

WESTCHESTER COUNTY



WESTCHESTER COUNTY, NEW YORK
DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION
DIVISION OF ENGINEERING

CONTRACT No. 18-515
ROOF REPLACEMENT PROGRAM
MAMARONECK WATER RESOURCE RECOVERY FACILITY
PEEKSKILL WATER RESOURCE RECOVERY FACILITY
MAMARONECK AND PEEKSKILL, NEW YORK

GENERAL NOTES

1. THE DRAWINGS AND PROJECT MANUAL ARE COMPLEMENTARY. THE PROJECT MANUAL, SEPARATELY BOUND, CONTAINS THE CONDITIONS OF THE CONTRACT, PROCEDURES AND TECHNICAL SPECIFICATION. CONTRACTOR IS TO VISIT THE SITE AND BECOME FAMILIAR WITH THE CONDITION OF THE SITE AND DIFFICULTIES ATTENDING THE WORK.

2. DO NOT SCALE MEASURE ANY DRAWING. VERIFY THE FIGURES, DIMENSIONS AND DESIGN INTENTION SHOWN ON THE DRAWINGS BEFORE BEGINNING LAYOUT OF THE WORK.

4. REPORT ANY ERRORS, INACCURACIES, MISSING DIMENSIONAL REQUIREMENTS OR CONFLICTS TO THE ARCHITECT IN WRITING BEFORE BEGINNING ANY WORK.

5. VERIFY EXACT LAYOUT COMPATIBILITY WITH ALL EXISTING CONDITIONS BEFORE BEGINNING WORK. NOTIFY THE ARCHITECT IN WRITING BEFORE BEGINNING WORK IF ANY DISCREPANCIES ARE FOUND.

6. DISTURB ONLY THOSE AREAS OF THE FACILITY AFFECTED BY DEMOLITION, UNLESS NOTED OTHERWISE. PROTECT ALL OTHER AREAS.

7. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, LAWS, AGENCIES HAVING JURISDICTION, AND STATUTES AS REQUIRED.

8. VERIFY ALL CHANGES TO THE WORK IN WRITING WITH THE ARCHITECT AND OWNER BEFORE BEGINNING RELATED WORK.

9. REVIEW ALL DRAWINGS CONTAINED IN THIS SET, SO AS TO BECOME FAMILIAR WITH THE WORK REQUIRED UNDER THE CONTRACT.

10. VERIFY AND ADJUST APPROXIMATE DIMENSIONS (+/-) IN THE FIELD. VERIFY WITH ARCHITECT PRIOR TO CONSTRUCTION.

11. PROTECT ALL ADJACENT EXISTING CONSTRUCTION. PATCH, REPAIR AND/OR REPLACE, AND REFINISH AS REQUIRED TO RESTORE AREAS DAMAGED DURING DEMOLITION, AND CONSTRUCTION.

12. THE OWNER RESERVES THE RIGHT AT ALL TIMES TO DELIVER, PLACE AND INSTALL EQUIPMENT AND FURNISHINGS AS THE WORK PROGRESSES SO LONG AS THERE IS NOT A CONFLICT WITH THE CONTRACTOR.

13. MAINTAIN AT THE SITE ONE RECORD COPY OF ALL DRAWINGS, SPECIFICATIONS AND APPROVED SHOP DRAWINGS AND APPROVED SAMPLES MARKED CURRENTLY TO RECORD ALL CHANGES DURING CONSTRUCTION.

14. ANY CHANGES TO THE SCOPE OF WORK OR IN THE CONSTRUCTION DETAILS, WHETHER DUE TO FIELD CONDITIONS OR OMISSION SHALL BE DOCUMENTED BY THE ARCHITECT PRIOR TO EXECUTION. ANY INCREASE OR DECREASE IN THE CONTRACT PRICE MUST BE APPROVED IN WRITING PRIOR TO EXECUTION.

15. GENERAL SAFETY AND SECURITY STANDARDS FOR CONSTRUCTION PROJECTS:

15.1. ALL CONSTRUCTION MATERIALS SHALL BE STORED IN A SAFE AND SECURE MANNER.

15.2. FENCES AROUND CONSTRUCTION SUPPLIES OR DEBRIS SHALL BE MAINTAINED.

15.3. ALL FENCING SHALL BE PROVIDED WITH SECURITY SCREENING.

16. SEPARATION OF CONSTRUCTION AREAS FROM OCCUPIED SPACES. CONSTRUCTION AREAS WHICH ARE UNDER THE CONTROL OF A CONTRACTOR AND THEREFORE NOT OCCUPIED BY COUNTY STAFF SHALL BE SEPARATED FROM OCCUPIED AREAS. PROVISIONS SHALL BE MADE TO PREVENT THE PASSAGE OF DUST AND CONTAMINANTS INTO OCCUPIED PARTS OF THE BUILDING/SITE. PERIODIC INSPECTION AND REPAIRS OF THE CONTAINMENT BARRIERS MUST BE MADE TO PREVENT EXPOSURE TO DUST AND CONTAMINANTS.

17. CONSTRUCTION AND MAINTENANCE OPERATIONS SHALL NOT PRODUCE NOISE IN EXCESS OF 60 dba IN OCCUPIED OR ACOUSTICAL ABATEMENT MEASURES SHALL BE TAKEN.
18. SUBMIT A DETAILED CONSTRUCTION SCHEDULE PRIOR TO COMMENCEMENT OF WORK.

19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF CHEMICAL FUMES, GASES AND OTHER CONTAMINANTS PRODUCED BY WELDING, GASOLINE OR DIESEL ENGINES, ROOFING, PAVING, PAINTING, ETC. TO ENSURE THEY DO NOT ENTER OCCUPIED PORTIONS OF THE BUILDING OR AIR INTAKES.

20. THE PROJECT SITE IS AN ACTIVE WASTEWATER TREATMENT FACILITY. THE OWNER'S OPERATIONS MUST NOT BE DISRUPTED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.

21. CONSTRUCTION TRAILERS, DUMPSTERS, MATERIAL STORAGE AREAS AND CONSTRUCTION EQUIPMENT SHALL BE LOCATED ONLY IN AREAS APPROVED AND AUTHORIZED BY THE OWNER. THESE AREAS SHALL BE ORIENTED TO UTILIZE A MINIMUM OF SPACE AND SHALL BE CONFIRMED BY THE CONTRACTOR WITH THE OWNER BEFORE MOBILIZATION AT A PRE-CONSTRUCTION MEETING.

22. WHEN SETTING UP STAGING AND WORK AREAS, CONTRACTORS MUST TAKE CARE NOT TO DISRUPT ANY ENTRANCES, WALKWAYS, DRIVEWAYS OR ANY FEATURES WHICH MAY BE IN USE DURING THE DURATION OF THE PROJECT. RESTORE EACH AREA UPON COMPLETION OF THE WORK IN THAT AREA.

23. AT THE END OF EACH WORK DAY, REMOVE ALL DEBRIS, INCLUDING BUT NOT LIMITED TO NAILS AND ROOFING MATERIALS, FROM THE WORK AREA AND PLACE IN THE DUMPSTERS PROVIDED BY THE CONTRACTOR.

24. ALL EXITS MUST BE KEPT CLEAR OF CONSTRUCTION OPERATION AND DEBRIS AT ALL TIMES.

25. PERFORM ALL WORK AND COORDINATE ALL ASPECTS OF CONSTRUCTION TO KEEP THE CONSTRUCTION DURATION AND DISTURBANCE OF FACILITY TO A MINIMUM.

26. DOCUMENT, THROUGH DIGITAL PHOTOGRAPHS, THE CONDITION OF THE SITE, BUILDING AND SURROUNDING CONDITIONS PRIOR TO DEMOLITION. NOTIFY ARCHITECT OF ANY DAMAGED AREAS PRIOR TO MOBILIZATION. OVER DEMOLITION SHALL BE ALLOWED PROVIDED THAT ALL SURFACES SHALL BE REBUILT TO MATCH MATERIALS, STRUCTURAL INTEGRITY AND APPEARANCE OF THOSE WHICH WERE REMOVED AND IN CONFORMANCE WITH CONTRACT DOCUMENTS AND AT NO ADDITIONAL COST TO THE OWNER. IF AT THE END OF THE PROJECT THERE ARE DAMAGES TO THE SITE, BUILDING OR SURROUNDING CONDITIONS, THE CONTRACTOR IS RESPONSIBLE TO RESTORE AS BUILT CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.

27. MAINTAIN WATER-TIGHT WEATHER PROTECTION THROUGHOUT ALL WORK AREAS AND EXISTING AREAS IMMEDIATELY ADJACENT TO THOSE WORK AREAS FOR THE ENTIRE DURATION OF THE PROJECT. AS SUCH, THE CONTRACTOR MAY ONLY REMOVE WHAT CAN BE REINSTALLED ON ANY WORK DAY TO MAINTAIN A WATER-TIGHT ENCLOSURE.

28. COORDINATE ALL DEMOLITION AND CONSTRUCTION OPERATIONS WITH THE COUNTY, FACILITY STAFF AND ANY OTHER CONTRACTS WORKING ON SITE.

29. CONTRACTOR PARKING AREAS SHALL BE LOCATED ONLY IN AREAS APPROVED AND AUTHORIZED BY THE OWNER. THERE SHALL BE NO PARKING AVAILABLE ON SITE AT MAMARONECK WRRF.

SHEET NO.

T1.0
INF1.0
ASB1.0
A1.0
A1.1
A1.2
A1.3
A2.0
A2.1
A3.0
A3.1

SHEET TITLE

COVER SHEET & GENERAL NOTES
GENERAL NOTES, LEGENDS AND LOCATION PLANS
ASBESTOS ABATEMENT ROOF PLANS, NOTES AND LEGEND
MAMARONECK: DEMOLITION ROOF PLAN (BUILDING AREA 'I')
MAMARONECK: DEMOLITION ROOF PLAN (BUILDING AREA 'II')
MAMARONECK: ROOF PLAN (BUILDING AREA 'I')
MAMARONECK: ROOF PLAN (BUILDING AREA 'II')
PEEKSKILL: DEMOLITION ROOF PLANS
PEEKSKILL: ROOF PLANS
ROOF DETAILS
ROOF DETAILS

DPW FILE NO.

205-01-T-455-0
205-01-G-456-0
205-01-AB-457-0
205-01-A-458-0
205-01-A-459-0
205-01-A-460-0
205-01-A-461-0
209-01-A-397-0
209-01-A-398-0
205-01-A-462-0
205-01-A-463-0



ALL SITES				SCALE: N.T.S.	
SEAL		<div>H2M</div>		<div>architects + engineers</div> <div>538 Broad Hollow Road 4th Floor East Melville, NY 11747 P: (631) 756-8000 F: (631) 694-4122</div>	
REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION	
RECORD DRAWING CERTIFICATION					
<div><input type="checkbox"/> AS BUILT – CHANGES AS NOTED</div> <div><input type="checkbox"/> AS BUILT – NO CHANGES</div>					
CONTRACTOR			PROJECT COORDINATOR		
NAME _____			NAME _____		
SIGNATURE _____			SIGNATURE _____		
TITLE _____			TITLE _____		
DATE _____			DATE _____		
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING				CONTRACT NUMBER 18-515	SHEET NUMBER T1.0
				SHEET NO. 1 OF 11	
ROOF REPLACEMENT PROGRAM MAMARONECK & PEEKSKILL WATER RESOURCE RECOVERY FACILITIES COVER SHEET & GENERAL NOTES				SCALE: AS SHOWN DATE: AUGUST 2021 DPW FILE NO. 205-01-T-455-0	REV. NO. #

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RECOMMENDED FOR DESIGN
DATE
JOSEPH GIBNEY, P.E.
DIRECTOR OF WASTEWATER TREATMENT
DEPARTMENT OF ENVIRONMENTAL
FACILITIES

RECOMMENDED FOR CONSTRUCTION
DATE
LEAH RADKO, P.E.
DIRECTOR OF DESIGN COORDINATION
DEPARTMENT OF PUBLIC WORKS
AND TRANSPORTATION

RECOMMENDED FOR CONSTRUCTION
DATE
GAYLE M. KATZMAN, P.E.
FIRST DEPUTY COMMISSIONER
DEPARTMENT OF PUBLIC WORKS
AND TRANSPORTATION

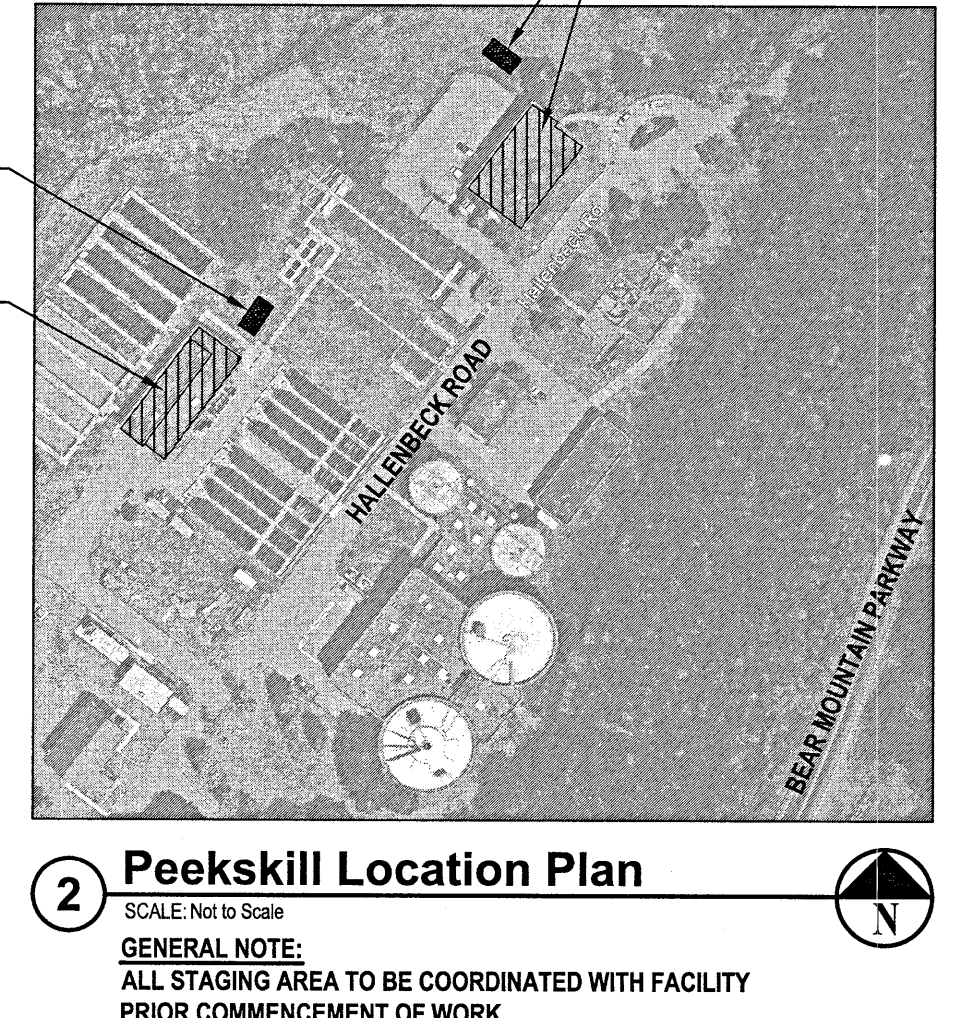
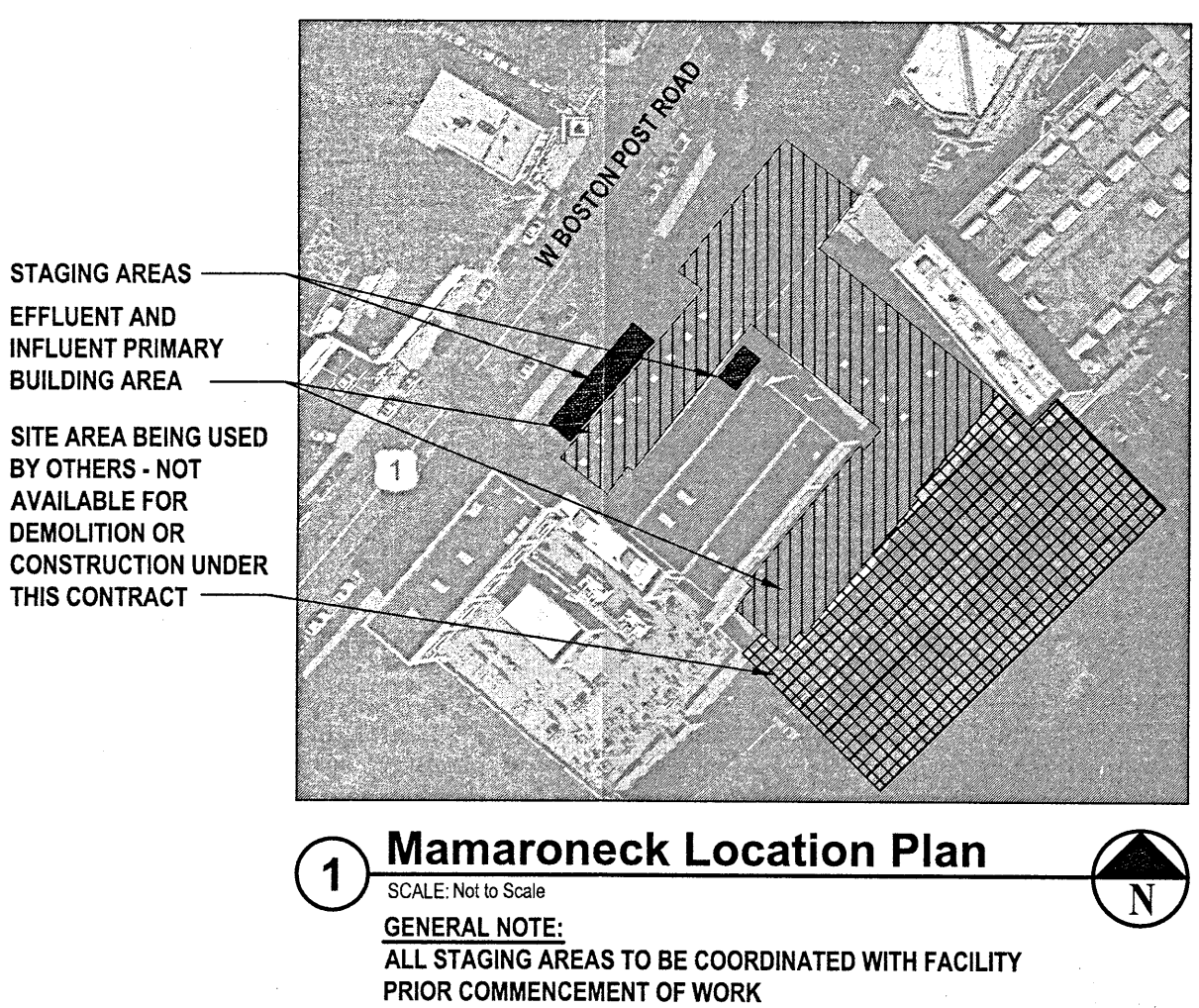
APPROVED FOR CONSTRUCTION
DATE
VINCENT F. KOPICKI, P.E.
COMMISSIONER
DEPARTMENT OF ENVIRONMENTAL
FACILITIES

