

LOCATION MAP
SCALE: 1"=1,000'



VICINITY MAP
SCALE: 1"=500'

CONSTRUCTION BID DOCUMENTS

FOR

VASSAR INN & INSTITUTE

RAYMOND AVE & COLLEGE AVENUE
TOWN OF POUGHKEEPSIE,
DUTCHESS COUNTY, NEW YORK
TAX MAP ID# 6161-12-795630

ISSUED FOR BID: JULY 9, 2021



PROJECT SITE PLANNER / CIVIL ENGINEER / SURVEYOR:

- LAND PLANNING
 - CIVIL ENGINEERING
 - ENVIRONMENTAL SERVICES
 - LAND SURVEYING
 - LANDSCAPE ARCHITECTURE
- LRC Engineering & Surveying, DPC
LRC Engineering and Surveying, LLC
LRC Environmental Services, Inc.
Land Resource Consultants, Inc.

85 Civic Center Plaza, Suite 103
Poughkeepsie NY 12601
Tel: 845.243.2880

160 West Street, Suite E
Cromwell, CT 06416
Tel: 860.635.2877

1 International Blvd, Suite 400
Mahwah, NJ 07455
Tel: 908.603.5730
www.lrcconsult.com

John Wagenblatt

P.L.S. #050547



Rodney Morrison P.E. #074194

PROJECT ARCHITECT:

FREDRICK FISHER PARTNERS
150 WEST 28TH STREET #1802
NEW YORK, NY 10001
1-310-820-6680

**Frederick
Fisher and
Partners**

PROJECT LANDSCAPE ARCHITECT:

NELSON BYRD WOLTZ LANDSCAPE ARCHITECTS
214 WEST 29TH STREET SUITE 900
NEW YORK, NY 10001
1-212-260-2270

**Nelson Byrd Woltz
Landscape Architects**

OWNER / APPLICANT:

VASSAR COLLEGE
124 RAYMOND AVE.
POUGHKEEPSIE, NEW YORK 12601
ATTN: MIKE QUATTROCIOCHI

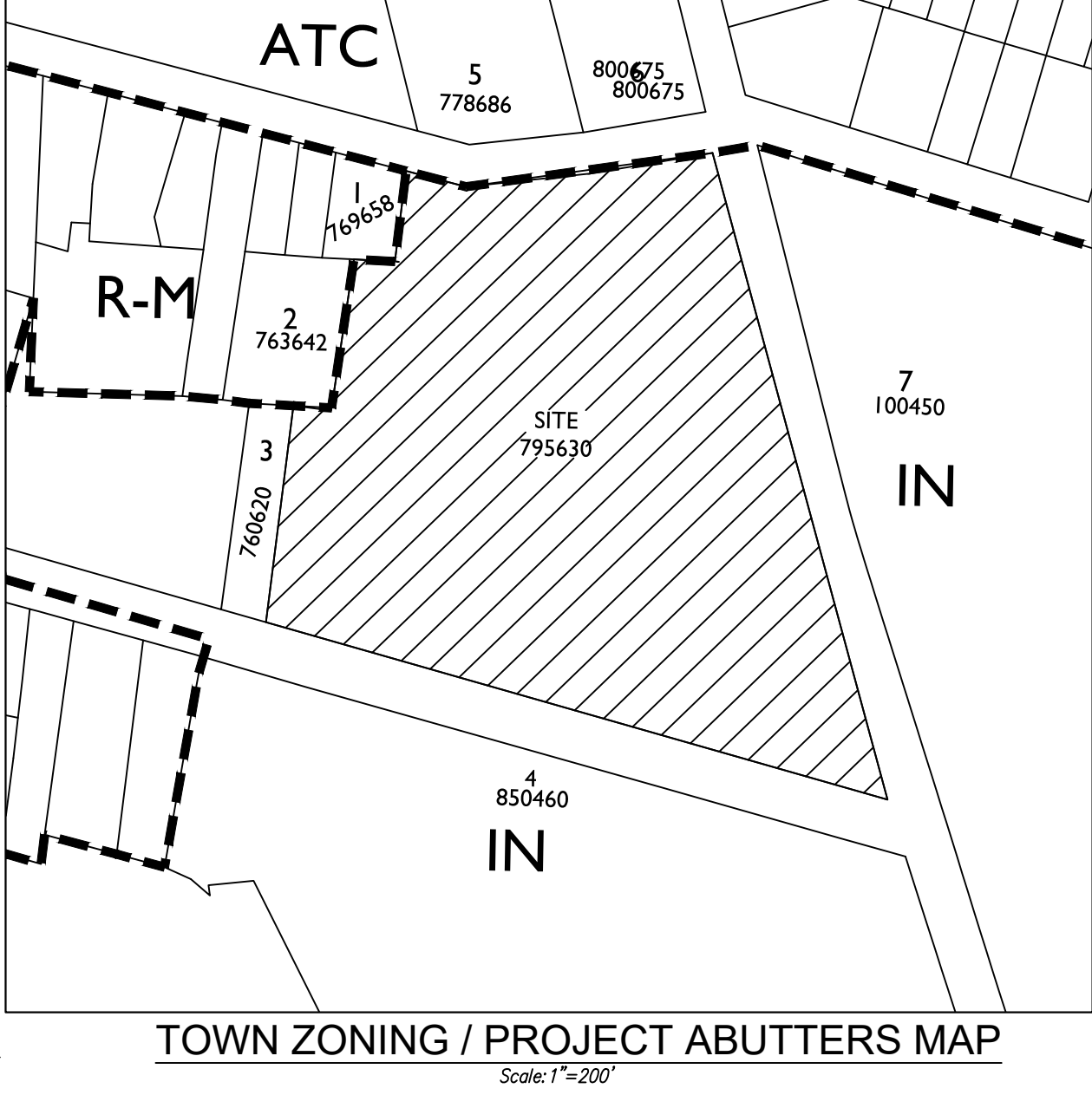
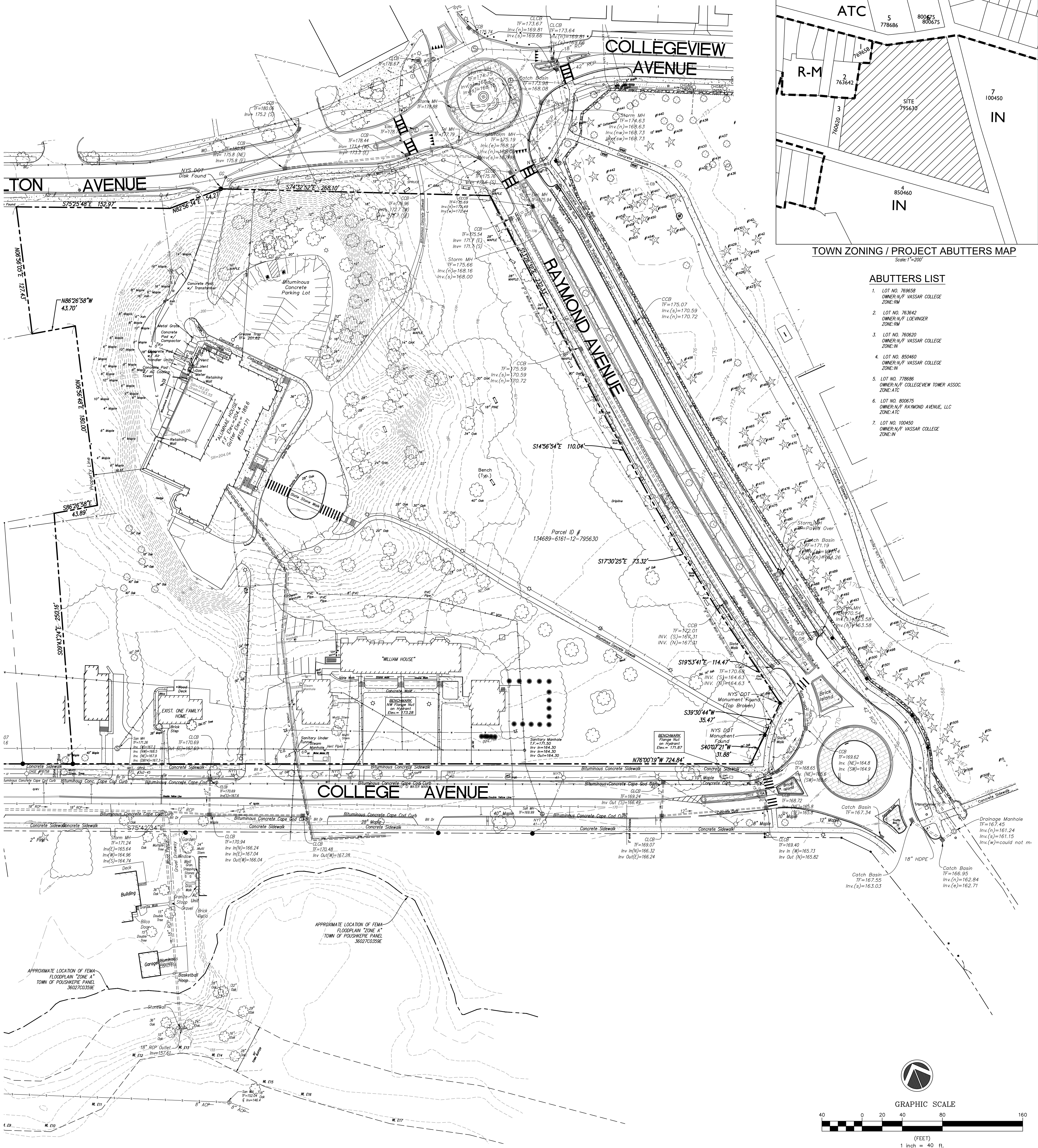


INDEX OF DRAWINGS

CIVIL / SITE DRAWING LIST:

CV-1	COVER SHEET (SHEET 1 OF 19)
EX-1	EXISTING CONDITIONS (SHEET 2 OF 19)
DM-1	DEMOLITION PLAN (SHEET 3 OF 19)
SP-1	SITE PLAN (SHEET 4 OF 19)
SG-1	SITE GRADING PLAN (SHEET 5 OF 19)
SD-1	SITE DRAINAGE PLAN (SHEET 6 OF 19)
UT-1	SITE UTILITIES PLAN (SHEET 7 OF 19)
EC-1	EROSION AND SEDIMENTATION CONTROL PLAN (SHEET 8 OF 19)
LP-1	LIGHTING PLAN (SHEET 9 OF 19)
LP-2	LIGHTING CUT SHEETS (SHEET 10 OF 19)
PP-1	WATER PLAN AND PROFILE (SHEET 11 OF 19)
PP-2	SANITARY SEWER PLAN AND PROFILE (SHEET 12 OF 19)
PP-3	SANITARY SEWER PLAN AND PROFILE (SHEET 13 OF 19)
NS-1	NOTES SHEET (SHEET 14 OF 19)
DN-1	SITE DETAILS (SHEET 15 OF 19)
DN-2	WATER DETAILS (SHEET 16 OF 19)
DN-3	SANITARY DETAILS (SHEET 17 OF 19)
DN-4	STORMWATER DETAILS (SHEET 18 OF 19)
DN-5	EROSION CONTROL DETAILS (SHEET 19 OF 19)

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ABUTTERS LIST

- LOT NO. 769658
OWNER: VASSAR COLLEGE
ZONE: RM
- LOT NO. 763642
OWNER: N.F. LOEWINGER
ZONE: RM
- LOT NO. 769620
OWNER: N.F. VASSAR COLLEGE
ZONE: IN
- LOT NO. 850460
OWNER: N.F. VASSAR COLLEGE
ZONE: IN
- LOT NO. 778966
OWNER: N.F. COLLEGEVIEW TOWER ASSOC.
ZONE: ATC
- LOT NO. 800675
OWNER: N.F. RAYMOND AVENUE, LLC
ZONE: ATC
- LOT NO. 100450
OWNER: N.F. VASSAR COLLEGE
ZONE: IN



Certification

I hereby declare this map to be prepared in accordance with the Code of Practice of the New York State Association of Land Surveyors, adopted October, 1996 and revised through July 18, 1997.

JOHN F. WAGENBLATT, L.S. Lic. No. 050,547



Map Notes

- Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-section 2, of the New York State Education Law.
- Only copies from the original of this survey marked with an original of the land surveyor's seal shall be considered to be a true copy.
- The above certification shall run only to the person for whom the survey is prepared, and on his behalf to the title company, governmental agency and lending institution. Certifications are not transferable to additional institutions or subsequent owners.
- Bearings, and Coordinates are referenced to Vassar College Base Mapping.
- Elevations, Contours and elevations are referenced to Vassar College Base Mapping and subsequent fieldwork.
- Field survey was completed on October 30, 2018.
- Reference is made to the following maps:
A. "Plan of Lots Fulton Court Realty Co. Town of Poughkeepsie, NY", scale 1"=30', dated January 20, 1917, prepared by John 1598.
B. "Sheet No. 12 Fishkill Plains Poughkeepsie Pt. 2 Dutchess Co. PET. NOS. 1022 & 3480, 3815 PET. No. T-17", dated Aug 2, 1919.
C. "New York State Department of Transportation Acquisition Map Map No.175, Parcel Nos. 134 to 304", dated December 14, 2005.
- Property is located in Zone "X" (areas outside of established flood zones) as depicted on Flood Insurance Rate Map (FIRM) Panel 0556C, Dutchess County, New York, Town of Poughkeepsie, community number 361142, map number 360270359E, effective date May 2, 2012.
- Location of all underground utilities depicted hereon are approximate and are based on field location of visible structures such as catch basins, manholes, water gages, etc. and compiled information from plans supplied by the respective utility companies, government agencies and other utility owners. All contractors are required by State Regulations to contact the local utility one call center at 811 for locations and stake-out of utilities prior to any excavation.

Legend

- Concrete Surface
- Blumious Concrete Surface
- Brick Surface
- Existing Spot Grade
- 224d
- Guy Wire
- Deciduous Tree
- Coniferous Tree
- Shrub
- Fence Post
- Lamp Post
- Span Pole
- Light Pole
- Sign
- Ballard
- Hydrant
- Mailbox
- Curbside Catch Basin
- Catch Basin
- Handicap Parking
- Property Line
- Easement Line
- Index Contour
- Intermediate Contour
- Treeline
- Hedge/Shrub Line
- Stone Wall
- Relating Wall
- Wire Fence
- Chain Link Fence
- Guide Rail
- Stream/Edge of Water
- Limit of Wetlands
- Sanitary Sewer
- Water Main
- Gas Main
- Electric Line
- Telephone Line
- Overhead Wire
- CATV
- CATV
- Concrete Monument Found
- Iron Pipe / Rebar Found
- Angle Point
- Drill Hole
- Utility Pole
- Water Main
- Gas Gage
- Drainage Manhole
- Sanitary Manhole
- Electric Manhole
- Telephone Manhole

CONSTRUCTION DOCUMENTS
VASSAR COLLEGE INN & INSTITUTE
18003.00
COLLEGE AVENUE POUGHKEEPSIE, NY

CONTRACTOR

CONSULTANT

LRC GROUP

- Land Planning
- Civil Engineering
- Environmental Services
- Land Surveying
- Landscape Architecture

85 Civic Center Plaza, Suite 103
Poughkeepsie, NY 12601
Tel: 845.343.2800

1 International Blvd., Suite 410
Middletown, NY 13760
Tel: 845.603.5730

160 West Street, Suite E
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Tel: 860.633.2877

www.lrcgroup.com

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Frederick Fisher and Partners

1000 3RD AVE
POUGHKEEPSIE, NY 12601
TEL: 845.343.2800
WWW.FREDERICKFISHERANDPARTNERS.COM

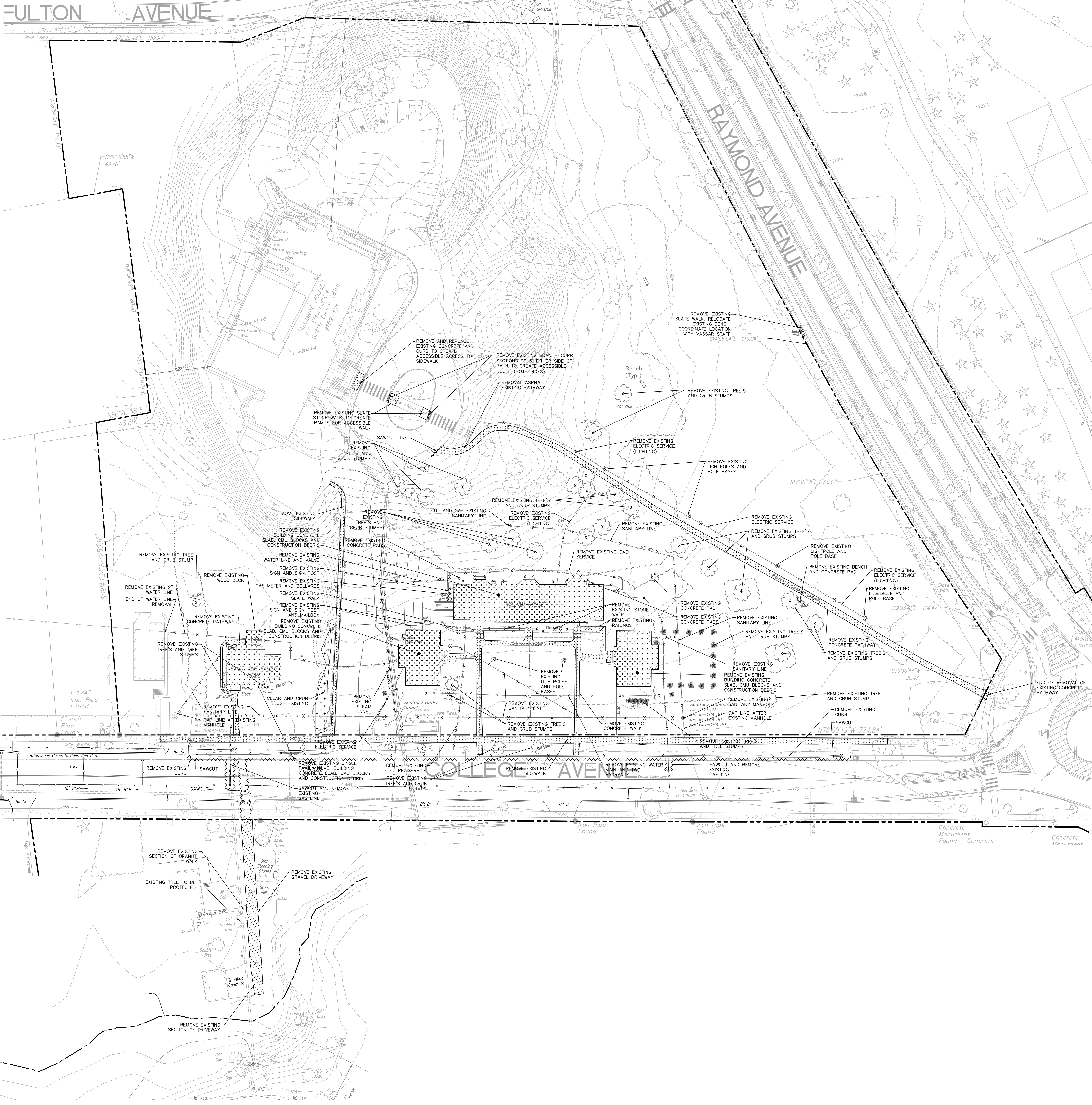
EXISTING
CONDITIONS

SCALE: 1"=40'

EX-I

SHEET 2 OF 19

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DEMOLITION LEGEND:

X X X X X	ITEM(S) TO BE REMOVED
	BUILDING / STRUCTURE TO BE REMOVED
	PAVEMENT / CONCRETE WALK TO BE REMOVED
	STRUCTURE TO BE REMOVED
	SAWCUT LINE

CONTRACTOR NOTE:

- CONTRACTOR TO RESTORE ALL DEMOLITION WORK ASSOCIATED WITH SEWER INSTALLATION TO ITS ORIGINAL CONDITION PRIOR TO CONSTRUCTION

TREE PROTECTION NOTE:

- SEE LANDSCAPE ARCHITECTS PLAN FOR ALL TREE PROTECTION INFORMATION & DETAILS DURING DEMOLITION / CONSTRUCTION

EXISTING SANITARY NOTE:

- EXISTING SANITARY INFORMATION FOR WILLIAMS HOUSE PROVIDED BY VC STAFF. THESE UTILITIES HAVE THE POTENTIAL TO EXIST IF ENCOUNTERED. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE THEM IF ENCOUNTERED.

DEMOLITION NOTES:

- CONTRACTOR SHALL NOTIFY "BIG SAFELY NEW YORK" AT 1-800-962-7692 AT LEAST TWO FULL WORKING DAYS PRIOR TO COMMENCEMENT OF ANY WORK IN ACCORDANCE WITH UFPO CODE RULE 53, 16 NYCRR PART 753.
- ANY EXISTING CONDITION OR ITEM THAT MAY CONFLICT WITH SITE DEVELOPMENT AND IS NOT IDENTIFIED ON THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND DESIGN ENGINEER AS SOON AS POSSIBLE.
- ADDITIONAL UNDERGROUND FACILITIES MAY BE PRESENT WITHIN THE LIMITS OF THE PROPOSED WORK. THE CONTRACTOR SHALL CONTACT ANY AND ALL PERSONNEL RESPONSIBLE FOR DETERMINING THE LOCATIONS.
- PRIOR TO DEMOLISHING ANY BUILDINGS/STRUCTURES, THE CONTRACTOR SHALL PERFORM A PRE-DEMOLITION SURVEY IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS BY THE AUTHORITY HAVING JURISDICTION.
- CONFORM TO APPLICABLE CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF CONTROL, AND HAULING, DISPOSAL AND STORAGE OF DEBRIS.
- PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
- MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. DO NOT INTERRUPT EXISTING UTILITIES SERVING OPERATING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION.
- WHEN DISTURBED, EXISTING FACILITIES SHALL BE REPAIRED OR REPLACED IN KIND AND IN ACCORDANCE WITH THE REQUIREMENTS OR THE DIRECTION OF THE AUTHORITY HAVING JURISDICTION. ASSOCIATED COSTS SHALL BE BORNE BY THE CONTRACTOR.
- NOTIFY ADJACENT OWNERS OF WORK THAT MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGE, OR DISRUPTION. COORDINATE WITH OWNERS.
- PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.
- LOCATE AND IDENTIFY ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA, DISCONNECT AND SEAL OR CAP OFF UTILITY SERVICES THAT WILL BE AFFECTED BY THIS PROJECT. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
- DEMOLISH AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.
- PROTECT EXISTING FEATURES THAT ARE NOT TO BE DEMOLISHED.
- CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESS WAY.
- MAINTAIN EGRESS AND ACCESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADWAYS, OR SIDEWALKS WITHOUT PERMITS.
- CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY AUTHORITY HAVING JURISDICTION.
- ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS.
- FIELD VERIFY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED ON DEMOLITION PLAN TO DETERMINE EXTENT OF SELECTIVE DEMOLITION REQUIRED.
- MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATION.
- CONDUCT SELECTIVE DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH WORK.
- CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA.
- USE WATER MIST, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT THE SPREAD OF DUST AND DIRT. COMPLY WITH GOVERNING ENVIRONMENTAL PROTECTION REGULATIONS. DO NOT USE WATER WHEN IT MAY DAMAGE EXISTING CONSTRUCTION, SUCH AS ICE, FLOODING, OR POLLUTION.
- REMOVE, TRANSPORT AND DISPOSE OF DEMOLITION DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS AND MEET ALL APPROPRIATE DISPOSAL AND TRUCKING LAWS.
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF SELECTIVE DEMOLITION.
- PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. ALL DEBRIS RESULTING FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE AT A FACILITY APPROVED TO RECEIVE THE DEBRIS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. DO NOT BURN OR BURY DEMOLISHED MATERIALS ON-SITE.
- NO BLASTING IS PROPOSED FOR THE PROJECT.
- A MINIMUM OF TEN FEET OF EXISTING PIPE SHALL BE REMOVED AROUND ALL EXISTING MANHOLES, WHERE NEW PIPES ARE PROPOSED TO CONNECT.
- IF ANY STORM DRYWELLS OR PREVIOUSLY UNIDENTIFIED UNDERGROUND STRUCTURES ARE IDENTIFIED AND EXHIBIT A SEWAGE/SEPTIC ODOR NOTIFY SITE ENGINEER AND TREAT AS SANITARY WASTE FOR DISPOSAL.
- CONTRACTOR TO COORDINATE WITH THE PROJECT LANDSCAPE ARCHITECT FOR THE REMOVAL & PROTECTION OF EXISTING TREES PRIOR TO CONSTRUCTION.

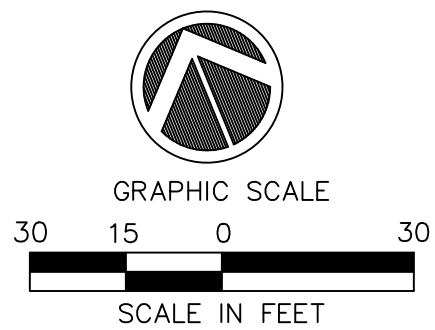
CONTRACTOR

CONSULTANT

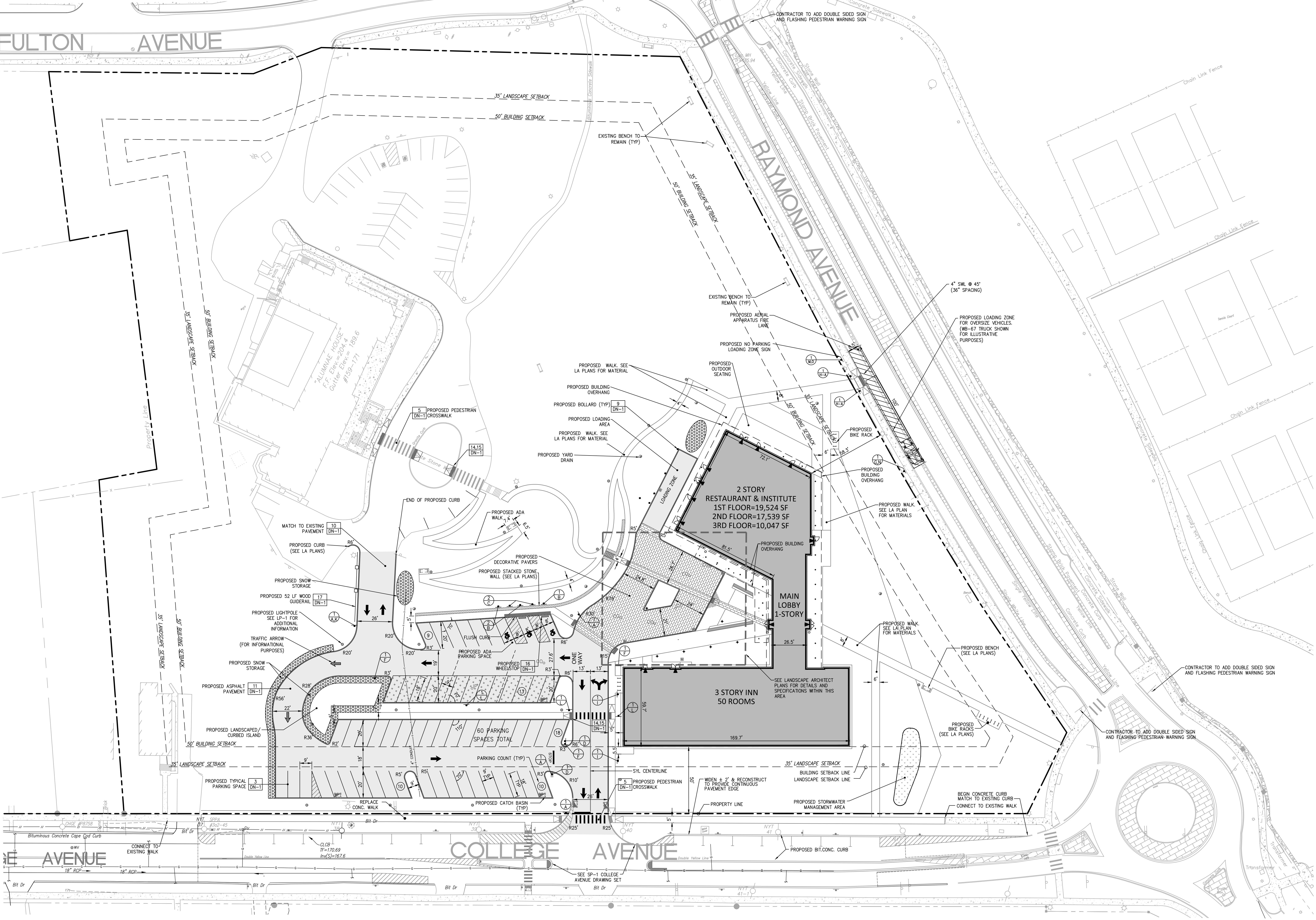


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SUMMARY CHART			
ZONING INFORMATION			
PARCEL SIZE	326,131 SF OR 7.49 ACRES		
TAX MAP IDENTIFICATION	6261-12-795630		
ZONING DISTRICT	IN-INSTITUTIONAL DISTRICT		
PROPOSED USE	HOTEL, RESTAURANT, CONFERENCE CENTER		
ZONING SUMMARY-PROPOSED PROJECT AREA ONLY (EXCLUDES ALUMNAE HOUSE)			
ITEM	REQUIRED	EXISTING	PROPOSED
SETBACKS			
FRONT MIN.	50 FEET	38.78'	50'
REAR MIN.	50 FEET	52.33'	318.3'
SIDE MIN.	50 FEET	168.1'	56.8'
MINIMUM LOT FRONTAGE	200 FEET	724.85'	724.85'
MINIMUM LOT DEPTH	400 FEET	570.32'	570.32'
MAXIMUM LOT COVERAGE	25%	5.49%	9.17%
MAXIMUM IMPERVIOUS SURFACE	75%	20.4%	22.47%
MAXIMUM BUILDING HEIGHT	60 FEET OR 6 STORIES	LESS THAN 60'	55'-2"
MINIMUM LANDSCAPE SETBACK	35 FEET	35 FEET	35 FEET
MINIMUM OPEN SPACE	NONE REQUIRED	NONE REQUIRED	NONE REQUIRED
MAXIMUM DENSITY	NONE REQUIRED	NONE REQUIRED	NONE REQUIRED
MINIMUM LOT AREA	3 ACRES	7.49 ACRES	7.49 ACRES

PARKING & LOADING REQUIREMENTS			
PARKING & LOADING INFORMATION			
ITEM	REQUIRED	PROPOSED	
MAXIMUM SLOPE	5%	LESS THAN 5%	
PARKING DIMENSIONS UNENCLOSED	9 FEET X 18 FEET	9 FEET X 18 FEET	
MINIMUM MANEUVERING AISLE WIDTH	26 FEET	17.6 FEET (ONE WAY) 26 FEET (TWO WAY)	
HANDICAPPED PARKING REQUIREMENTS	3 REQUIRED	3 PROVIDED	
INN WITH RESTAURANT=1.2 ROOM	50X1.2=60 REQUIRED	60 PROVIDED	
INSTITUTE=TO UTILIZE ON STREET PARKING ALONG RAYMOND AND COLLEGE AVE AND ADDITIONAL PARKING ON MAIN CAMPUS			

SEE NS-I FOR
ADDITIONAL NOTES

SEE NS-I FOR
AQUATIC RESOURCE
NOTES

SIGN LEGEND		
NO.	LEGEND	QTY.
A	STOP	3
B	NO PARKING ANYTIME	3
C	NO PARKING 8P-5A	2
D	NO STOPPING	2
E	ONE WAY	2
F	ONE WAY	2
G	NO PARKING 8P-5A	3
H-A	NO PARKING 8P-5A	2
I	NO PARKING 8P-5A	6
J	NO PARKING 8P-5A	3

LEGEND	
PROPOSED ASPHALT	
PROPOSED PAVERS	
PROPOSED CONCRETE CURB	
PROPOSED SIGN	
PROPOSED CATCH BASIN	
PROPOSED YARD DRAIN	
SETBACK LINE	
PROPOSED BOLLARD	
PROPOSED PERMEABLE PAVEMENT	
PROPOSED SNOW STORAGE	

TRAFFIC DIRECTION ARROW TABLE	
TRAFFIC DIRECTION ARROW (PAINTED ON ASPHALT) :	TRAFFIC DIRECTION (INFORMATIONAL) :

TOWN OF Poughkeepsie NOTE:
1. PRIOR TO THE CHAIRMAN'S SIGNATURE OF THE SITE PLAN, ALL REQUIRED EASEMENTS, AGREEMENTS, DECLARATIONS, AND OFFERS OF CESSION SHALL BE REVIEWED AND APPROVED BY TOWN COUNSEL, ACCEPTED AND EXECUTED BY THE TOWN OF Poughkeepsie, AND IF REQUIRED RECORDED WITH THE DUTCHES COUNTY CLERK. SUCH INSTRUMENTS MAY CONSIST OF THE FOLLOWING:
A. STORM WATER MAINTENANCE AGREEMENT
B. TOWN WATER AND SEWER ACCESS MAINTENANCE AGREEMENT
C. SIDEWALK MAINTENANCE AGREEMENT
D. SIGHT LINE EASEMENT

ARLINGTON FIRE DEPARTMENT NOTES:
1. OWNER / APPLICANT IS TO INSTALL AN ADVANCED COMBINATION MULTI-CRITERIA DETECTION SYSTEM
2. OWNER / APPLICANT IS TO INSTALL AN (A CLASS AUTOMATIC WET STANDPIPE SYSTEM) INSTALLED IN THE PROTECTED STAIRWELLS OF THE INN.

