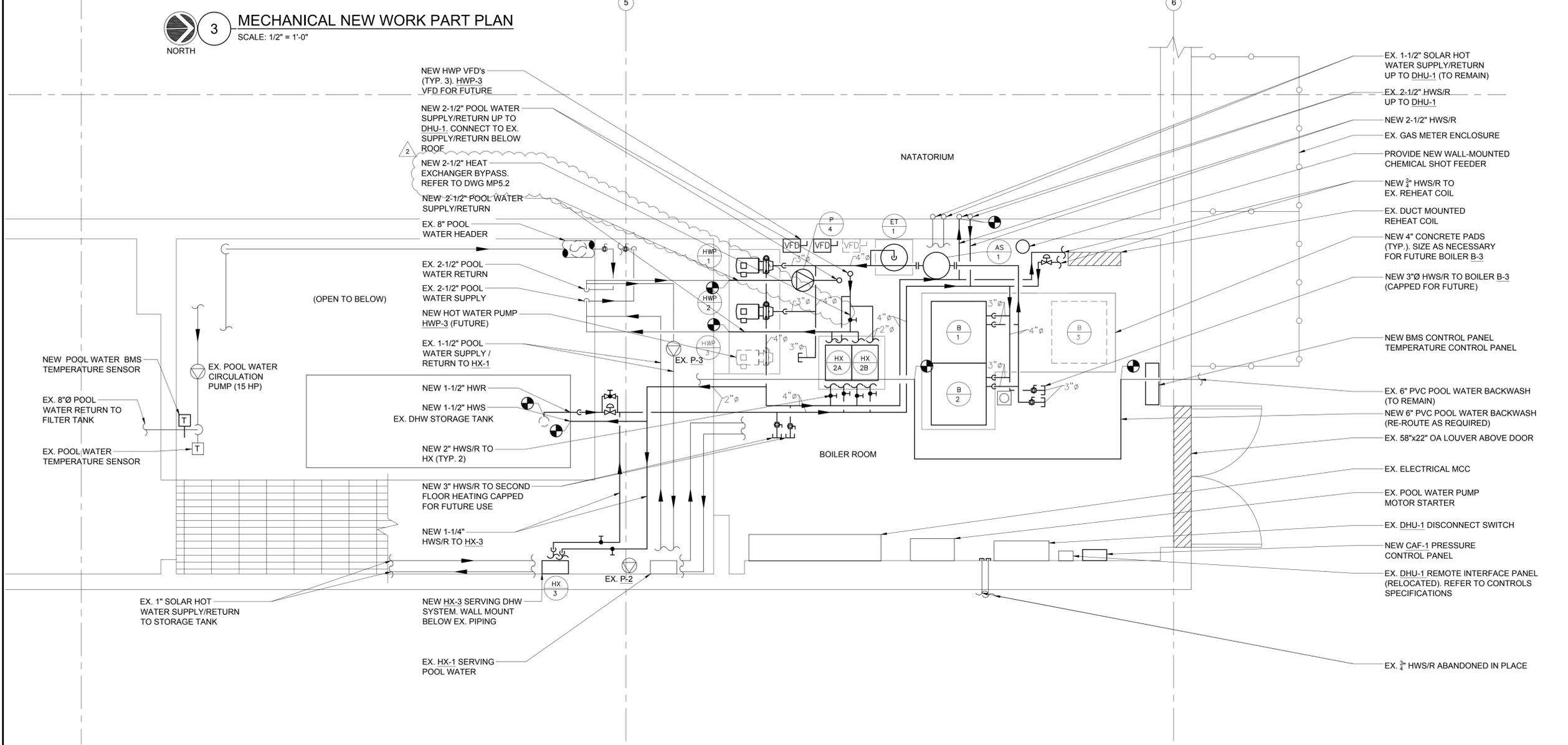
- GENERAL CONSTRUCTION NOTES:**
1. PROVIDE ALL CUTTING AND PATCHING OF MASONRY WALLS, PARTITIONS, CEILINGS, ETC. AS REQUIRED TO FACILITATE THE MECHANICAL AND ELECTRICAL WORK. PATCHING MATERIALS AND METHODS SHALL MATCH EXISTING CONSTRUCTION.
  2. PAINT ALL EXISTING SURFACES DAMAGED BY NEW WORK WITH NEW LATEX BASED PAINT WITH COLOR TO MATCH THE EXISTING. PREPARE, PRIME, AND PAINT ALL NEW AND EXISTING SURFACES IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
  3. PROVIDE FIRESTOPPING FOR ALL NEW AND EXISTING DUCTWORK AND PIPING PENETRATIONS THROUGH BOILER ROOM PARTITIONS PER UL LISTED FIRESTOP ASSEMBLIES, PER SPECIFICATIONS.
- ADD-ALTERNATE #1 SCOPE OF WORK NOTES:**
1. HOT WATER PUMP VFD'S SHALL BE PROVIDED AS PART OF NEW MOTOR CONTROL CENTER. REFER TO ELECTRICAL DRAWINGS.