APPROVED FOR CONSTRUCTION
DATE
HUGH J. GREECHAN, JR., P.E.
COMMISSIONER
DEPARTMENT OF PUBLIC WORKS
AND TRANSPORTATION

ABBREVIATIONS			
A	Air	FC	Filling Cabinet
AB	Anchor Bolt	FCU	Fan Coil Unit
AC	Air Conditioning	FE	Floor Drain
ACI	American Concrete Institute	FD	Fire Extinguisher
ACST	Acoustic	FF	Finish Floor
ACT	Acoustical Ceiling Tile	FHC	Fire Hose Cabinet
ACU	Air Conditioning Unit	FHMS	Flat Head Machined Screw
AD	Access Door	FIN	Finish
ADAPT	Adaptation	FLAM	Flammable
ADH	Adhesive	FLR	Floor
ADJ	Adjustable	FLS	Flash
ADMIN	Administration	FDN	Foundation
ADO	Automatic Door	FP	Fire Partition
AIE	Operator	FR	Fire Retardant
AIE	Architect/Engineer	FSP	Fire Standpipe
ALT	Above Finish Floor	FTG	Footing
ALUM	Alternate	FXGL	Fixed Glass
ANCH	Aluminum	FUR'G	Furring
ANSI	Anchor	G	Gas
	American National Standards Institute	GA	Gauge
APFA	Access Panel	GALV	Galvanized
ASPH	Asphalt	GB	Grab Bar
ASPLK	Asphalt Plank	GEN	General
ASSIST	Assistant	GL	Glass, Glazed
ASTM	American Society for Testing & Materials	GR	Grade
	Acoustical Tile	GRT	GROUT
AWS	American Welding Society	GWB	Gypsum Wall Board
BB	Balance	GYP	Gypsum
BC	Bulletin Board	BD, HC	Gypsum Board
BLDG	Brick Course	HDBD	Handicapped
BLK	Board	HDWD	Hardboard
BLKG	Building	HDWE	Hardware
BM	Block	HM	Hollow Metal
B.O.	Blocking	HOR	Horizontal
BOL	Beam	HR	Handrail
BOT	Bottom Of	HT	Height
BR	Bottom Of Lintel	HTG	Heating
BRKT	Bottom	HW	Hot Water
BU	Bumper Rail	ID	Inside Diameter
CAB	Bracket	INSUL	Insulation/Insulating
CB	Built-Up	INT	Interior
CEM	Cabinet	JNT	Joint
CER	Catch Basin	JST	Joist
CFI	Cement	KP	Kick Plate
CG	Ceramic	LAM	Laminate
CHBD	Conductive Flooring	LAV	Lavatory
CIP	Corner Guard	LDR	Leader
CJ	Chalkboard	LKR	Locker
CLG	Cast-in-Place	LLH	Long Leg Horizontal
CLGL	Control Joint	LLV	Long Leg Vertical
CLO	Ceiling	LOC	Location
CMU	Clear Glass	LP	Low Point
CO	Closet	L MSTN	Limestone
COL	Concrete Masonry Unit	LT	Light
COMM	Clean Out	M	Mechanical
CONC	Concrete	MANUF	Manufacturer
CONST	Construction	MATL	Material
CONT	Continuous	MAX	Maximum
CONTR	Contractor	MB	Modified Bitumen
CORR	Corridor	MECH	Mechanical
CPT	Carpet	M.E.P.	Mechanical, Electrical, Plumbing
CRS	Card Reader	MFD	Manufactured
CRSI	Corrosion-Resistant Steel	MFR	Manufacturer
	Concrete Reinforcing Steel Institute	MGR	Manager
CTG	Countersunk	MID	Middle
CTR	Ceramic Tile	MIN	Minimum
CW	Coating	MISC	Miscellaneous
D	Center	MLDG	Molding
DBL	Copper	MNT	Mounted
DET	Cold Water	MO	Masonry Opening
DIA	Double	MOIST	Moisture
DIAG	Detail	MR	Moisture Resistant
DIM	Drinking Fountain	MT	Metal Threshold
DISP	Diameter	MTL	Metal
DN	Diagonal	MTP	Metal Toilet Partition
DO	Dimension	MULT	Multiple
DR	Dispenser	NBS	National Bureau of Standards
DS	Down	NIC	Not in Contract
DWG	Ditto	NL	Neoprene Latex
E	Dressing	NO	Number
EA	Downspout	NRCA	National Roofing Contractors Assoc.
EJ	Drawer	NTS	Not to Scale
EL	Electrical	WTF	Walling
ELEV	Each	WVF	Welded Vinyl Flooring
ENG	Expansion Joint	WWF	Welded Wire Fabric
EP	Elevation	OC	On Center
EPY	Electric/Electrical	OD	Outside Diameter
EQ	Engineer	OH	Overhead Door
EQUIP	Electrical Panel	OPGN	Opening
E.S.	Epoxy Coating	OPP	Opposite
EWC	Equal	OW	Observation Window
EXAM	Equipment	OWSJ	Open Web Steel Joist
EXIST	Each Side	P	Plumbing
EXP	Electric Water Cooler	PAR	Parallel
EXPN	Examination	PC	Poured Concrete
EXT	Existing	PERP	Perpendicular
F	Exhaust	PL	Plate or Plaster
F	Exposed	PLAS	Plastic
FAI	Expansion	P.LAM	Plastic Laminate
F.C.	Exterior	PLBG	Plumbing
F.B.O.	Female	PLYWD	Plywood
	Fresh Air Intake	PNI	Painted
	Fire Code	PNTD	Portable
	Furnished by Others	PORT	Projection
		PROJ	Product Standard
		PS	Pounds per Square
		PSF	Foot
		PSI	Pounds per Square Inch

SYMBOLS LEGEND	
	Building Section Cut
	Wall Section Cut
	Detail Key
	Elevation Key
	Rigid Insulation
	Batt Insulation
	Brick
	Concrete Cement, Gypsum
	Concrete Block
	Earth
	Wood Blocking
	Drawing Title
	Revision

GENERAL DEMOLITION NOTES:	
THE INTENDED DEMOLITION SCOPE OF WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:	
1.	PROJECT INVOLVES REMOVAL AND DISPOSAL (ABATEMENT) OF ASBESTOS CONTAINING MATERIAL AS LISTED IN THE ENVIRONMENTAL REPORT INCLUDED IN THE PROJECT MANUAL AS APPENDIX. REFER TO ASBESTOS REPORT FOR ACM MATERIALS AND LOCATIONS.
2.	REMOVAL AND DISPOSAL OF ALL EXISTING ROOFING MATERIALS DOWN TO SUBSTRATE, INCLUDING ALL ASSOCIATED ROOF BALLAST, ROOF FLASHING, INSULATION, CAULKING AND MASTIC.
3.	THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES TO THE INTERIOR AND EXTERIOR OF THE BUILDING THAT RESULTED FROM AND DURING DEMOLITION WORK AND INCLUDES BUT IS NOT LIMITED TO ADHESIVE DRIPPINGS, CEILING TILES, WATER LEAKS, ETC.
4.	OVER-DEMOLITION SHALL BE ALLOWED PROVIDED THAT ALL SURFACES SHALL BE REBUILT TO MATCH MATERIALS, STRUCTURAL INTEGRITY AND APPEARANCE OF THOSE WHICH WERE REMOVED AND IN CONFORMANCE WITH CONTRACT DOCUMENTS AND AT NO ADDITIONAL COST TO THE OWNER.
5.	COORDINATE THE WORK OF THE DEMOLITION DRAWING WITH ALL CONSTRUCTION DRAWINGS AND DOCUMENTS.
6.	THE CONTRACTOR SHALL VERIFY THE LOCATIONS, SIZES AND HEIGHTS OF ALL EXISTING ROOF PENETRATIONS, MECHANICAL EQUIPMENT, MECHANICAL DUCTWORK & MECHANICAL CURBS. THE CONTRACTOR SHALL PROTECT AT ALL TIMES ALL ROOF MOUNTED EQUIPMENT, ROOF MOUNTED DUCTWORK, DUCTWORK INSULATION AND VENT STACKS. ANY DAMAGED ITEMS SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
7.	ALL EXISTING PENETRATIONS AND ROOF TOP EQUIPMENT ARE TO BE MODIFIED AS REQUIRED TO ACCOMMODATE THE NEW INSULATION & ROOFING SYSTEM.
8.	PERFORM ALL DEMOLITION AS REQUIRED TO COMPLETE WORK.
9.	THE CONTRACTOR IS RESPONSIBLE TO PROTECT ALL FINISHES IN ALL AREAS AFFECTED BY DEMOLITION AND CONSTRUCTION.
10.	THE CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY DRAINAGE FOR ALL PORTIONS OF THE ROOF, THROUGHOUT THE ENTIRE DURATION OF THE PROJECT.
11.	OBEY ALL STATUTES, CODES AND LAWS AS APPLICABLE TO DEMOLITION WORK IN AN OCCUPIED BUILDING AND FOR REMOVAL OF MATERIALS SAFELY TO THE STREET, INCLUDING ALL OSHA REGULATIONS.
12.	DISPOSE OF ALL UNWANTED MATERIALS AND OTHER DEMOLITION DEBRIS OFF SITE IN ACCORDANCE WITH CONTRACT REQUIREMENTS AND APPLICABLE LAWS AND REGULATIONS.
13.	REMOVE ALL ITEMS THAT WILL BE ABANDONED AS A RESULT OF THE WORK BEING PERFORMED.
14.	COORDINATE THE EXACT LOCATIONS OF ALL DUMPSTERS, AND MATERIALS STORED AT GRADE WITH THE ARCHITECT AND THE OWNER.
15.	ALL DEBRIS IS TO BE REMOVED IN A WAY THAT DOES NOT CONFLICT WITH THE OWNER'S OPERATIONS.
16.	UPON REMOVAL OF DEMOLITION ITEMS, CONTRACTOR IS RESPONSIBLE TO INSPECT CONDITION OF EXISTING DECKING AND REPORT FINDINGS TO OWNER/ARCHITECT.
17.	CONTRACTOR SHALL NOT REMOVE MORE ROOFING THAN CAN BE REPLACED IN ONE WORK DAY.
18.	THE DEMOLITION PLANS REPRESENT A GENERAL LIST OF DEMOLITION ITEMS AND IS NOT EVERY ITEM REQUIRED FOR DEMOLITION. CONTRACTOR SHALL PROVIDE ALL DEMOLITION REQUIRED TO PERFORM ALL WORK INDICATED WITHIN THE PROJECT DRAWINGS AND SPECIFICATIONS AND TO PREPARE ALL AREAS FOR THE CONSTRUCTION WORK.
19.	CONTRACTOR SHALL BE RESPONSIBLE TO MODIFY/REMOVE AND REINSTALL EXISTING DUCTWORK AS REQUIRED TO COMPLETE DEMOLITION WORK.
20.	CONTRACTOR SHALL TEMPORARILY PROTECT EXISTING INTAKE WALL LOUVERS AS REQUIRED DURING DEMOLITION. COORDINATE (AT MAMARONECK) WITH OWNER'S OPERATION.



CODE ANALYSIS SUMMARY:	
BUILDING TYPE: EXISTING BUILDING PROJECT TYPE: ROOF REPLACEMENT 2020 EXISTING BUILDING CODE OF NEW YORK STATE (EBCNYS)	BLOWER BUILDING THE MINIMUM INSULATION THICKNESS OF 4" WILL PROVIDE AN R VALUE OF 22. AS PER C 503 ALTERATIONS THE BUILDING WILL NOT BE LESS CONFORMING THAN EXISTING CONDITIONS.
ALTERATION LEVEL 1	2020 BUILDING CODE OF NEW YORK STATE (BCNYS)
SECTION 705 REROOFING: MATERIALS AND METHODS OF APPLICATION USED FOR RECOVERING OR REPLACING AN EXISTING ROOF COVERING SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 15 OF THE BUILDING CODE OF NEW YORK STATE.	CHAPTER 15: ROOF ASSEMBLIES AND ROOFTOP STRUCTURES
SECTION 706: STRUCTURAL	SECTION 1502 ROOF DRAINAGE: EXISTING TO REMAIN. SECONDARY (EMERGENCY OVERFLOW) DRAINS EXEMPT UNDER EBCNYS SECTION 705.1 ITEM 2.
SECTION 707: ENERGY CONSERVATION - COMPLY WITH THE REQUIREMENTS OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).	SECTION 1504 PERFORMANCE REQUIREMENTS: DESIGN CODE: ASCE 7, METHOD 2 FOR COMPONENTS AND CLADDING
2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS)	CATEGORY IV BUILDING WITH AN IMPORTANCE FACTOR OF: 1.5 WIND SPEED: 125MPH EXPOSURE CATEGORY: D ROOF PITCH: 0.125 INCH PER FOOT ROOF AREA DESIGN UPLIFT PRESSURES:
C301 CLIMATE ZONE - WESTCHESTER ZONE 4A	a. CORNER UPLIFT PRESSURE 76.8 LBF/SQ. FT. b. PERIMETER UPLIFT PRESSURE: 91 LBF/SQ. FT. c. FIELD-OF-ROOF UPLIFT PRESSURE: 30.4 LBF/SQ. FT.
C402.1.3 INSULATION ENTIRELY ABOVE ROOF DECK MINIMUM REQUIRED CONTINUOUS INSULATION R = 30. DUE TO EXISTING ROOF CONFIGURATION ROOF AREA "C" AT PEEKSKILL	SECTION 1505: FIRE CLASSIFICATION

GENERAL ROOFING NOTES:	
1. THE INTENDED SCOPE OF WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:	
1.1. MAMARONECK:	REMOVAL AND DISPOSAL OF ALL EXISTING ROOFING MATERIALS DOWN TO SUBSTRATE INCLUDING, ALL ASSOCIATED ROOF BALLAST, ROOF FLASHING, TAPERED INSULATION, CAULKING AND MASTIC AS SHOWN IN THE CONTRACT DOCUMENTS.
1.1.1.	REMOVAL OF EXIST. AND INSTALLATION OF NEW ROOF DRAINS.
1.1.2.	THE COMPLETE INSTALLATION OF A NEW STYRENE BUTADIENE STYRENE (SBS) WHITE 3 PLY ROOFING SYSTEM, TAPERED INSULATION, AND WALKWAY PADS OVER EXISTING CONCRETE DECK.
1.1.3.	INSULATION: PROVIDE A MIN. OF 5.2" RIGID INSULATION THROUGHOUT THE ROOF, TAPERED TO EXISTING ROOF LOCATIONS DRAINS.
1.1.4.	INSULATION: PROVIDE A MIN. OF 5.2" RIGID INSULATION THROUGHOUT THE ROOF, TAPERED TO EXISTING ROOF LOCATIONS DRAINS.
1.2. PEEKSKILL:	REMOVAL AND DISPOSAL OF ALL EXISTING ROOFING MATERIALS DOWN TO SUBSTRATE INCLUDING, ALL ASSOCIATED ROOF BALLAST, ROOF FLASHING, INSULATION, CAULKING AND MASTIC AS SHOWN IN THE CONTRACT DOCUMENTS.
1.2.1.	REMOVAL OF EXIST. AND INSTALLATION OF NEW ROOF DRAINS.
1.2.2.	THE COMPLETE INSTALLATION OF A NEW STYRENE BUTADIENE STYRENE (SBS) WHITE 3 PLY ROOFING SYSTEM, RIGID INSULATION, AND WALKWAY PADS, OVER EXISTING SLOPED LIGHTWEIGHT CONCRETE TOPPING SLAB.
1.2.3.	INSULATION: PROVIDE A MINIMUM INSULATION SYSTEM OF 5.2" (R-30) AT ROOF AREAS 'A' AND 'B' AND A MAX. INSULATION SYSTEM OF 4" THICK AT ROOF AREA 'C' TO MAINTAIN A CONTINUOUS 2" CLEARANCE AT BRICK WALL BELOW EXISTING WEEP HOLES, V.I.F. INSULATION SHALL FOLLOW THE EXISTING CONCRETE TOPPING SLAB PITCHES WITH A MINIMUM OF 1/2" PER FOOT.
1.2.4.	INSULATION: PROVIDE A MINIMUM INSULATION SYSTEM OF 5.2" (R-30) AT ROOF AREAS 'A' AND 'B' AND A MAX. INSULATION SYSTEM OF 4" THICK AT ROOF AREA 'C' TO MAINTAIN A CONTINUOUS 2" CLEARANCE AT BRICK WALL BELOW EXISTING WEEP HOLES, V.I.F. INSULATION SHALL FOLLOW THE EXISTING CONCRETE TOPPING SLAB PITCHES WITH A MINIMUM OF 1/2" PER FOOT.
2.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS, LABOR, ROOFING ITEMS AND ACCESSORIES REQUIRED FOR INSTALLATION WHETHER INDICATED ON THE DRAWINGS OR NOT.
3.	THE CONTRACTOR IS REQUIRED TO FLASH ALL ROOF PENETRATIONS.
4.	THE CONTRACTOR SHALL PROVIDE WALKWAY PADS BY THE ROOFING SYSTEM MANUFACTURER AS SHOWN.
5.	THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES TO THE INTERIOR AND EXTERIOR OF THE BUILDING THAT RESULTED FROM AND DURING ROOFING INSTALLATION AND INCLUDES BUT IS NOT LIMITED TO ADHESIVE DRIPPINGS, CEILING TILES, WATER LEAKS, ETC.
6.	CONTRACTOR SHALL SUBMIT A ROOF PLAN INDICATING TAPERED INSULATION CONFIGURATION. CONTRACTOR SHALL FIELD MEASURE AND VERIFY ALL ROOF TOP EQUIPMENT, DUCTWORK AND CURB LOCATIONS. PLAN SHALL BE SUBMITTED FOR ARCHITECTS REVIEW PRIOR TO PURCHASING ROOFING MATERIAL.
7.	THE NEW SBS ROOF SYSTEM SHALL BE INSTALLED WITH A MINIMUM SLOPE OF 1/8" PER FOOT UNLESS OTHERWISE NOTED.
8.	THE CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY DRAINAGE FOR ALL PORTIONS OF THE ROOF, THROUGHOUT THE ENTIRE DURATION OF THE PROJECT.
9.	CONTRACTOR SHALL NOT REMOVE MORE ROOFING THEN CAN BE REPLACED IN ONE WORK DAY.
10.	ROOF ELEVATIONS, DIMENSIONS, AND LOCATIONS OF ROOF ELEMENTS INCLUDING BUT NOT LIMITED TO DUCTWORK, VENTS AND EQUIPMENT ARE APPROXIMATE. DO NOT SCALE. CONTRACTOR MUST VERIFY ALL DIMENSIONS IN FIELD AND MAKE ADJUSTMENTS TO WORK AS NECESSARY.
11.	CONTRACTOR SHALL PROVIDE ALL TEMPORARY ROOF FLASHING WORK WHICH IS REQUIRED. IT IS THE RESPONSIBILITY OF CONTRACTOR TO MAINTAIN A WEATHER TIGHT ROOF AT ALL TIMES.
12.	PROVIDE CRICKETS BEHIND ALL ROOF EQUIPMENT, SKYLIGHTS, AND ITEMS AS REQUIRED TO PREVENT PONDING.