- ### GENERAL NOTES
- ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF Poughkeepsie REQUIREMENTS AND SPECIFICATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
 - REFER TO OTHER PLANS AND DETAIL SHEETS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BIDDING.
 - REFER TO THE DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
 - ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE SITE ENGINEER, AND THE APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
 - THE CONTRACTOR SHALL RESTORE ANY OF THE FOLLOWING IF THEY ARE NOTED TO REMAIN: UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE TOWN OF Poughkeepsie.
 - TRAFFIC CONTROL MEASURES SHALL BE UTILIZED IN ACCORDANCE WITH TOWN OF Poughkeepsie AND NYSDOT.
 - PAVEMENT MARKINGS SHALL BE FAST DRYING TYPE IN ACCORDANCE WITH TOWN OF Poughkeepsie SPECIFICATIONS.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLANT SPECIFICATIONS TO THE SITE ENGINEER AND OWNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW. APPROVED SHOP DRAWINGS WILL BE PROVIDED BY THE ENGINEER AND COPIED TO THE TOWN OF Poughkeepsie.
 - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC MEN AS REQUIRED OR ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE TOWN AND GOVERNING AUTHORITIES IS GRANTED.
 - THE PROJECT DRAWINGS ARE GENERALLY DIAGRAMMATIC IN INDICATING THE PRESENCE OF EXISTING UNDERGROUND UTILITIES. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED TO BE CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR OF THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND SERVICES. WHEN THE UTILITIES ARE TO BE LEFT IN PLACE, THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING THE EXCAVATION AND BACKFILLING OPERATIONS.
 - PRIOR TO DEMOLITION OR CONSTRUCTION THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 1-800-962-7962 AT LEAST 72 HOURS BEFORE COMMENCEMENT OF WORK TO VERIFY ALL UTILITY LOCATIONS. CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS.
 - IF ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY IS UNCOVERED DURING EXCAVATION, THE CONTRACTOR SHALL CONSULT THE SITE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK.
 - STORAGE OF FLAMMABLE AND HAZARDOUS MATERIALS SHALL BE IN COMPLIANCE WITH THE NYS FIRE AND BUILDING CODE.
 - CONTRACTOR TO PROVIDE SITE ENGINEER WITH SUBMITTALS, ONCE APPROVED, COPIES WILL BE SUPPLIED TO TOWN ENGINEER AND APPROPRIATE TOWN DEPARTMENTS.
 - REFUSE CONTAINERS AND STORAGE BINS WILL BE WITHIN THE PROPOSED BUILDING LOCATED NEAR THE LOADING AREA.
 - ALL SIDEWALK, CURBING AND PAVEMENT WORK PERFORMED ALONG COLLEGE AVENUE WITHIN THE TOWN ROW TO BE PERFORMED TO TOWN OF Poughkeepsie HIGHWAY DEPARTMENT STANDARDS.
 - NYSDOT HIGHWAY PERMIT WILL BE REQUIRED AS PART OF FINAL CONSTRUCTION DOCUMENTS. APPROVED COPY OF NYSDOT HIGHWAY WORK PERMIT WILL BE PROVIDED TO BOTH TOWN PLANNING AND ENGINEERING DEPARTMENTS.
 - DODH PERMITS WILL BE REQUIRED AND WILL BE COMPLETED PRIOR TO PLANNING BOARD APPROVAL. DUTCHES COUNTY DEPARTMENT OF HEALTH APPROVAL WILL BE SHOWN ON SITE PLAN PRIOR TO CHAIRMAN'S SIGNATURE.
 - PER TOWN OF Poughkeepsie CODE CHAPTER 139-401, "NOISE," THE APPLICANT WILL ONLY PERFORM CONSTRUCTION ACTIVITIES BETWEEN THE HOURS OF 7:00AM AND 6:00PM MONDAY THROUGH FRIDAY AND 10:00AM AND 6:00PM ON SATURDAYS. NO WORK WILL BE PERFORMED ON SITE ON SUNDAY OR LEGAL HOLIDAYS.
 - REFUSE CONTAINERS FOR THE PROJECT WILL BE STORED WITHIN THE BUILDING AND BROUGHT OUT TO A GARBAGE TRUCK ON A SCHEDULED BASIS.
 - TREE CLEARING TO OCCUR ONLY BETWEEN OCTOBER 1 AND MARCH 31ST.
 - FUTURE FREESTANDING AND BUILDING MOUNTED SIGNAGE SHALL BE SUBJECT TO PLANNING BOARD REVIEW.
 - VASSAR COLLEGE HAS PREPARED A PARKING MANAGEMENT PLAN DATED APRIL 21, 2020 THAT WILL FOLLOW ALONG WITH THIS PROJECT AS A METHODOLOGY FOR ONSITE MANAGEMENT OF THE PARKING ASSOCIATED WITH THE INN AND INSTITUTE.

LANDSCAPE NOTE:

THE APPLICANT HAS IDENTIFIED A "LAWN AREA" ON THIS PLAN #1-102 AND AGREES THAT FOR A PERIOD OF 10 YEARS AFTER FINAL SITE PLAN APPROVAL IS GRANTED THAT THE FOLLOWING REQUIREMENTS AND RESTRICTIONS WILL BE ADHERED TO WITH REGARD TO SUCH LAWN AREA:
(I) FULLY RESTORE THE LAWN AREA TO A CONDITION SIMILAR TO THE EXISTING CONDITIONS AFTER INSTALLATION OF THE GEO-THERMAL SYSTEM AND SUCH OTHER SITE WORK APPROVED UNDER THIS FINAL SITE PLAN SUBMISSION SET.
(II) INSTALL NEW BENCHES AND OTHER AMENITIES WITHIN THE LAWN AREA, AS ARE APPROVED IN THIS FINAL SITE PLAN SUBMISSION SET.
(III) UTILIZE AN EXISTING ENDOWMENT TO MAINTAIN AND KEEP THE LAWN AREA IN A COMMERCIALY REASONABLE CONDITION.
(IV) NOT DEVELOP THE LAWN AREA AS A PARKING FIELD OR FOR ANY OTHER ABOVE GROUND BUILDING, AND
(V) PROVIDE A \$2,500.00 ANNUAL STIPEND TO THE TOWN OF Poughkeepsie DEPARTMENT OF PARKS AND RECREATION TO SUPPORT MARKETING ACTIVITIES RELATED TO THE USE OF THE LAWN AREA AS A FARMERS MARKET OR SUCH OTHER ACTIVITIES REASONABLY ACCEPTABLE TO THE APPLICANT AND THE TOWN OF Poughkeepsie."

NYSDORHP - LOR STIPULATIONS

VASSAR SHALL CONSTRUCT THE PROJECT IN COMPLIANCE WITH THE FOLLOWING STIPULATIONS:
1. VASSAR, AS APPROPRIATE, WILL COMPLETE A THOROUGH STRUCTURE DOCUMENTATION PACKAGE ACCORDING TO ORPHP'S STANDARDS WITHIN SIX (6) MONTHS OF JULY 2020.
2. VASSAR, AS APPROPRIATE, WILL DELIVER ONE (1) COPY OF THE REPORT TO THE ORPHP FOR FORWARDING TO THE NEW YORK STATE ARCHIVES. ONE (1) COPY OF THE REPORT WILL BE PROVIDED TO VASSAR COLLEGE ARCHIVES. ONE (1) COPY OF THE REPORT WILL BE PROVIDED TO AN APPROPRIATE LOCAL REPOSITORY, AND ONE DIGITAL COPY OF THE REPORT FOR ORPHP TO BE UPLOADED TO CRIS.
3. VASSAR, AS APPROPRIATE, WILL OFFER BUILDING ELEMENTS FOR REUSE OR SALVAGE, SUCH AS BUILDING TRIM, MOLDINGS, FIREPLACE SURROUNDINGS AS WELL AS DOORS AND WINDOWS, TO A QUALIFIED HISTORIC SALVAGE COMPANY, OR HISTORIC RESTORATION CONTRACTOR.
4. IF HUMAN REMAINS ARE ENCOUNTERED AT ANY POINT DURING THIS PROJECT, VASSAR, AS APPROPRIATE, WILL ADHERE TO ORPHP'S HUMAN REMAINS DISCOVERY PROTOCOL.

CONSTRUCTION DOCUMENTS
VASSAR COLLEGE INN & INSTITUTE
18003.00
COLLEGE AVENUE Poughkeepsie, NY

CONSULTANT
LRC GROUP
• Land Planning
• Civil Engineering
• Environmental Services
• Land Surveying
• Landscape Architecture
85 Clark Center Plaza, Suite 603
Poughkeepsie, NY 12601
Tel: 845.243.2800
1 International Blvd., Suite 400
Cornwall, NY 10816
Tel: 845.635.2577
www.lrcgroup.com
LRC Engineering and Surveying, INC.
LRC Engineering and Surveying, LLC
Land Resource Consultants, Inc.
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07/09/2021 ISSUED FOR BID

Frederick Fisher and Partners
12268 Santa Monica Blvd., Los Angeles, CA 90025
150 West 28th St., Suite 1802, New York, NY 10001
(310) 583-1680 ffisher@frederickfisher.com

SITE PLAN

SCALE: 1"=30'

SP-I

SHEET 4 OF 19

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LEGEND

X 162

PROPOSED SPOT ELEVATION

162

PROPOSED MINOR CONTOUR LINE

160

PROPOSED MAJOR CONTOUR LINE

PROPOSED STONE RECHARGE AREA

PROPOSED POROUS PAVEMENT

- GRADING AND DRAINAGE NOTES
1. ALL EXISTING STRUCTURES NOTED TO BE REMOVED, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.

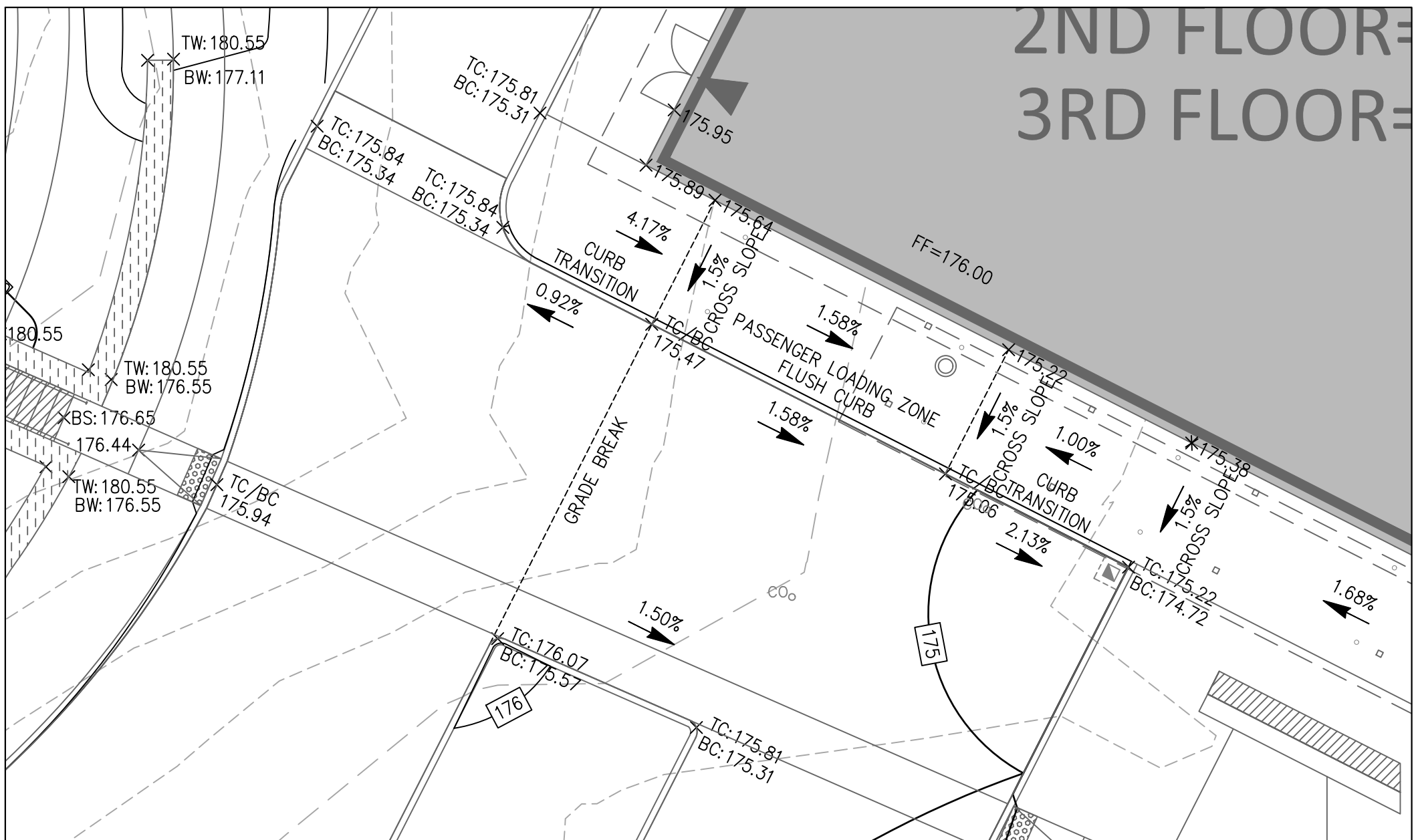
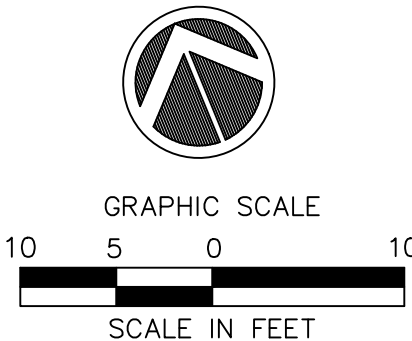
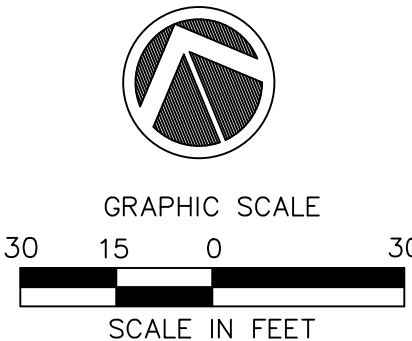
2. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.

3. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

4. FLOW CHARACTERISTICS ARE MAINTAINED IN THE POST DEVELOPMENT, CONSISTENT WITH EXISTING CONDITIONS AS DESCRIBED IN THE SWPPP.

5. CONTRACTOR TO CONFIRM ALL TIE IN GRADES PRIOR TO INSTALLATION OF SUBBASE, ALONG WITH SECTIONS WHERE CONSTRUCTION MEETS PREVIOUS PHASE OF CONSTRUCTION.

SEE STORM DRAINAGE INFORMATION ON SHEET SD-1



PASSENGER LOADING ZONE
GRADING ENLARGEMENT
SCALE 1"=10'

CONTRACTOR

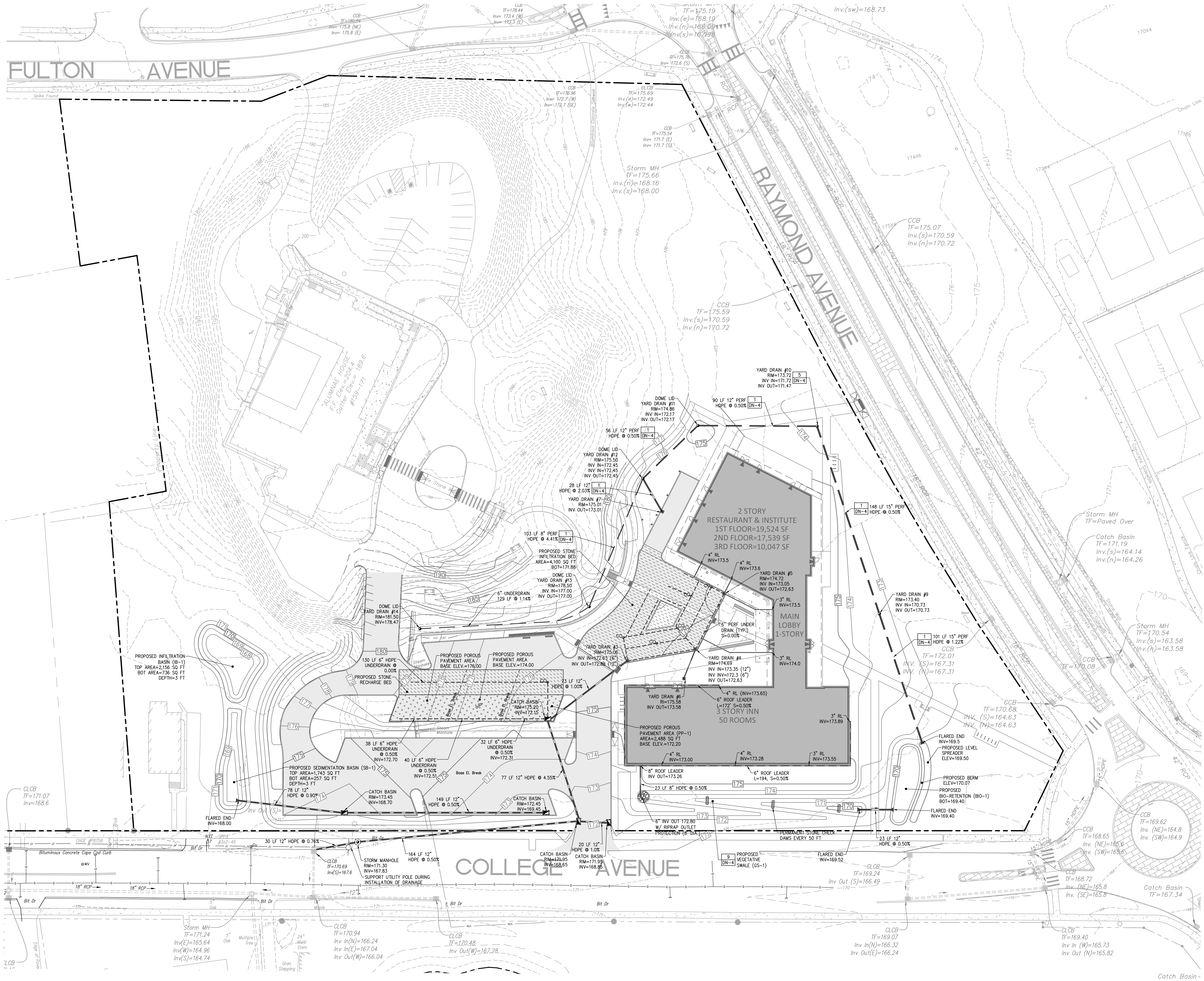
CONSULTANT



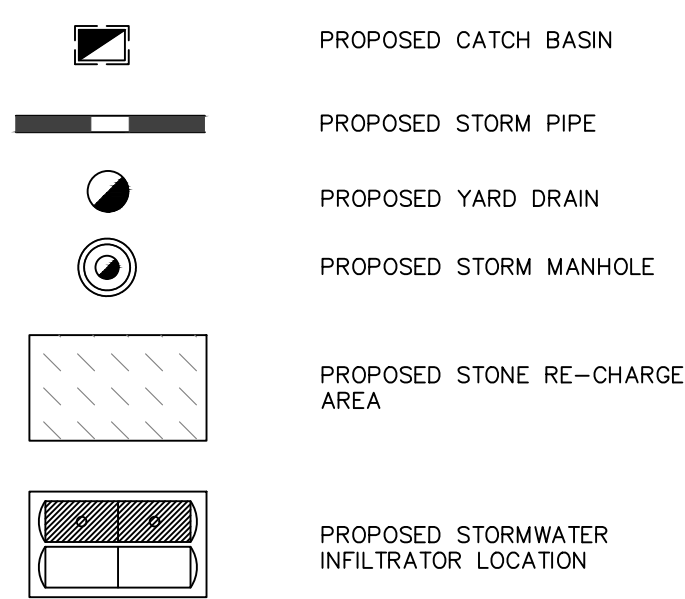
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Poughkeepsie NY 12601
Tel:845.243.2800
- 1 International Blvd., Suite 400
Mahwah, NJ 07495
Tel:800.603.2750
- 160 West Street, Suite E
Cromwell, CT 06416
Tel:860.635.3377
- www.lrcconsult.com
- LRC Engineering and Surveying, L.P.C.
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LEGEND



SEE GRADING AND DRAINAGE NOTES ON SG-1

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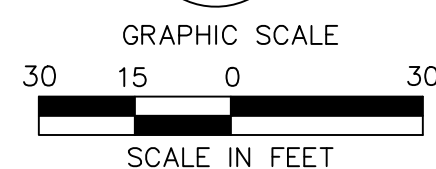
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85 Civic Center Plaza, Suite 103
Poughkeepsie, NY 12601
Tel: 845.343.2800
1 International Blvd., Suite 400
Malabar, NJ 07645
Tel: 908.603.5730
160 West Street, Suite E
Easton, CT 06021
Tel: 860.633.2877
www.lrcgroup.com

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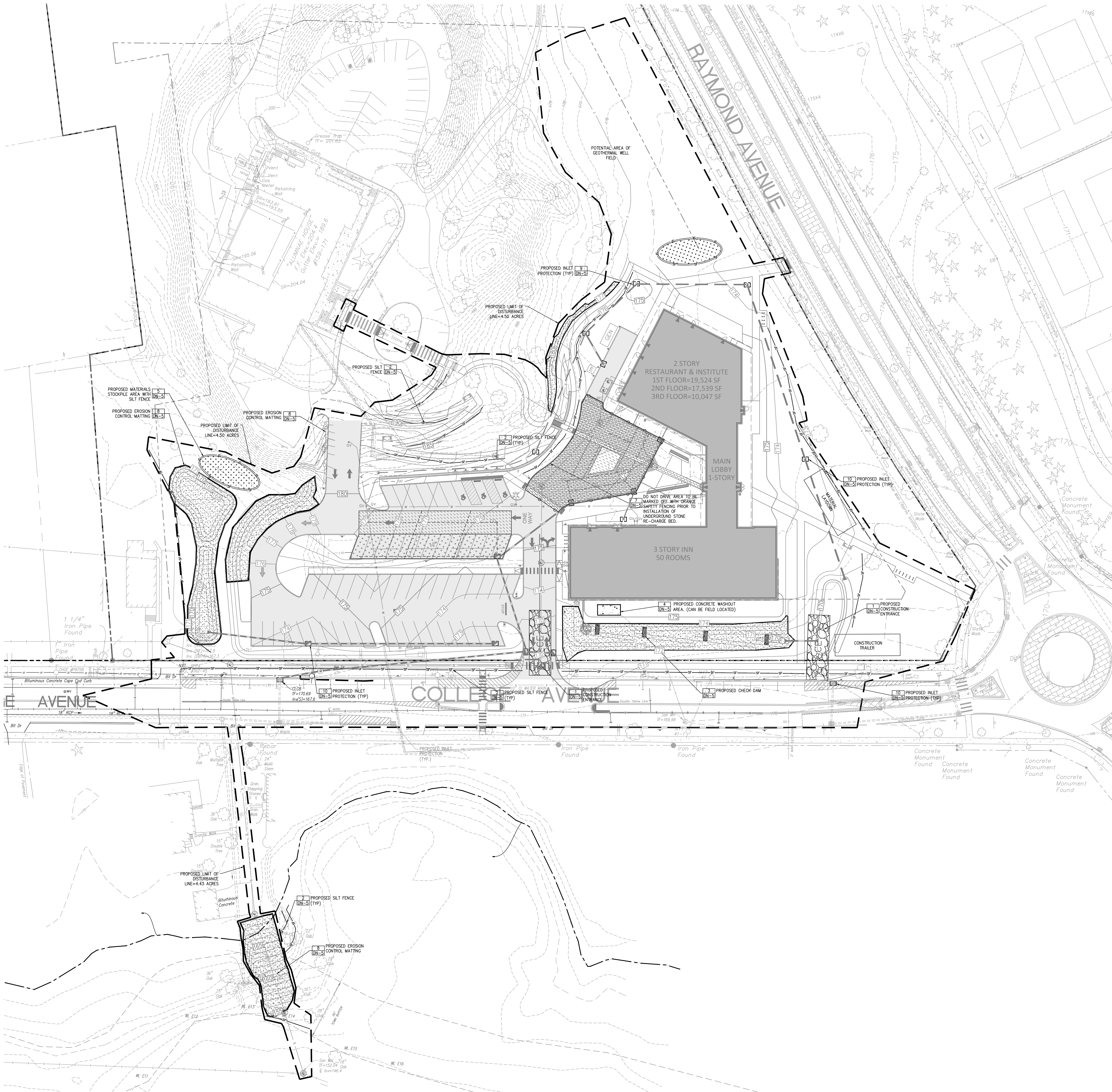
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LEGEND

- PROPOSED SILT FENCE
- PROPOSED INLET PROTECTION (SILT SACKS)
- PROPOSED SOIL MATERIALS STOCKPILE AREA WITH SILT FENCE
- PROPOSED CHECK DAM
- PROPOSED CONCRETE WASHOUT AREA
- PROPOSED EROSION CONTROL MATING
- LIMITS OF DISTURBANCE LINE

CONSTRUCTION SEQUENCE:

- INSTALL EROSION CONTROL MEASURES DOWNGRADIENT OF WEST SIDE PARKING AREA.
- INSTALL WEST LOT PARKING AREA. STABILIZE.
- INSTALL UTILITIES, DRAINAGE, SEWER, WATER, ETC.
- BUILD THE BUILDING.
- INSTALL REMAINING PARKING AREA

NOTES:

- SITE SHALL BE SWEEPED CLEAN AT THE END OF EACH WORK DAY.
- SEE NS-1 FOR EROSION CONTROL NOTES.

DECOMPACTION OF SOILS IN RECLAIMED AREAS:

THESE PROCEDURES SHALL BE FOLLOWED PRIOR TO INSTALLATION OF TOP SOIL OR INFILTRATION PRACTICES IN ANY AREA PREVIOUSLY IMPERFORATED OR COMPACTED BY CONSTRUCTION EQUIPMENT. FOR ALL AREAS TO BE RECLAIMED FOR STORMWATER INFILTRATION, THE AREA SHALL BE MARKED OFF WITH ORANGE SAFETY FENCE AFTER DEMOLITION AND PRIOR TO DECOMPACTION TO PREVENT FURTHER COMPACTION OF THE UNDERLYING SOILS.

- AREAS RECLAIMED AS TOP SOIL:
- APPLY 3" OF COMPOST OVER SUBSOIL. AFTER SUBGRADE LEVELS HAVE BEEN REACHED AND IMMEDIATELY PRIOR TO PLACING PLANTING SOILS.
 - THE ENTIRE SUBGRADE AREA SHALL BE LOOSENEED TO A MINIMUM DEPTH OF 12 INCHES UTILIZING THE BUCKET OF A BACK HOE, CAT MOUNTED RIPPER, TILLER, OR EQUIVALENT EQUIPMENT. ROCK PICK UNTIL UNLIFTED STONE/ROCK MATERIAL OF FOUR INCHES AND LARGER SIZE HAVE BEEN CLEARED FROM THE SITE.
 - ANY SUBGRADE AREAS WHICH HAVE BECOME HEAVILY COMPACTED (DEFINED AS EXCEEDING 80%-88% COMPACTION ASTM 698 STANDARD PROCTOR) INCLUDING, BUT NOT LIMITED TO, TEMPORARY PARKING AREAS, MATERIAL STOCKPILE AREAS, TEMPORARY ROADWAYS, CONSTRUCTION AREAS AND AREAS AROUND THE BUILDING, OTHER CONSTRUCTION AREAS, AREAS SHOWN ON THE PLANS, OR AREAS IDENTIFIED BY THE DESIGN PROFESSIONAL SHALL BE DEEP-SCARIFIED. IMMEDIATELY PRIOR TO PLACING SOILS, HEAVILY COMPACTED AREAS SHALL BE LOOSENEED TO A MINIMUM DEPTH OF 18 INCHES USING THE TEETH OF A BACK HOE OR OTHER SUITABLE EQUIPMENT. FREQUENCY OF COMPACTION TESTS SHALL BE ONE PER 500 SQUARE FEET.
 - CONFIRM THAT THE SUBGRADE IS AT THE PROPER ELEVATION AND THAT NO FURTHER EARTHWORK IS REQUIRED TO BRING THE SUBGRADE TO PROPER ELEVATIONS. PROVIDE A REPORT TO THE DESIGN PROFESSIONAL THAT THE SUBGRADE HAS BEEN PLACED TO THE REQUIRED ELEVATIONS, HAS BEEN DECOMPACTIONED ACCORDING TO THE CONTRACT DOCUMENTS AND IS READY FOR INSPECTION AT LEAST 3 DAYS PRIOR TO PLACING PLANTING SOIL. PERFORM NO WORK OF PLACING AND SPREADING PLANTING MIX UNTIL ELEVATIONS HAVE BEEN CONFIRMED AND THE AREA HAS BEEN ACCEPTED BY THE OWNER'S REPRESENTATIVE.

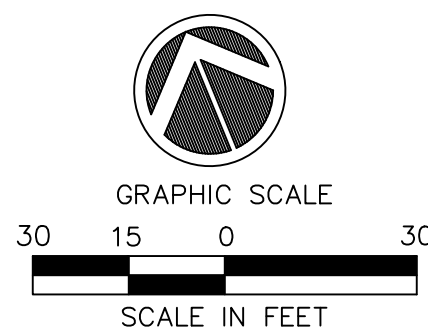
- AFTER THE SOILS HAVE BEEN LOOSENEED AND INSPECTED, TOPSOIL MAY BE SPREAD BY USING A WIDE-TRACK BULLDOZER SIZE D-5 OR SMALLER OR MAY BE DUMPED AND SPREAD WITH THE BUCKET OF A BACKHOE FROM THE EDGE OF THE LOOSENEED AREA. NO RUBBER-TIRED EQUIPMENT OR HEAVY EQUIPMENT EXCEPT FOR A SMALL BULLDOZER SHALL PASS OVER THE SUBSOILS (SUBGRADE) AFTER THEY HAVE BEEN LOOSENEED. IF THE CONTRACTOR PLANS TO UTILIZE SUCH AREAS FOR ANY USE OF HEAVY EQUIPMENT, THIS SHOULD BE CARRIED OUT PRIOR TO BEGINNING THE PROCESS OF LOOSENING SOILS OR FILLING IN THAT AREA, OR IT WILL HAVE TO BE RESCARIFIED AND MEET THIS SPECIFICATION REQUIREMENT.