**2 MECHANICAL BOILER ROOM ROOF NEW WORK PIPING PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH



**3 MECHANICAL NEW WORK PART PLAN**  
 SCALE: 1/2" = 1'-0"  
 NORTH



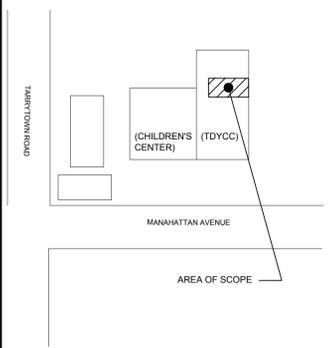
**1 MECHANICAL BOILER ROOM NEW WORK PIPING PLAN**  
 SCALE: 1/2" = 1'-0"  
 NORTH



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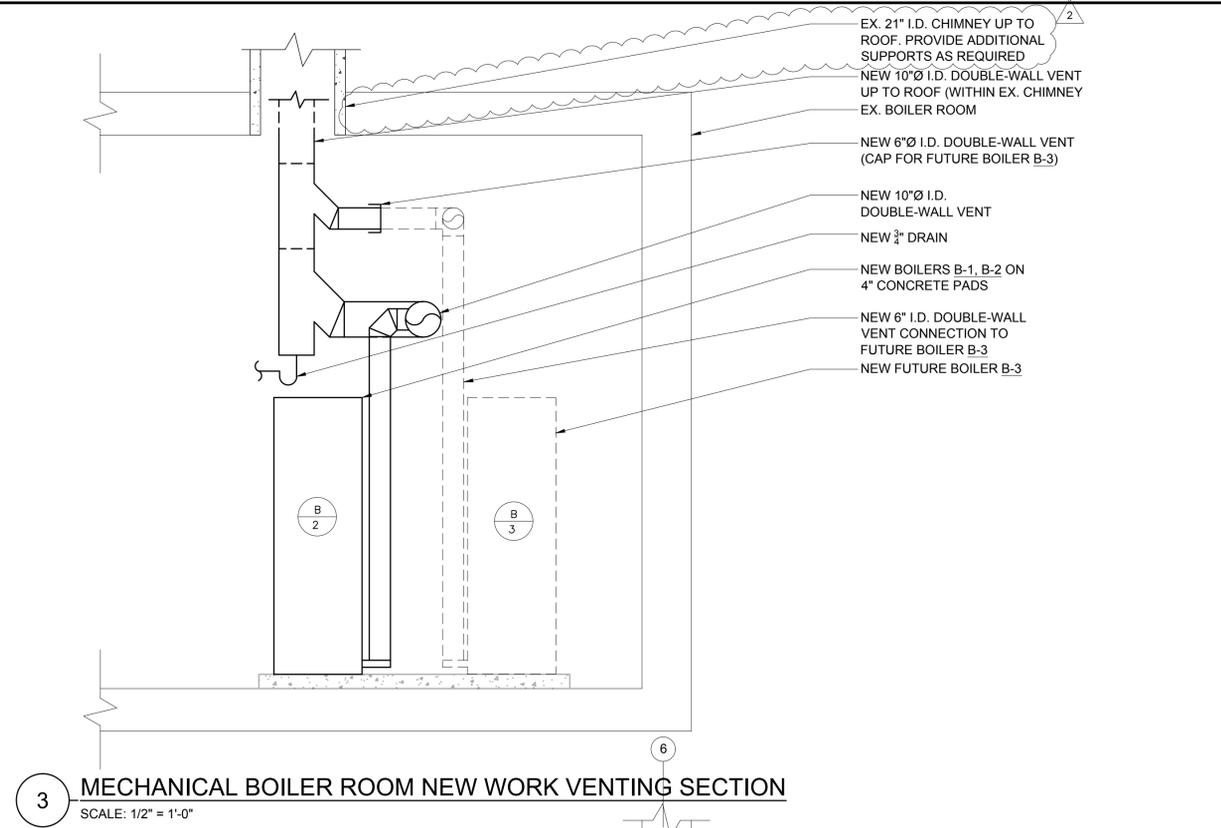
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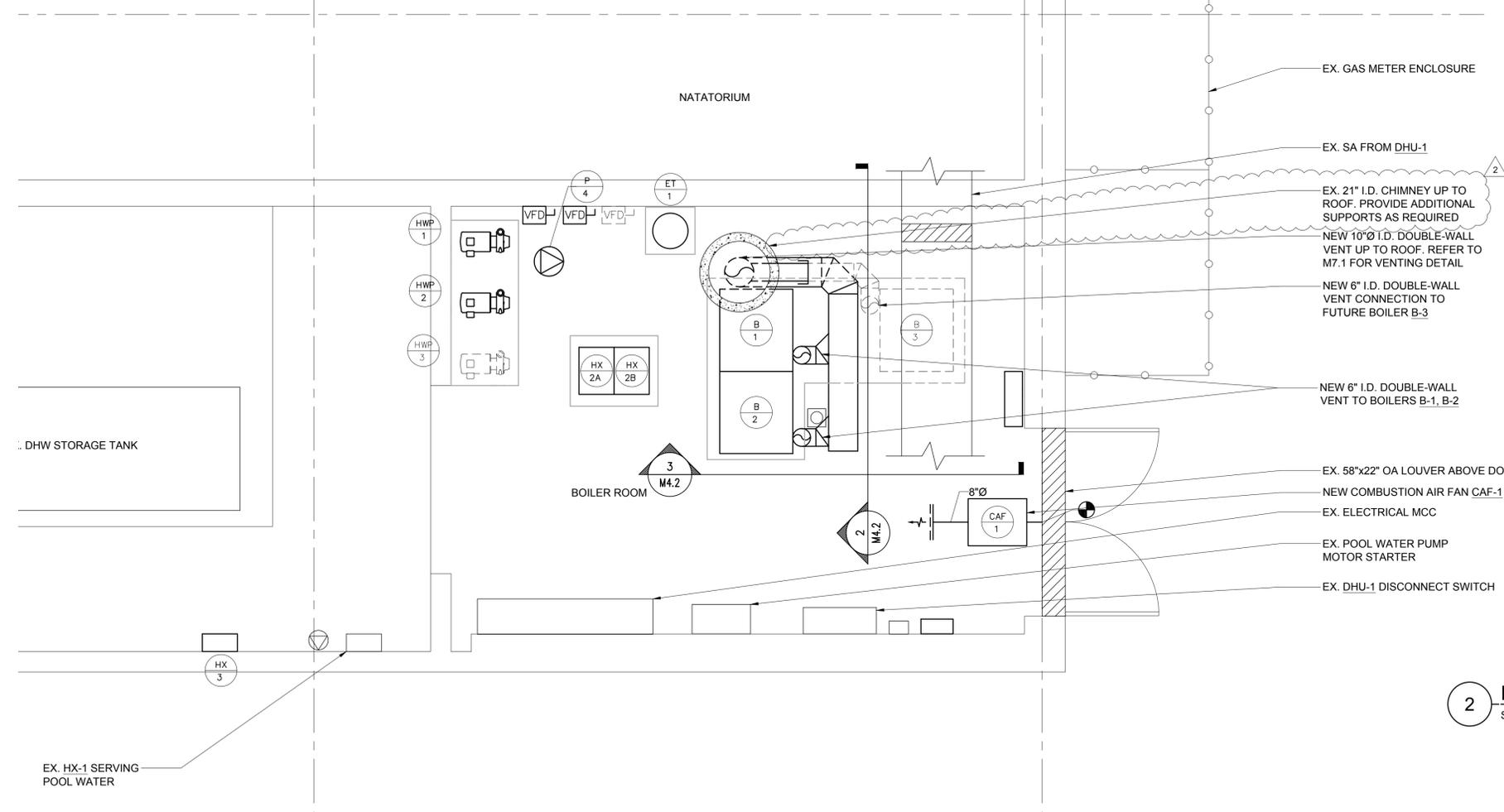
**DRAWING TITLE**  
**MECHANICAL**  
**BOILER ROOM**  
**NEW WORK DUCTWORK PLAN**