H2M

architects + engineers

638 Broad Hollow Road
4th Floor East
Melville, NY 11747
P: (631) 766-8000
F: (631) 684-4122

Melville, NY 11747
Albany, NY 12205
White Plains, NY 10604
New City, NY 10956
Parsippany, NJ 07054
Hewlett, NJ 07731

REVISION NUMBER

DATE

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APP'D BY

REVISION

RECORD DRAWING CERTIFICATION

☐ AS BUILT - CHANGES AS NOTED

☐ AS BUILT - NO CHANGES

CONTRACTOR

PROJECT COORDINATOR

NAME _____

SIGNATURE _____

TITLE _____

DATE _____

NAME _____

SIGNATURE _____

TITLE _____

DATE _____

WESTCHESTER COUNTY, NEW YORK

DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION

DIVISION OF ENGINEERING

ROOF REPLACEMENT PROGRAM

MAMARONECK AND PEEKSKILL

WATER RESOURCE RECOVERY FACILITIES

GENERAL NOTES, LEGENDS AND LOCATION PLANS

CONTRACT NUMBER

18-515

SHEET NUMBER

INF1.0

SHEET NO. 2 OF 11

SCALE: AS NOTED

DATE: AUGUST 2021

DPW FILE NO.

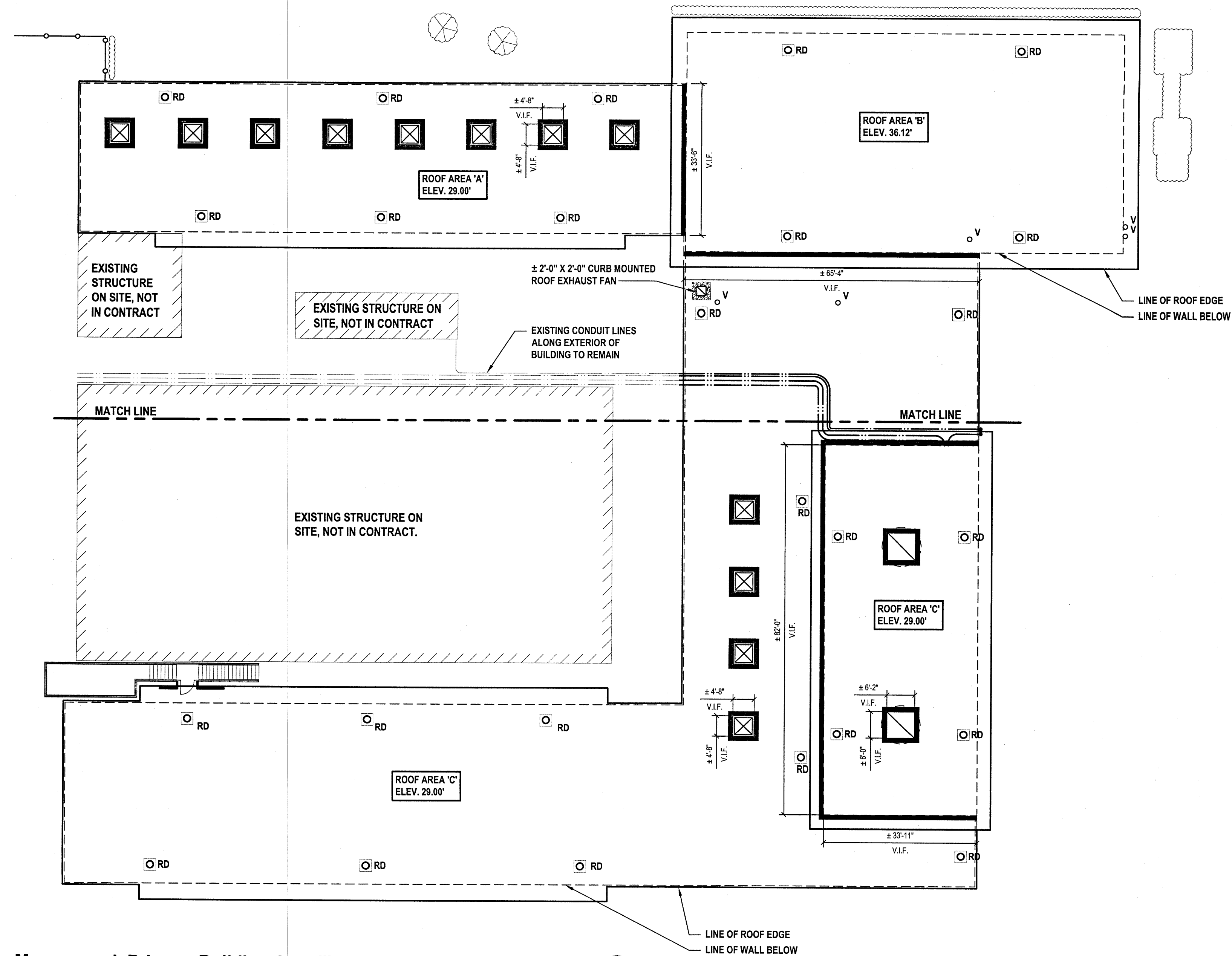
205-01-G-456-0

REV. NO.

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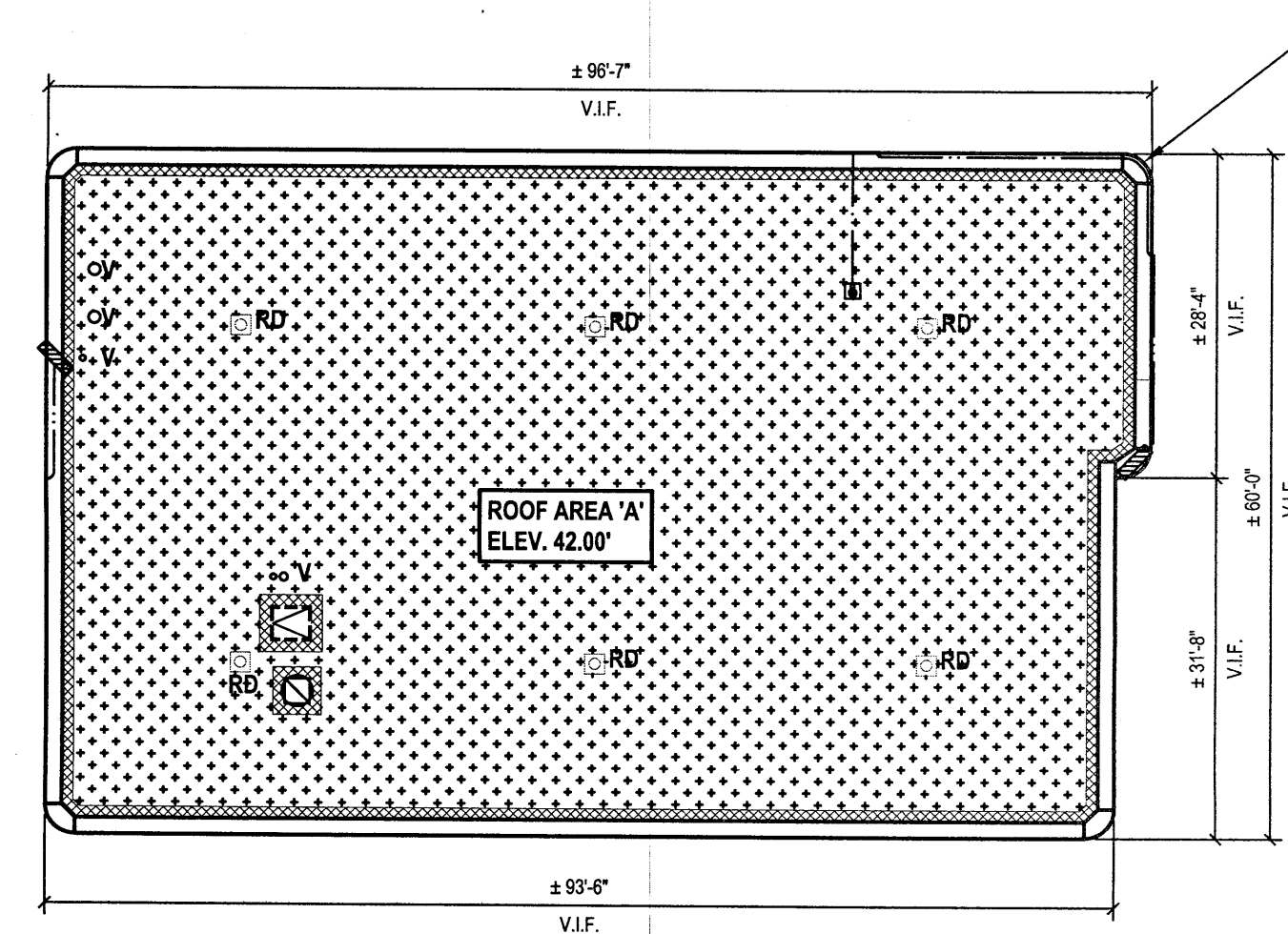
LEGEND:	
SYMBOL	DESCRIPTION
	AREA OF EXISTING ROOF SYSTEM TO BE REMOVED AND DISPOSED OF DOWN TO EXISTING DECK
	AREA OF STYRENE BUTADIENE STYRENE (SBS) ROOFING SYSTEM, INCLUDING BUT NOT LIMITED TO VAPOR BARRIER, TAPERED INSULATION (AT MAMARONECK) AND NON-TAPERED INSULATION (AT PEEKSKILL) (MIN. R-30) U.O.N.
	AREA OF STYRENE BUTADIENE STYRENE (SBS) ROOFING SYSTEM AT ROOF AREA "C" (PEEKSKILL), PROVIDE MINIMUM 4" INSULATION, REFER TO ROOFING NOTE 1.2.4. AND DEMOLITION NOTES FOR ADDITIONAL INFORMATION
	EXISTING CURB MOUNTED EQUIPMENT TO REMAIN. EXTEND EXISTING CURB, REMOVE AND REINSTALL EXISTING EQUIPMENT AS REQUIRED TO ACCOMMODATE NEW ROOFING SYSTEM AND INSULATION.
	EXISTING SKYLIGHT & CURB TO BE REMOVED AND DISPOSED OF, PREPARE EXISTING OPENING TO RECEIVE NEW CURB & SKYLIGHT
	SKYLIGHT WITH CURB AT EXISTING DECK OPENING, REFER TO DETAIL 3 ON A3.0
	EXISTING VENT STACK TO REMAIN - SEE DETAILS FOR NEW PENETRATION FLASHING, EXTEND AS REQUIRED FOR NEW ROOF INSULATION AND FLASHING. FURNISH AND INSTALL FLASHING AT ROOF PENETRATIONS AS SHOWN, TYPICAL.
	EXISTING ELECTRICAL CONDUIT AND SUPPORTS TO BE TEMPORARILY RELOCATED AS NEEDED FOR THE INSTALLATION OF THE NEW ROOFING SYSTEM, U.O.N.. PROVIDE PIPE SUPPORTS AS SPECIFIED.
	EXISTING DRAIN LOCATION; REMOVE AND DISPOSE OF EXISTING DRAIN AND ALL ASSOCIATED CONSTRUCTION, PREPARE AREA AS REQUIRED TO RECEIVE NEW CONSTRUCTION. EXISTING PIPING TO BE EXTENDED AS REQUIRED TO ACCOMMODATE ROOF INSULATION THICKNESS. FURNISH AND INSTALL ROOF DRAIN AT EXISTING DRAIN LOCATION, TYP.
	EXISTING BUILDING ACCESS POINT - PROVIDE TEMPORARY SCAFFOLDING AND PROTECTION AT ALL LOCATIONS TO MAINTAIN ACCESS THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
	LINE INDICATES EXISTING PRE-CAST CONCRETE WALL PANELS, COMPONENTS AND CONNECTIONS TO BE TEMPORARILY REMOVED, MODIFIED & RE-INSTALLED AS REQUIRED FOR THE INSTALLATION OF NEW ROOFING SYSTEM, INSULATION AND FLASHINGS. REFER TO ROOF PLAN AND DETAILS FOR ADDITIONAL INFORMATION.
	REMOVE AND DISPOSE OF EXISTING PITCH POCKET, PREPARE AREA FOR NEW CONSTRUCTION - SEE DETAIL 6 ON A3.1 FOR ADDITIONAL INFORMATION. FURNISH AND INSTALL PITCH POCKET AT ROOF PENETRATIONS AS SHOWN, TYPICAL FOR ALL.
	INDICATES SLOPE DIRECTION OF ROOF, PROVIDE MIN. 1/8" SLOPE TOWARDS ROOF DRAINS.
	CRICKET, PROVIDE MIN. 1/2" SLOPE TOWARDS ROOF DRAINS
	PROVIDE 2x2 WALKWAY PADS - FINAL LAYOUT TO BE COORDINATED IN FIELD WITH OWNER/ARCHITECT (PROVIDE WALKWAY PADS UNDER ALL PIPING & DUCT SUPPORTS)
	EXISTING HATCH TO BE REMOVED AND DISPOSED OF. PREPARE EXISTING OPENING FOR NEW HATCH AS SPECIFIED. REFER TO DETAIL 4 ON A3.1
	ROOF ACCESS HATCH & CURB - SEE DETAIL 4 ON A3.1

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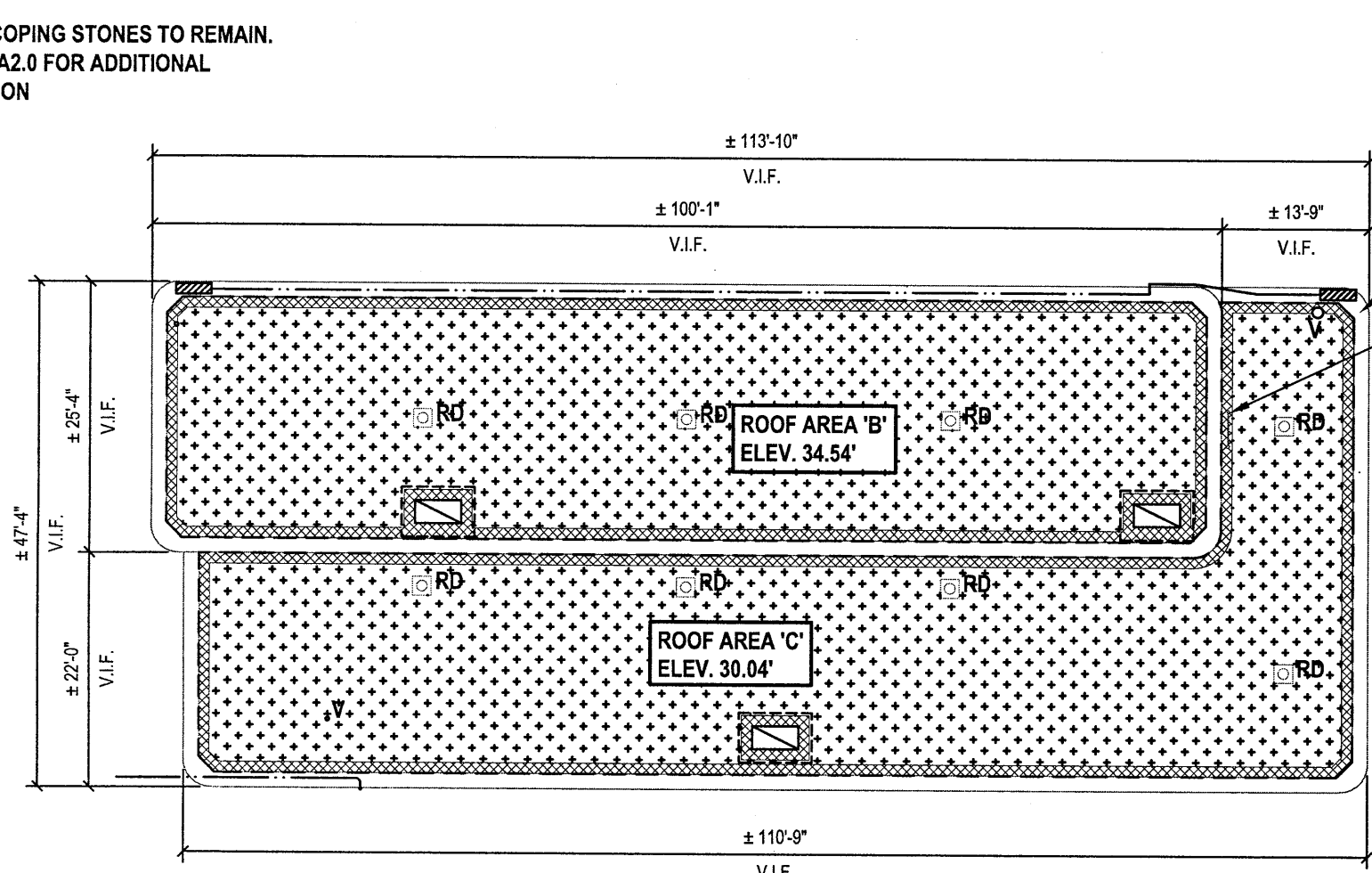
Mamaroneck Primary Building Area 'I' and 'II' Asbestos Roof Plan

SCALE: 1/16"=1'-0"



Peekskill Administration Building Asbestos Roof Plan

SCALE: 1/16"=1'-0"



Peekskill Blower Building Asbestos Roof Plan (ALTERNATE G01)

SCALE: 1/16"=1'-0"

ASBESTOS ABATEMENT NOTES:

- ASBESTOS ABATEMENT WORK SHALL CONFORM TO ALL APPLICABLE FEDERAL AND STATE CODE REQUIREMENTS AND THE CONTRACT. SEE INFORMATION DOCUMENTS SECTION OF THE PROJECT MANUAL FOR THE ASBESTOS ABATEMENT SPECIFICATION AND LABORATORY ASBESTOS ANALYSIS REPORT.
- ASBESTOS PROJECT MONITORING - VISUAL CLEARANCE - PROJECT MONITORING SERVICE SHALL BE PERFORMED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL COORDINATE AND SCHEDULE WITH OWNERS THIRD PARTY ASBESTOS PROJECT MONITOR.
- CONTRACTOR SHALL PROVIDE 10 DAYS NOTIFICATION TO ARCHITECT AND OWNER BEFORE COMMENCING ABATEMENT OPERATIONS ON SITE IN THE AREAS IDENTIFIED AS BEING POSITIVE FOR ASBESTOS. THE FOLLOWING LOCATIONS HAVE BEEN IDENTIFIED AS HAVING AN ASBESTOS CONTAINING MATERIAL:

MAMARONECK:

 - EPDM FLASHING TAR ALONG THE PERIMETER OF THE ROOF WHERE THE LOWER ROOF MEETS THE RAISED ROOF WALLS, AROUND THE CURBS OF THE MECHANICAL ROOF EQUIPMENT AND SKYLIGHT DOMES
APPROXIMATE QUANTITY: 790 SQUARE FEET - VERIFY WITH REPORT AND IN FIELD
 - ROOF PATCHING TAR ON SKYLIGHTS
APPROXIMATE QUANTITY: 10 SQUARE FEET - VERIFY WITH REPORT AND IN FIELD

PEEKSKILL ADMINISTRATION BUILDING:

 - BUILT-UP ROOFING BENEATH ISO INSULATION BOARD - ENTIRE ROOF SURFACE
APPROXIMATE QUANTITY: 5,280 SQUARE FEET - VERIFY WITH REPORT AND IN FIELD
 - ROOF FLASHING TAR AT THE PERIMETER OF THE ROOF AND MECHANICAL EQUIPMENT CURBS
APPROXIMATELY: 730 SQUARE FEET - VERIFY WITH REPORT AND IN FIELD

PEEKSKILL BLOWER BUILDING (ALTERNATE G01):

 - BUILT-UP ROOFING BENEATH ISO INSULATION BOARD - ENTIRE ROOF SURFACE
APPROXIMATE QUANTITY: 4,700 SQUARE FEET - VERIFY WITH REPORT AND IN FIELD
 - ROOF FLASHING TAR AT THE PERIMETER OF THE ROOF AND MECHANICAL EQUIPMENT CURBS
APPROXIMATELY: 1,170 SQUARE FEET - VERIFY WITH REPORT AND IN FIELD
- CONTRACTOR SHALL PAY FOR AND SECURE ALL PERMITS AND NOTIFICATIONS REQUIRED FOR ASBESTOS ABATEMENT WORK.
- CONTRACTOR SHALL COORDINATE ALL ACTIVITIES WITH OWNER AND ARCHITECT.
- CONTRACTOR SHALL SUBMIT COPIES OF ALL MANIFESTS AND LANDFILL RECEIPTS TO OWNER AND ARCHITECT.
- CONTRACTOR IS TO VERIFY ALL QUANTITIES IN FIELD.
- THE COSTS ASSOCIATED WITH THE REMOVAL, CLEANING, REPAIR AND DISPOSAL OF ASBESTOS ARE TO BE INCLUDED IN THE CONTRACTOR'S BASE BID.
- BUILDING SHALL REMAIN WATER TIGHT OR MADE WATER TIGHT BY THE END OF EACH DAY THROUGH ASBESTOS ABATEMENT WORK.

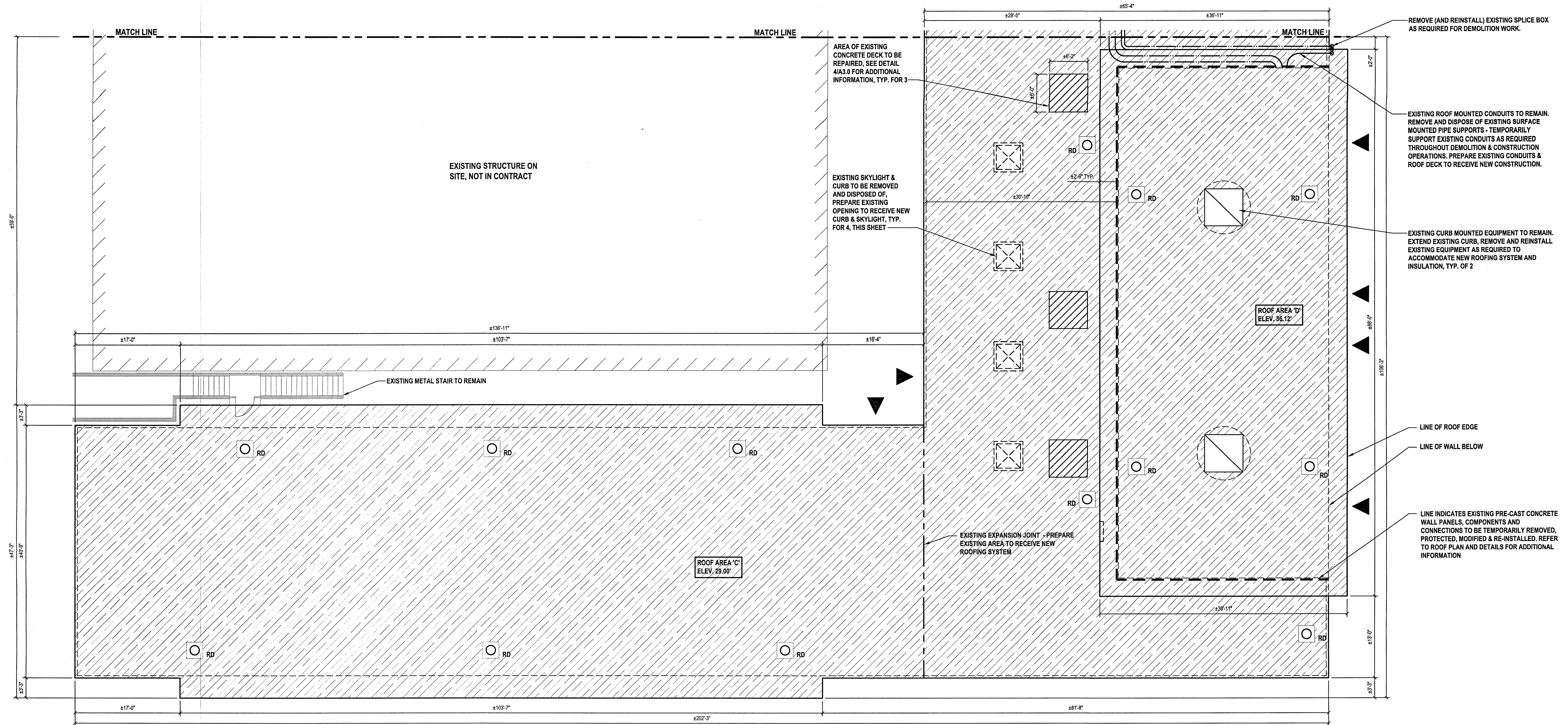
LEGEND:

SYMBOL	DESCRIPTION
	AREA OF EXISTING ASBESTOS CONTAINING BUILT-UP ROOFING BENEATH ISO INSULATION BOARD LOCATED THROUGHOUT THE ENTIRE ROOF SURFACE ON CONCRETE DECK BE REMOVED AND DISPOSED OF (EXISTING CONCRETE ROOF DECK TO REMAIN) SEE NOTE 3c and 3e OF THE ASBESTOS ABATEMENT NOTES ON THIS SHEET FOR ADDITIONAL INFORMATION
	AREA OF EXISTING ASBESTOS CONTAINING ROOF FLASHING TAR LOCATED AROUND THE PERIMETER OF THE UPPER/LOWER ROOFS AND AROUND THE MECHANICAL EQUIPMENT TO BE REMOVED AND DISPOSED OF. SEE NOTE 3d and 3f OF THE ASBESTOS ABATEMENT NOTES ON THIS SHEET FOR ADDITIONAL INFORMATION
	AREA OF EXISTING ASBESTOS CONTAINING EPDM FLASHING TAR LOCATED ALONG THE PERIMETER OF THE ROOF WHERE THE LOWER ROOF MEETS THE RAISED ROOF WALLS, AROUND THE CURBS OF THE MECHANICAL ROOF EQUIPMENT, SKYLIGHT DOMES AND ROOF PATCHING TAR ON SKYLIGHT DOMES TO BE REMOVED AND DISPOSED OF. SEE NOTE 3a and 3b OF THE ASBESTOS ABATEMENT NOTES ON THIS SHEET FOR ADDITIONAL INFORMATION

GENERAL NOTE:
FOR ALL OTHER LEGEND ITEMS PERTAINING TO EXISTING ROOF - REFER TO LEGENDS ON INF1.0

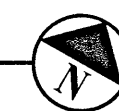
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MADE BY _____

				H 2 M architects + engineers 538 Broad Hollow Road 4th Floor East Melville, NY 11747 P: (631) 756-5000 F: (631) 694-4122		Melville, NY 11747 Albany, NY 12205 White Plains, NY 10604 New City, NY 10956 Parsippany, NJ 07054 Howell, NJ 07731																																									
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Mamaroneck Primary Building Area 'II' Demolition Roof Plan

SCALE: 1/8"=1'-0"



NOTE:
REFER TO SHEET INF1.0 FOR GENERAL
NOTES AND LEGENDS.

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SITE KEY PLAN

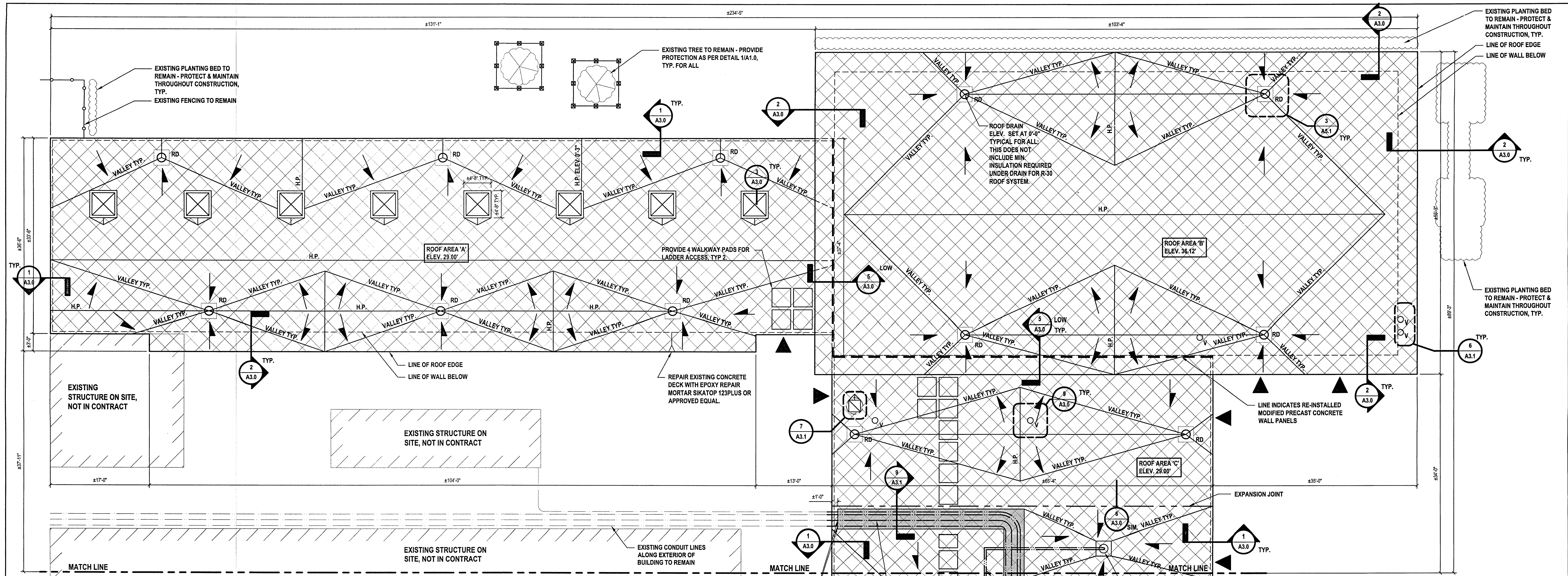
REGISTERED ARCHITECT
ERIC W. MAIR
STATE OF NEW YORK
029037

H 2 M architects + engineers

538 Broad Hollow Road
4th Floor East
Melville, NY 11747
P: (631) 756-8000
F: (631) 694-4122

Melville, NY 11747
Albany, NY 12205
White Plains, NY 10604
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NAME SIGNATURE TITLE		PROJECT COORDINATOR NAME SIGNATURE TITLE		
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ROOF REPLACEMENT PROGRAM MAMARONECK AND PEESKILL WATER RESOURCE RECOVERY FACILITIES MAMARONECK: DEMOLITION ROOF PLAN (BUILDING AREA 'II')				SHEET NUMBER A1.1
SCALE: AS NOTED DATE: AUGUST 2021 DPW FILE NO. 205-01-A-459-0				SHEET NO. 5 OF 11 REV. NO. 0



Mamaroneck Primary Building Area I' Roof Plan

SCALE: 1/8"=1'-0"



GENERAL NOTE:
REFER TO SHEET INF1.0 FOR GENERAL NOTES AND LEGEND.

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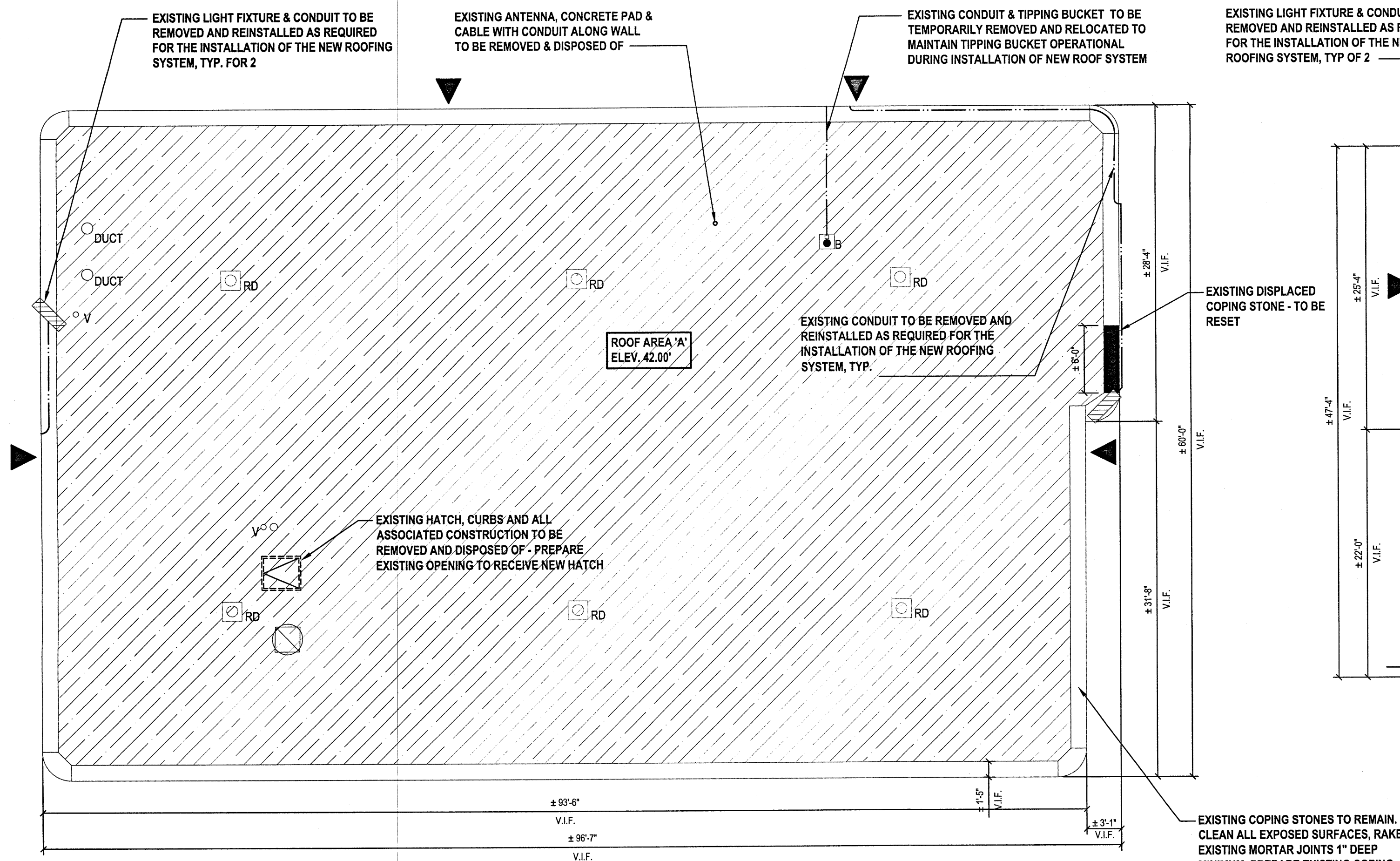
SITE KEY PLAN