AREAS RECLAIMED FOR STORMWATER INFILTRATION PRACTICES:

- EXCAVATE AREA TO THE DEPTH OF THE PROPOSED BOTTOM OF THE INFILTRATION PRACTICE.
- THE ENTIRE SUBGRADE AREA SHALL BE LOOSENEED TO A MINIMUM DEPTH OF 12 INCHES BELOW PROPOSED SUBGRADE UTILIZING THE BUCKET OF A BACK HOE, CAT MOUNTED RIPPER, TILLER, OR EQUIVALENT EQUIPMENT. ROCK PICK UNTIL UNLIFTED STONE/ROCK MATERIAL OF FOUR INCHES AND LARGER SIZE HAVE BEEN CLEARED FROM THE SITE.
- ANY SUBGRADE AREAS WHICH REMAIN HEAVILY COMPACTED (DEFINED AS EXCEEDING 80%-88% COMPACTION ASTM 698 STANDARD PROCTOR), AS SHOWN ON THE PLANS, OR AREAS IDENTIFIED BY THE DESIGN PROFESSIONAL SHALL BE DEEP-SCARIFIED. IMMEDIATELY PRIOR TO PLACING SOILS, HEAVILY COMPACTED AREAS SHALL BE LOOSENEED TO A MINIMUM DEPTH OF 18 INCHES USING THE TEETH OF A BACK HOE OR OTHER SUITABLE EQUIPMENT. FREQUENCY OF COMPACTION TESTS SHALL BE ONE PER 500 SQUARE FEET.
- CONFIRM THAT THE SUBGRADE IS AT THE PROPER ELEVATION AND THAT NO FURTHER EARTHWORK IS REQUIRED TO BRING THE SUBGRADE TO PROPER ELEVATIONS. PROVIDE A REPORT TO THE DESIGN PROFESSIONAL THAT THE SUBGRADE HAS BEEN PLACED TO THE REQUIRED ELEVATIONS, HAS BEEN DECOMPACTIONED ACCORDING TO THE CONTRACT DOCUMENTS AND IS READY FOR INSPECTION AT LEAST 3 DAYS PRIOR TO PLACING INFILTRATION PRACTICES. PERFORM NO WORK UNTIL ELEVATIONS HAVE BEEN CONFIRMED AND THE AREA HAS BEEN ACCEPTED BY THE OWNER'S REPRESENTATIVE.
- AFTER THE SOILS HAVE BEEN LOOSENEED AND INSPECTED, INFILTRATION PRACTICES MAY BE INSTALLED USING A WIDE-TRACK BULLDOZER SIZE D-5 OR SMALLER OR MAY BE PLACED, DUMPED, OR SPREAD WITH THE BUCKET OF A BACKHOE FROM THE EDGE OF THE LOOSENEED AREA. NO RUBBER-TIRED EQUIPMENT OR HEAVY EQUIPMENT EXCEPT FOR A SMALL BULLDOZER SHALL PASS OVER THE SUBSOILS (SUBGRADE) AFTER THEY HAVE BEEN LOOSENEED. IF THE CONTRACTOR PLANS TO UTILIZE SUCH AREAS FOR ANY USE OF HEAVY EQUIPMENT, THIS SHOULD BE CARRIED OUT PRIOR TO BEGINNING THE PROCESS OF LOOSENING SOILS OR FILLING IN THAT AREA, OR IT WILL HAVE TO BE RESCARIFIED AND MEET THIS SPECIFICATION REQUIREMENT.
- WHEN INFILTRATION PRACTICES ARE LOCATED BELOW PAVEMENT THE AREA SHALL REMAIN FREE OF LARGE VEHICLES UNTIL THE PAVEMENT SUBBASE HAS BEEN INSTALLED.
- FOR REFERENCE OF DECOMPACTION NOTES, SEE NY'S DESIGN MANUAL SECTION 5.1.8 FOR DEEP RIPPERING AND DECOMPACTION OF EXISTING AREAS THAT ARE PROPOSED FOR RESTORATION.

CONSTRUCTION NOTE:

CONTRACTOR TO PROVIDE A CONSTRUCTION SEQUENCE SPECIFIC TO PRESERVING EXISTING SEWER AND WATER SERVICES TO ALUMNAE HOUSE DURING CONSTRUCTION. THIS SEQUENCE WILL BE PROVIDED TO THE TOWN PRIOR TO THE START OF CONSTRUCTION.



CONTRACTOR

CONSULTANT



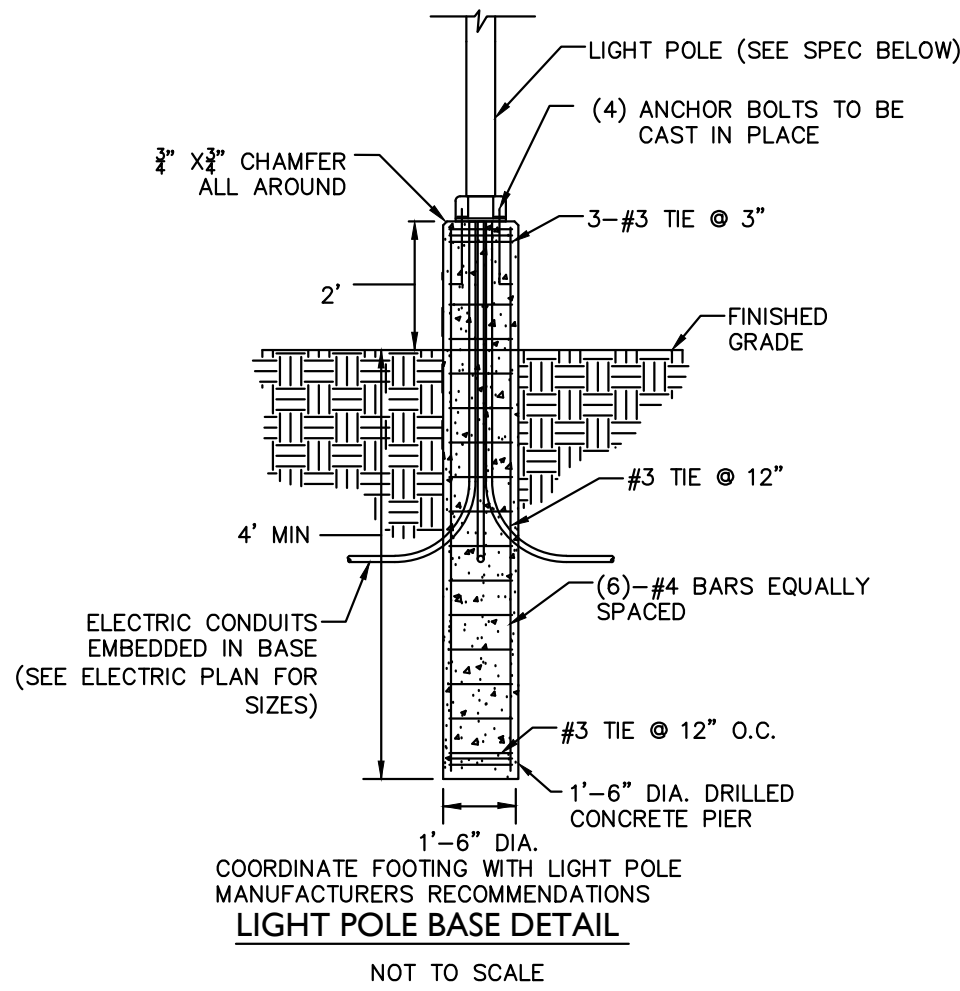
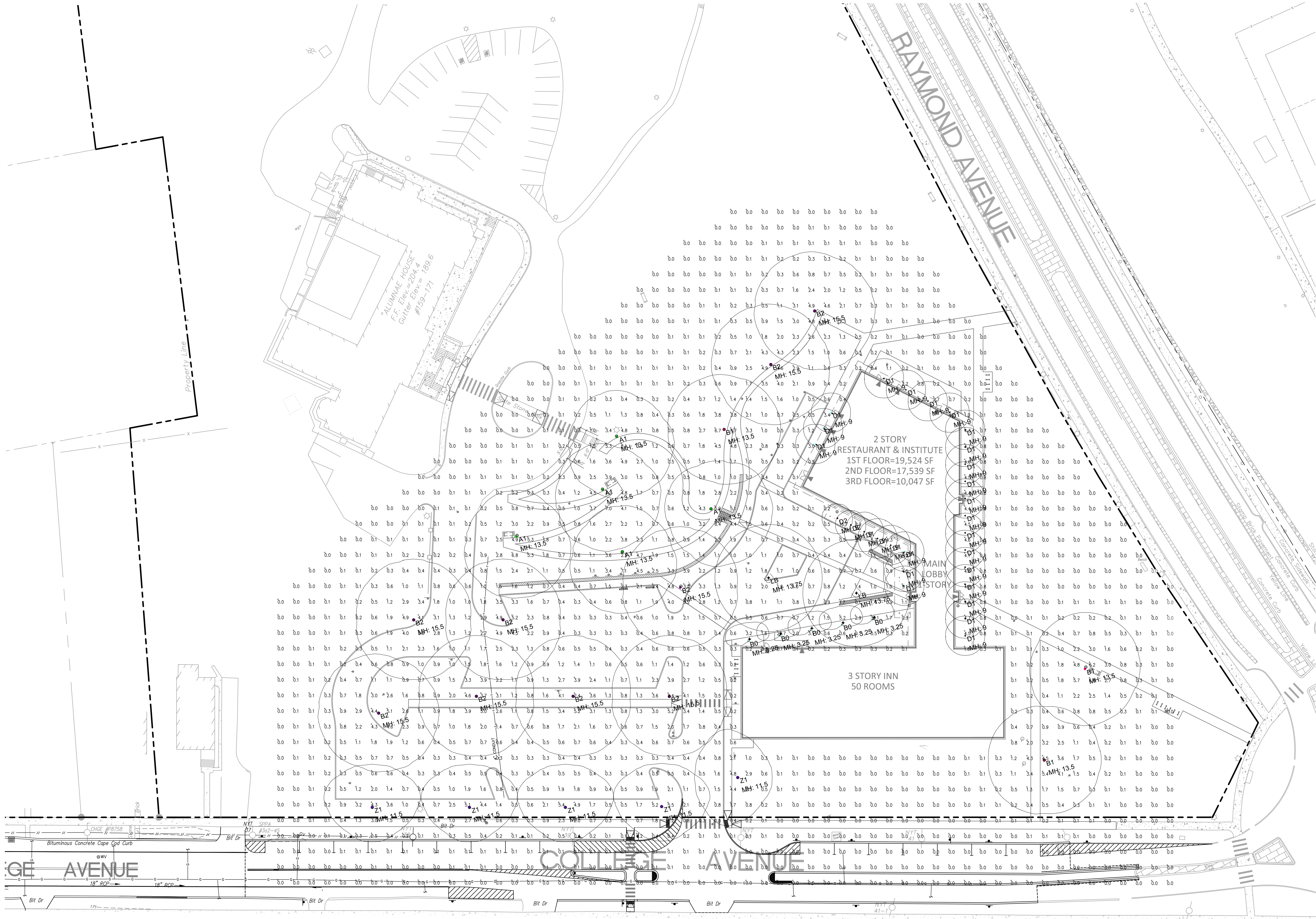
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Poughkeepsie, NY 12601
Tel: 845.343.2800
1 International Blvd., Suite 400
Malabar, NJ 07646
Tel: 908.603.5730
160 West Street, Suite E
Easton, NJ 08821
Tel: 609.653.2877
www.ircgroup.com

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SITE LIGHTING SCHEDULE AND CALCULATIONS

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description	[MANUFAC]	Filename
	5	A1	SINGLE	7006	112	0.850	CY25T4x-FGF-4-100W-4K, 12ft Pole (13.5ft LC)	Cyclone Lighting	HISTORIA-CY25T4x-FGF-4-100W-4K.ies
	5	B0	SINGLE	1457	14.5	0.850	99058K4, 39in LC	BEGA Converted by LUMCat V 23.11.2016 /	99058K4_BEGA_IES.ies
	3	B1	SINGLE	7631	112	0.850	CY25T4x-FGF-5-100W-4K, 12ft Pole (13.5ft LC)	Cyclone Lighting	HISTORIA-CY25T4x-FGF-5-100W-4K.ies
	9	B2	SINGLE	7631	112	0.850	CY25T4x-FGF-5-100W-4K, 14ft Pole (15.5ft LC)	Cyclone Lighting	HISTORIA-CY25T4x-FGF-5-100W-4K.ies
	26	D1	SINGLE	789	12	0.850	90° downlight	USAI	B4RD-12G1-30KS-90-S-MOD.ies
	2	D2	SINGLE	1422	16.8	0.850	50° Downlight	USAI	B4RD-16G1-30KS-50-S.ies
	2	LB	SINGLE	3370	36	0.850	88064, 13.75ft LC	BEGA Converted by LUMCat V 03.11.2015 /	88064_BEGA_IES.ies
	5	Z1	SINGLE	3741	67	0.850	CY25T4x-FGF-3MH5-60W-4K, 10ft Pole (11.5ft to LC)	Cyclone Lighting	HISTORIA-CY25T4x-FGF-3MH5-60W-4K.ies



- NOTES:
- LIGHT POLE BASED TO BE CAST IN PLACE PER DETAIL OR CONTRACTOR MAY PROVIDE SUBMITTAL FOR A PRE CAST BASE TO BE APPROVED BY ENGINEER/OWNER.
- CONCRETE NOTES:
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60 AND BE DETAIL IN ACCORDANCE WITH ACI 315 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES".
 - STEEL REINFORCEMENT SHALL HAVE A MINIMUM CONCRETE COVER AS FOLLOWS: CONCRETE DEPOSITED AGAINST GROUND: 3 IN CONCRETE EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: 2 IN
 - ALL REINFORCING BARS SHALL BE CONTINUOUS AND LAPPED A MINIMUM OF 48 BAR DIAMETERS AT ALL SPLICES, CORNERS, AND INTERSECTIONS UNLESS NOTED OTHERWISE.
 - ALL REINFORCEMENT SHALL BE SECURELY TIED IN ITS PROPOSED LOCATION PRIOR TO AND DURING PLACEMENT OF CONCRETE USING APPROVED CHAIRS, SPACERS AND TIE WIRE AS REQUIRED. NO BARS SHALL BE CUT OR OMITTED IN THE FIELD WITHOUT THE APPROVAL OF THE ENGINEER.
 - CONCRETE SHALL BE NORMAL WEIGHT CONCRETE AND SHALL DEVELOP A COMPRESSIVE STRENGTH OF 4,000 PSI IN 28 DAYS, UNLESS OTHERWISE NOTED. CONCRETE SHALL HAVE A MAXIMUM AGGREGATE SIZE OF 1-1/2 INCH, A MINIMUM CEMENT CONTENT OF 560 LBS/CU YD., AND A MAXIMUM SLUMP OF 4 INCHES.
 - ALL CONCRETE SHALL BE AIR-ENTRAINED IN ACCORDANCE WITH ACI 301, 5.5% (PLUS 1%, MINUS 1.5%)
 - ANCHOR BOLTS SHALL BE AS SPECIFIED BY THE LIGHT POLE MANUFACTURER.
 - CONCRETE PLACED DURING COLD WEATHER CONDITIONS SHALL COMPLY WITH LATEST EDITION OF ACI 306.

Post-Top
CY25T4A/CY25T4B

MODEL	LENS	DIST.	WATT	CCT	VOLT	FITTER	OPTIONS	COLOR	TEXTURE	OP.FIN.
CY25T4A	V53AP	2	20W	3K	120	NONE	NONE	BK	TX	MG
CY25T4B	V53AR	3	40W	4K	208	R30	PC	MT	SM	
	FGC	3M	60W		240		PT1	DG		
	FGF	4	80W		277		PT2	MA		
		5	100W		347		PT3	SI		
	2H5						PK	BZ		
	3H5						PROG	BG		
	3MH5						SD	GM		
	4H5							PG		
								WH		

ORDERING CODE
CY25T4B-FGF-4" or 5" 80W-3K-120-NONE-PC-BK-SM

References

LENS
V53AP GLOBE ACRYLIC RIBBED
V53AR GLOBE ACRYLIC POND
FGC FLAT GLASS CLEAR
FGF FLAT GLASS TINTED

DISTRIBUTION
HS INTERNAL HOUSE SHIELD
SEE PHOTOMETRIC PAGE FOR DETAILS

CCT
3K 3000K
4K 4000K

WATT
SEE PHOTOMETRIC PAGE FOR LUMEN OUTPUT

FITTER
NONE FITS 4" O.D. TO 3" LONG TENON
R28 REDUCER 4" O.D. TO 2 1/8" O.D. X 3" LONG TENON
R30 REDUCER 4" O.D. TO 3" O.D. X 3" LONG TENON

Luminaire
CY25T4B

22 3/4" [58cm]
37 3/4" [96cm]

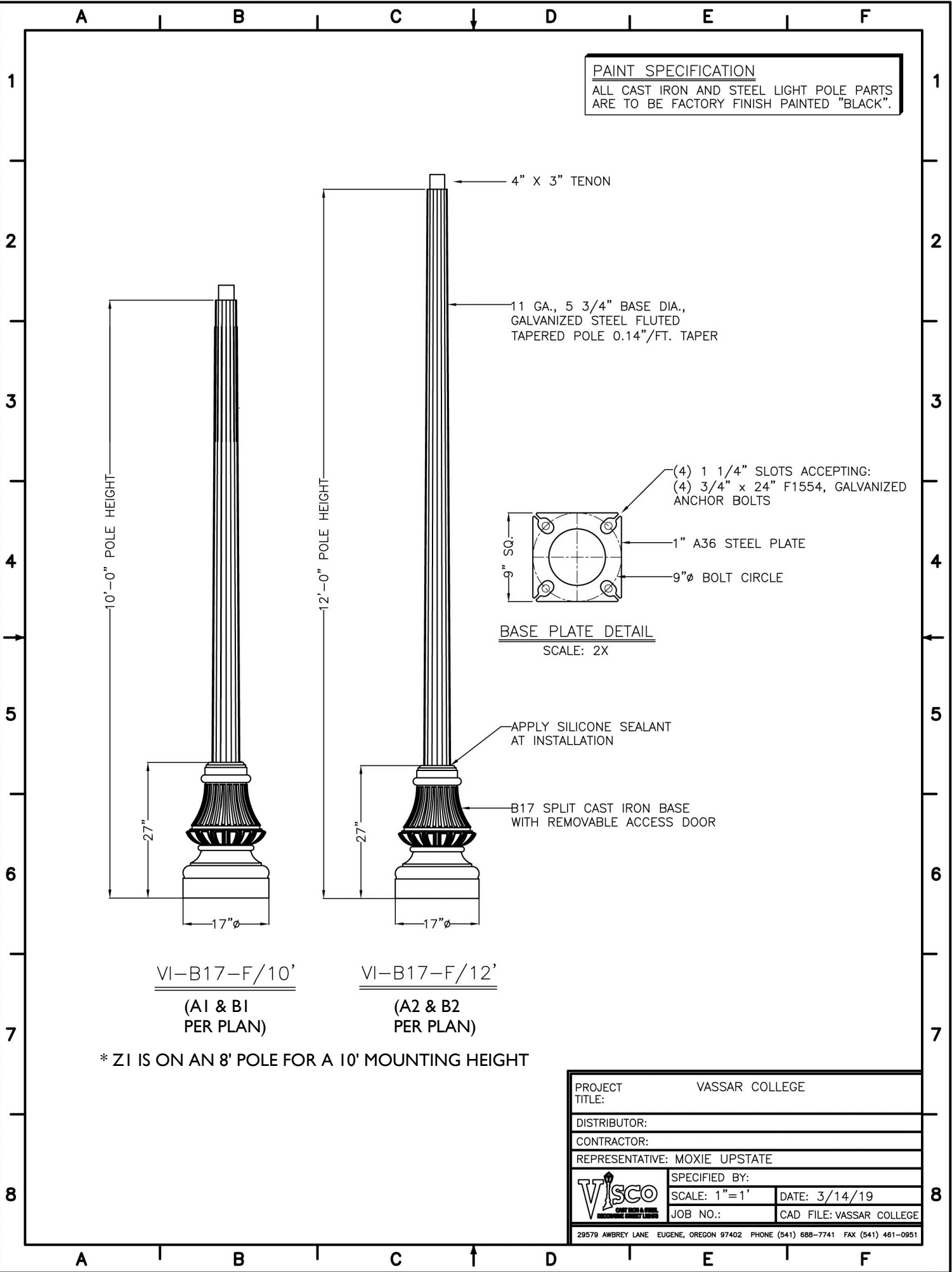
Dark Sky Compliant
cyclone
REV. 3: 03/17

OPTIONS
NONE
PC BUTTON-TYPE PHOTOCELL
PT PHOTOCELL W/7-PIN RECEPTACLE (ANSI C136.4)
PTL LONG-LIFE PHOTOCELL W/7-PIN RECEPTACLE (ANSI C136.4)
PTDR 7-PIN RECEPTACLE (ANSI C136.4)
PK SHORTING CAP W/7-PIN RECEPTACLE (ANSI C136.4)
PROG PROGRAMMABLE DIMMER
SD FIELD ADJUSTABLE 10% INCREMENT STEP-DIMMING SWITCH
*CONTACT FACTORY FOR WHEELS APPLICATIONS AND FOR MORE DETAILS

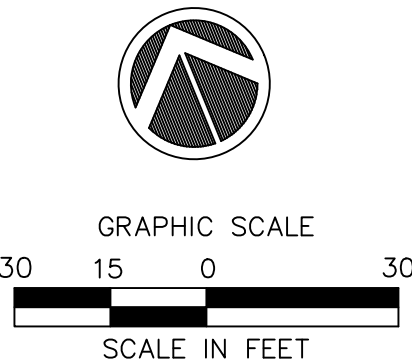
COLOR
BK BLACK RAL3005
MT METALLIC GRAPHITE TEXTURED ONLY (PROPRIETARY FORMULA)
DG DARK GREEN RAL5012
MA MARINE BLUE RAL5013
SI METALLIC SILVER RAL3006 (SMOOTH ONLY)
BZ DARK BROWN RAL8019
BG BURGUNDY RAL3005
GM MOSS GREEN RAL5005
PG PALE GREY RAL7000
WH WHITE RAL5003

TEXTURE
TX TEXTURED
SM SMOOTH

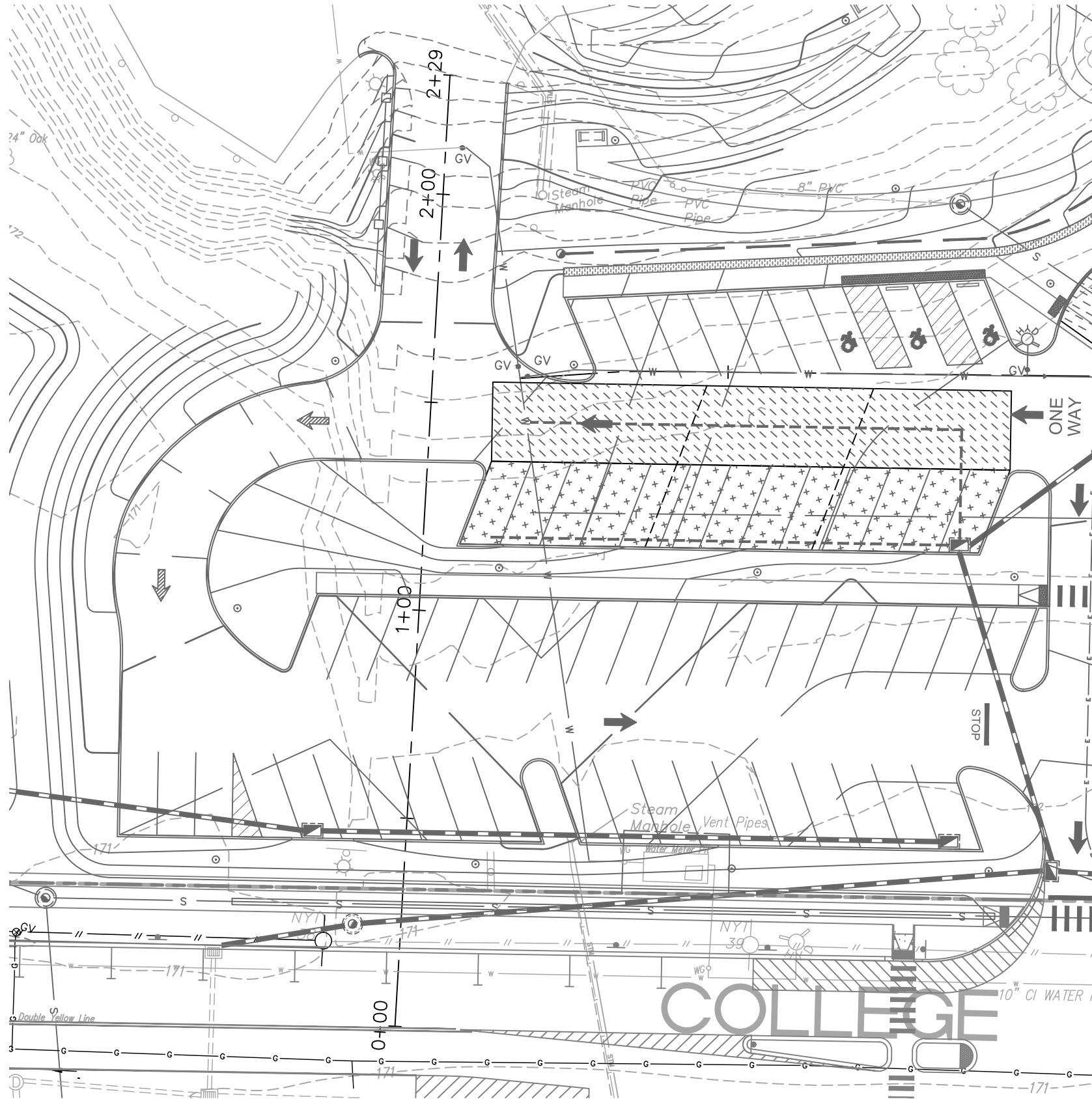
OP-FIN: (OPTIONAL FINISH)
MG MARINE GRADE PRE-FINISH



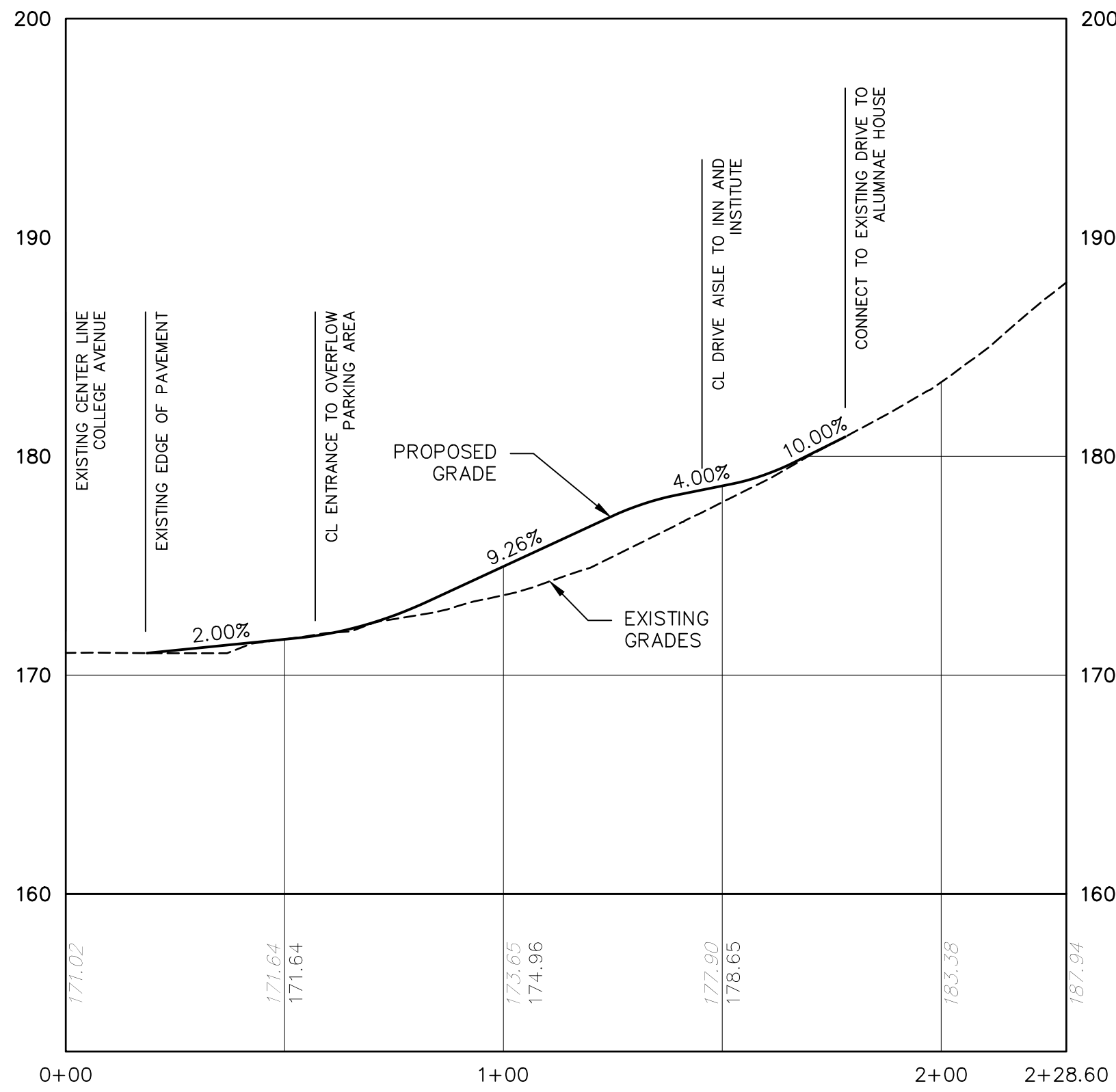
TYPICAL PARKING LIGHT LIGHT FIXTURE & POLE



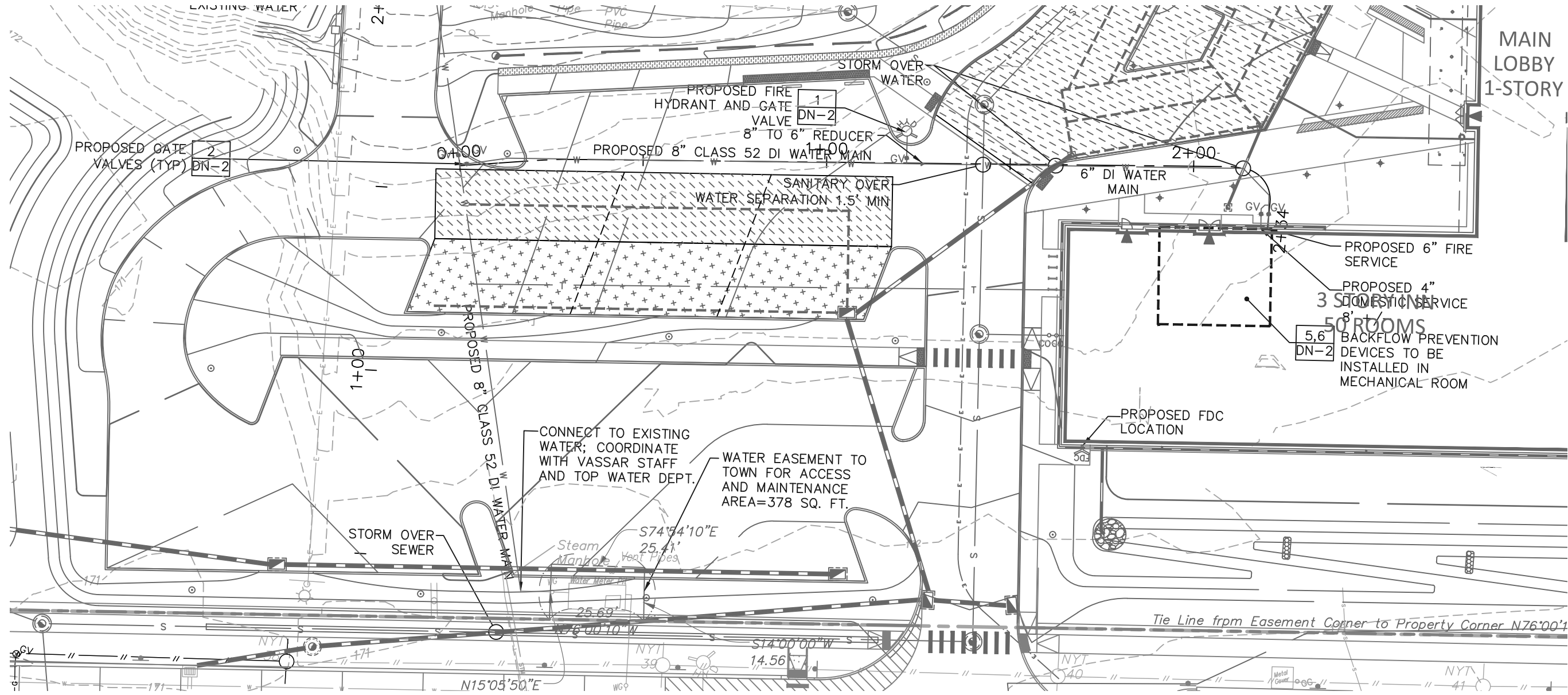
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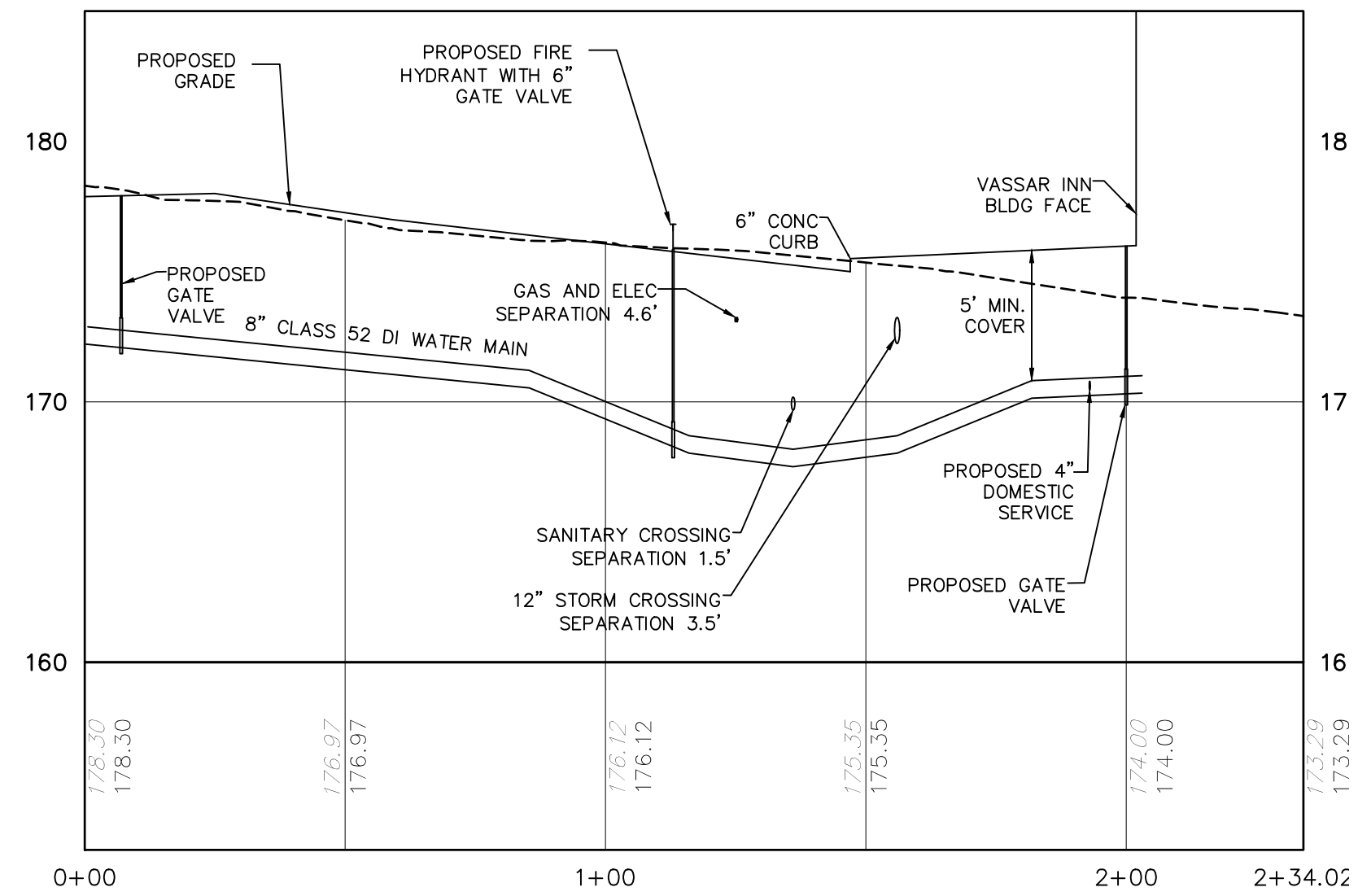
Horizontal Scale: 1"=30'