SCALE AS NOTED	PROJECT NO. NTOG0011.00
DRAWN BY TO / AC	DRAWING NO.
CHECKED BY JK	M4.2
DATE 1/29/21	

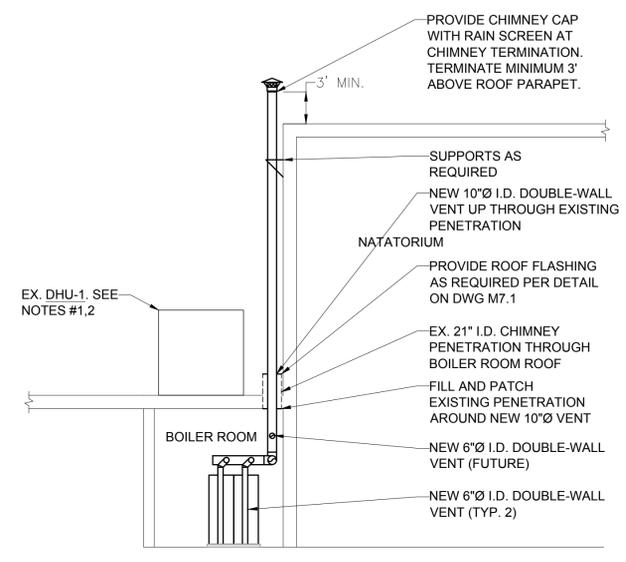
- NEW WORK NOTES:**
1. PROVIDE NEW 3/4" PVC CONDENSATE PIPING FROM DHU-1 DRAIN CONNECTIONS TO EXISTING ROOF DRAINS.
  2. REPLACE DETERIORATED SECTIONS OF PIPE INSULATION SERVING EXISTING 2-1/2" POOL WATER AND HOT WATER PIPING FOR DHU-1.