H 2 M
 architects
+
engineers

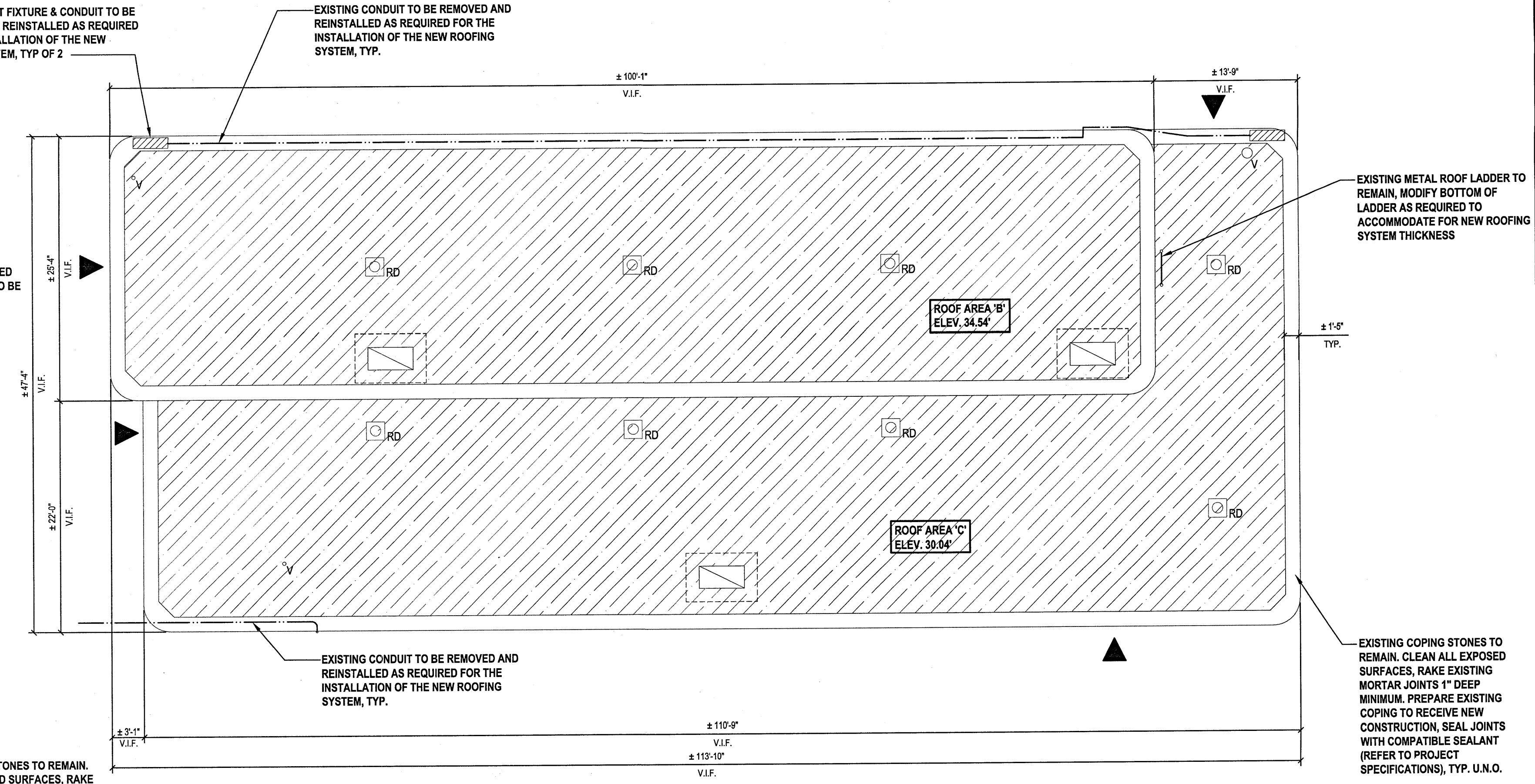
538 Broad Hollow Road
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 Melville, NY 11747
 P: (631) 756-8000
 F: (631) 694-4122

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 White Plains, NY 10604
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 Howell, NJ 07731

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TITLE		TITLE		DATE
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ROOF REPLACEMENT PROGRAM MAMARONECK AND PEEKSKILL WATER RESOURCE RECOVERY FACILITIES MAMARONECK: ROOF PLAN (BUILDING AREA I')		CONTRACT NUMBER 18-515	SHEET NUMBER A1.2	SHEET NO. 6 OF 11
SCALE: AS NOTED		DATE: AUGUST 2021		
DPW FILE NO.		REV. NO.		
205-01-A-460-0		0		



Peekskill Administration Building Demolition Roof Plan
SCALE: 1/8"=1'-0"



Peekskill Blower Building Demolition Roof Plan (ALTERNATE G01)
SCALE: 1/8"=1'-0"

GENERAL NOTE:
REFER TO SHEET INF1.0 FOR GENERAL NOTES
AND LEGEND.

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ADMINISTRATION BUILDING

BLOWER BUILDING

SITE KEY PLAN

H2M architects + engineers

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4th Floor East
Melville, NY 11747
P: (631) 756-8000
F: (631) 694-4122

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White Plains, NY 10604
New City, NY 10958
Parsippany, NJ 07054
Horseshoe, NJ 07721

REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION

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TITLE _____ DATE _____

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TITLE _____ DATE _____

WESTCHESTER COUNTY, NEW YORK
DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION
DIVISION OF ENGINEERING

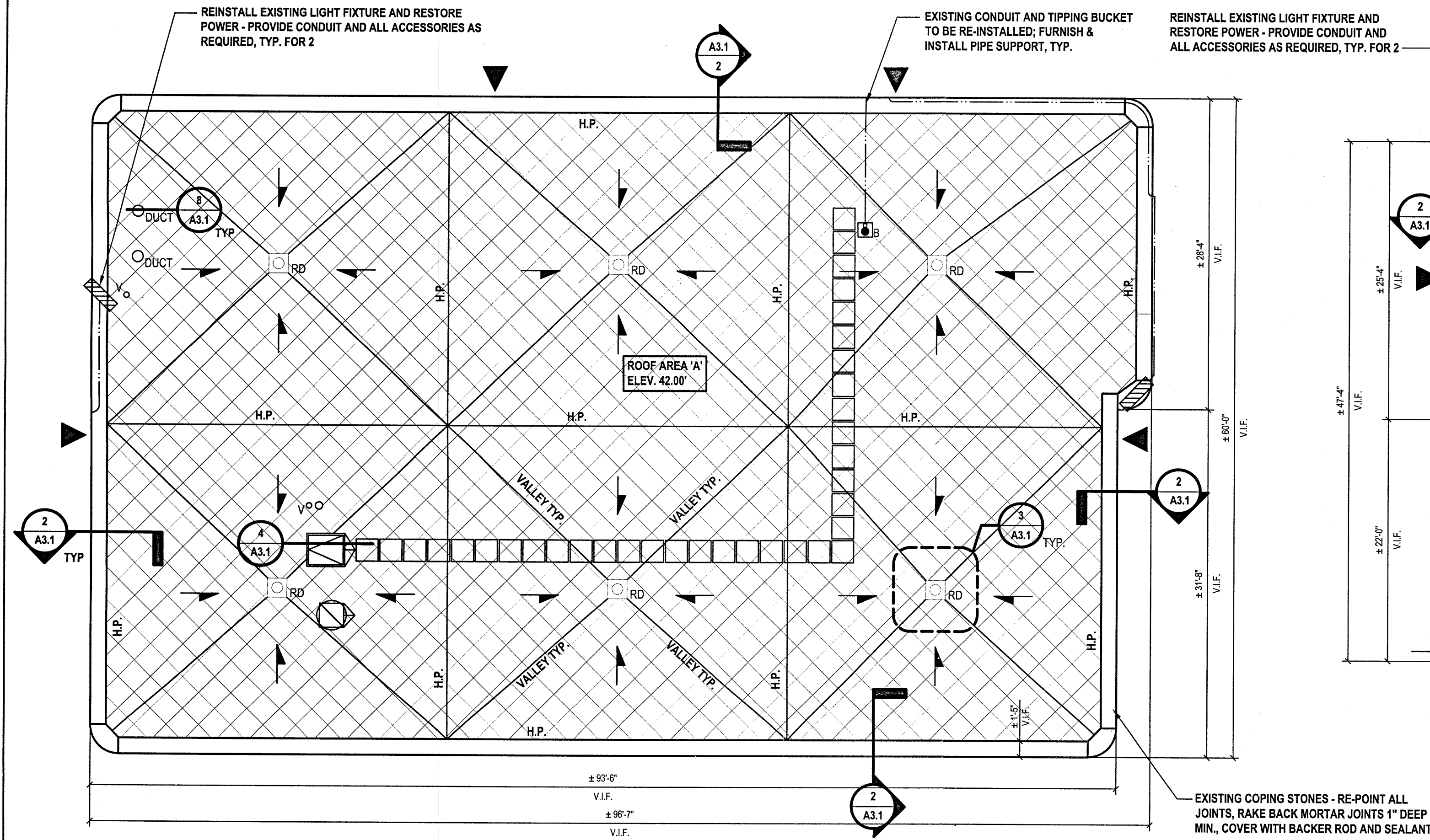
ROOF REPLACEMENT PROGRAM
MAMARONECK AND PEEKSKILL
WATER RESOURCE RECOVERY FACILITIES
PEEKSKILL: DEMOLITION ROOF PLANS

CONTRACT NUMBER	SHEET NUMBER	REV. NO.
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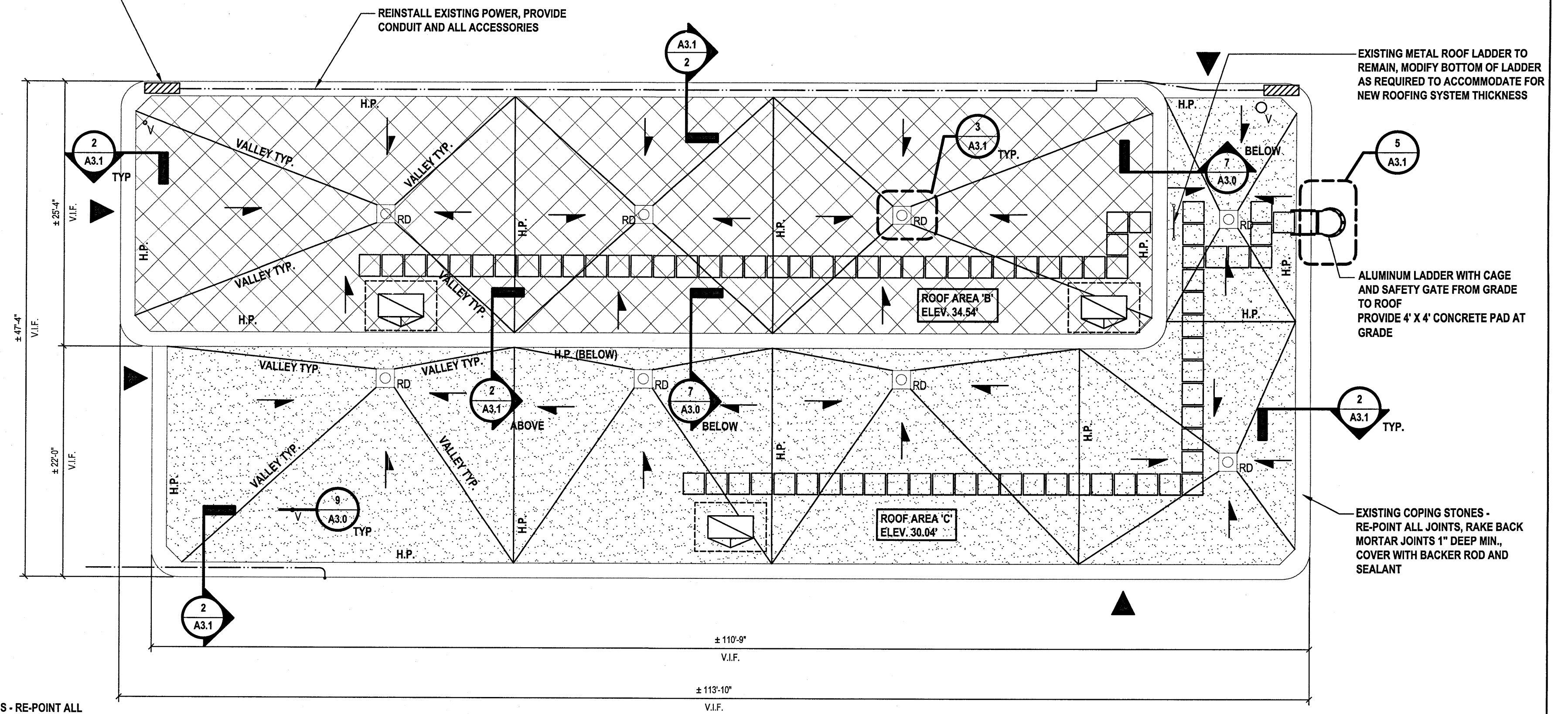
SHEET NO. 8 OF 11

SCALE: AS NOTED
DATE: AUGUST 2021

DPW FILE NO. 209-01-A-397-0



Peekskill Administration Building Roof Plan
SCALE: 1/8"=1'-0"



Peekskill Blower Building Roof Plan (ALTERNATE G01)
SCALE: 1/8"=1'-0"

- NOTES:**
1. REFER TO SHEET INF1.0 FOR GENERAL NOTES AND LEGEND.
 2. ROOF PLANS SHOW APPROXIMATE LAYOUT OF THE EXISTING PITCHED CONCRETE TOPPING SLAB TO REMAIN - VERIFY EXISTING SLOPES AND LAYOUT IN FIELD, PROVIDE MINIMUM OF 1/8" SLOPE TOWARD ROOF DRAINS.
 3. ROOF DRAIN ELEVATION SET AT 0'-0" TYPICAL FOR ALL; THIS DOES NOT INCLUDE MIN. INSULATION REQUIRED UNDER DRAIN FOR R-30 ROOF SYSTEM.
 4. ALL SCOPE OF WORK ASSOCIATED WITH THE PEEKSKILL BLOWER BUILDING TO BE PROVIDED AS ALTERNATE G01

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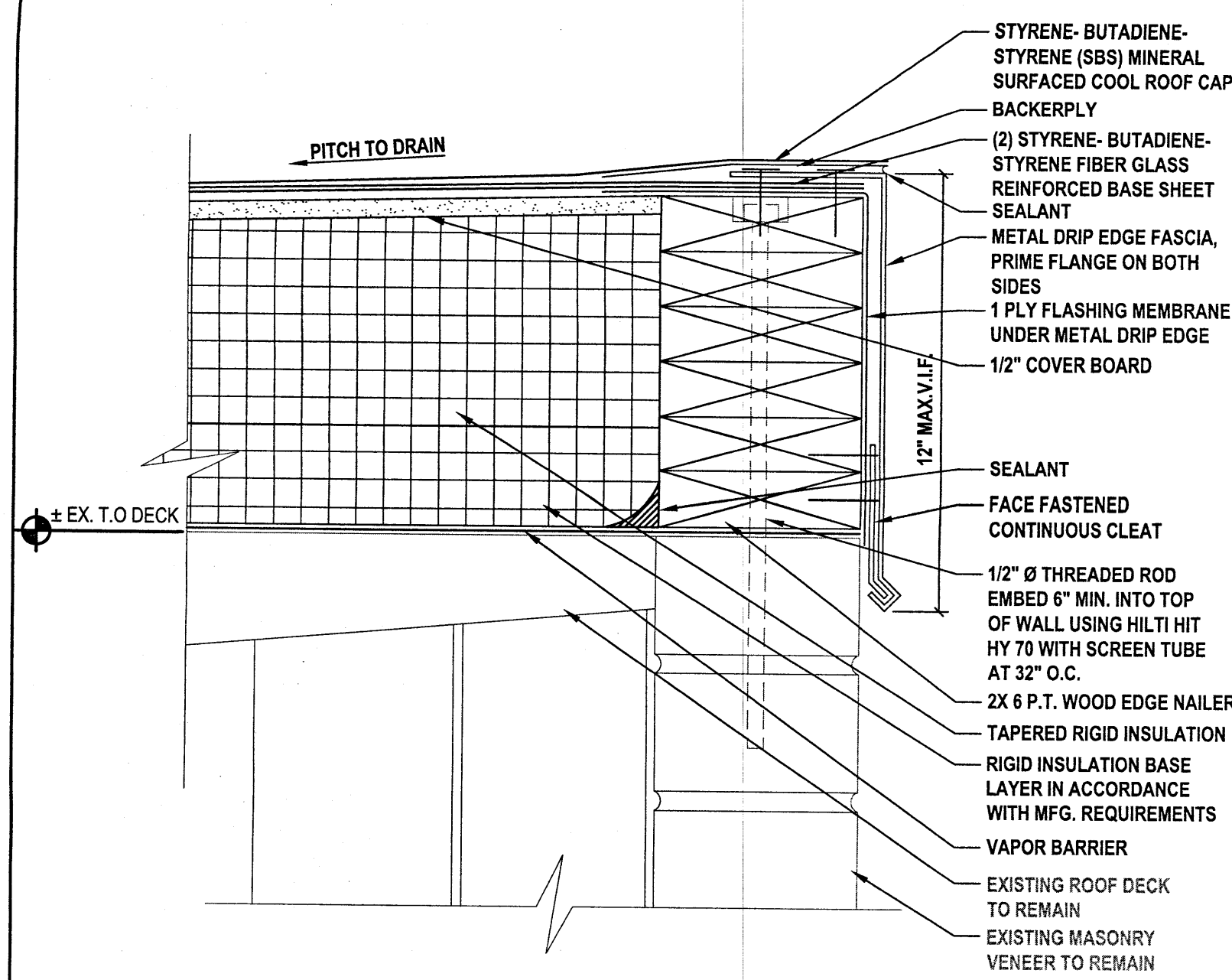
SITE KEY PLAN

H 2 M architects + engineers

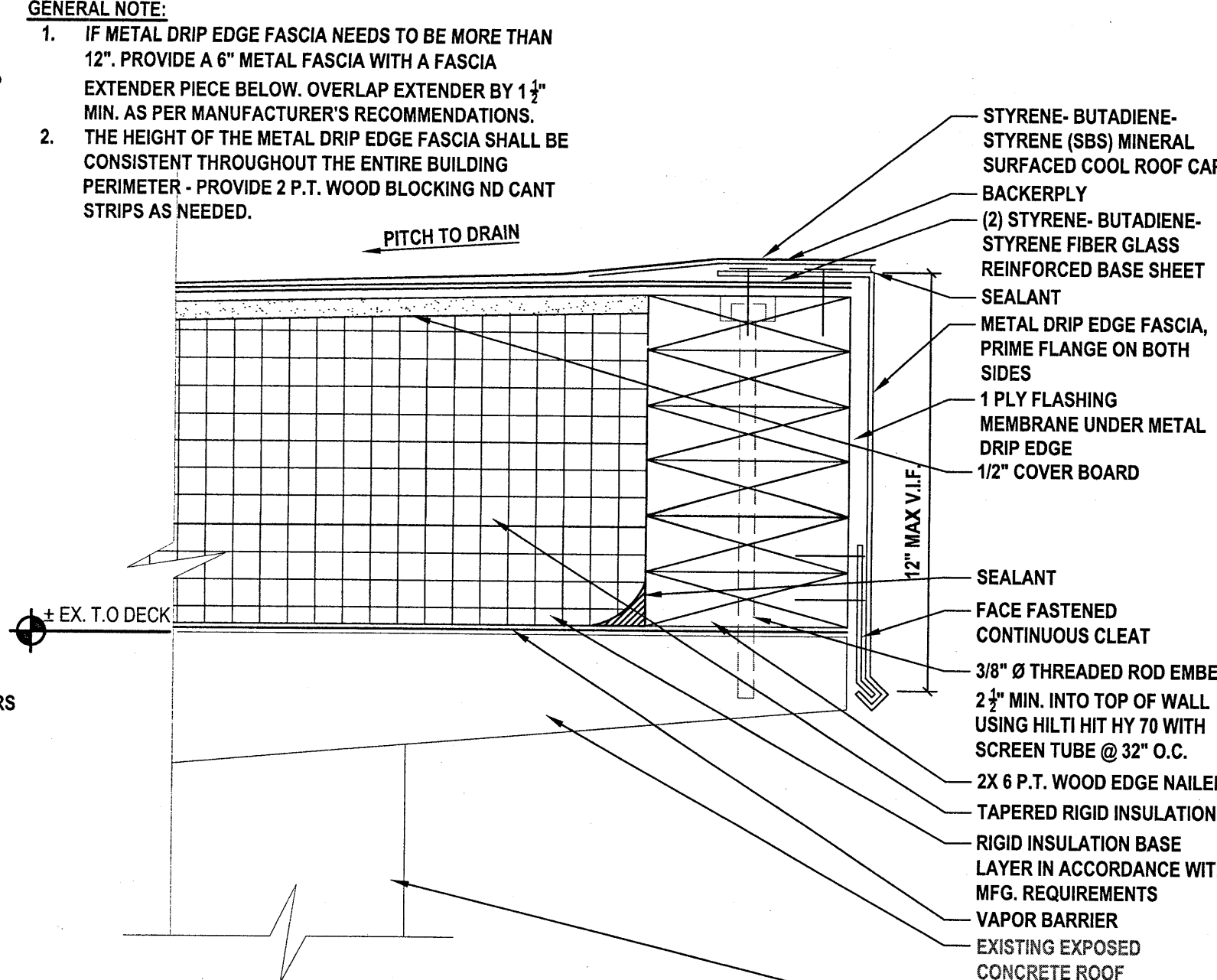
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4th Floor East
Melville, NY 11747
P: (631) 566-8000
F: (631) 684-4122