Horizontal Scale: 1"=30'
Vertical Scale: 1"=5'



Horizontal Scale: 1"=30'



Horizontal Scale: 1"=30'
Vertical Scale: 1"=5'

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- Landscape Architecture

85 Civic Center Plaza, Suite 101
Poughkeepsie, NY 12601
Tel: 845.343.2880

1 International Blvd, Suite 400
Middletown, NJ 07940
Tel: 908.603.5730

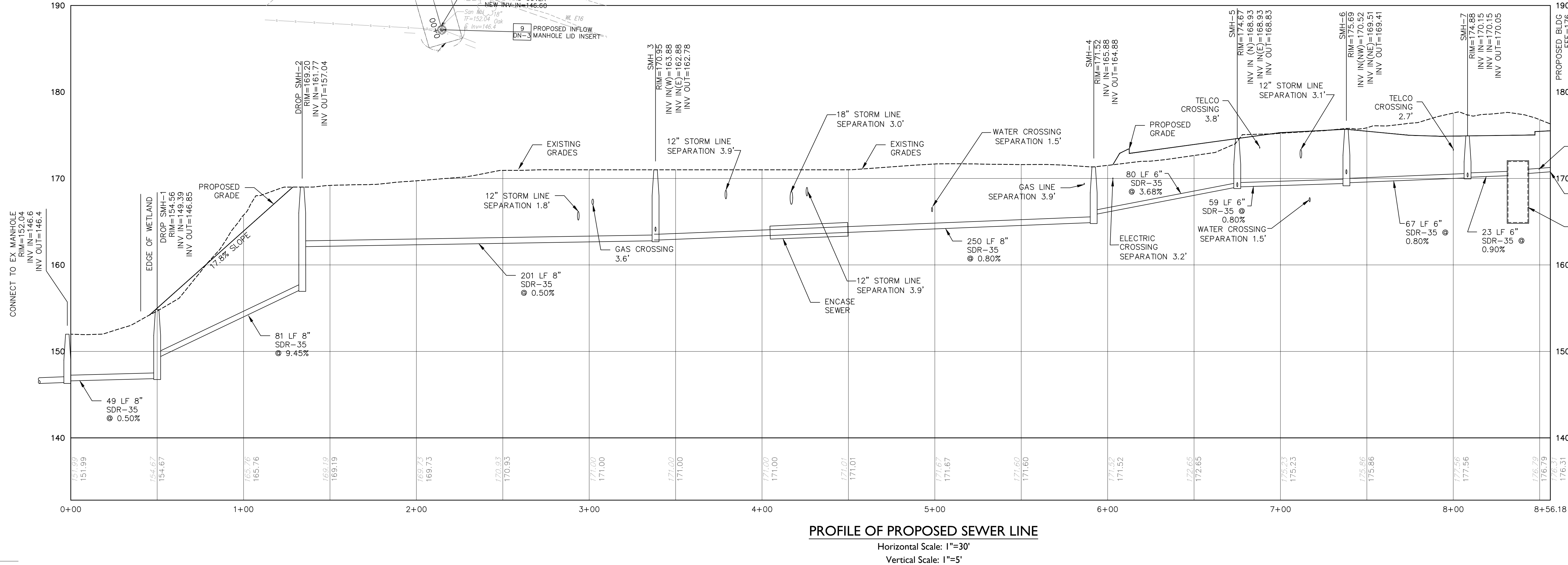
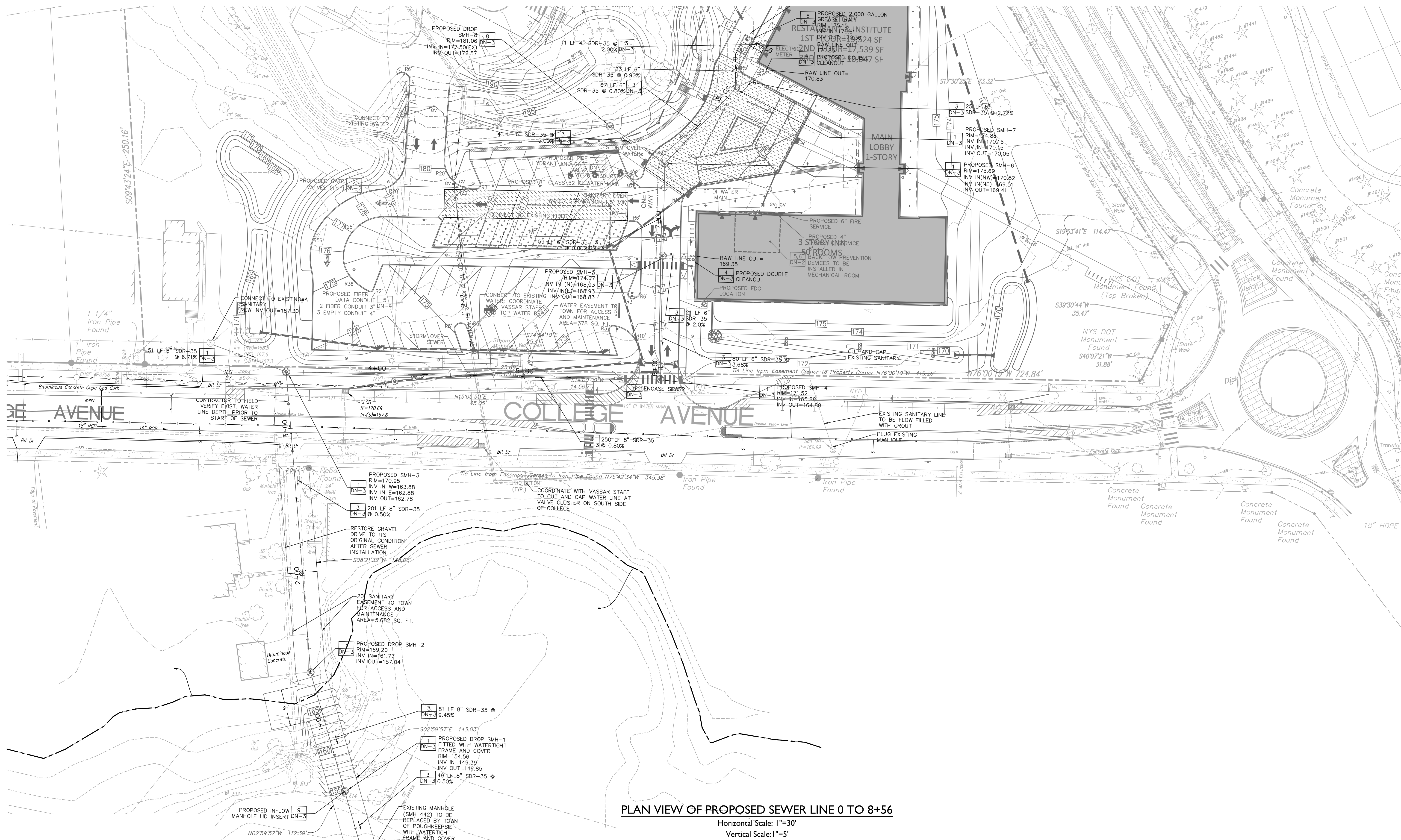
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Tel: 860.435.2877

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CONSTRUCTION DOCUMENTS

VASSAR COLLEGE INN & INSTITUTE

18003.00

COLLEGE AVENUE POUGHKEEPSIE, NY

CONTRACTOR

CONSULTANT

Land Planning

Civil Engineering

Environmental Services

Land Surveying

Landscape Architecture

85 Civic Center Plaza, Suite 101
Poughkeepsie, NY 12601
Tel: 845.343.3800

1 International Blvd., Suite 400
Middletown, NJ 07940
Tel: 908.603.5730

160 West Street, Suite E
Cromwell, CT 06416
Tel: 860.435.2877

www.lrcconsult.com

LRC Engineering and Surveying, DPC
LRC Engineering and Surveying, LLC
LRC Environmental Services, Inc.
Land Resource Consultants, Inc.

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Frederick Fisher and Partners

12288 Santa Monica Blvd., Los Angeles, CA 90025
350 West 20th St., Suite 302, New York, NY 10011

(212) 920-6860 | f@frederickfisher.com

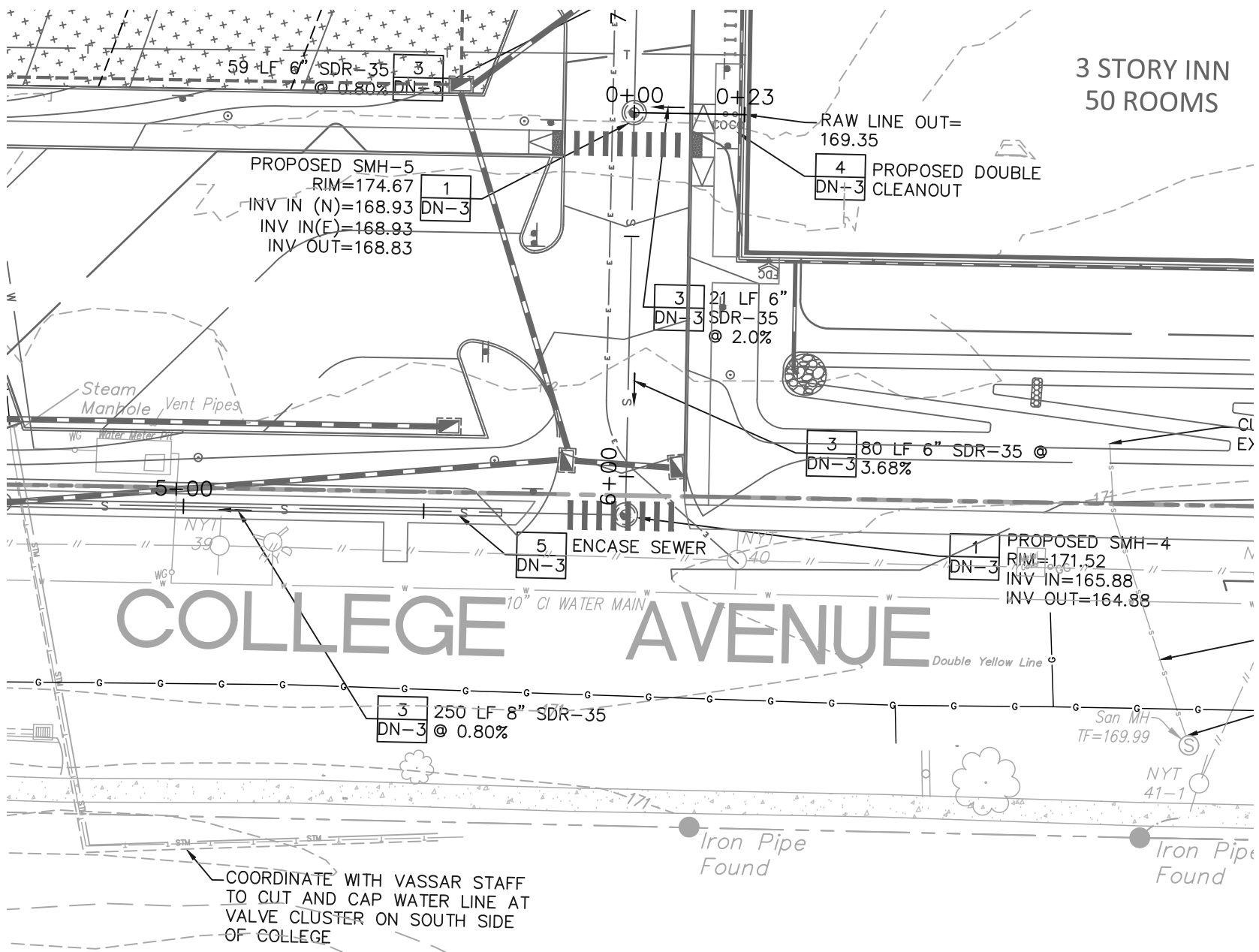
SANITARY SEWER PLAN / PROFILE

SCALE: NOTED

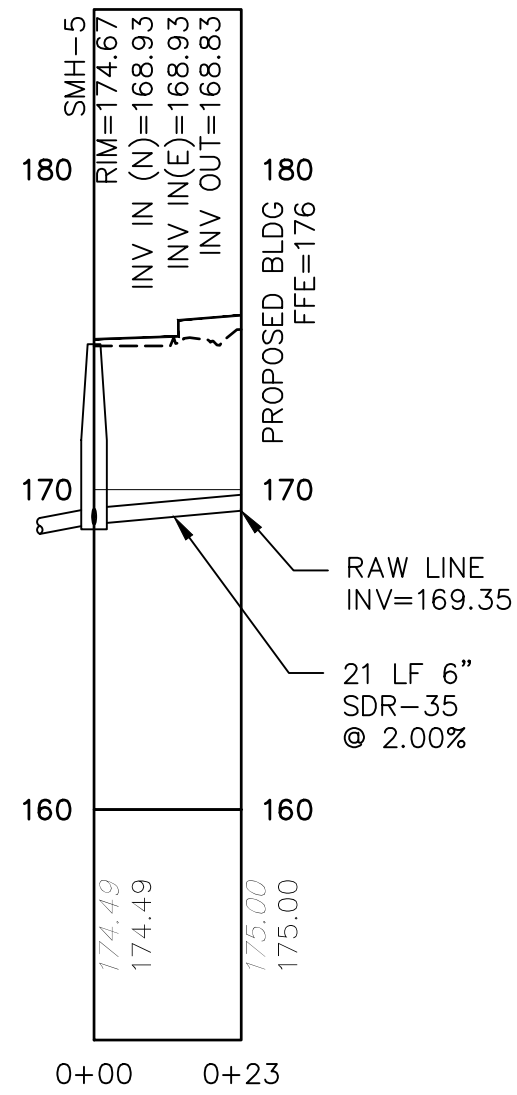
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SHEET 12 OF 19

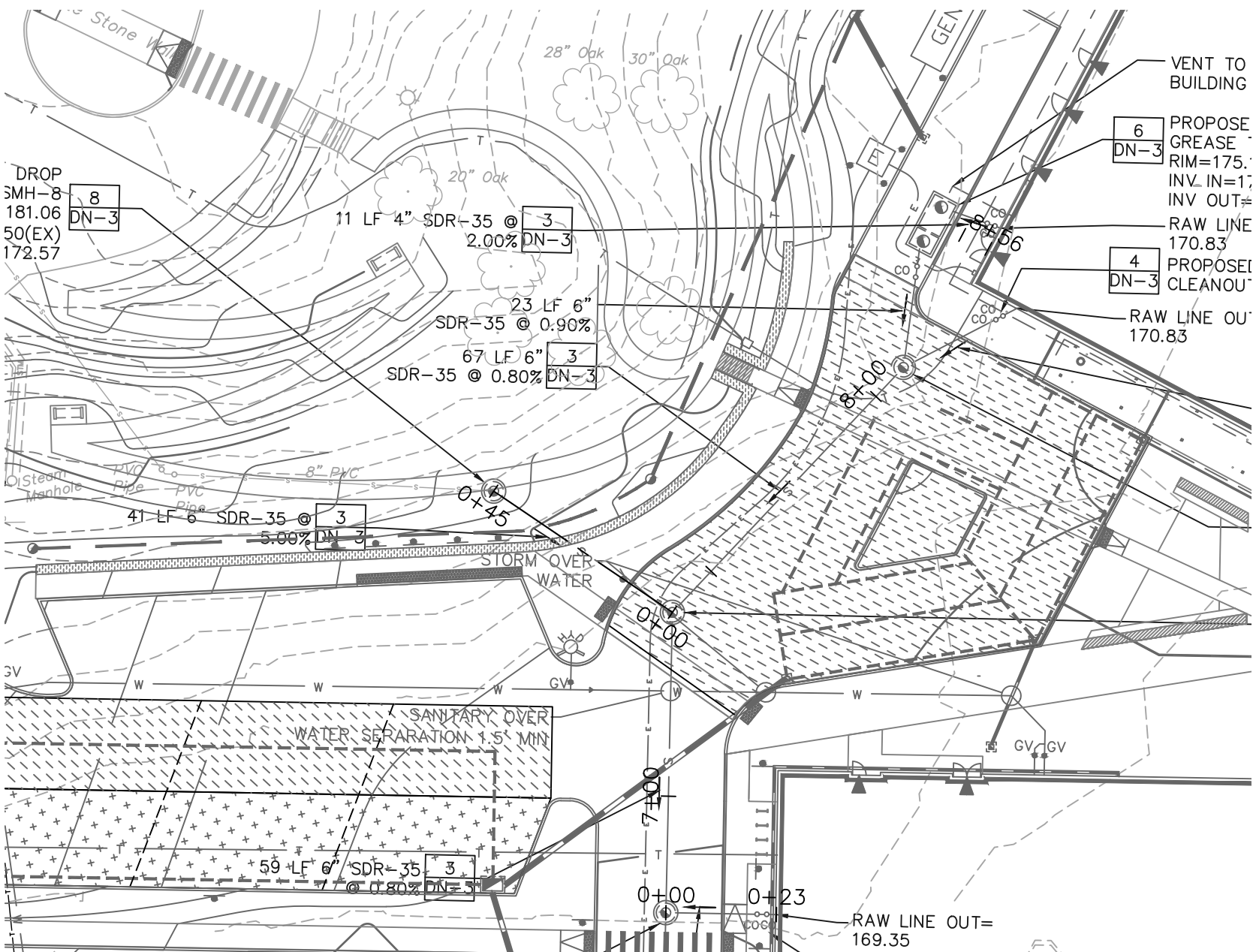
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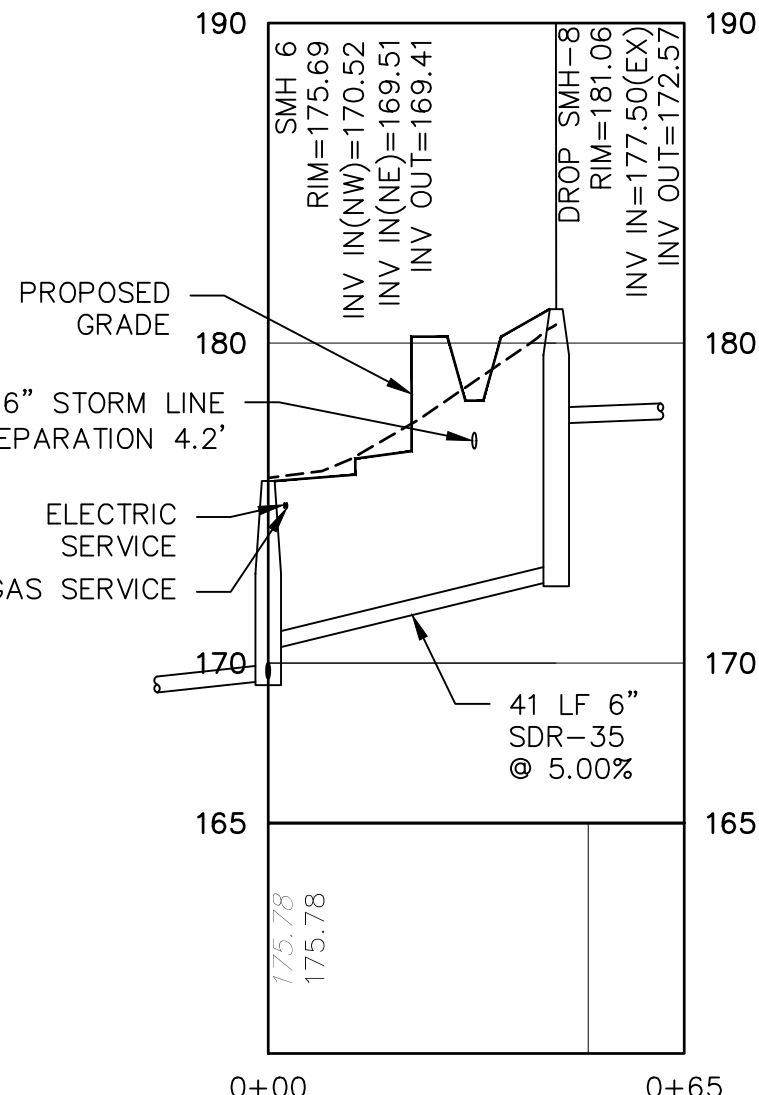
PLAN VIEW OF PROPOSED SEWER LINE 0 TO 0+23
Horizontal Scale: 1"=30'
Vertical Scale: 1"=5'



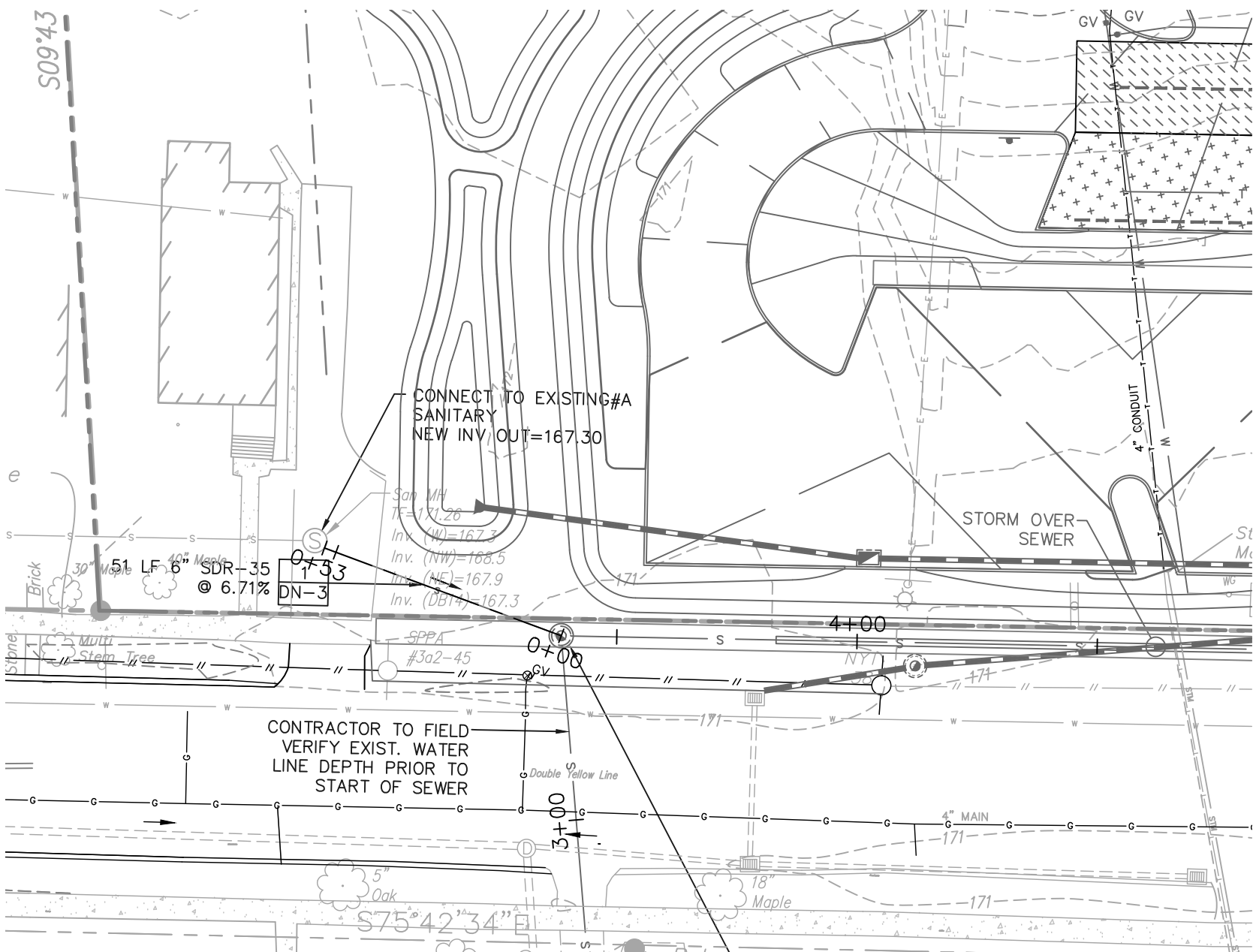
PROFILE OF PROPOSED SEWER LINE
Horizontal Scale: 1"=30'
Vertical Scale: 1"=5'



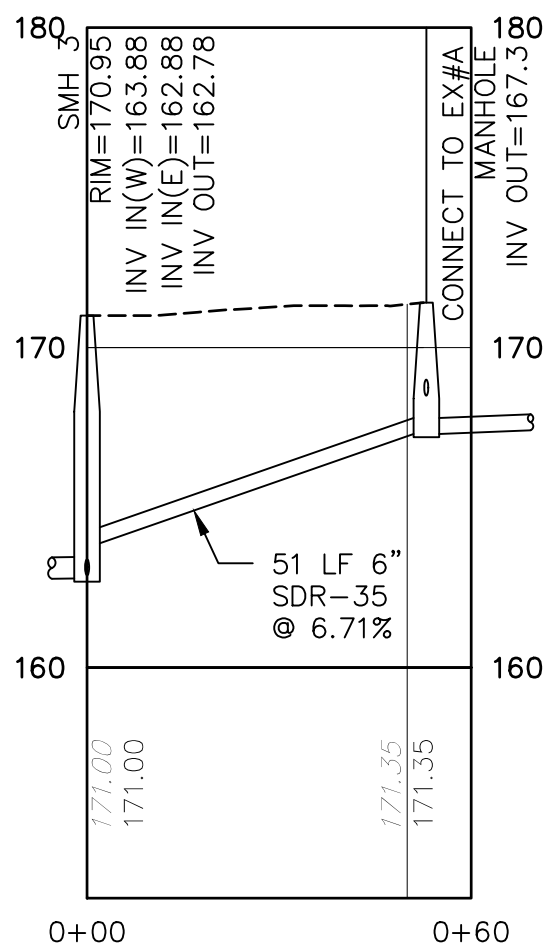
PLAN VIEW OF PROPOSED SEWER LINE 0 TO 0+45
Horizontal Scale: 1"=30'
Vertical Scale: 1"=5'



PROFILE OF PROPOSED SEWER LINE
Horizontal Scale: 1"=30'
Vertical Scale: 1"=5'



PLAN VIEW OF PROPOSED SEWER LINE 0 TO 0+53
Horizontal Scale: 1"=30'
Vertical Scale: 1"=5'



PROFILE OF PROPOSED SEWER LINE
Horizontal Scale: 1"=30'
Vertical Scale: 1"=5'

CONTRACTOR

CONSULTANT



• Land Planning
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• Landscape Architecture
85 Civic Center Plaza, Suite 101
Poughkeepsie, NY 12601
Tel: 845.343.3800
1 International Blvd., Suite 400
Middletown, NJ 07940
Tel: 908.403.5730
160 West Street, Suite E
Cromwell, CT 06416
Tel: 860.435.2877
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STANDARD FIRE DEPARTMENT NOTES

1. FIRE HYDRANTS ARE TO BE INSTALLED, FLOW TESTED AND APPROVED BY BOTH TOWN WATER DEPARTMENT AND APPROPRIATE FD PRIOR TO ANY CONDUIT/LEADS BEING BROUGHT ON TO THE CONSTRUCTION SITE. HYDRANT LOCATIONS TO BE APPROVED BY FD. ALL HYDRANTS TO HAVE SNOW FADS AND NPFA COLOR BANDING SHOWING DEMONSTRATED FLOW CAPABILITIES. FLOW DATA FOR NEW AND EXISTING WATER MAINS TO BE PROVIDED TO TOWN FIRE INSPECTOR AND FD.
2. ALL STREET NAMES AND BUILDING NUMBERING AS REQUIRED BY DUTCHESS COUNTY LAW. STREET SIGNS TO BE INSTALLED PRIOR TO ANY BUILDING CONSTRUCTION. APPROVED STREET NAMES TO BE SHOWN ON FINAL GROUND SITE PLAN.
3. THE NAME OF THE FIRE DISTRICT IN WHICH THE PROJECT IS LOCATED SHALL BE PROMINENTLY DISPLAYED ON THE MAP. FOR PROPERTIES BISected BY OR ADJACENT TO A FIRE DISTRICT BOUNDARY, THE LOCATION OF BOUNDARY SHALL BE DEPICTED ON THE PLAN WITH THE PROPER NAMES OF THE FIRE DISTRICTS SHOWN ALONG THE BOUNDARY LINE.
4. ALL FIRE PROTECTION SYSTEMS AND NOTIFICATION DEVICES TO BE DESIGNED, INSTALLED, TESTED AND MAINTAINED ACCORDING TO NYS CODE AND/OR THE APPROPRIATE NPFA STANDARD.
5. FIRE SPRINKLER AND/OR STANDPIPE SYSTEMS, FDC DESIGN, AND FIRE DETECTION SYSTEM DESIGNS ARE TO BE REVIEWED IN ADVANCE AND SIGNED OFF BY THE APPROPRIATE FD. FDC LOCATIONS TO BE SHOWN ON SITE PLAN AND APPROVED BY FD. FDC SIGNAGE DESIGN, WIRING AND INSTALLATION LOCATION AS APPROVED BY FD.
6. AN EMERGENCY APPARATUS/TRUCK MOVEMENT PLAN SHALL BE DEPICTED ON THE PROPOSED PLAN, USING APPARATUS SPECIFICATIONS PROVIDED BY THE FD.
7. ON ANY BUILDING WITH AN ALARM SYSTEM, OTHER THAN A SINGLE FAMILY RESIDENCE, A KNOX BOX SHALL BE OBTAINED THROUGH THE APPROPRIATE FD AND INSTALLED AT A LOCATION APPROVED BY THE FD. MASTER KEYS, ELEVATOR KEYS, AND/OR MAGNETIC SWIPE CARDS FOR ALL DOORS SHALL BE PROVIDED. TWO OR MORE COMPLETE SETS OF KEYS, OR AS APPROVED BY THE FD, SHALL BE PROVIDED. NO INSTALLATION IN THE KEY BOX SHALL BE OF SUFFICIENT SIZE TO ACCOMMODATE ALL OF THE REQUIRED KEYS. KNOX PADLOCKS, OR AN APPROVED ALTERNATIVE SHALL BE PROVIDED FOR FD ACCESS WHEN CONSTRUCTION GATES ARE IN PLACE.
8. ON ANY BUILDING WITH A FIRE ALARM SYSTEM, OTHER THAN A SINGLE FAMILY RESIDENCE, AN EXTERIOR STROBE LIGHT, CONNECTED TO THE FIRE ALARM SYSTEM SHALL BE INSTALLED AT A LOCATION APPROVED BY THE FIRE DEPARTMENT, A MECHANICAL WATER CONG, OR 110V. ELECTRONIC WATER FLOW BELL TO BE INSTALLED ON ALL SPRINKLER SYSTEMS, INDEPENDENT OF THE FIRE ALARM SYSTEM. LOCATION OF BELL TO BE NEAR FDC, OR AS OTHERWISE APPROVED BY FD.
9. ZONE MAPS TO BE INSTALLED ADJACENT TO ALL FIRE ALARM SYSTEM ENUNCIATOR PANELS. PROPOSED DISPLAY MESSAGES FOR ENUNCIATOR PANELS TO BE APPROVED IN ADVANCE BY THE APPROPRIATE FD.
10. ONE OR MORE SETS OF FIRE ALARM SYSTEM DESIGN DRAWINGS TO BE MAINTAINED AND KEPT AT THE ALARM PANEL. DRAWINGS TO SHOW ALL ALARM SYSTEM DEVICES, PLUS ANY ROOFTOP UNITS.
11. A REPRESENTATIVE OF THE FIRE DISTRICT SHALL BE PRESENT AT ANY PRE-CONSTRUCTION MEETINGS, AND THE FIRE DISTRICT SHALL BE PROVIDED NO LESS THAN 48 HOURS NOTICE OF ANY PERIODIC MEETINGS AND INSPECTIONS, INCLUDING ANY TESTING OF FIRE SAFETY DEVICES AND HYDRANTS.
12. ANY SPECIAL REQUIREMENTS AND FIELD CHANGES AGREED TO BY THE FIRE DISTRICT THAT ARE ABOVE THE NYS BUILDING RELATED CODES OR LOCAL TOWN CODE, SHALL APPEAR ON THE FINAL SITE PLAN MAP, AND APPROPRIATELY HIGHLIGHTED.
13. ALL APPARATUS ACCESS ROADS AND/OR FIRE LANES TO BE EITHER BLACKTOP, CONCRETE OR AS APPROVED BY THE APPROPRIATE FD.
14. ALL ELEVATORS TO BE OF SUFFICIENT SIZE AND CAPACITY TO ACCOMMODATE A RECUMBENT PATIENT ON AN AMBULANCE STRETCHER, ATTENDED BY AN EMS CREW.
15. LIGHTWEIGHT TRUSS CONSTRUCTION SIGNAGE, AS DESCRIBED IN NYS CODE, TO BE INSTALLED FOR ALL BUILDING TYPES, EXCEPT FOR SINGLE FAMILY RESIDENCES.
16. AN ADVANCED COMBINATION MULTI-CRITERIA DETECTION SYSTEM AND A CLASS I MANUAL STANDPIPE SYSTEM SHALL BE INSTALLED IN THE PROTECTED STAIRWELLS OF THE INN.