**3 MECHANICAL BOILER ROOM NEW WORK VENTING SECTION**  
 SCALE: 1/2" = 1'-0"



**2 MECHANICAL BOILER ROOM NEW WORK VENTING SECTION**  
 SCALE: 1/8" = 1'-0"



**1 MECHANICAL BOILER ROOM NEW WORK DUCTWORK PLAN**  
 SCALE: 1/2" = 1'-0"

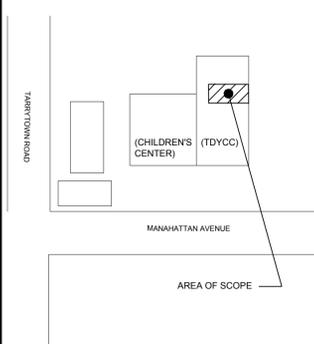




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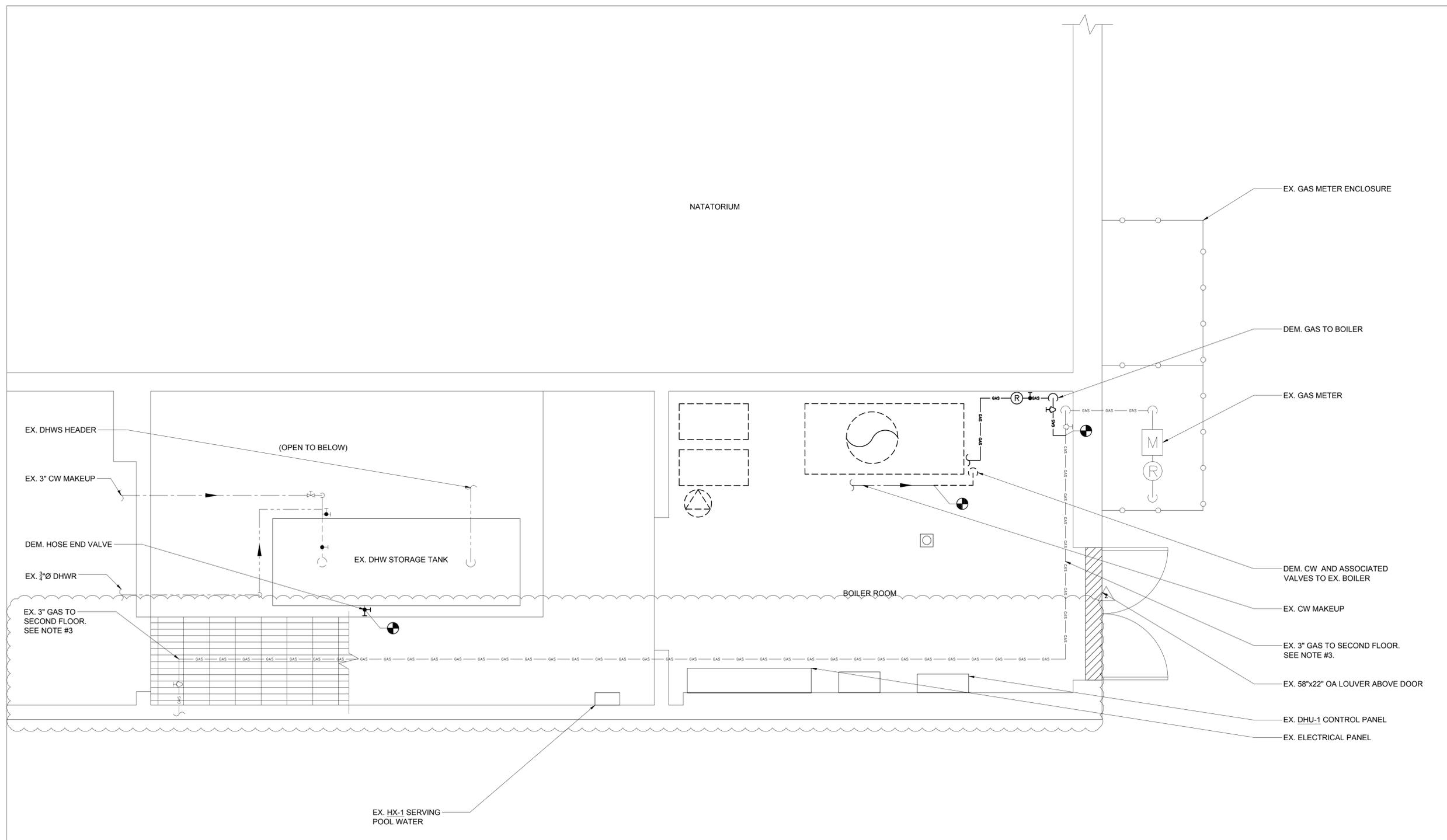
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DRAWING TITLE  
**PLUMBING  
 BOILER ROOM  
 DEMOLITION PLAN**

SCALE	PROJECT NO.
AS NOTED	NTOG0011.00
DRAWN BY TO / AC	DRAWING NO.
CHECKED BY JK	P1.1
DATE 1/29/21	



**1 PLUMBING BOILER ROOM DEMOLITION PLAN**  
 SCALE: 1/2" = 1'-0"