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Albany, NY 12205
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Hewlett, NJ 07731

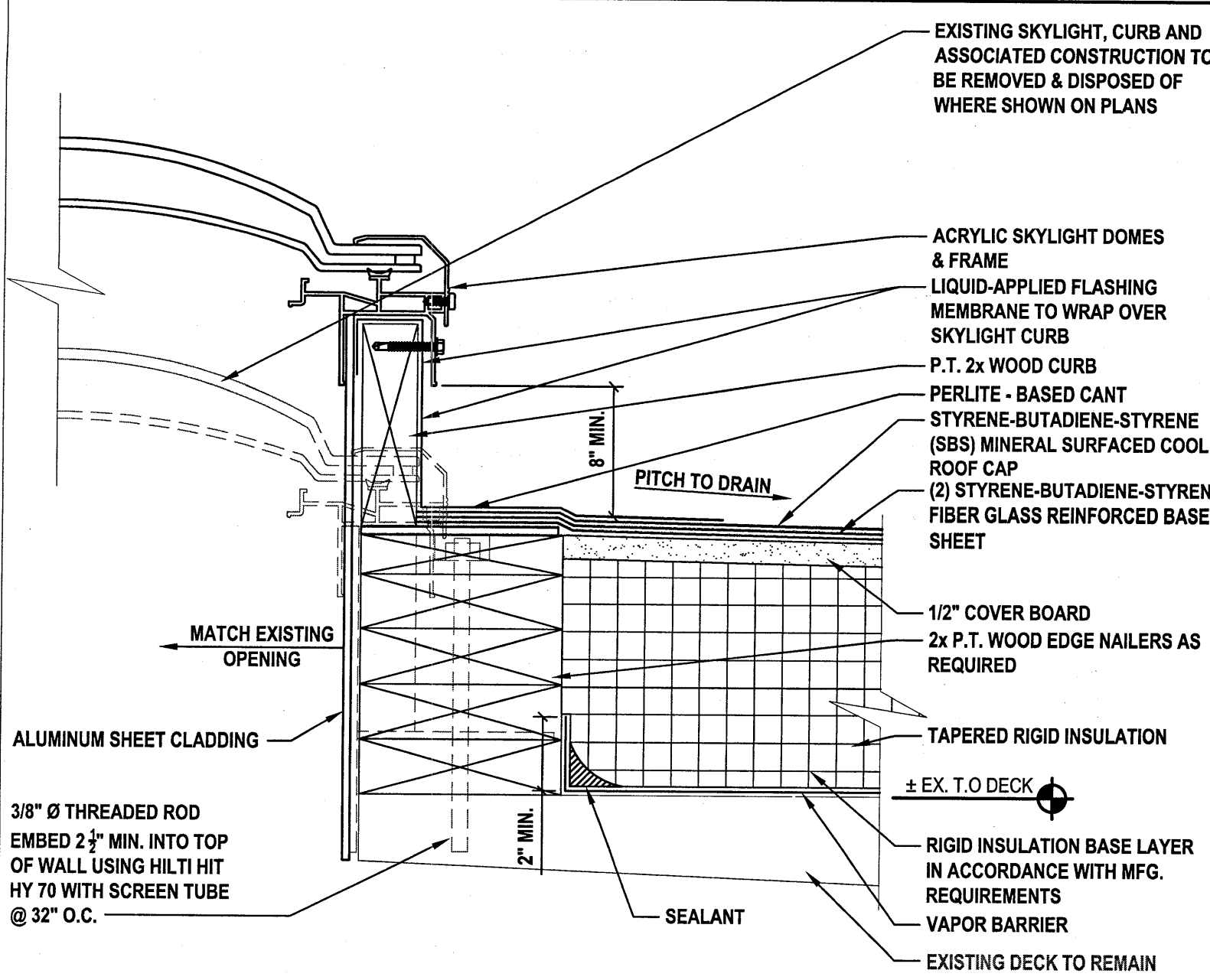
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TITLE		TITLE		
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DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION				18-515
DIVISION OF ENGINEERING				SHEET NUMBER
				A2.1
SHEET NO. 9 OF 11				SCALE: AS NOTED
ROOF REPLACEMENT PROGRAM				DATE: AUGUST 2021
MAMARONECK AND PEEKSKILL				DPW FILE NO.
WATER RESOURCE RECOVERY FACILITIES				209-01-A-398-0
PEEKSKILL: ROOF PLANS				REV. NO. 0



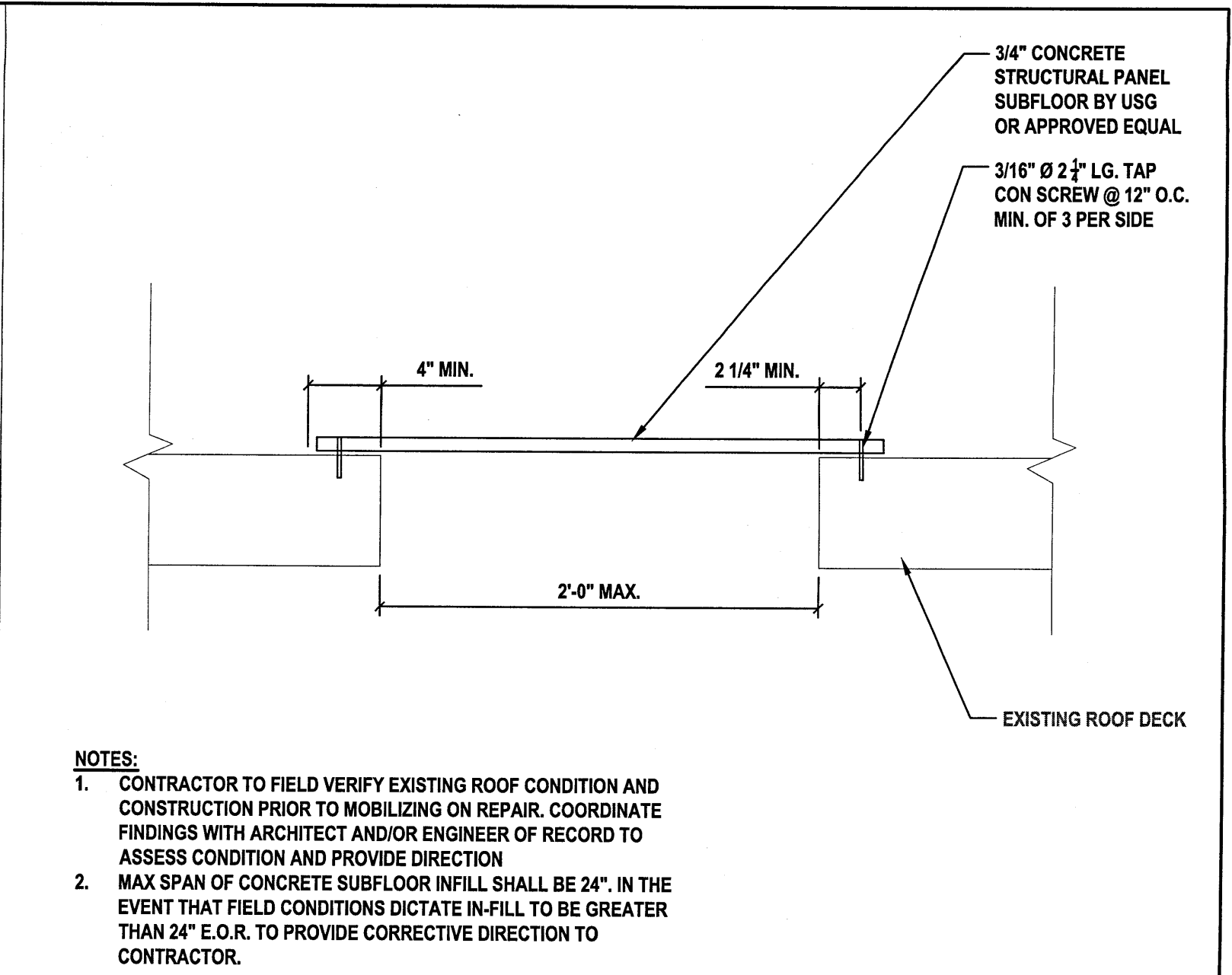
1 Mamaroneck: Roof Edge Detail 1
SCALE: 3/4"=1'-0"



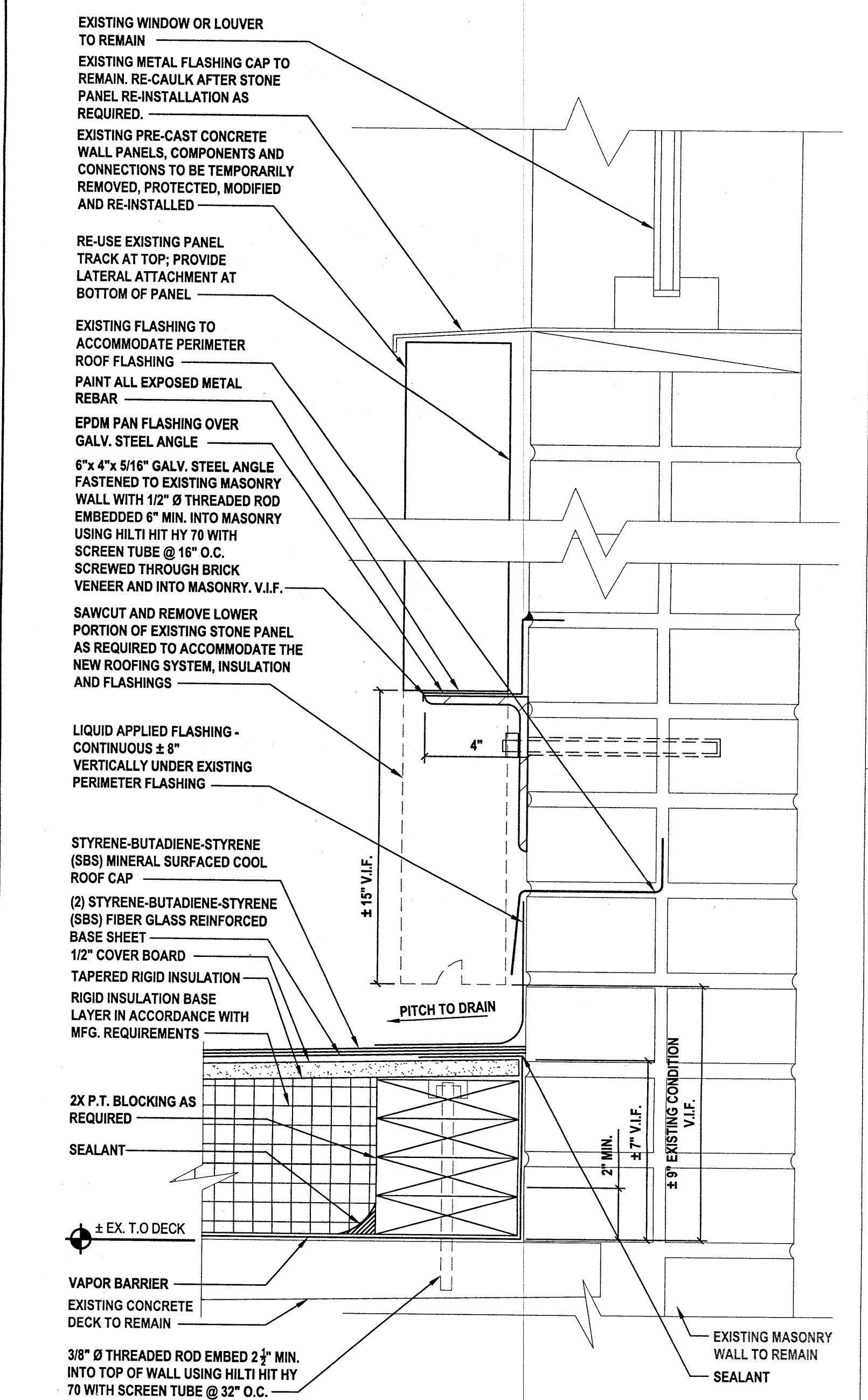
2 Mamaroneck: Roof Edge Detail 2
SCALE: 3/4"=1'-0"



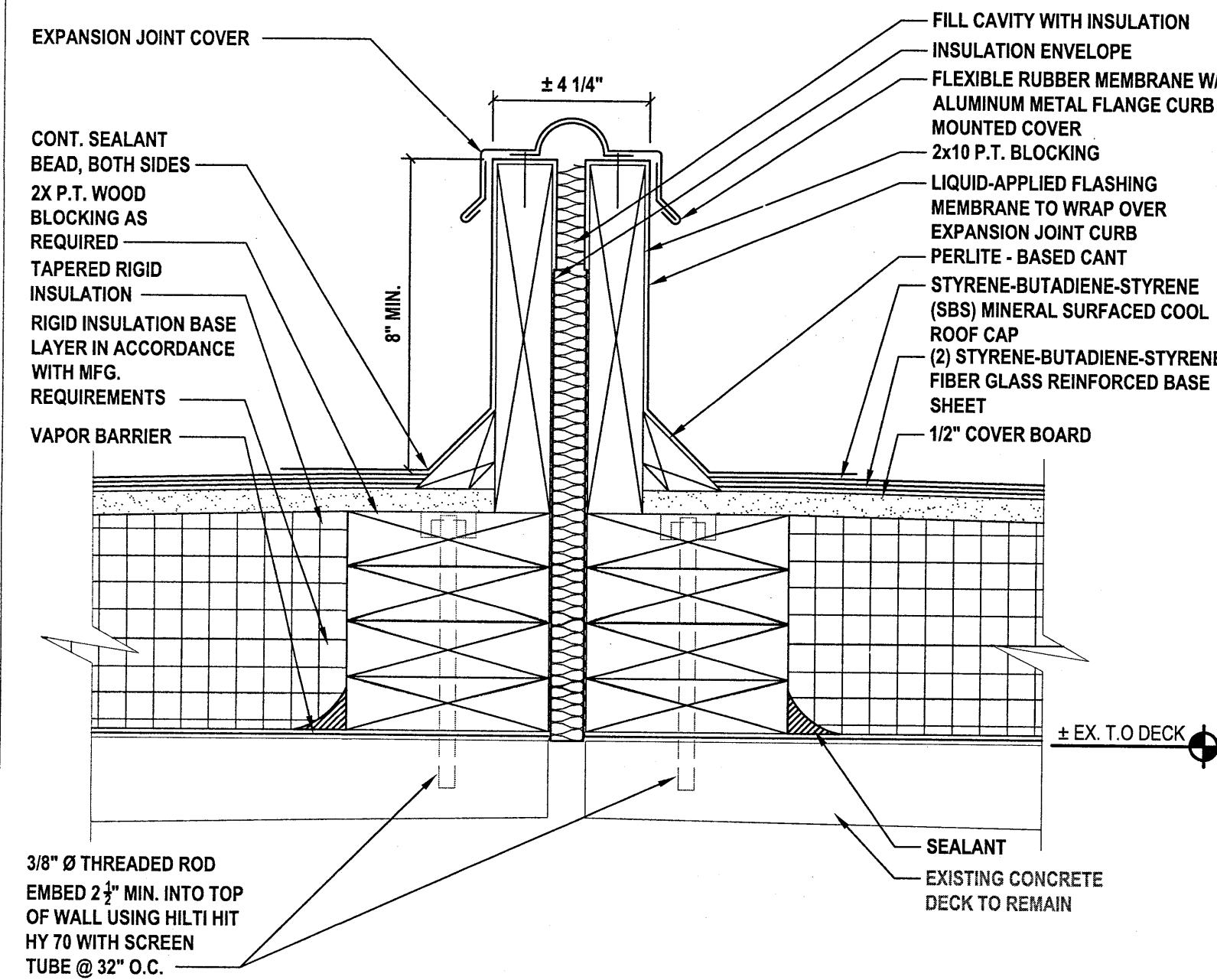
3 Typical Skylight Detail
SCALE: 3/4"=1'-0"