COMPACTION AND BACKFILL NOTES

UNLESS OTHERWISE SPECIFIED OR APPROVED BY THE SITE ENGINEER, ALL SITE SUBGRADE AND B. BACKFILL FOR ALL STRUCTURES INCLUDING, BUT NOT LIMITED TO, PARKING LOT SUBGRADE, ROAD SUBGRADE, CONCRETE PADS AND SIDEWALKS, WATER LINES AND STRUCTURES, SEWER LINES AND STRUCTURES, STORM LINES AND STRUCTURES, TRASH PADS/ENCLOSURES, AND SITE ELECTRICAL AND CONDUIT, SHALL BE COMPACTED IN ACCORDANCE WITH THE FOLLOWING STANDARD.

METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED MAY 1, 2008, AND ALL ADDENDA THERETO

DUTCHESS COUNTY HEALTH DEPARTMENT MAP NOTES

STANDARD NOTES FOR PROJECTS W/CENTRAL WATER & SEWER

THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:

NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS"; NYSDOC RECOMMENDED STANDARDS FOR SEWAGE TREATMENT WORKS, (TEN STATES)."

"RECOMMENDED STANDARDS FOR WATER WORKS, (TEN STATES)."

"NEW YORK STATE DEPARTMENT OF HEALTH AND DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION POLICIES, PROCEDURES AND STANDARDS."

"DUTCHESS COUNTY AND NEW YORK STATE SANITARY CODES."

"DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION CERTIFICATE OF APPROVAL LETTER."

THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND WATER SUPPLY FACILITIES.

UPON COMPLETION OF THE FACILITIES, THE FINISHED WORKS SHALL BE INSPECTED, TESTED, AND CERTIFIED COMPLETE TO THE DC EHSO BY THE NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SUPERVISING CONSTRUCTION. NO PART OF THE FACILITIES SHALL BE PLACED INTO SERVICE UNTIL ACCEPTED BY THE DC EHSO.

APPROVAL OF ANY PLAN(S) OR AMENDMENT THERETO SHALL BE VALID FOR A PERIOD OF FIVE (5) YEARS FROM THE DATE OF APPROVAL. FOLLOWING THE EXPIRATION OF SAID APPROVAL, THE PLAN(S) SHALL BE RE-SUBMITTED TO THE COMMISSIONER OF HEALTH FOR CONSIDERATION FOR RE-APPROVAL. RE-SUBMISSION OR REVISED SUBMISSION OF PLANS AND/OR ASSOCIATED DOCUMENTS SHALL BE SUBJECT TO COMPLIANCE WITH THE TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES IN EFFECT AT THE TIME OF THE RE-SUBMISSION.

NO CELLAR, FOOTING, FLOOR, GARAGE, COOLER OR ROOF DRAINS SHALL BE DISCHARGED INTO THE SEWAGE COLLECTION SYSTEM.

ALL BUILDINGS SHALL BE CONSTRUCTED AT AN ELEVATION HIGH ENOUGH TO ENSURE GRAVITY FLOW TO THE SEWAGE COLLECTION SYSTEM.

ALL REQUIRED EROSION & SEDIMENT CONTROL AND STORMWATER POLLUTION PREVENTION WATER QUALITY & QUANTITY CONTROL STRUCTURES, PERMANENT AND TEMPORARY, ARE SHOWN ON THE PLANS.

THE DC EHSO SHALL BE NOTIFIED SIXTY DAYS PRIOR TO ANY CHANGE IN USE; USE CHANGES MAY REQUIRE RE- APPROVAL BY THE DC EHSO.

NO BUILDINGS ARE TO BE OCCUPIED AND THE NEW WATER SYSTEM SHALL NOT BE PLACED INTO SERVICE, UNTIL A "COMPLETED WORKS APPROVAL" IS ISSUED UNDER SECTION 5-1.22(0) OF PART 5 OF THE NEW YORK STATE SANITARY CODE (10NYCRR5).

NO BUILDINGS ARE TO BE OCCUPIED AND THE NEW WASTEWATER COLLECTION SYSTEM SHALL NOT BE PLACED INTO SERVICE UNTIL A "CERTIFICATE OF CONSTRUCTION COMPLIANCE" IS ISSUED UNDER SECTION 19.7 OF ARTICLE 19 OF THE DUTCHESS COUNTY SANITARY CODE.

ALL SERVICE LINES ARE THE RESPONSIBILITY OF THE OWNER UP TO THE PROPERTY LINE. THE WATER AND SEWER COMPANIES SHALL BE RESPONSIBLE FOR ALL VALVES AND PIPES WHICH ARE NOT ON THE OWNER'S PROPERTY.

THE UNDERSIGNED OWNERS OF THE PROPERTY HEREOF STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREOF.

NOTES FOR TANKS:
IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE DC EHSO FIELD INSPECTOR AND/OR DESIGN PROFESSIONAL THAT THE TANK IS SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AT A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. THE TANK MUST ALSO MEET ANY LOCAL TESTING REQUIREMENTS, INCLUDING POSSIBLE ELECTRICAL AND SAFETY STANDARDS.

NOTES FOR GREASE TRAPS:
THE DESIGN PROFESSIONAL SUPERVISING CONSTRUCTION MUST CERTIFY TO THE DC EHSO THAT THE WASTE LINE TO THE GREASE TRAP IS CARRYING FG (FATS, OIL AND GREASES) GENERATING WASTE ONLY.

NOTES FOR RETAINING WALLS:
THE RETAINING WALL/SLOPE STABILIZATION DETAILS SHOWN ON THESE PLANS ARE NOT CERTIFIED FOR STRUCTURAL INTEGRITY BY THE DC EHSO.

TOWN OF POUGHKEEPSIE SITE PLAN NOTES

1. IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT TO SUBMIT TO THE PLANNING BOARD PROOF THAT THE CONDITIONS OF APPROVAL HAVE BEEN COMPLETED, AND THE SIGNATURE OF THE PLANNING BOARD CHAIRMAN SHALL BE WITHHELD PENDING RECEIPT OF A WRITTEN MEMORANDA FROM THE PLANNING BOARD'S CONSULTING PLANNER VERIFYING THAT THE CONDITIONS OF APPROVAL HAVE BEEN COMPLETED.
2. PRIOR TO COMMENCEMENT OF ANY SITE WORK THE APPLICANT'S CONTRACTOR AND CONSULTING ENGINEER SHALL MEET WITH THE BUILDING DEPARTMENT, THE TOWN ENGINEER, AND THE PLANNING DEPARTMENT TO DISCUSS THE PHASING OF THE SITE WORK AND THE CONSTRUCTION WORK, THE PLACEMENT OF EROSION CONTROL MEASURES, AND NOTIFICATION OF THE BUILDING DEPARTMENT, THE TOWN ENGINEER, AND THE PLANNING DEPARTMENT.
3. AT THE COMPLETION OF CONSTRUCTION, AND PRIOR TO ISSUANCE OF A TEMPORARY OR A PERMANENT CERTIFICATE OF OCCUPANCY FOR ANY STRUCTURE, THE APPLICANT SHALL PROVIDE TO THE PLANNING DEPARTMENT, THE TOWN ENGINEER, AND THE BUILDING INSPECTOR A CERTIFICATION IN THE FORM REQUIRED BY THE TOWN, PREPARED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER, A NYS LICENSED LAND SURVEYOR AND OTHER NEW YORK STATE LICENSED PROFESSIONALS AS THE CASE MAY BE, THAT ALL SITE WORK HAS BEEN CARRIED OUT AND COMPLETED IN COMPLIANCE WITH THE APPROVED PLANS FOR THE PROJECT. ADDITIONALLY, THE APPLICANT SHALL PROVIDE TO THE PLANNING DEPARTMENT, THE TOWN ENGINEER, AND THE BUILDING INSPECTOR AN "AS BUILT" SURVEY OF THE COMPLETED SITE WORK INCLUDING ASSOCIATED STORM WATER MANAGEMENT FACILITIES AND ANY EASEMENTS.
4. IN THE EVENT THE APPLICANT SEEKS A TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY FOR ANY BUILDING OR USE PRIOR TO THE COMPLETION OF CONSTRUCTION OF ALL ELEMENTS SHOWN ON THE APPROVED PROJECT, THE APPLICANT SHALL PROPOSE AND OBTAIN DEPARTMENT OF PLANNING AND ENGINEERING DEPARTMENT APPROVAL OF A PHASED IMPLEMENTATION PLAN. THE PHASED IMPLEMENTATION PLAN SHALL ADDRESS BUILDINGS, ACCESS, UTILITIES, PARKING, LANDSCAPING, LIGHTING, PEDESTRIAN AMENITIES, PUBLIC SAFETY AND SEPARATION FROM CONTINUING CONSTRUCTION ACTIVITIES AND ANY OTHER ELEMENTS OR ISSUES AS DEEMED APPROPRIATE BY THE TOWN. THE APPLICANT SHALL PROVIDE THE PREVIOUSLY REFERENCED ENGINEER'S CERTIFICATION AND "AS BUILT" SURVEY UPON COMPLETION OF ALL CONSTRUCTION.

AQUATIC RESOURCE NOTES

1. BY ACCEPTANCE OF THIS PERMIT THE OWNER/APPLICANT/PERMITEE AGREES THAT THE PROJECT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 116 OF THE TOWN CODE AND ANY SPECIAL CONDITIONS OF THE ISSUING AGENCY.
2. THE PERMITEE SHALL NOTIFY THE ISSUING AGENCY IN WRITING NOT LESS THAN 72 HOURS IN ADVANCE OF THE TIME WORK IS COMMENCED, AND SHALL PROMPTLY NOTIFY THE ISSUING AGENCY IN WRITING OF THE COMPLETION OF WORK.
3. THE PERMITTED WORK SHALL BE SUBJECT TO INSPECTION BY AN AUTHORIZED REPRESENTATIVE OF THE TOWN OF POUGHKEEPSIE WHICH MAY ORDER WORK SUSPENDED IF THE PUBLIC INTEREST SO REQUIRES.
4. THE TOWN OF POUGHKEEPSIE RESERVES THE RIGHT TO MODIFY, SUSPEND OR REMOVE THIS PERMIT AT ANY TIME AFTER DUE NOTICE WHEN: A) THE SCOPE OF THE PROJECT IS EXCEEDED OR A VIOLATION OF ANY CONDITION OF THE PERMIT OR PROVISION OF THE LAW PERTINENT REGULATIONS ARE FOUND; OR B) THE PERMIT WAS OBTAINED BY MISREPRESENTATION OR FAILURE TO DISCLOSE RELEVANT FACTS OR C) NEWLY DISCOVERED INFORMATION OR SIGNIFICANT PHYSICAL CHANGES ARE DISCOVERED.
5. THE PERMITEE IS RESPONSIBLE FOR KEEPING THE PERMIT ACTIVE BY REQUESTING RENEWAL FROM THE ISSUING AGENCY, INCLUDING ANY FORMS, FEES OR SUPPLEMENTAL INFORMATION THAT MAY BE REQUIRED BY THE ISSUING AGENCY NOT LESS THAN THIRTY (30) DAYS PRIOR TO THE EXPIRATION OF THIS PERMIT.
6. THIS PERMIT SHALL NOT BE CONSTRUED AS CONVEYING TO THE APPLICANT ANY RIGHT TO TRESPASS UPON PRIVATE LANDS OR INTERFERE WITH THE RIPARIAN RIGHTS OF OTHERS IN ORDER TO PERFORM THE PERMITTED WORK OR AS AUTHORIZING THE IMPAIRMENT OF ANY RIGHT, TITLE OR INTEREST IN REAL OR PERSONAL PROPERTY HELD OR VESTED IN A PERSON NOT PARTY TO THIS PERMIT.
7. THE PERMITEE IS RESPONSIBLE FOR OBTAINING ANY OTHER PERMITS, APPROVALS, EASEMENTS AND RIGHT-OF-WAY WHICH MAY BE REQUIRED, THE GRANTING OF THIS PERMIT DOES NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF OBTAINING ANY OTHER PERMITS, CONSENT OR APPROVAL FROM ANY OTHER FEDERAL, STATE, REGIONAL, OR LOCAL GOVERNMENT AGENCY OR DEPARTMENT, WHICH MAY BE REQUIRED.
8. ANY MODIFICATION OF THIS PERMIT BY THE ISSUING AGENCY SHALL BE IN WRITING AND ATTACHED HERETO.
9. ANY NECESSARY PRECAUTIONS SHALL BE TAKEN TO PRECLUDE CONTAMINATION OF ANY WETLAND OR WATERWAY BY SUSPENDED SOLIDS, SEDIMENT, FUELS, SOLVENTS, LUBRICANTS, EPOXY COATING, PAINTS, CONCRETE, LEACHATE OR OTHER ENVIRONMENTALLY DELETERIOUS MATERIALS ASSOCIATED WITH THE PROJECT.
10. ALL ACTIVITIES AUTHORIZED BY THIS PERMIT MUST BE IN STRICT CONFORMANCE WITH THE APPROVED PLANS SUBMITTED BY THE APPLICANT OR HIS AGENT AS PART OF THE PERMIT APPLICATION.
11. ALL SEDIMENT AND EROSION CONTROL MEASURES DEPICTED ON THE APPROVED PLANS SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF THE APPROVED WORK AND SHALL BE CONTINUOUSLY MAINTAINED DURING THE TERM OF THE PROJECT. THE SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REPLACED AS NECESSARY OR AS DIRECTED BY THE ISSUING AGENCY OR ITS AUTHORIZED REPRESENTATIVE.
12. A COPY OF THE APPROVED PLANS AND THIS PERMIT SHALL BE KEPT AND MAINTAINED ON SITE AT ALL TIMES.

TOWN OF POUGHKEEPSIE WATER NOTES

1. ALL WATER MAINS SHALL BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52 PUSH-ON JOINT, UNLESS OTHERWISE SPECIFIED BY OR APPROVED BY THE TOWN OF POUGHKEEPSIE WATER DEPARTMENT. JOINTING SHALL EMPLOY "MEGALUX" CONNECTIONS, FIELD LOCK GASKET, OR AS ALTERNATIVELY SPECIFIED BY THE TOWN OF POUGHKEEPSIE WATER DEPARTMENT. ALL WATER PIPING CONSTRUCTION SHALL BE TO THE SPECIFICATIONS OF THE TOWN OF POUGHKEEPSIE WATER DEPARTMENT. FIELD JOINTS OF PUBLIC WATER SYSTEM SHALL BE APPROVED AND SUPERVISED BY THE TOWN OF POUGHKEEPSIE WATER DEPARTMENT. TAPPING SLEEVE SHALL BE STAINLESS STEEL OR APPROVED EQUAL. ALL MAINLINE VALVES SHALL BE RESILIENT WEDGE OR APPROVED EQUAL.
2. THE WATER LINE MAY BE FLEXED WITHIN PIPE SPECIFICATIONS OR LAY DEEPER IN AREAS WHERE A CROSSING WITH A SANITARY LINE OCCURS, TO ACHIEVE THE REQUIRED 1.5" VERTICAL SEPARATION DISTANCE. IF THIS DISTANCE CANNOT BE REASONABLY ACHIEVED, THE CONTRACTOR SHALL USE PRESSURE RATED SANITARY PIPE OF EQUAL OR GREATER RATING THAN THE PRESSURE CLASS FOR THE WATER LINE.
3. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER PIPE SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER LINE AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECT FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER PIPE ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES, OR VAULTS.
4. ALL WATER MAINS SHALL HAVE A MINIMUM OF (5) FIVE FEET OF COVER FROM THE TOP OF THE MAIN TO FINISHED GRADE. THE CONTRACTOR SHALL CHECK ALL FINISHED GRADE STAKES BEFORE TRENCHING TO ENSURE THAT ALL INSTALLED WATER MAINS WILL HAVE THE REQUIRED COVER.
5. THE SUPPLIER OF WATER MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT, OR LAND SURVEYOR) WITH A SPECIAL EXEMPTION UNDER SECTION 7208(b) OF THE EDUCATION LAW CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING AND CONSTRUCTION PROJECT ARE IN COMPLIANCE WITH THE REQUIREMENTS OF THE PLANS, REPORTS, SPECIFICATIONS, AND ANY APPROVED AMENDMENTS. A NYSDOH CERTIFIED LABORATORY WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL, AND FECAL COLOFORM AND 24-HOUR BACTERIAL PLATE COUNT. THE CERTIFICATE OF COMPLIANCE, TESTING, AND SAMPLING RESULTS SHALL BE PROVIDED TO THE TOWN WATER MAINTENANCE SUPERVISOR AND DUTCHESS COUNTY DEPARTMENT OF HEALTH AS A CONDITION OF APPROVAL FOR OPERATION.
6. THE CONTRACTOR SHALL COORDINATE THE TESTING WITH THE WATER DEPARTMENT SO AS TO MAINTAIN THE AMOUNT OF SERVICE INTERRUPTION TO EXISTING USERS TO THE LEAST EXTENT PRACTICABLE. WATER MAIN INSTALLATION AND TESTING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE PROJECT ENGINEER OR HIS DESIGNEE AS NECESSARY TO MEET CONDITIONS IN NOTE 5 ABOVE.
7. THE WATER MAIN SHALL BE PRESSURE LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C900 (LATEST REVISION) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER. TEST TO FIRST VALVE WITHIN BUILDING.
8. THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS (DISINFECTION C901 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM. THE PROJECT ENGINEER OR HIS DESIGNEE SHALL ALSO WITNESS DISINFECTION AND FLUSHING.
9. ALL WATER MAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB-DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.
10. THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.

11. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS, UNLESS OTHERWISE APPROVED BY SITE ENGINEER AND TOWN OF POUGHKEEPSIE WATER DEPARTMENT.
12. FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED WHEN GROUND WATER IS ENCOUNTERED WITHIN SEVEN FEET OF THE FINISHED GRADE. WHEN DRAINS ARE PLUGGED, THE BARRELS MUST BE PUMPED DRY AFTER USE DURING FREEZING WEATHER. SUCH HYDRANTS SHALL BE IDENTIFIED BY MARKINGS AS APPROVED BY THE TOWN OF POUGHKEEPSIE.
13. PROPOSED WATER METERS LOCATED WITHIN THE METER PIT OR BUILDING SHALL BE A COMPATIBLE REMOTE STYLE TYPE (GENUS), AND SHALL BE APPROVED BY THE TOWN OF POUGHKEEPSIE WATER DEPARTMENT PRIOR TO INSTALLATION. WATER METER SHALL BE EQUIPPED WITH (RADIO TYPE REMOTE READER) TRANSCEIVER PROVIDED BY METER MANUFACTURER AND INSTALLED AND PROGRAMMED BY THE TOWN OF POUGHKEEPSIE WATER DEPARTMENT.
14. THE WATER LINE SHALL BE INSTALLED AT A CONTINUOUS GRADE WITH NO ABRUPT HIGH POINTS OR LOW POINTS.
15. FINAL WATER DISTRIBUTION SYSTEM AND CERTIFICATION IS SUBJECT TO REVIEW, REVISION AND APPROVAL BY THE TOWN OF POUGHKEEPSIE WATER DEPARTMENT AND THE DDOOH PRIOR TO APPROVAL TO OPERATION.
16. ALL WATER MAINS AND RELATED APPURTENANCES SHALL BE CONSTRUCTED TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWN OF POUGHKEEPSIE.
17. THE WATER MAIN SHALL NOT BE PLACED INTO SERVICE UNTL SO AUTHORIZED BY THE TOWN OF POUGHKEEPSIE.
18. ALL WATER SERVICE CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY THE TOWN WATER DEPARTMENT PRIOR TO BACKFILLING, BEDDING AND PIPE ZONE MATERIAL SHALL BE COMPOSED OF CRUSHED STONE OR LIGHT GRAVEL HAVING A GRADATION LIMIT OF 3/4" MINUS. AN ACCEPTABLE MATERIAL SHALL MEET THE FOLLOWING REQUIREMENT:

SIZE DESIGNATION	% PASSING
3/4"	100
NO. 40	0-70
NO. 200	0-10

19. TRENCH BACKFILL SHALL BE WELL-GRADED SOIL AND GRAVEL MATERIAL. ALL PARTICLES SHALL HAVE A GRADATION OF 2" OR LESS. AN ACCEPTABLE MATERIAL SHALL MEET THE FOLLOWING REQUIREMENT:

SIZE DESIGNATION	% PASSING
1/4 INCH	100
1/4 INCH	30-65
NO. 40	5-40
NO. 200	0-15

20. BEDDING AND BACKFILL MATERIAL SHALL BE STOCKPILED IN AMOUNTS NECESSARY FOR REASONABLE BACKFILLING REQUIREMENTS. A SIEVE ANALYSIS OF BEDDING OR BACKFILL MAY BE REQUIRED AT THE REQUEST OF THE TOWN OF POUGHKEEPSIE.

21. THE SITE UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BURIED PIPING TO THE LOCATION OF THE PROPOSED BUILDING CONNECTION POINT (I.E. INSIDE THE BUILDING). THIS INCLUDES THE TESTING AND CERTIFICATION OF ALL WATER SERVICE WORK FROM THE TOWN WATER CONNECTION POINT TO THE PROPOSED BUILDINGS INTERIOR CONNECTION POINT.
22. INDICATOR TAPE SHALL BE PLACED 12" BELOW FINISHED GRADE DIRECTLY ABOVE ALL WATERLINES.
23. ALL COPPER WATER SERVICE PIPING INSTALLATION, BACKFILL AND TESTING SHALL BE REVIEWED AND APPROVED BY THE TOWN OF POUGHKEEPSIE WATER MAINTENANCE SUPERVISOR OR HIS DESIGNEE. BEDDING, PIPE ZONE, AND BACKFILL MATERIAL MUST BE SAND ONLY.
24. THE PIPE SUPPORTS FOR THE METER PIT SHALL BE MADE OF GALVANIZED STEEL AND SHALL BE ADJUSTABLE. THE SUPPORTS ARE TO BE PLACED ONLY BENEATH SPOOL PIECES AND NOT UNDER CRITICAL EQUIPMENT, METERS, ETC.
25. THREE AS-BUILT DRAWINGS WHICH INCLUDE VERIFICATION OF THE WATER INFRASTRUCTURE WILL BE PROVIDED TO THE PLANNING DEPARTMENT FOR DISSEMINATION TO THE ENGINEERING AND WATER DEPARTMENTS PRIOR TO ANY EASEMENT DEDICATION TO THE TOWN.

TOWN OF POUGHKEEPSIE SANITARY SEWER NOTES

1. FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAIN. ALL DISCHARGES TO THE SANITARY SEWER SHALL COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR DUTCHESS COUNTY SANITARY CODE.
2. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPES. THE TESTS SHALL BE CONDUCTED AFTER FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 5 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANHOLE. IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
3. SANITARY SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWN OF POUGHKEEPSIE. ALL SANITARY SEWER SYSTEM COMPONENTS SHALL BE INSTALLED BY OR UNDER THE SUPERVISION OF A TOWN OF POUGHKEEPSIE LICENSED PLUMBER IN ACCORDANCE WITH THE TOWN PLUMBING CODE.
4. MAJOR EARTHWORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF ANY SANITARY SEWER MAINS AND APPURTENANCES. AIR CONNECTING SEWER LINES SHALL BE FLUSHED BEFORE TESTED.
5. MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST, AS A MINIMUM, SHALL CONFORM TO THE PROCEDURE DESCRIBED IN THE ASTM #F-1417 (1992) ENTITLED "STANDARD PRACTICE FOR INSTALLATION ACCEPTANCE OF GRAVITY SEWER LINES USING LOW PRESSURE AIR" (RE-APPROVED 1998). SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINED IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO.15 (REVISED).
6. SANITARY SEWER MAINS ARE TO BE POLYVINYL CHLORIDE (PVC) AND SANITARY LATERALS SHALL BE PVC, SDR-35, UNLESS OTHERWISE NOTED.
7. FINAL SEWER COLLECTION SYSTEM LAYOUT IS SUBJECT TO REVIEW, REVISION AND APPROVAL BY THE TOWN OF POUGHKEEPSIE SEWER DEPARTMENT.
8. ALL SANITARY PIPE AND/OR MANHOLES SHALL BE A MINIMUM OF TEN (10) HORIZONTAL FEET FROM THE WATER MAIN. SANITARY PIPE SHALL HAVE A MINIMUM 18" SEPARATION FROM ANY WATER MAIN OR WATER SERVICE LINE. IF FOR SOME REASON THIS SEPARATION CANNOT BE ACHIEVED, SANITARY SEWER PIPE IN THE AREA SHALL BE SDR-26 PRESSURE RATED PIPE, (OR BE ENCASED PER THE DETAIL ON DN-3) AND ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER. ALL SANITARY SEWER CONSTRUCTION SHALL BE TO SPECIFICATIONS OF THE TOWN OF POUGHKEEPSIE SEWER DEPARTMENT.
9. ALL SANITARY TESTING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE PROJECT ENGINEER, AND CERTIFICATES OF COMPLIANCE WITH THE INSTALLATION SPECIFICATIONS, TEST STANDARDS, APPROVED PLANS OR APPROVED AMENDMENTS SHALL BE PROVIDED TO THE APPROPRIATE SEWER AUTHORITY AND THE DDOOH AS A CONDITION OF APPROVAL FOR OPERATION.
10. ALL SANITARY SEWER CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY THE TOWN SEWER SUPERINTENDENT PRIOR TO BACKFILLING, PIPE BEDDING AND PIPE ZONE MATERIAL SHALL BE COMPOSED OF CRUSHED STONE OR GRAVEL, FREE OF SOFT NONDURABLE PARTICLES WITH THE FOLLOWING GRADATION REQUIREMENTS:

SIZE DESIGNATION	% PASSING
3/4"	100
NO. 40	0-70
NO. 200	0-10

11. ALL TRENCH BACKFILL MATERIAL SHALL BE APPROVED BY THE SUPERINTENDENT OF SEWERS AND MUST MEET THE FOLLOWING GRADATION REQUIREMENT:

SIZE DESIGNATION	% PASSING
2 INCH	100
1 1/4 INCH	30-65
NO. 40	5-40
NO. 200	0-15

12. BEDDING AND BACKFILL MATERIAL SHALL BE STOCKPILED IN AMOUNTS NECESSARY FOR REASONABLE BACKFILLING REQUIREMENTS. A SIEVE ANALYSIS OF BEDDING OR BACKFILL MAY BE REQUIRED AT THE REQUEST OF THE TOWN OF POUGHKEEPSIE.

13. LOCATION OF SEWER LATERAL CLEAN OUTS ARE TO BE PLACED AS SHOWN ON THE APPROVED SITE PLAN AND NOT TO EXCEED EVERY 75' MEASURED FROM THE SEWER MAIN CONNECTION OR AS DETERMINED BY THE TOWN OF POUGHKEEPSIE SUPERINTENDENT OF SEWERS WHERE LOCATIONS ARE NOT SPECIFICALLY SHOWN.
14. EXTERNAL DROP MANHOLES SHALL BE USED FOR SEWERS ENTERING AT AN ELEVATION OF 24 INCHES OR HIGHER AT THE INLET OF A SEWER MANHOLE.
15. THREE AS-BUILT DRAWINGS WHICH INCLUDE VERIFICATION OF THE SEWER INFRASTRUCTURE INCLUDING RIMS AND INVERTS WILL BE PROVIDED TO THE PLANNING DEPARTMENT FOR DISSEMINATION TO THE ENGINEERING AND SEWER DEPARTMENTS PRIOR TO ANY EASEMENT DEDICATION TO THE TOWN.

EROSION AND SEDIMENT CONTROL PLAN

1. LAND DISTURBANCE WILL BE KEPT TO A MINIMUM. RESTABILIZATION WILL BE SCHEDULED AS SOON AS PRACTICABLE.
2. SILTATION FENCE WILL BE INSTALLED AT ALL CULVERT OUTLETS AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
3. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE NEW YORK STATE EROSION & SEDIMENT CONTROL "BLUE BOOK" 2005.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DISTURBANCE OF THE EARTH SURFACE.
5. ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
6. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED.
7. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
8. DUST CONTROL AND ANTI-TRACKING MAINTENANCE TO BE ADDRESSED AND RESOLVED ON A DAILY BASIS.

INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES

- I. SILTATION FENCE
A. DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.
B. POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 2.0 FEET INTO THE GROUND.
C. LAY THE BOTTOM SIX INCHES OF THE FABRIC INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
D. BACKFILL THE TRENCH AND COMPACT.