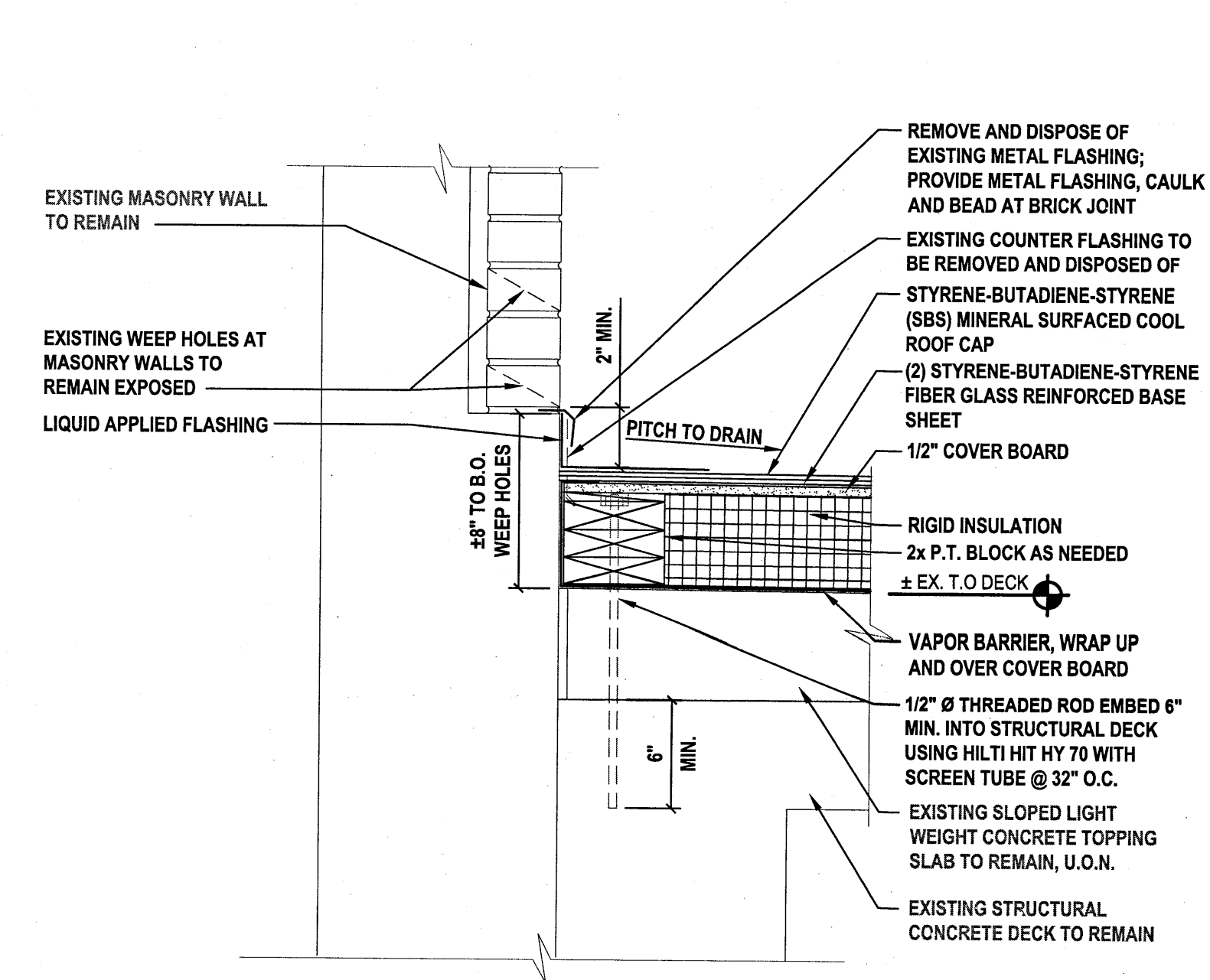
4 Section Through Opening Infill
SCALE: 1/12"=1'-0"



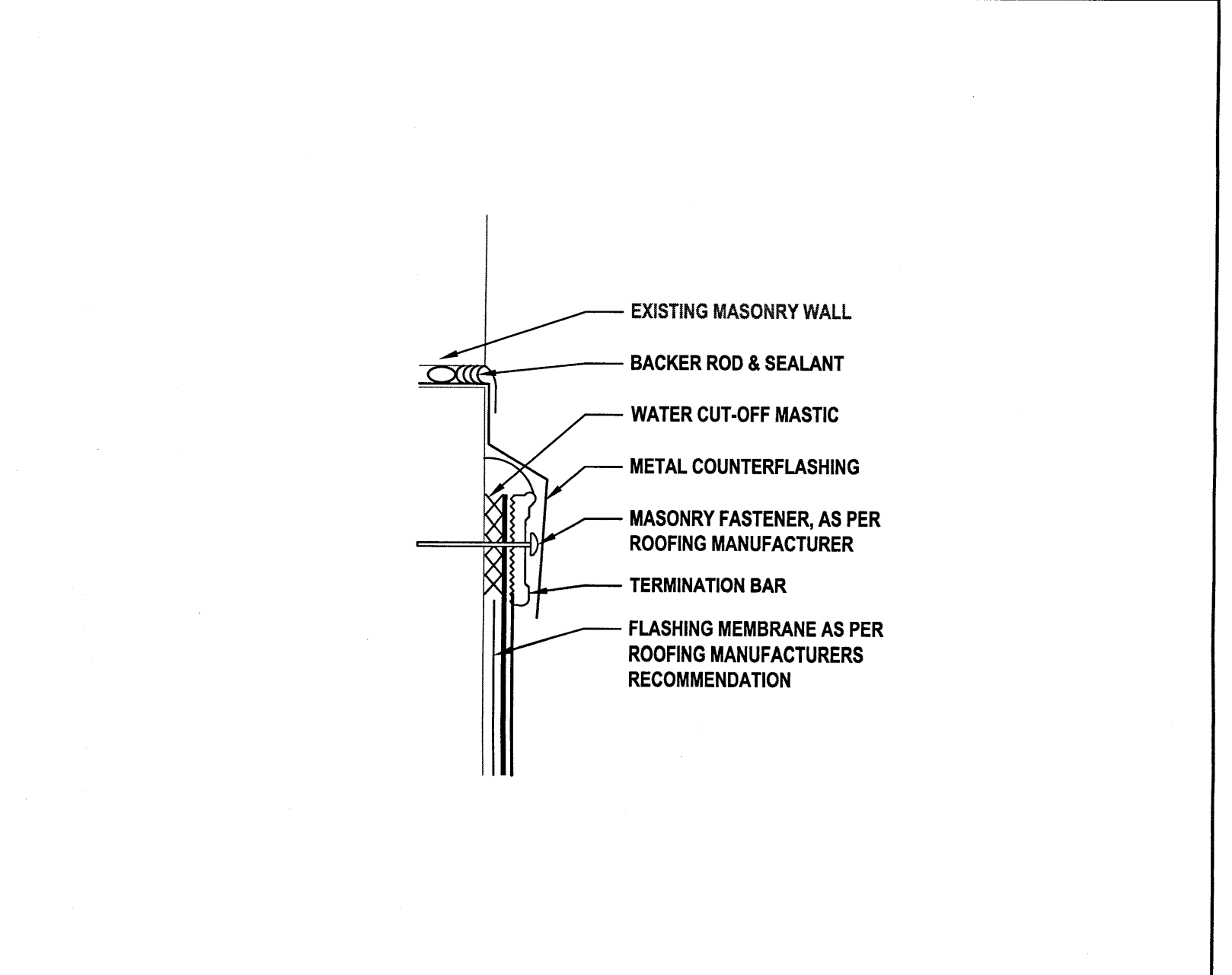
5 Mamaroneck: Wall Flashing Detail at Stone Siding Panels 2
SCALE: 3/4"=1'-0"



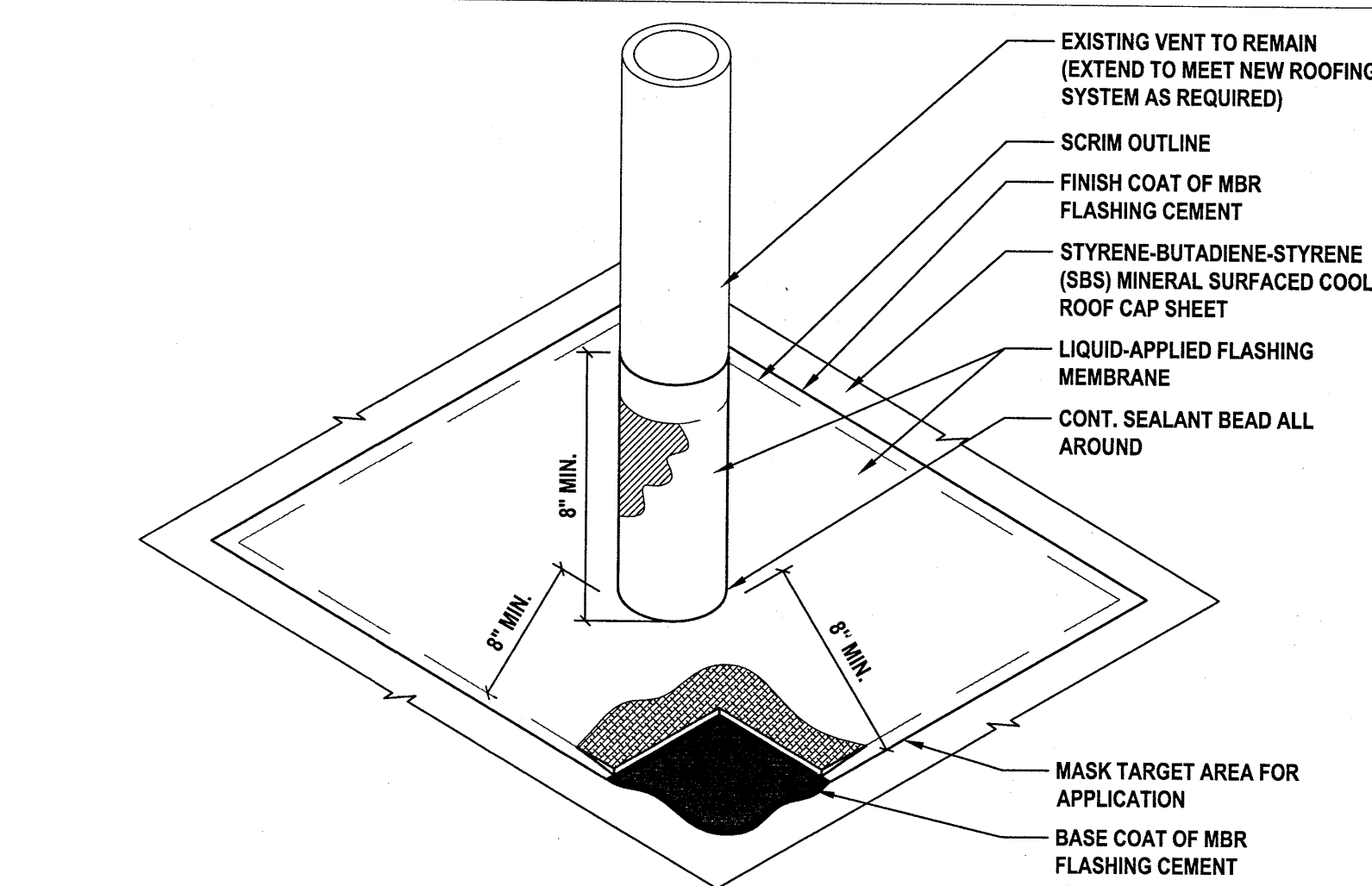
6 Typical Roof to Roof Expansion Joint Cover
SCALE: 3/4"=1'-0"



7 Peekskill: Typical Flashing Detail at Existing Wall
SCALE: 3/4"=1'-0"



8 Typical Metal Counter Flashing Detail
SCALE: 1/12"=1'-0"



9 Typical Pipe Penetration Detail
SCALE: 3/4"=1'-0"

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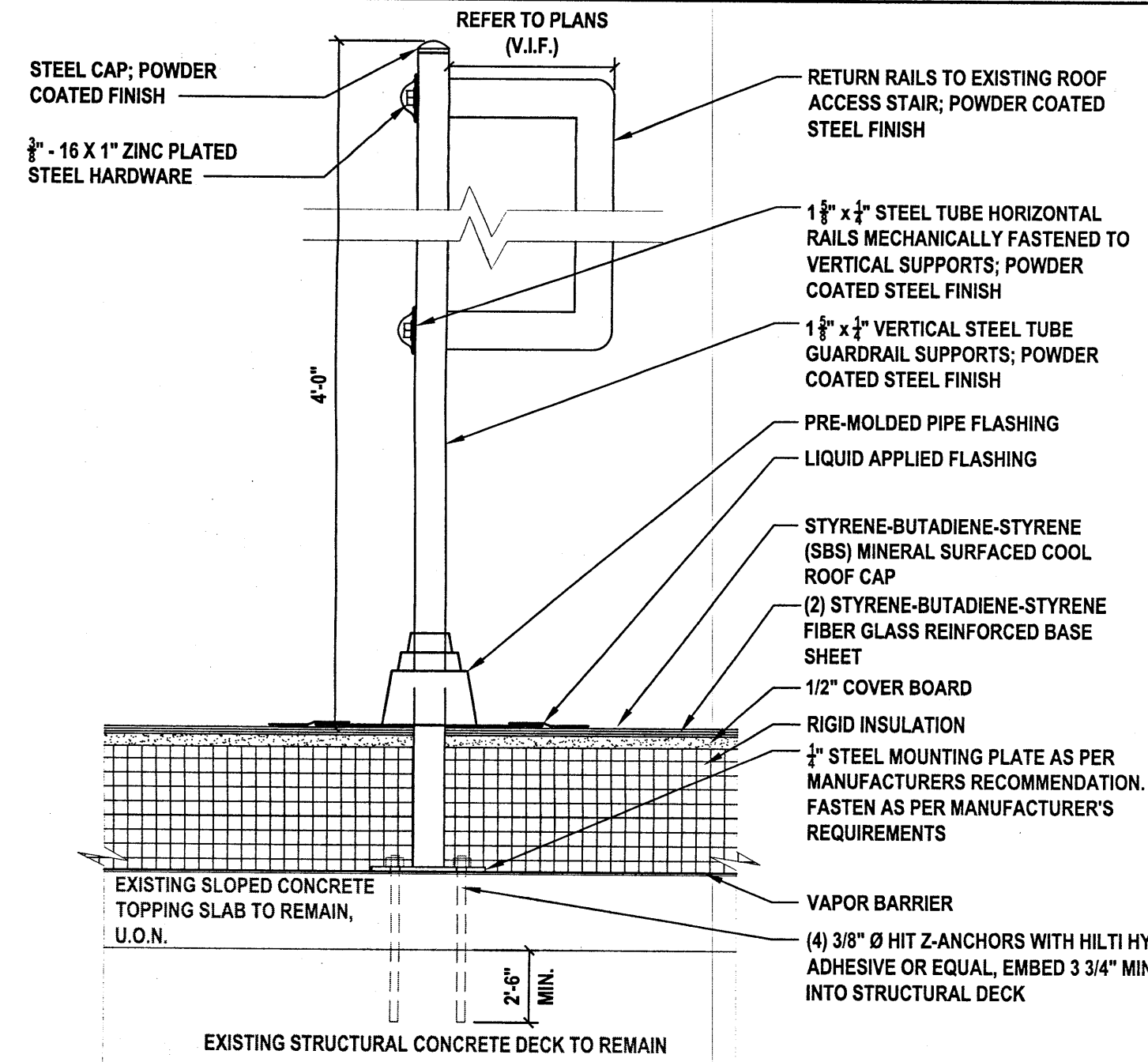
REGISTERED ARCHITECT
STATE OF NEW YORK
093031

H 2 M architects + engineers

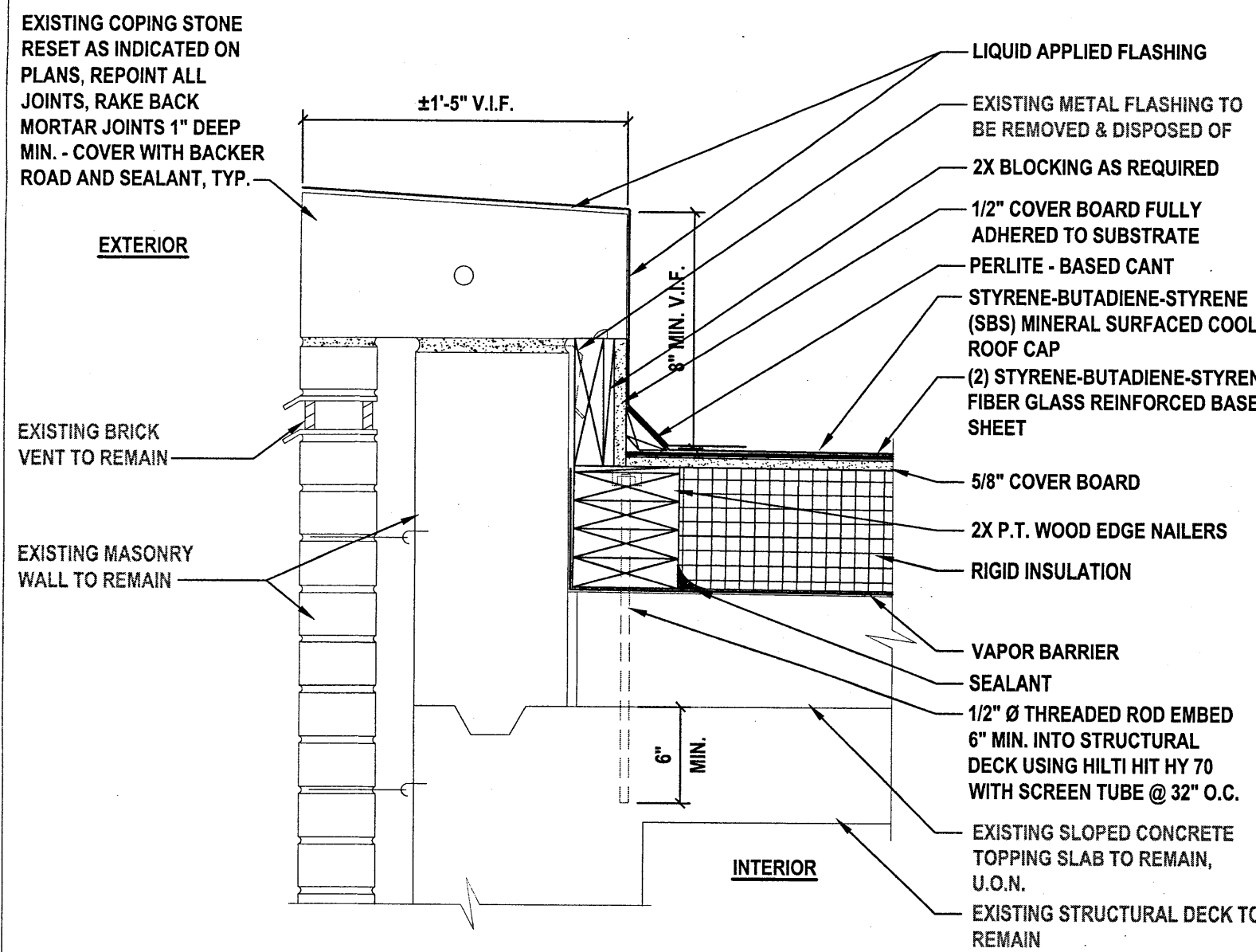
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Horsell, NJ 07731