OPERATION AND MAINTENANCE OF SEDIMENTATION AND EROSION CONTROL MEASURES

- I. SILTATION FENCE
ALL SILTATION FENCES SHALL BE INSPECTED ONCE EVERY SEVEN DAYS. ALL DETEIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.
SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF ONE FOOT.
II. INLET PROTECTION
ALL INLET PROTECTION DEVICES SHALL BE INSPECTED DAILY BY THE QUALIFIED INSPECTOR TO ENSURE THAT SEDIMENT IS NOT ENTERING ANY STORM DRAIN INLETS. PROTECTION DEVICES ARE TO BE REPAIRED AND/OR REPLACED IF NOT FUNCTIONING AS DESIGNED.
III. STABILIZED CONSTRUCTION ENTRANCE
STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSPECTED DAILY BY THE QUALIFIED INSPECTOR TO ENSURE THAT SEDIMENT AND DEBRIS ARE NOT BEING TRACKED ONTO ANY PUBLIC ROADWAY.

TEMPORARY VEGETATIVE STABILIZATION

1. ESTABLISHMENT OF TEMPORARY STANDS OF GRASS BY SEEDING AND MULCHING EXPOSED SOILS THAT WILL BE EXPOSED. SEED BARE SOIL WITHIN SEVEN (7) DAYS OF EXPOSURE, UNLESS CONSTRUCTION WILL BEGIN WITHIN FOURTEEN (14) DAYS. IF CONSTRUCTION IS SUSPENDED, OR SECTIONS COMPLETED, AREAS SHOULD BE SEEDED WITH MULCH DOWN IMMEDIATELY. THIS WILL TEMPORARILY STABILIZE THE SOIL WITH A VEGETATIVE COVER THAT WILL PREVENT DAMAGE FROM WIND AND WATER EROSION AND SEDIMENTATION.
2. INSTALLATION- FERTILIZING, SEEDING, AND MULCHING WILL BE USED AS A TEMPORARY EAS CONTROL MEASURE ON ALL NON-PAVED DISTURBED AREAS. EXPOSED SOILS NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL BE SEEDED OR COVERED BY MULCH WITHIN 7 DAYS, INCLUDING STOCKPILED SOIL MATERIALS. WITH REGARD TO THE TEMPORARY SEED MIX, REFER TO THE SEEDING MIXTURE TABLE PROVIDED ON THE EAS CONTROL PLAN DETAIL SHEET.
3. OPERATIONS AND MAINTENANCE- INSPECT SEEDED AREA AT LEAST ONCE A WEEK FOR SEED AND MULCH MOVEMENT AND RILL EROSION. WHERE SEED HAS MOVED OR WHERE SOIL EROSION HAS OCCURRED, DETERMINE CAUSE OF THE FAILURE. BIRD FEEDING MAY BE A PROBLEM IF MULCH WAS APPLIED TOO THINLY TO PROTECT SEED. RE-SEED AND RE-MULCH. IF MOVEMENT WAS A RESULT OF WIND, REPAIR EROSION DAMAGE, REAPPLY SEED, MULCH AND APPLY MULCH ANCHORING. IF FAILURE WAS CAUSED BY CONCENTRATED RUNOFF, INSTALL ADDITIONAL MEASURES TO CONTROL WATER AND SEDIMENT MOVEMENT, REPAIR EROSION DAMAGE, RE-SEED AND RE-APPLY MULCH WITH ANCHORING OR USE EROSION CONTROL BLANKET.

SEEDING AND MULCHING

ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN 7 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE SEEDING AND MULCHING. DISTURBED AREAS SHALL BE LIMITED AND BE COVERED WITH LAYER OF TOPSOIL PRIOR TO SEEDING. SEEDING WILL BE INSPECTED FOR BARE SPOTS, WASH OUTS, AND HEALTHY GROWTH. IF REQUIRED ADDITIONAL SEEDING SHALL BE PERFORMED. THE SEED MIX SPECIFIED FOR THIS SITE IS FROM THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, TABLE 3.2 (SITE CHOICE 1B) WHICH IS AS FOLLOWS:

	Pure Live Seed Values
SPECIES (% by weight)	lbs/1000SF lbs/acre
15% fine fescue	2.0 – 2.6 85 – 114
20% perennial ryegrass	0.6 – 0.8 26 – 35
65% kentucky bluegrass blend	0.4 – 1.6 18-44
	3.0 – 4.0 130 – 175

CONTRACTOR

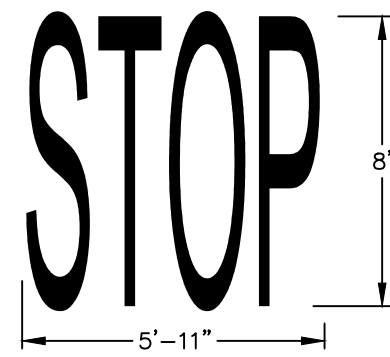
CONSULTANT



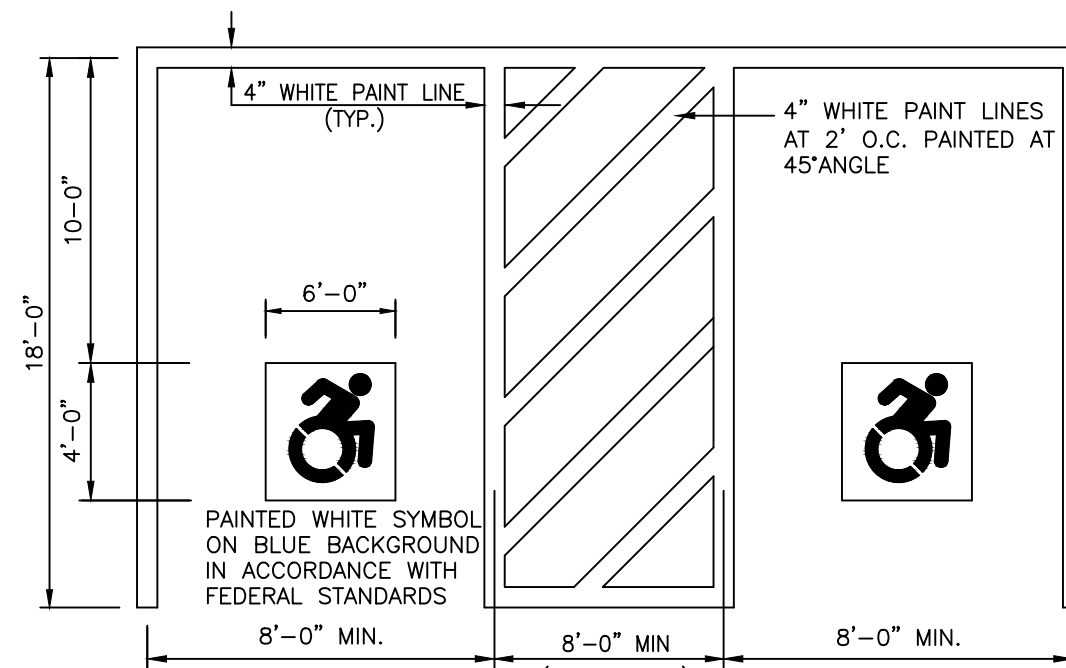
• Land Planning
• Civil Engineering
• Environmental Services
• Land Surveying
• Landscape Architecture
85 Civic Center Plaza, Suite 103
Poughkeepsie, NY 12601
Tel:845.851.2880
1 International Blvd, Suite 400
Middletown, NY 10941
Tel:914.661.5730
100 West Street, Suite E
Cortlandt, NY 10814
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ISSUE DATES
07/09/2021 ISSUED FOR BID

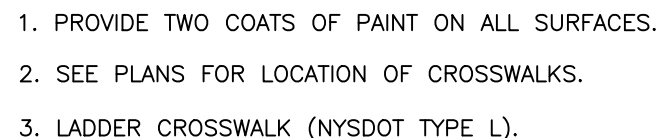
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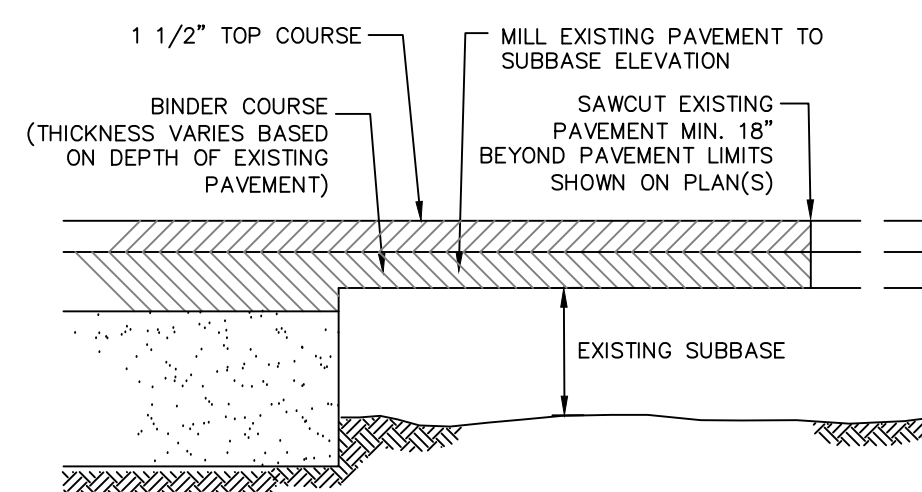
2	STOP BAR DETAILS
DN-I	NOT TO SCALE



4	TYPICAL ACCESSIBLE PARKING SPACE DETAIL
DN-I	NOT TO SCALE

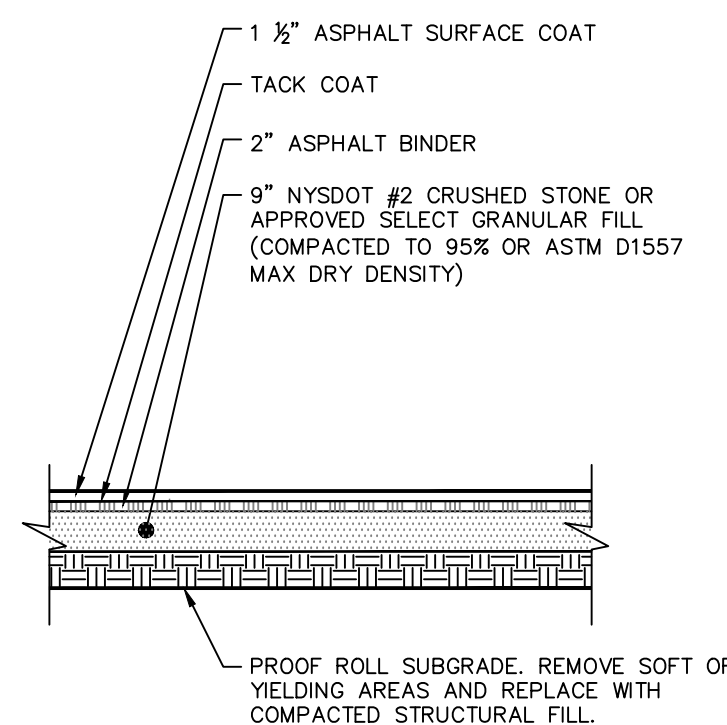


5 PAINTED CROSSWALK STRIPING



10	PAVEMENT TRANSITION DETAIL
DN-1	

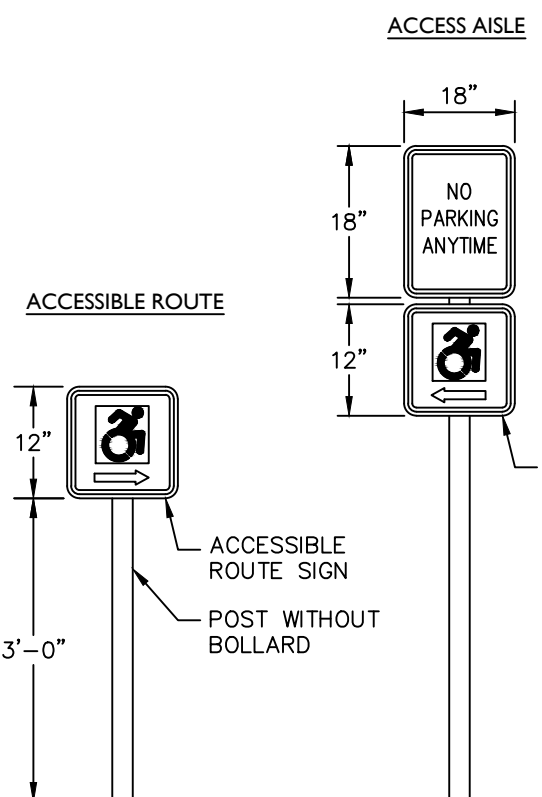
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II
DN-1

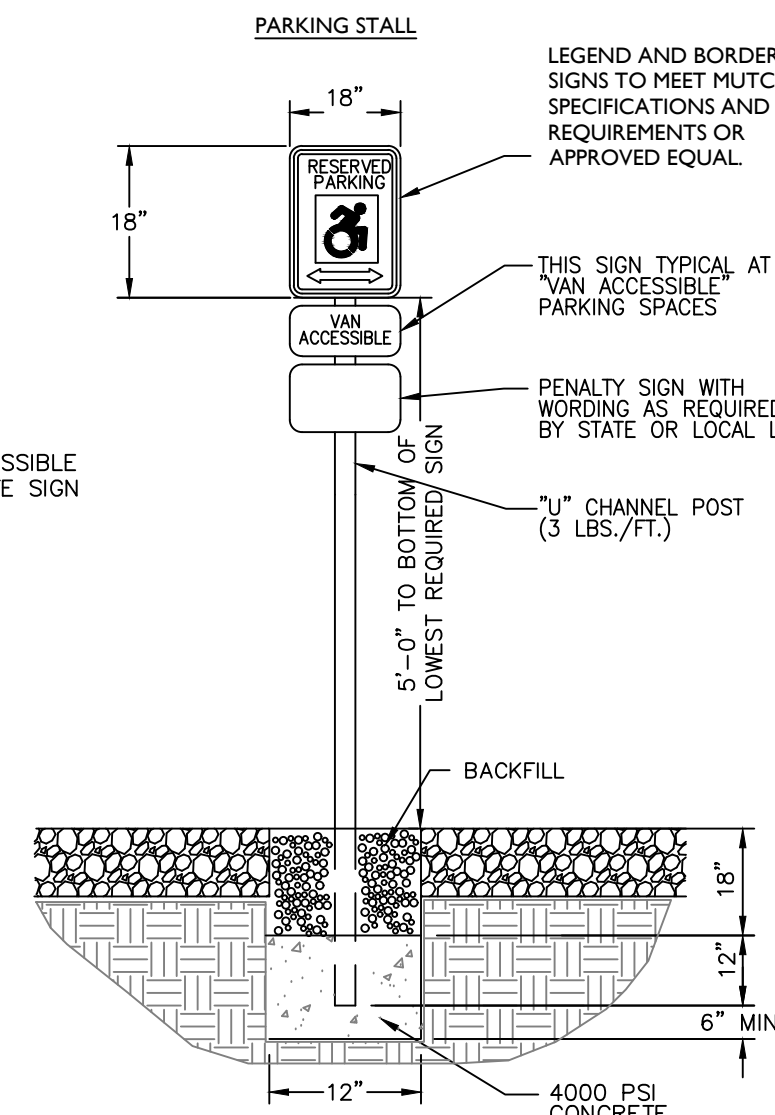
NOTES:
DETAIL REMOVED FROM CIVIL
PLANS. SEE LANDSCAPE ARCHITECT PLANS
FOR DETAIL

ON-SITE CONC. CURB
NOT TO SCALE



13	ACCESSIBLE PARKING & ACCESS SIGNS
DN-1	NOT TO SCALE

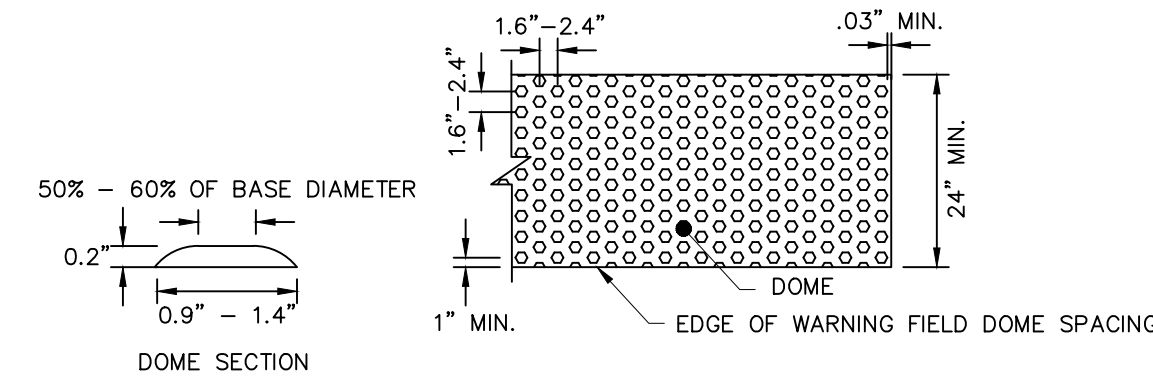
FOR USE IN PAVED AREAS



13	ACCESSIBLE PARKING & ACCESS SIGNS
DN-1	

NOT TO SCALE

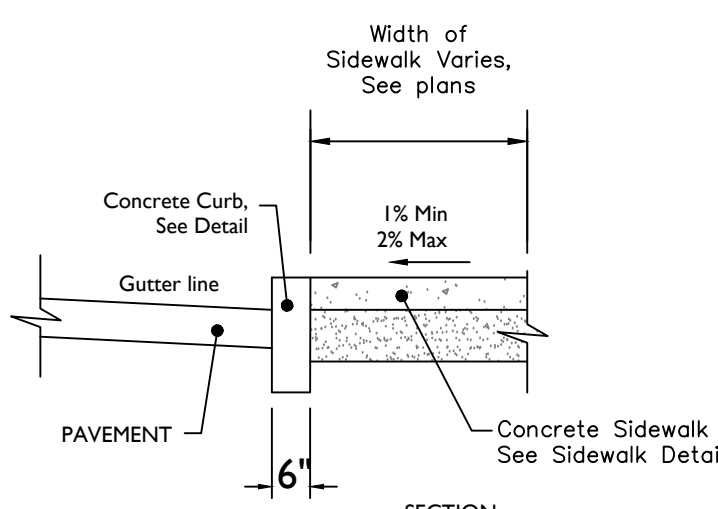
FOR USE IN NON PAVED AREAS



NOTES

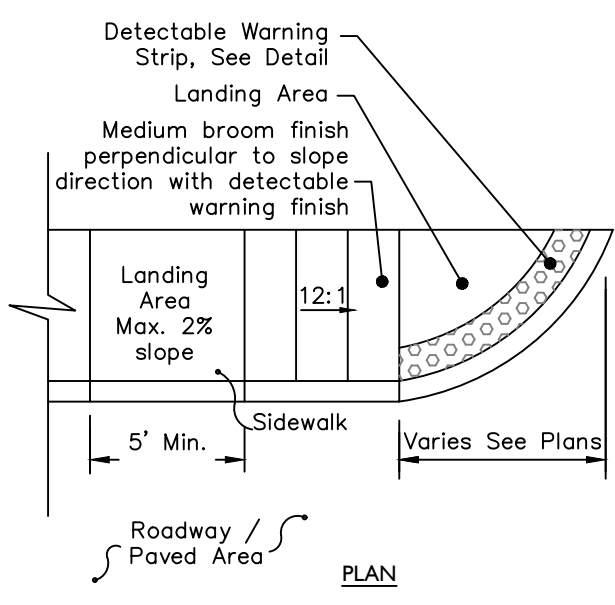
1. THE DETAILS PROVIDED ARE NOT DRAWN TO SCALE, THE QUANTITY OF DOMES DEPICTED ON THE DETECTABLE WARNING UNIT (THE DOMES AND THE ENTIRE 24" LEVEL SURFACE) IS FOR ILLUSTRATION ONLY.
2. THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE FLUSH IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR 24" SURFACE.
3. THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE GRADE BREAK BETWEEN THE RAMP LANDING OR CURB RAMP AND THE STREET.
4. WHERE DOMES ARE ARRANGED RADIALLY THEY MAY DIFFER IN DOME DIAMETER AND CENTER-TO-CENTER SPACING WITHIN THE RANGES SPECIFIED ON THIS SHEET.
5. THE DETECTABLE WARNING FIELD SHALL BE THE COLOR (MAROON).
6. DETECTABLE WARNING SHALL BE LOCATED SO THAT THE EDGE OR CORNER OF THE WARNING FIELD NEAREST TO THE ROADWAY IS 5' TO 9' FROM THE FRONT OF THE CURB OR THE ROADWAY EDGE (12' WHERE TRAVERSABLE CURB IS USED). INSTALL THE DETECTABLE WARNING FIELD TO THE FULL WIDTH OF THE CURB RAMP.
7. THE EDGE OF THE DETECTABLE WARNING FIELD NEAREST TO A RAILROAD CROSSING SHALL BE 6'-0" MINIMUM AND 15'-0" MAXIMUM FROM THE CENTERLINE OF THE NEAREST RAIL.

14	DETECTABLE WARNING STRIP
DN-1	NOT TO SCALE



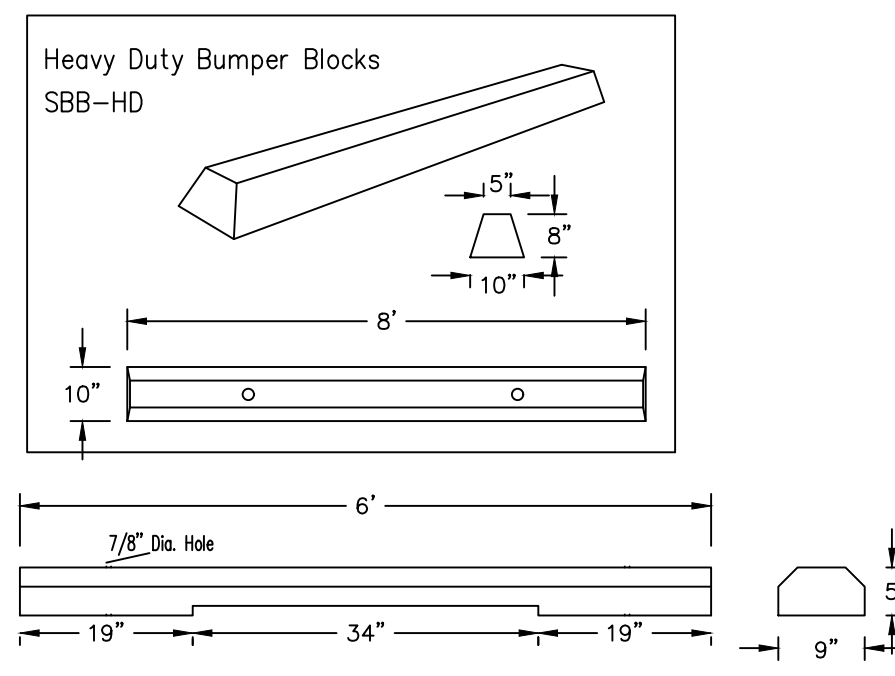
16	CONCRETE WHEELSTOP DETAIL
DN-I	NOT TO SCALE

NOT TO SCALE



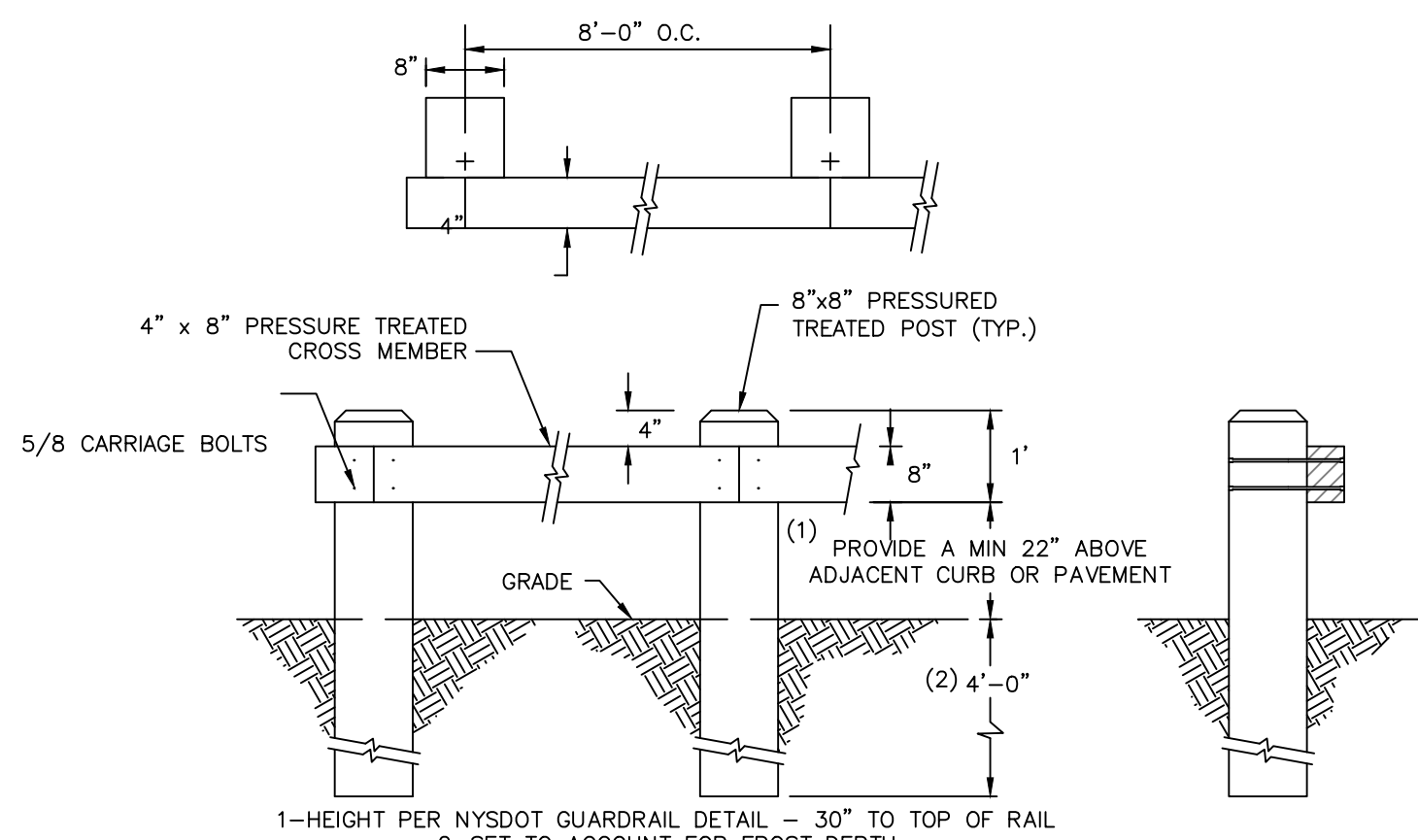
15	HANDICAP RAMPS
DN-1	

NOT TO SCALE



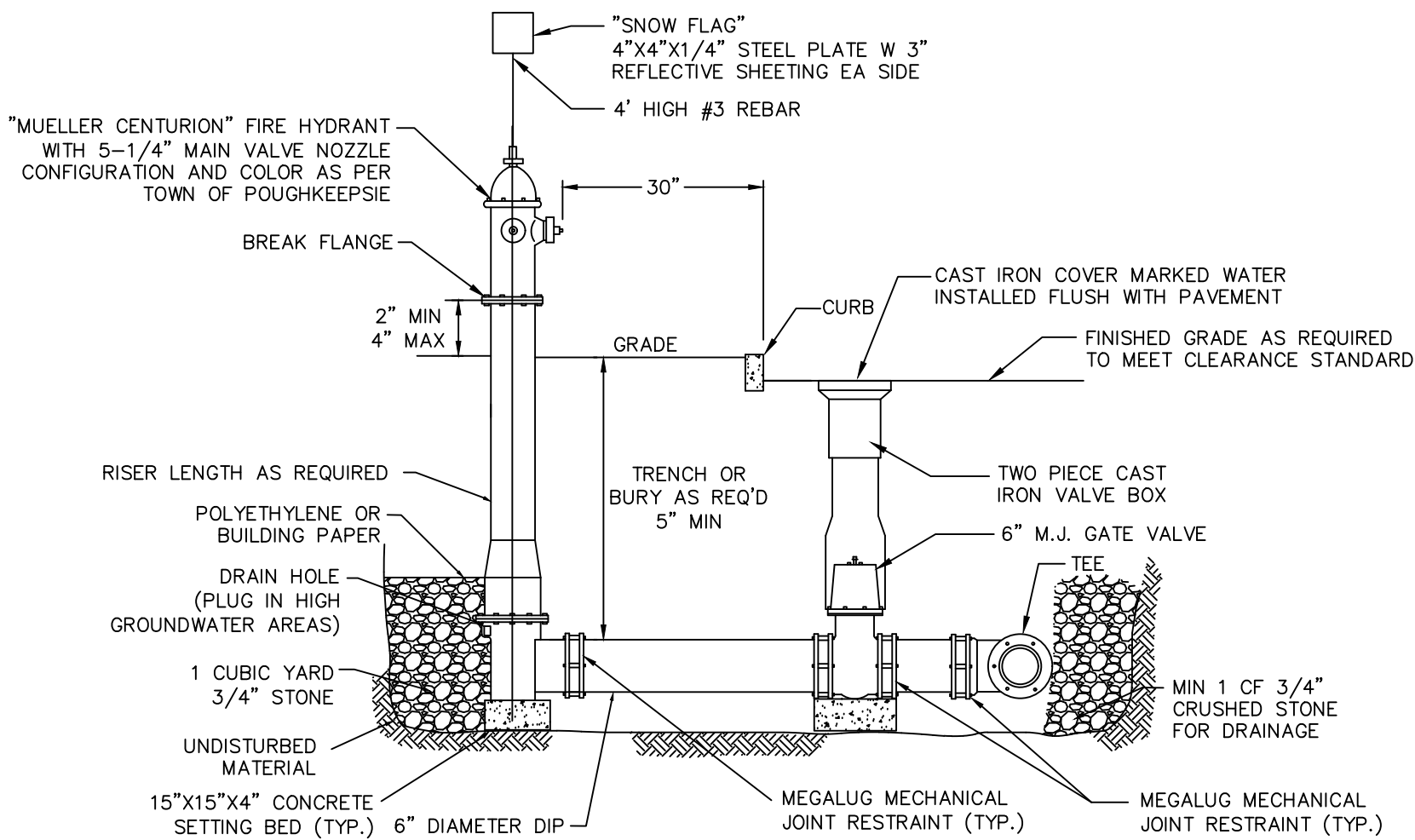
NOTES:

1. PROVIDE PRECAST CONCRETE SIDEWALKS WHERE SHOWN ON PLANS.
2. WHEEL STOPS TO BE WOODARD HEAVY DUTY BUMPER BLOCKS SBB-HD OR APPROVED EQUAL.
3. PIN WHEEL STOPS INPLACE IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.



17 WOOD GUIDE RAIL

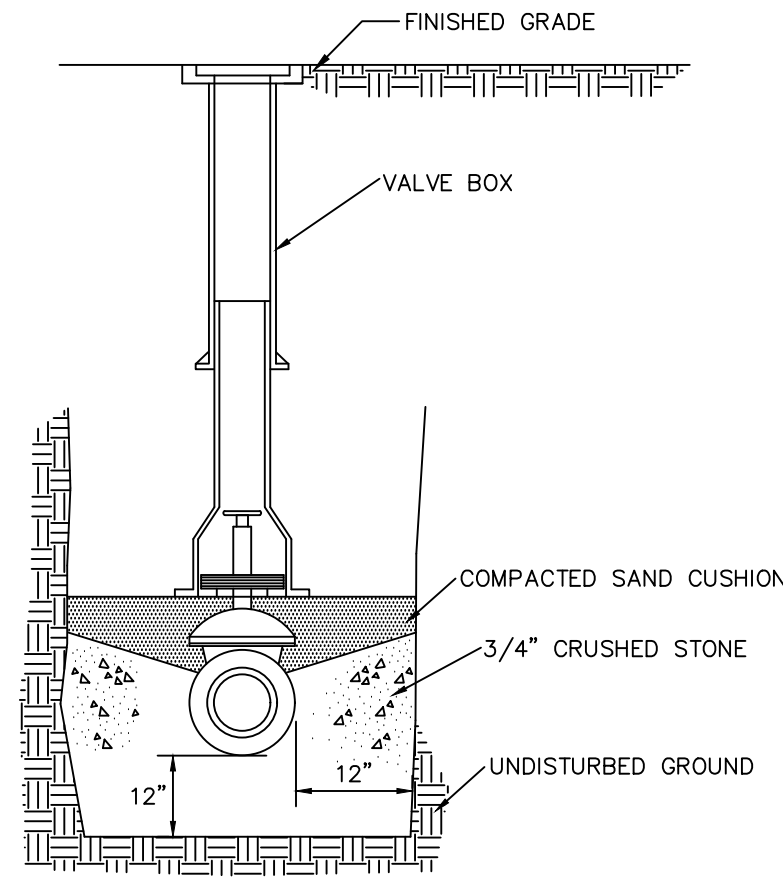
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- NOTES:
1. PROPOSED LOCATIONS OF HYDRANTS TO BE FIELD LOCATED (STAKED) AND APPROVED BY WATER SUPERINTENDENT PRIOR TO INSTALLATION.
 2. HYDRANT WITH PROPER RISER LENGTH (DEPTH OF BURY) SHALL BE INSTALLED AS REQUIRED TO MEET THE 2" MIN. TO 4" MAX. CLEARANCE BETWEEN THE CENTER OF THE BREAK FLANGES AND THE ASPHALT CONCRETE PAD.
 3. ALL HYDRANTS TO MEET SPECIFICATIONS OF TOWN OF PoughKEEPSIE STANDARDS.
 4. FIRE HYDRANT TO BE FLOW TESTED AND BANDED IN ACCORDANCE WITH NFPA STANDARDS.

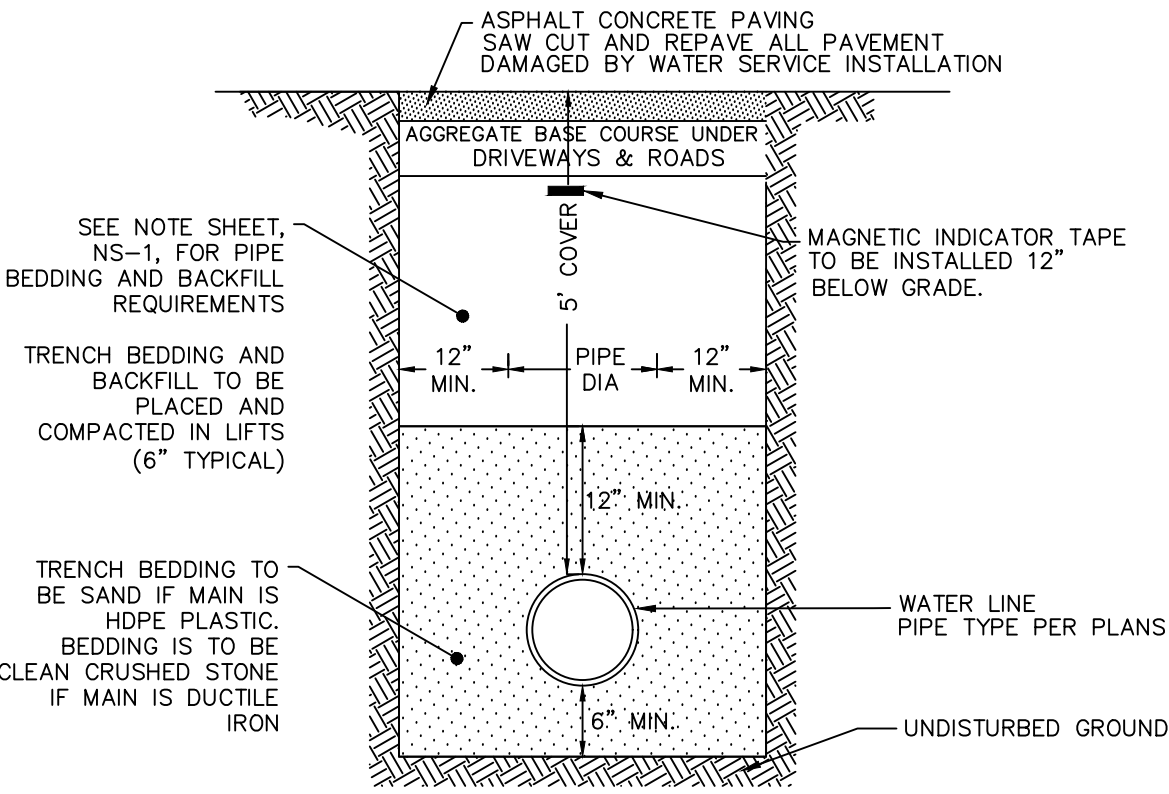
HYDRANT AND VALVE ASSEMBLY DETAIL
INSTALLATION (ADJACENT CURB)

NOT TO SCALE
HYDRANTS TO BE MUELLER #33 OR APPROVED EQUAL



VALVE AND VALVE BOX DETAIL

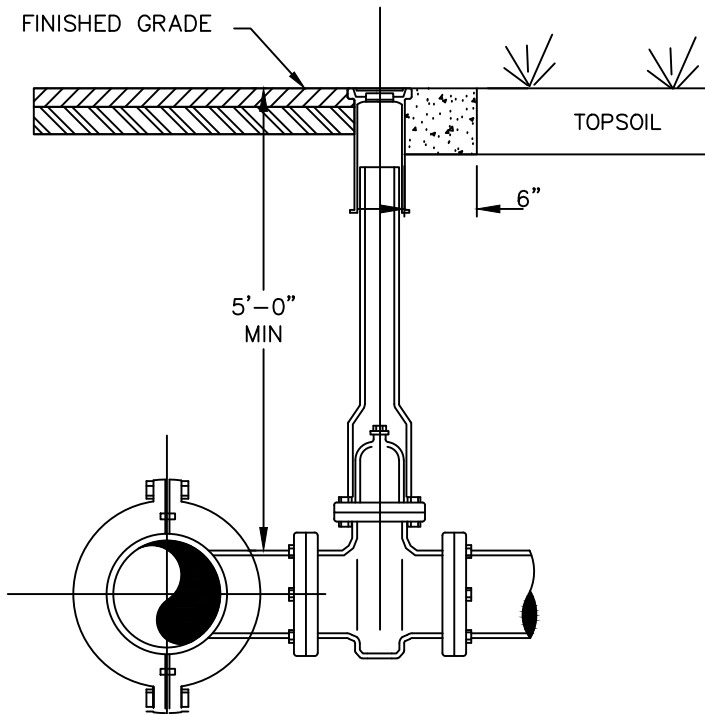
NOT TO SCALE
NOTE: SEE TOWN OF PoughKEEPSIE WATER NOTES FOR ADDITIONAL DETAILS.



- NOTES:
1. SEE NOTE SHEET NS-1 FOR SUBGRADE AND BACKFILL PLACEMENT AND COMPACTION REQUIREMENTS.
 2. SEE WATER NOTES ON SHEET NS-1 FOR ADDITIONAL DETAILS.

WATER MAIN TRENCH

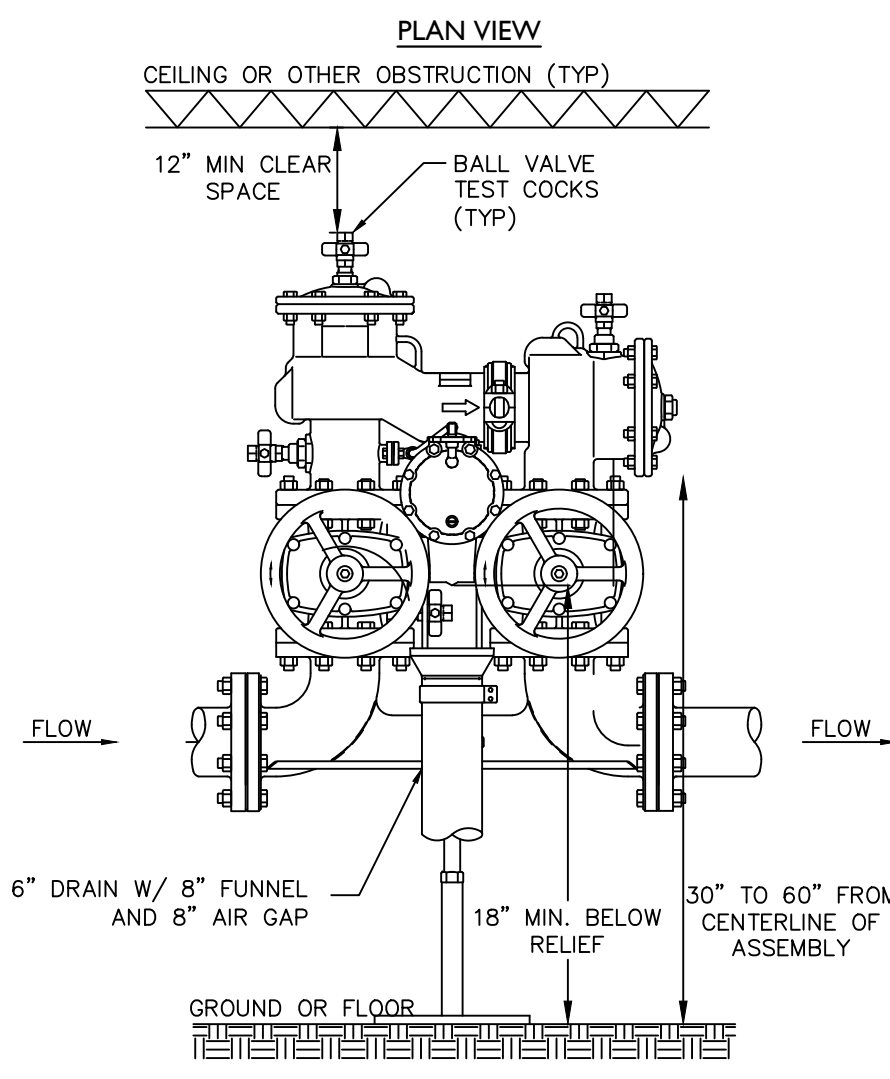
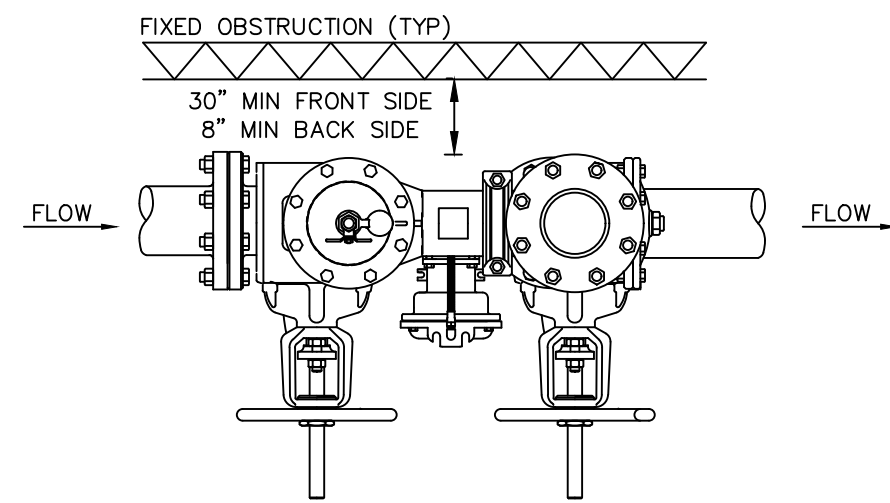
NOT TO SCALE



- NOTES:
1. WET TAP OF WATER MAIN SHALL BE PERFORMED UNDER THE SUPERVISION OF THE ENGINEER, AND THE TOWN OF PoughKEEPSIE WATER DEPARTMENT.
 2. TAPPING SLEEVE AND VALVE SUPPORT SHALL BE COORDINATED WITH THE ENGINEER TO SUIT FIELD CONDITIONS.
 3. MINIMUM DISTANCE TO JOINTS, FITTINGS, OR OTHER WET TAPS OR STOPS SHALL BE 3 FEET.
 4. VALVE OPERATING DIRECTION SHALL BE COUNTERCLOCKWISE TO OPEN (TURNING LEFT).
 5. STAINLESS STEEL TAPPING SLEEVE SHALL BE SELECTED TO FIT EXISTING PIPE MATERIAL (C.I., D.I., A.C.) AND OUTSIDE DIAMETERS.
 6. TAPPING SLEEVE, RESILIENT WEDGE VALVE & VALVE BOX SHALL BE IN ACCORDANCE WITH TOWN OF PoughKEEPSIE STANDARDS & AS MANUFACTURED BY (MUELLER) OR APPROVED EQUIVALENT.
 7. ALL JOINTS SHALL UTILIZE MEGA LUG RETAINER GLAND.
 8. PIPE BEDDING AND BACKFILL TO BE INSTALLED IN ACCORDANCE WITH PIPE TRENCHING DETAIL.

WATER TAPPING SLEEVE AND VALVE

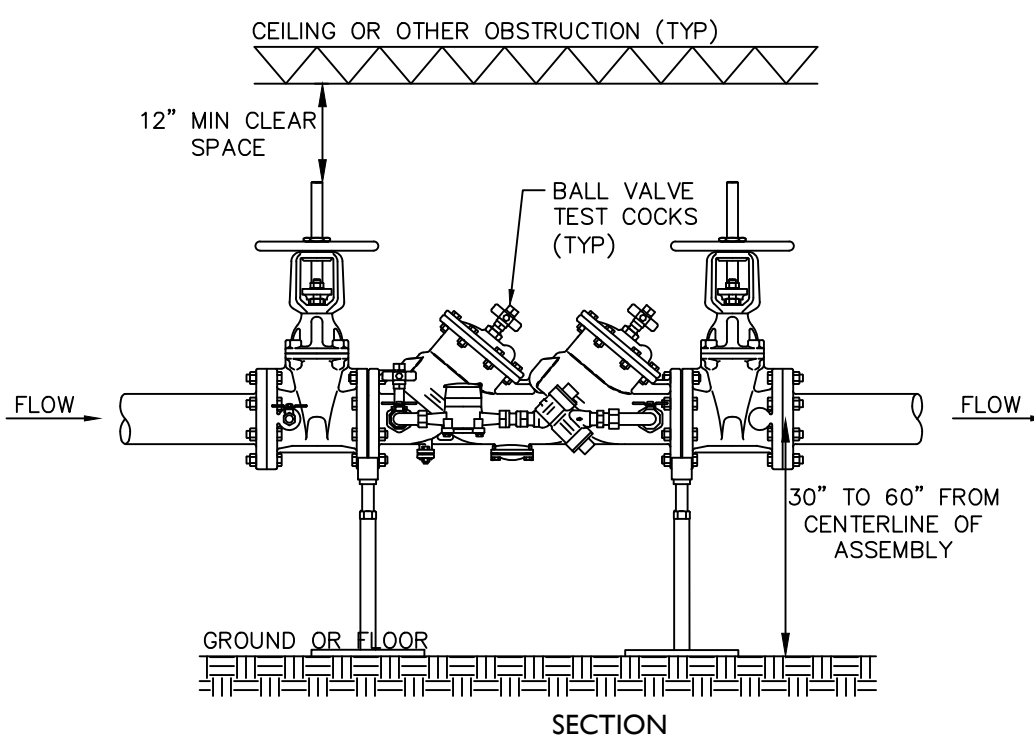
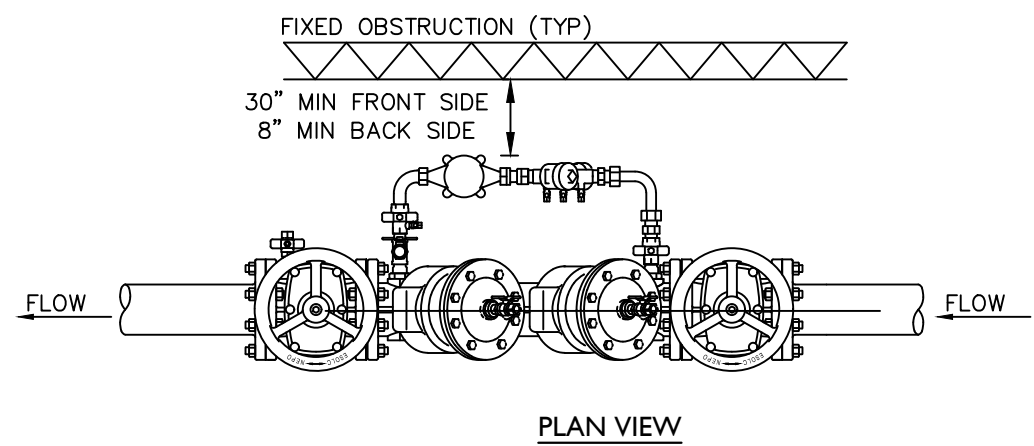
NOT TO SCALE



- NOTES:
1. ASSEMBLY TO BE INSTALLED HORIZONTALLY.
 2. WATTS SERIES LF909 4" REDUCED PRESSURE ZONE OR APPROVED EQUAL.
 3. RPZ TO BE INSTALLED IN MECHANICAL SPACE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND MUST MEET ALL CLEARANCES AS OUTLINED ABOVE. SEE PLUMBING PLANS FOR FURTHER DETAILS.
 4. ASSEMBLY TO BE TESTED BY A LICENSED BACKFLOW PREVENTION DEVICE TESTER AFTER INSTALLATION AND PRIOR TO ACTIVATION OF NEW WATER SUPPLY. THE RESULTS MUST BE SUBMITTED TO THE DCOH AND TOWN OF PoughKEEPSIE AS PART OF THE ENGINEER'S CERTIFICATION.
 5. ASSEMBLY MUST BE TESTED ANNUALLY BY A LICENSED BACKFLOW PREVENTION TESTER. COPIES OF THE TEST RESULTS MUST BE SUBMITTED TO THE OWNER, TOWN OF PoughKEEPSIE WATER DEPARTMENT, AND THE DUTCHESS COUNTY DEPARTMENT OF HEALTH.
 6. RPZ TO DRAIN OUT EXTERIOR OF BUILDING WITH REQUIRED AIR GAP.

DOMESTIC SUPPLY - REDUCED PRESSURE ZONE DETAIL

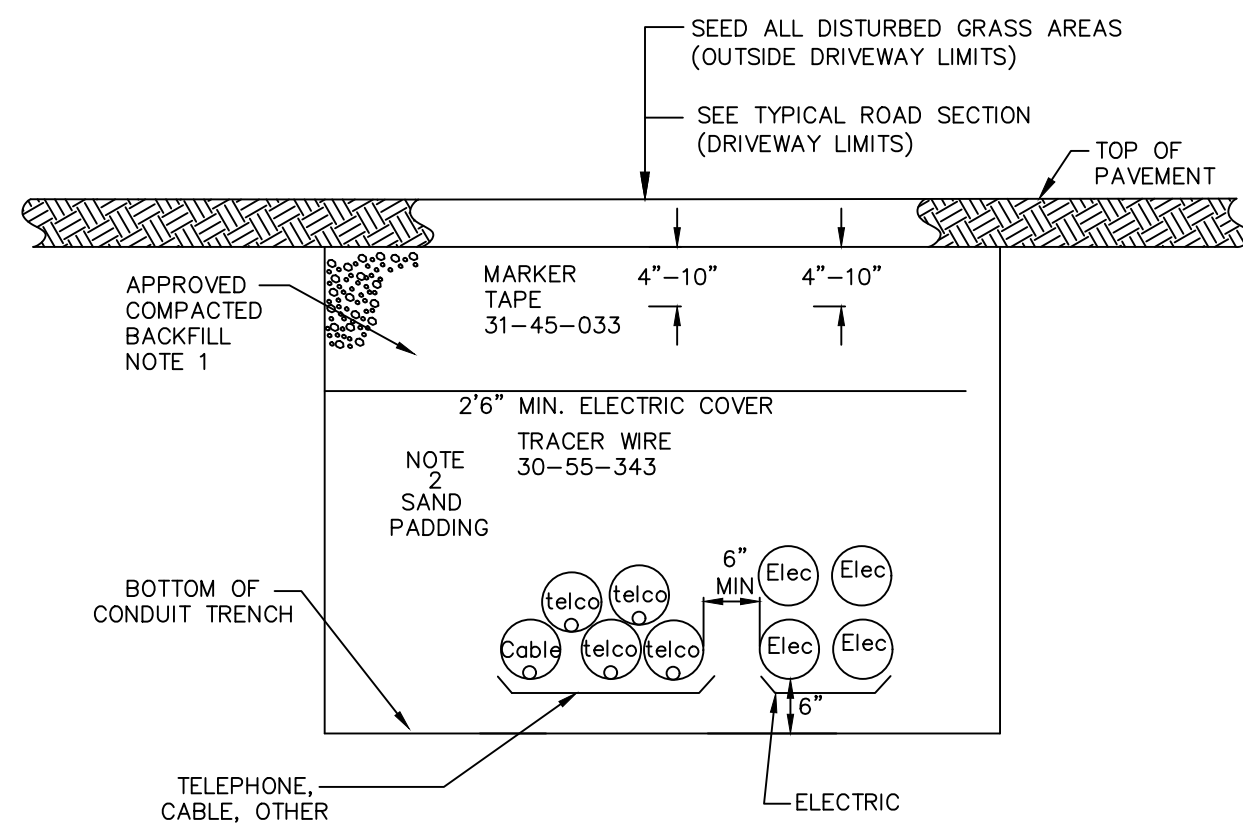
NOT TO SCALE



- NOTES:
1. ASSEMBLY TO BE INSTALLED HORIZONTALLY OR VERTICAL UP.
 2. WATTS SERIES LF909 4" REDUCED PRESSURE ZONE OR APPROVED EQUAL.
 3. DCV TO BE INSTALLED IN MECHANICAL SPACE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND MUST MEET ALL CLEARANCES AS OUTLINED ABOVE. SEE PLUMBING PLANS FOR FURTHER DETAILS.
 4. ASSEMBLY TO BE TESTED BY A LICENSED BACKFLOW PREVENTION DEVICE TESTER AFTER INSTALLATION AND PRIOR TO ACTIVATION OF NEW WATER SUPPLY. THE RESULTS MUST BE SUBMITTED TO THE DCOH AND TOWN OF PoughKEEPSIE AS PART OF THE ENGINEER'S CERTIFICATION.
 5. ASSEMBLY MUST BE TESTED ANNUALLY BY A LICENSED BACKFLOW PREVENTION TESTER. COPIES OF THE TEST RESULTS MUST BE SUBMITTED TO THE OWNER, TOWN OF PoughKEEPSIE WATER DEPARTMENT, AND THE DUTCHESS COUNTY DEPARTMENT OF HEALTH.

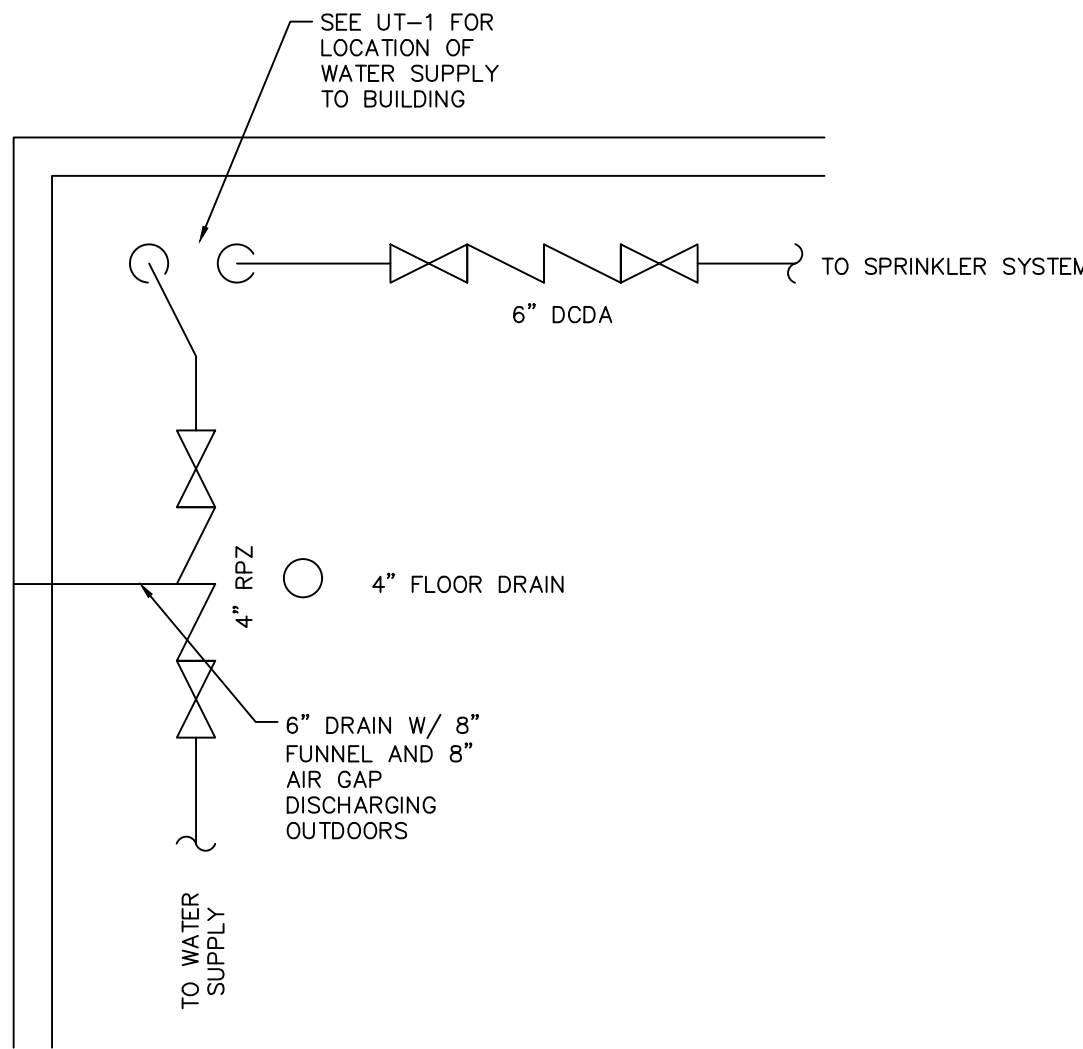
FIRE SUPPLY - DOUBLE DETECTION CHECK VALVE DETAIL

NOT TO SCALE



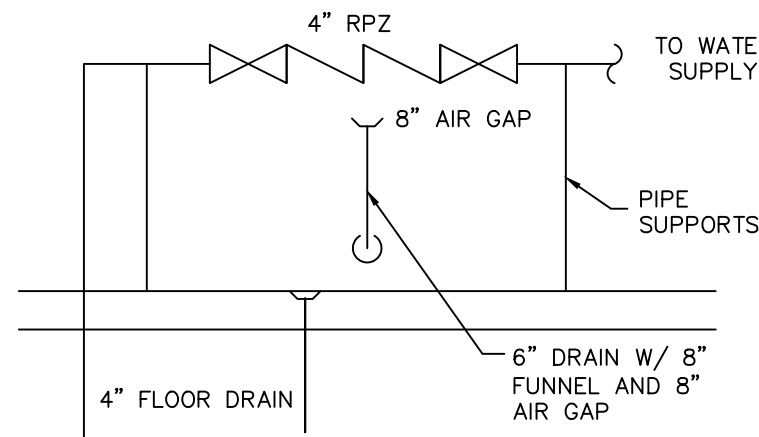
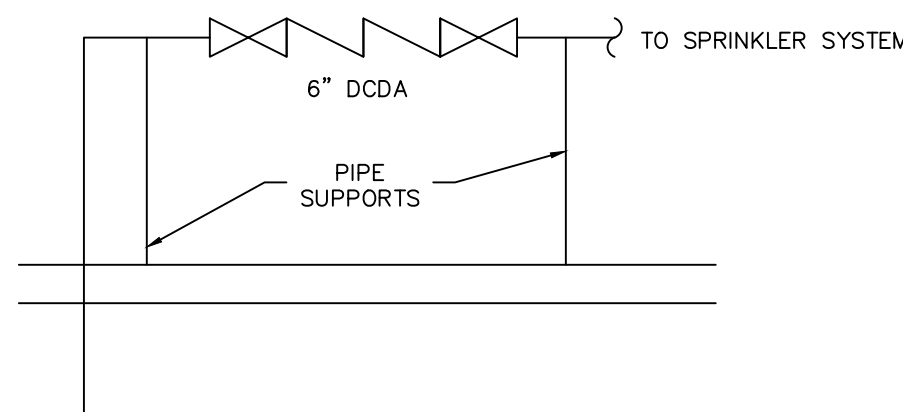
COMMON UTILITY TRENCH DETAIL

NOT TO SCALE
NOTE: DETAIL FROM CENTRAL HUDSON DESIGN GUIDELINES 5/07



WATER SUPPLY PLAN VIEW

NOT TO SCALE



WATER SUPPLY PROFILE VIEW

NOT TO SCALE

CONSULTANT



• Land Planning
• Civil Engineering
• Environmental Services
• Land Surveying
• Landscape Architecture
85 Civic Center Plaza, Suite 103
Poughkeepsie, NY 12601
Tel: 845.343.2800
1 International Blvd., Suite 400
Middletown, NY 10941
Tel: 845.603.5730
160 West Street, Suite E
Cromwell, CT 06416
Tel: 860.633.2877
www.lrcgroup.com
LRC Engineering and Surveying, INC.
LRC Engineering and Surveying, LLC
LRC Environmental Services, Inc.
Land Resource Consultants, Inc.

ISSUE DATES

07/09/2021 ISSUED FOR BID

Frederick Fisher and Partners
22788 South Main Road, Lake Park, GA 30024 | (770) 230-2600 | info@frederickfisher.net
150 West 28th St, Suite 1002, New York, NY 10001

WATER DETAILS

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DN-2

SHEET 16 OF 19

1 SANITARY MANHOLE
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2 TYPICAL MANHOLE STEP DETAIL
NOT TO SCALE

3 SANITARY SEWER TRENCH SECTION
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4 DOUBLE SEWER CLEANOUT DETAIL
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5 WATER MAIN/SEWER/STORM CONCRETE ENCASUREMENT
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(REQUIRED IF SEPARATION REQUIREMENTS CANNOT BE MET)

6 PRECAST GREASE TRAP DETAIL
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7 INFLOW PROTECTION MANHOLE INSERT
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8 SANITARY SEWER DROP MANHOLE
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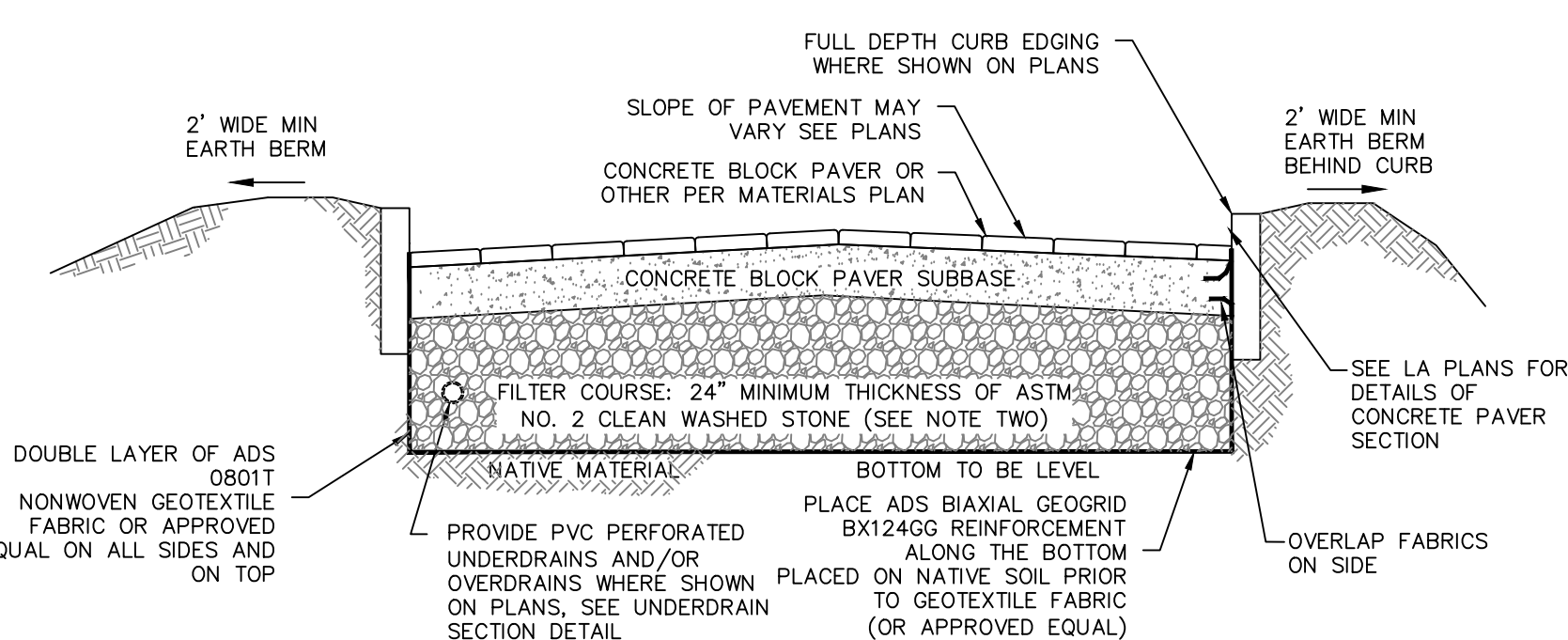
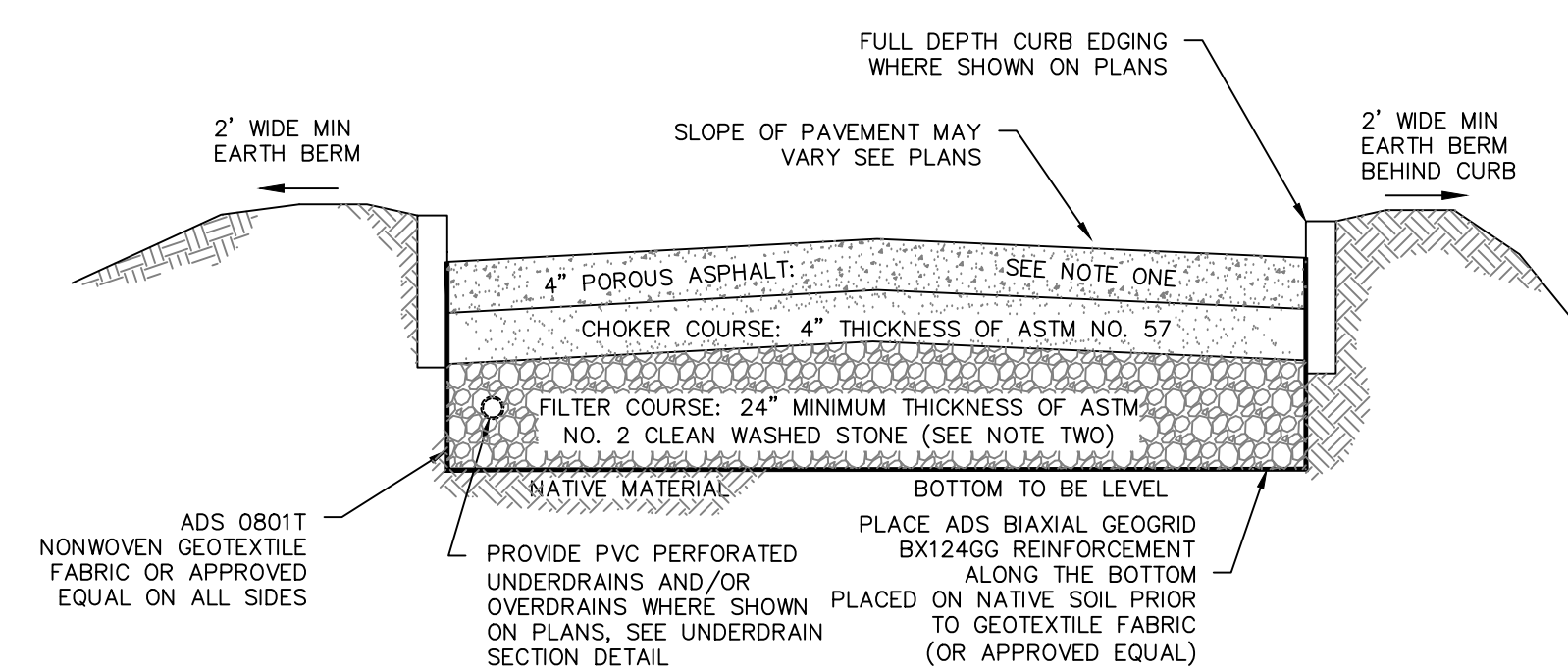
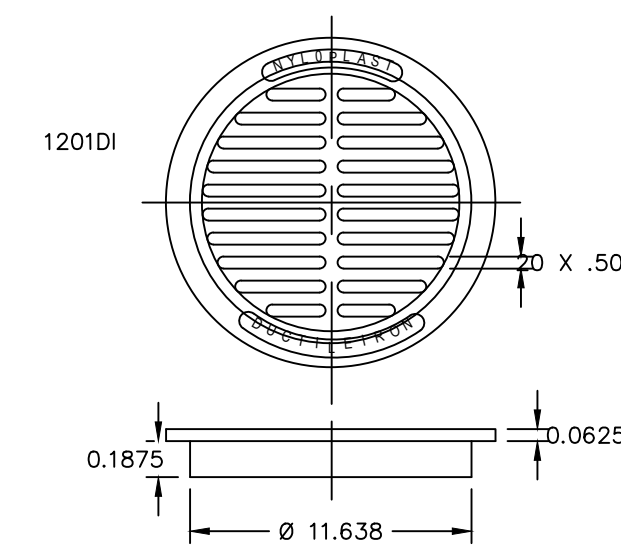
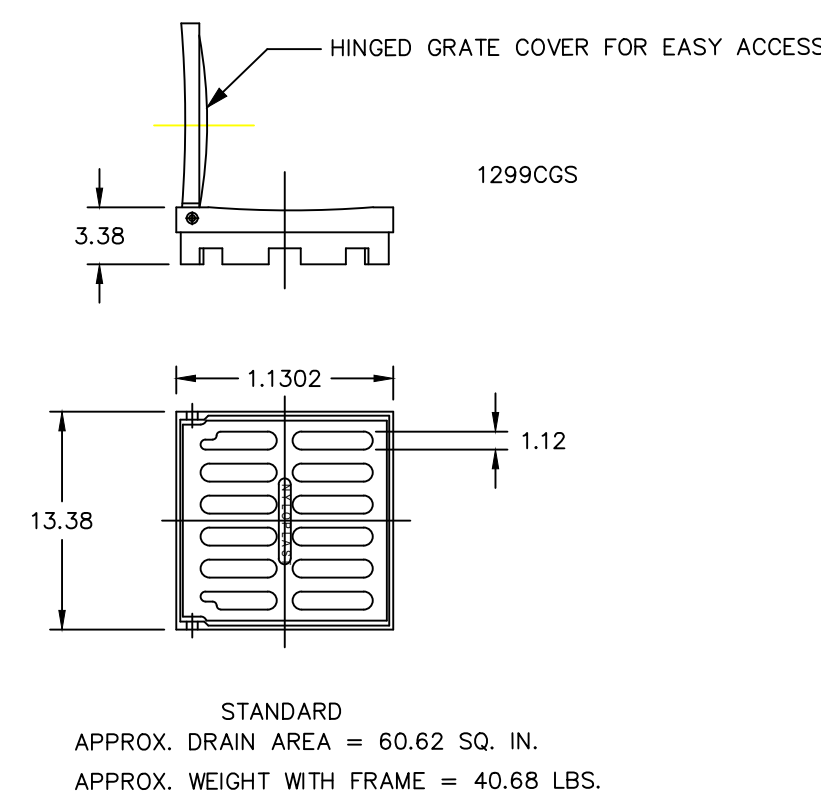
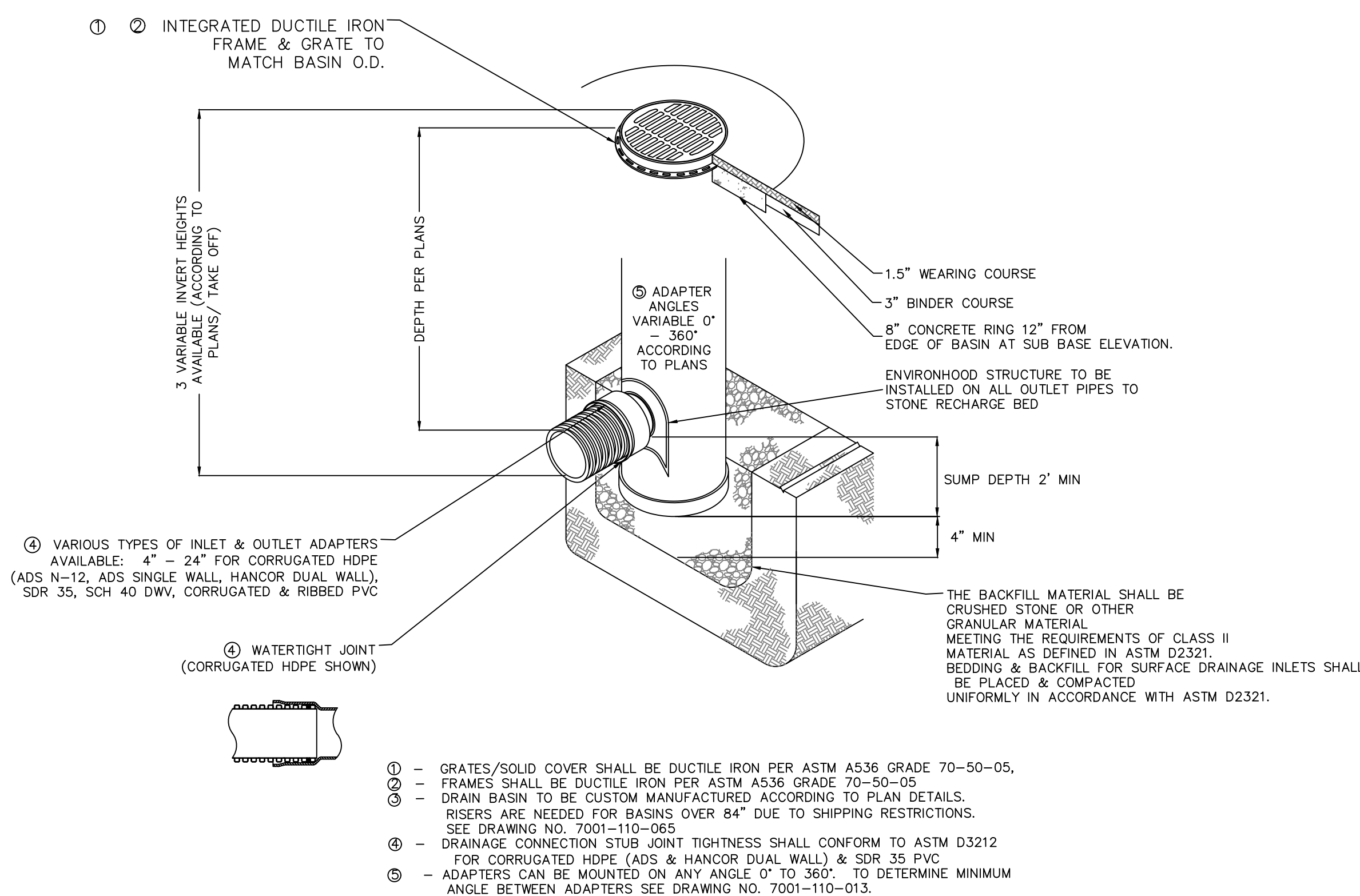
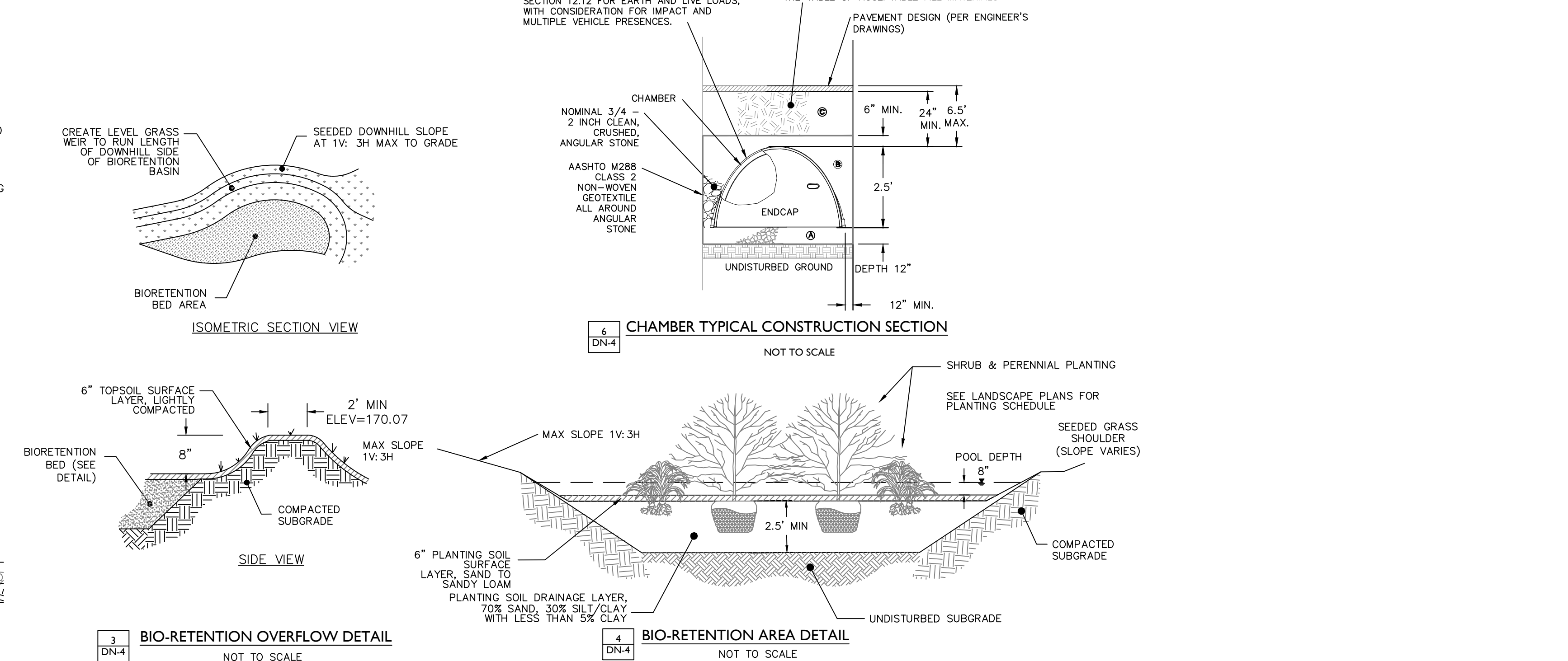
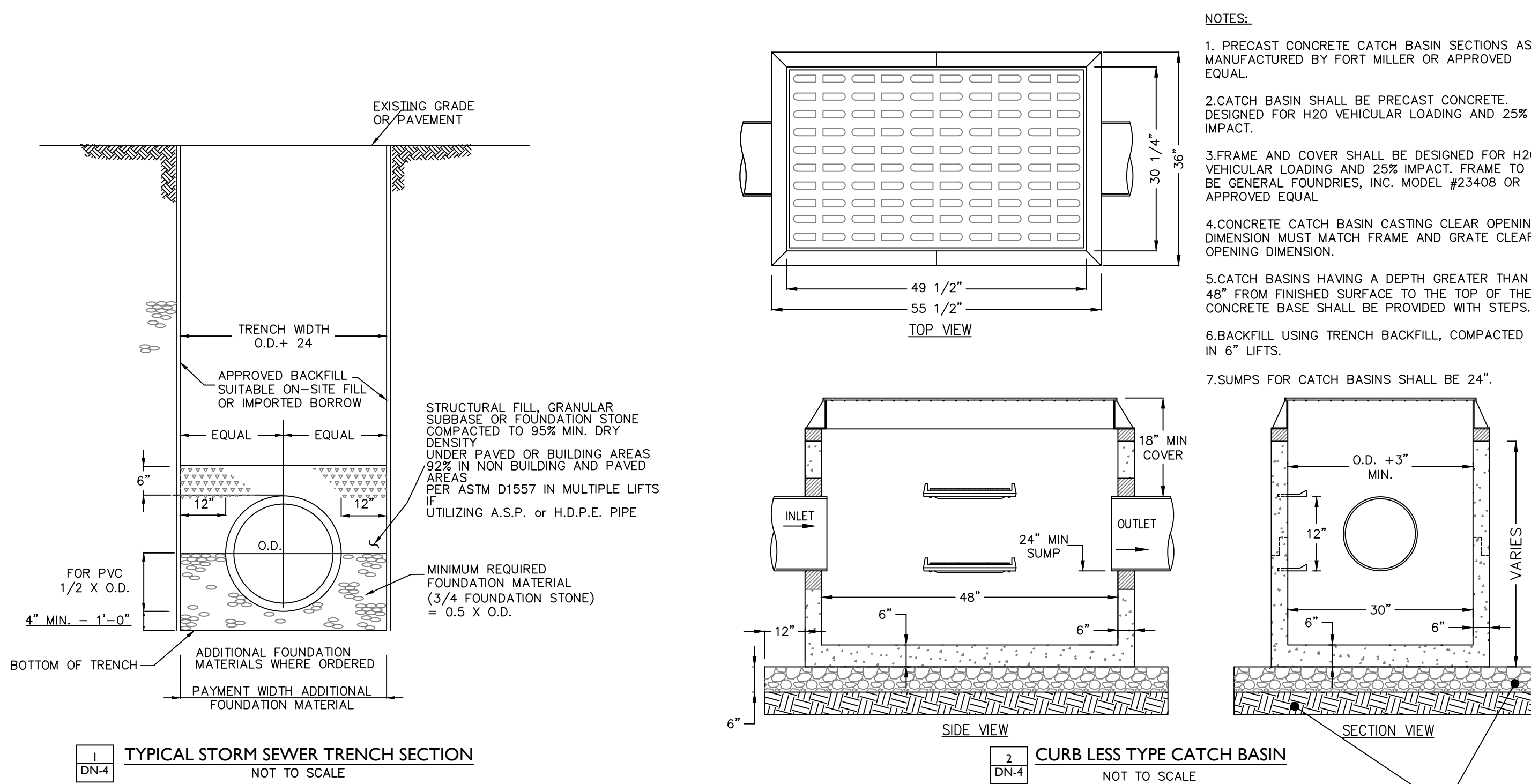
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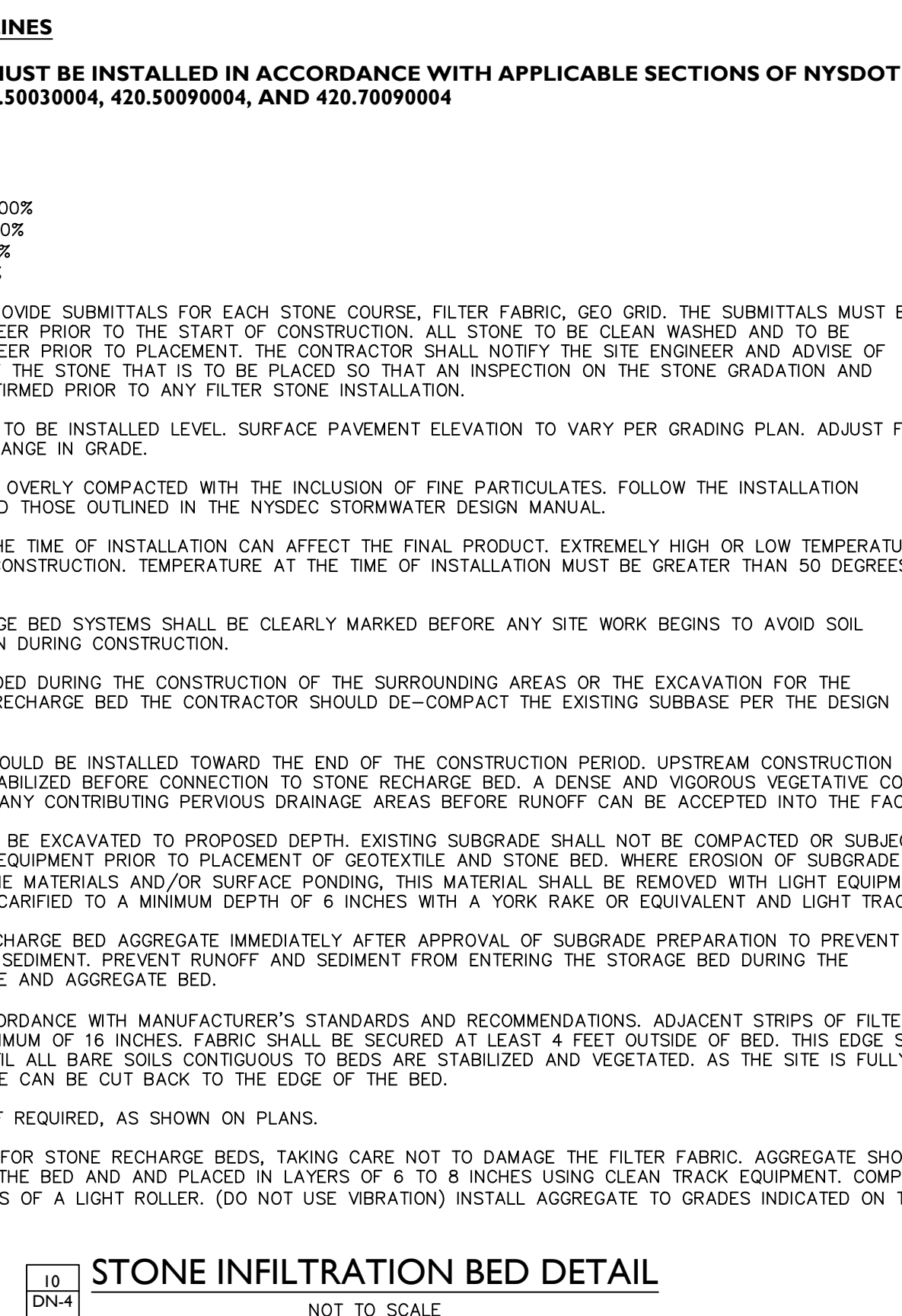
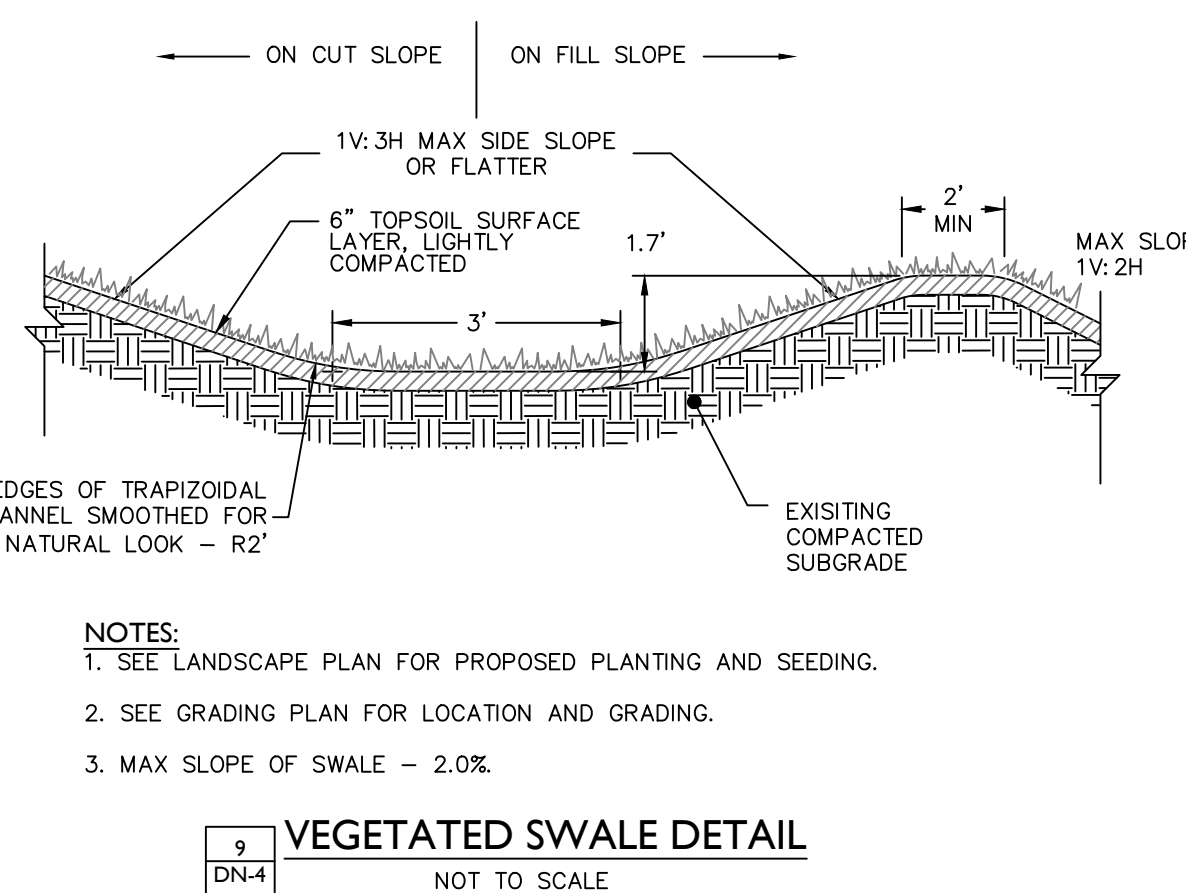
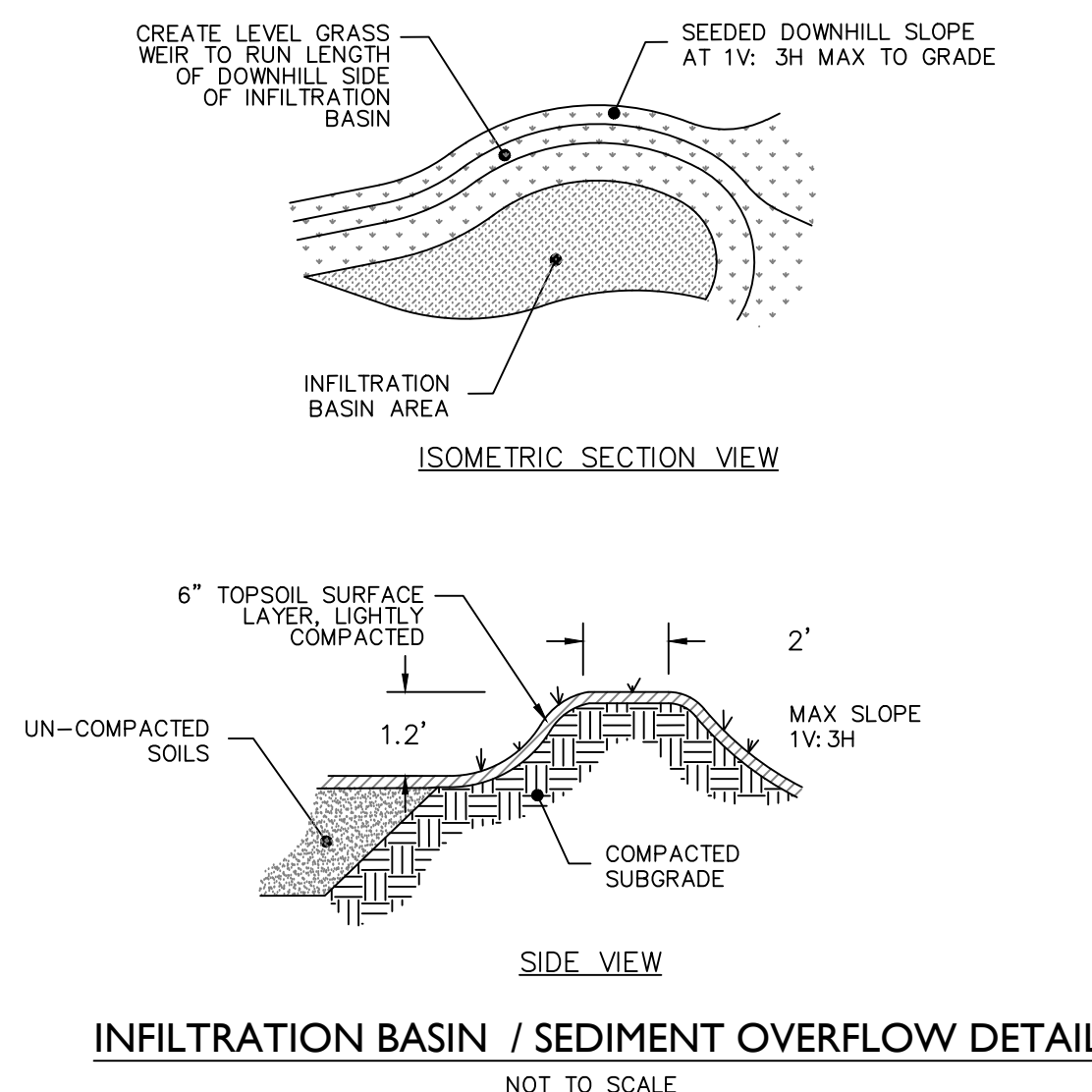
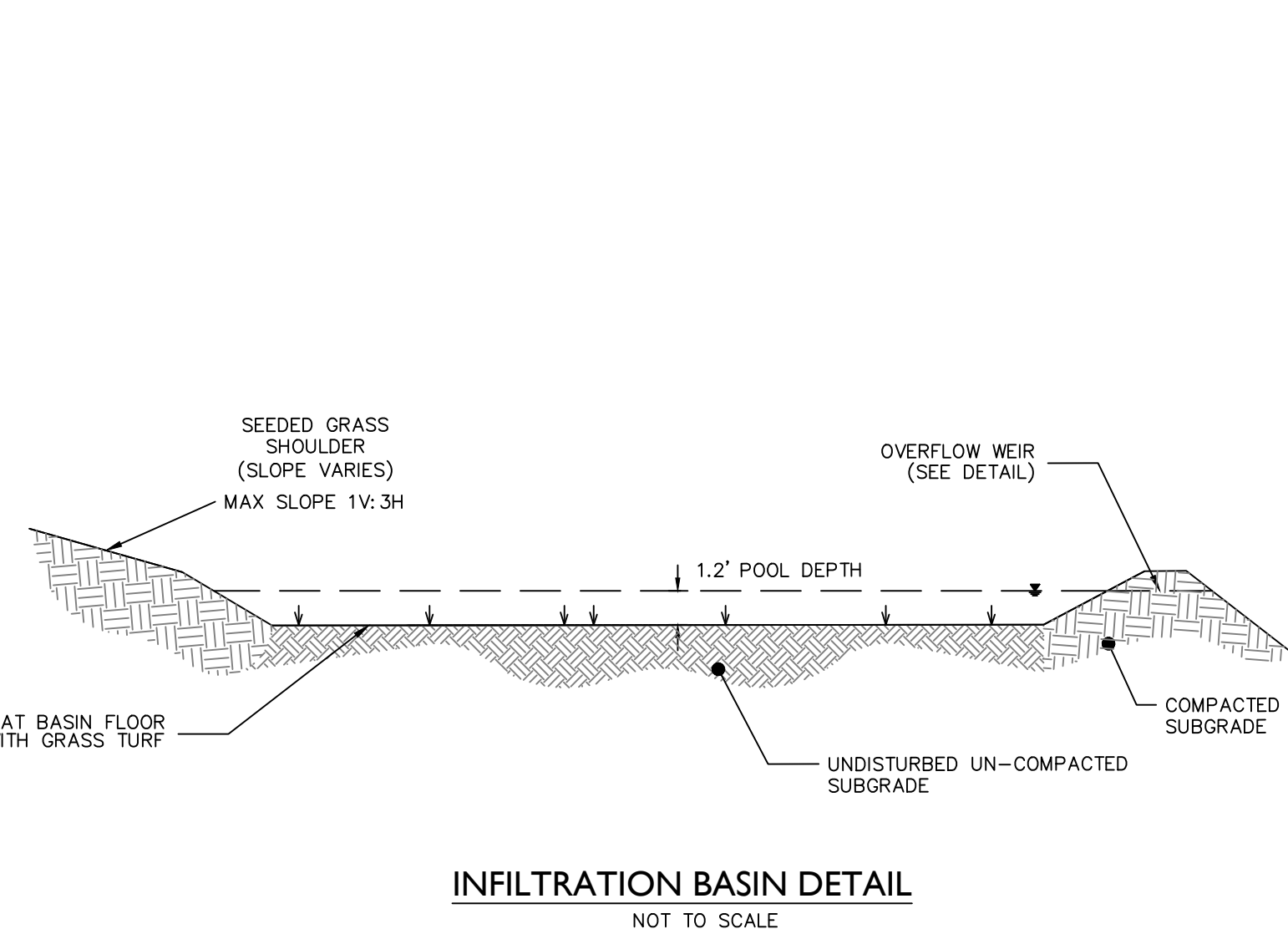
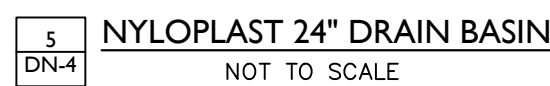
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