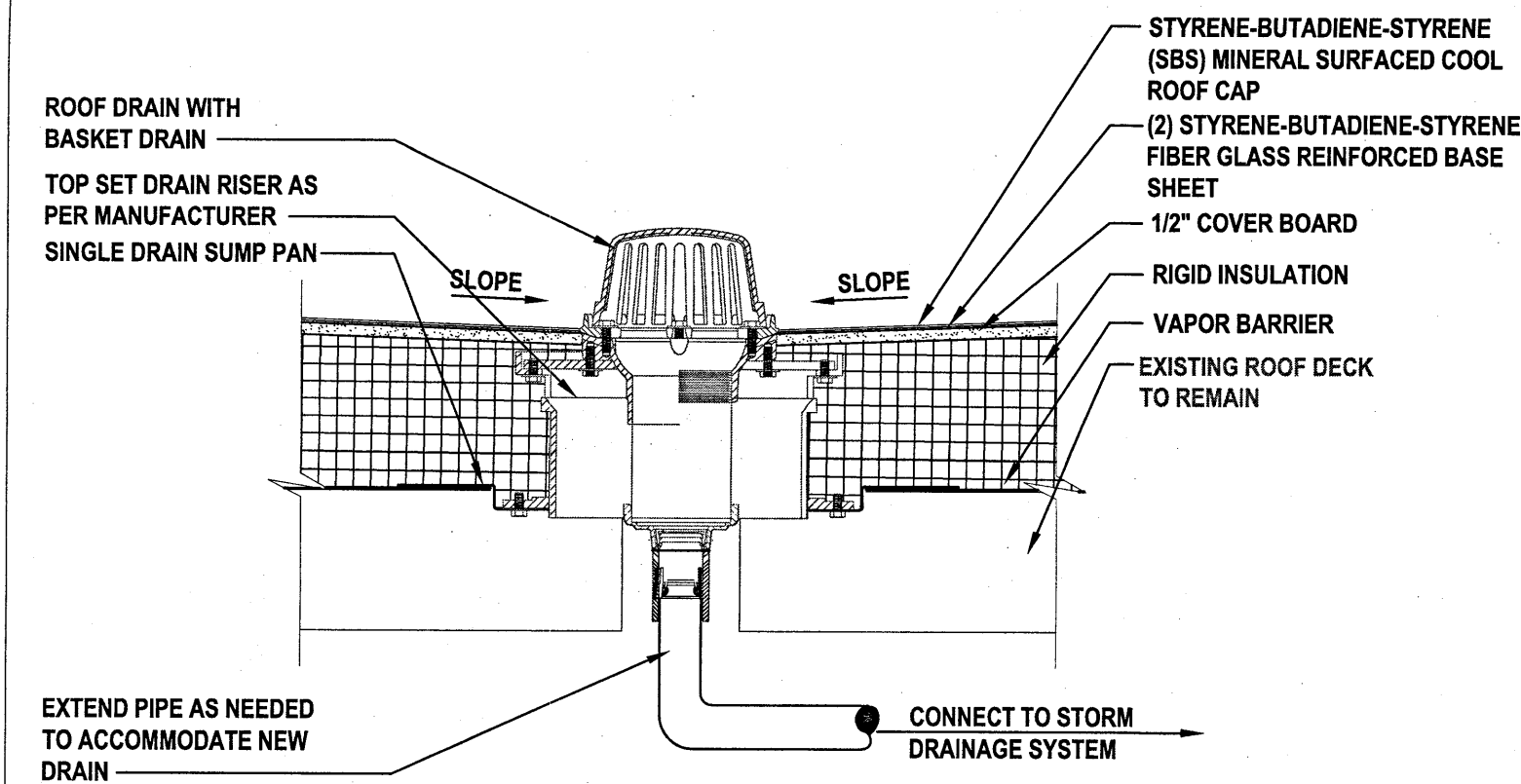
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CONTRACTOR			PROJECT COORDINATOR	
NAME SIGNATURE _____ TITLE _____			NAME SIGNATURE _____ TITLE _____	
DATE			DATE	
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING				
CONTRACT NUMBER 18-515			SHEET NUMBER A3.0	
SHEET NO. 10 OF 11			SCALE: AS NOTED DATE: AUGUST 2021	
DPW FILE NO. 205-01-A-462-0			REV. NO. 0	



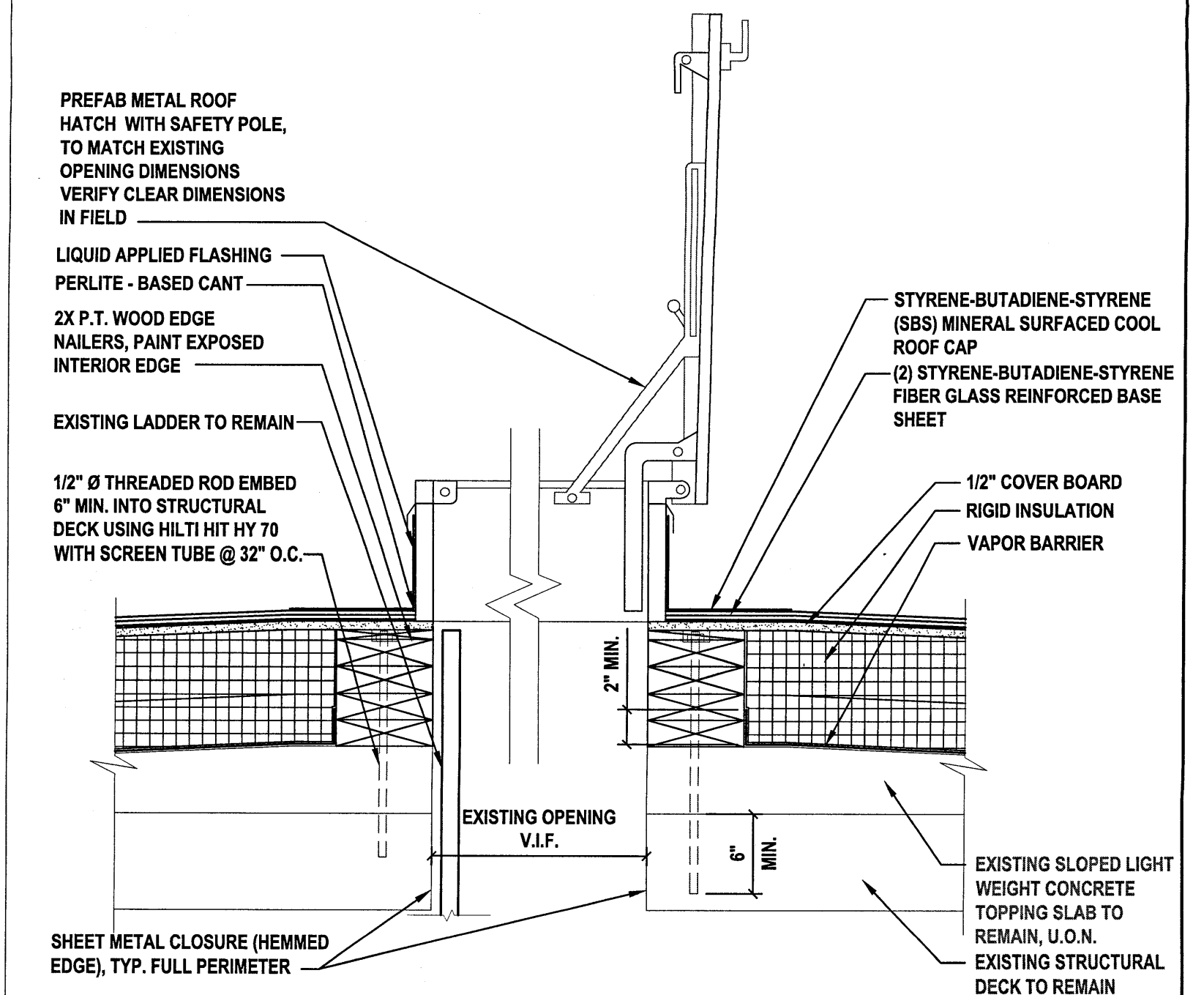
1 Typical Guardrail Detail
SCALE: 1-1/2"=1'-0"



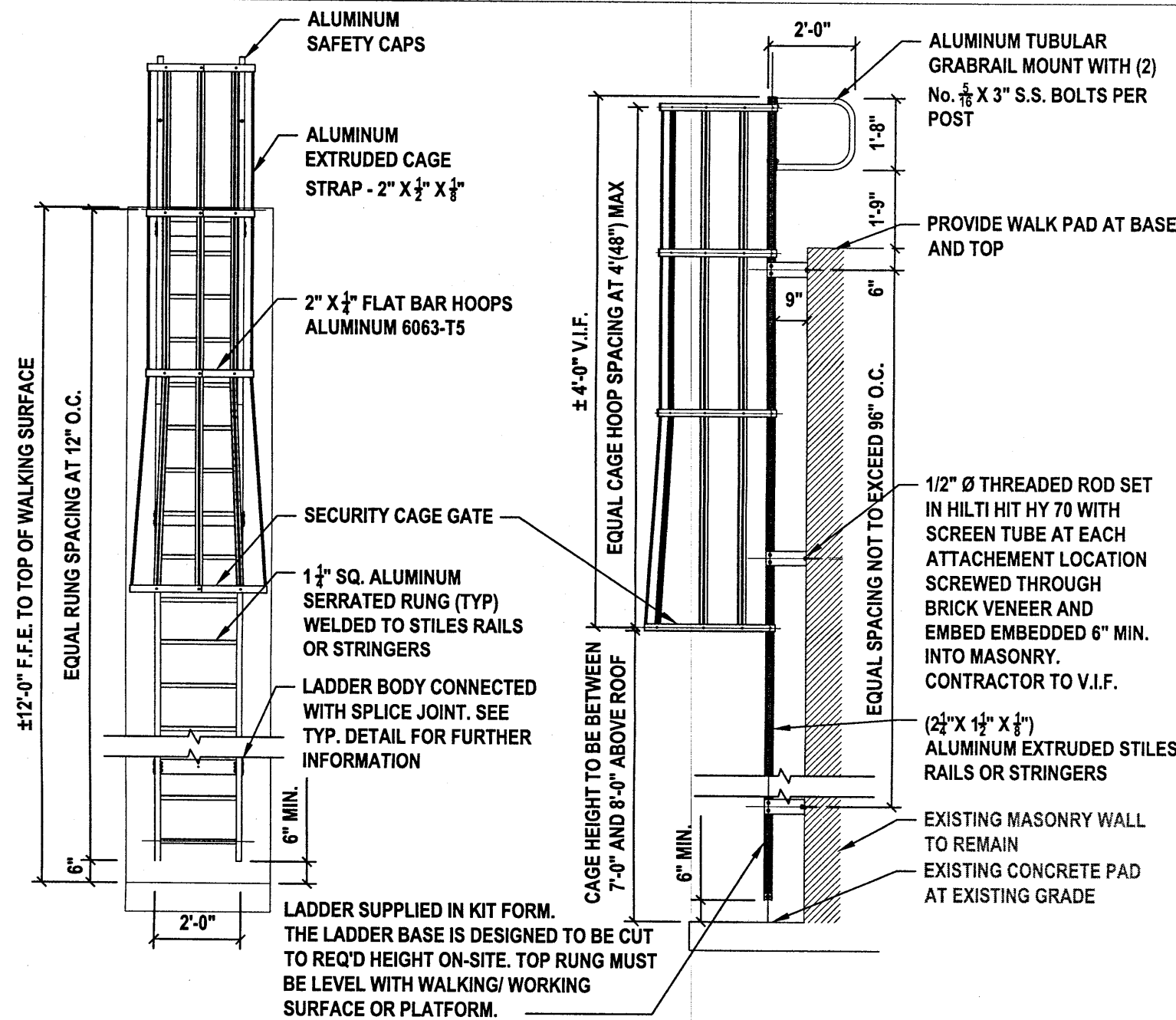
2 Peekskill: Typical Roof Edge Detail
SCALE: 1-1/2"=1'-0"



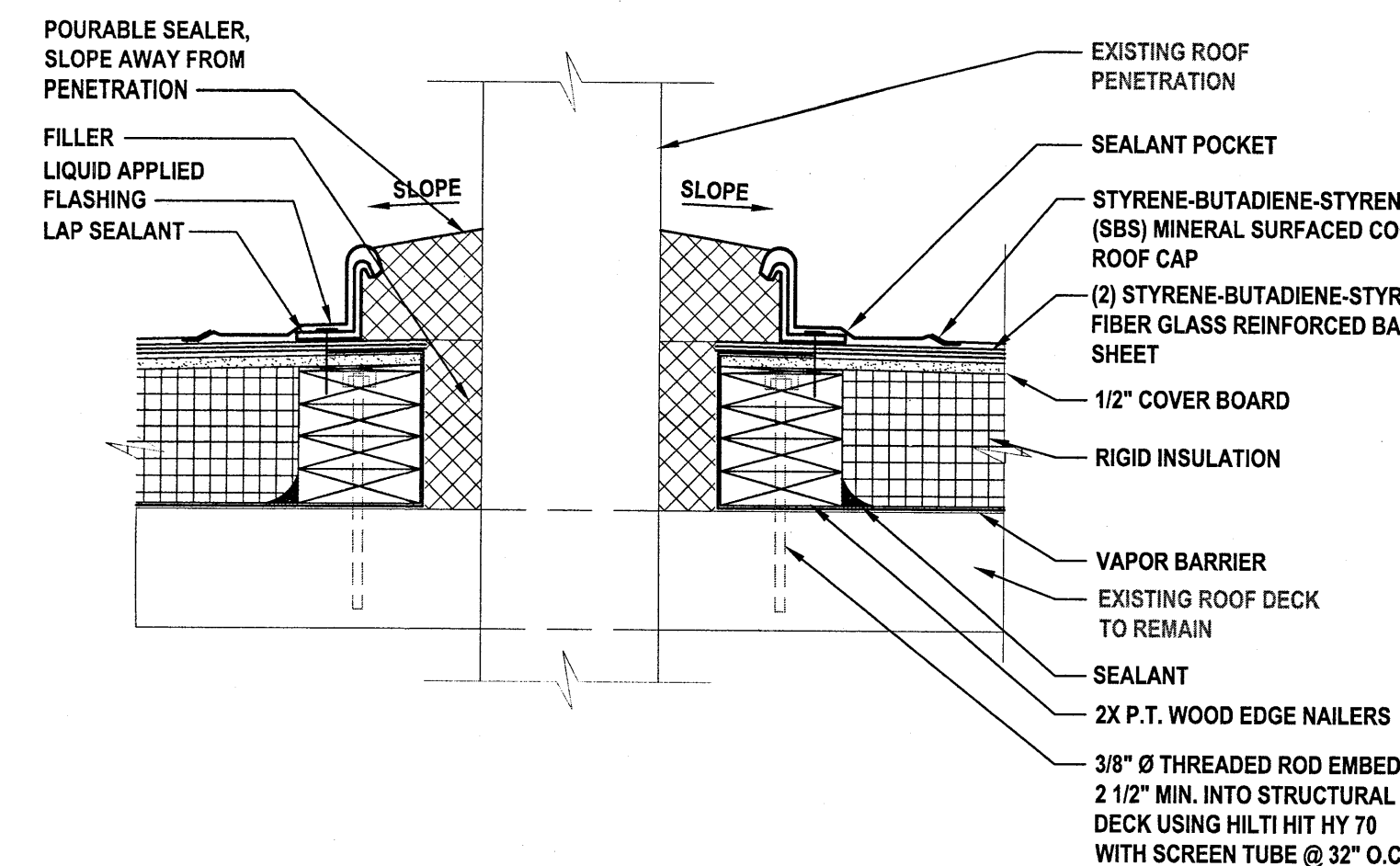
3 Typical Roof Drain & Overflow Drain Detail
SCALE: 1-1/2"=1'-0"



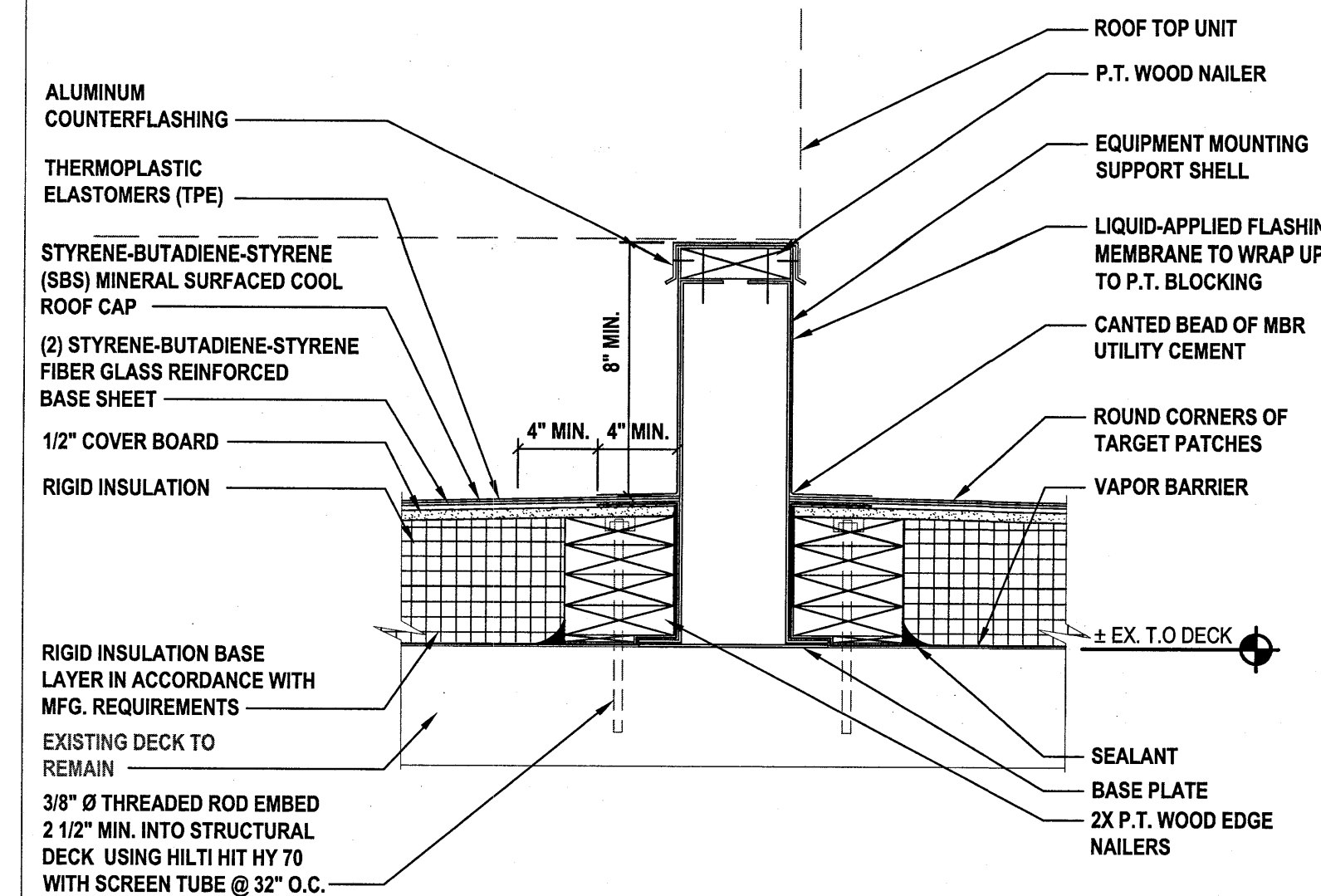
4 Typical Roof Hatch Detail
SCALE: 1-1/2"=1'-0"



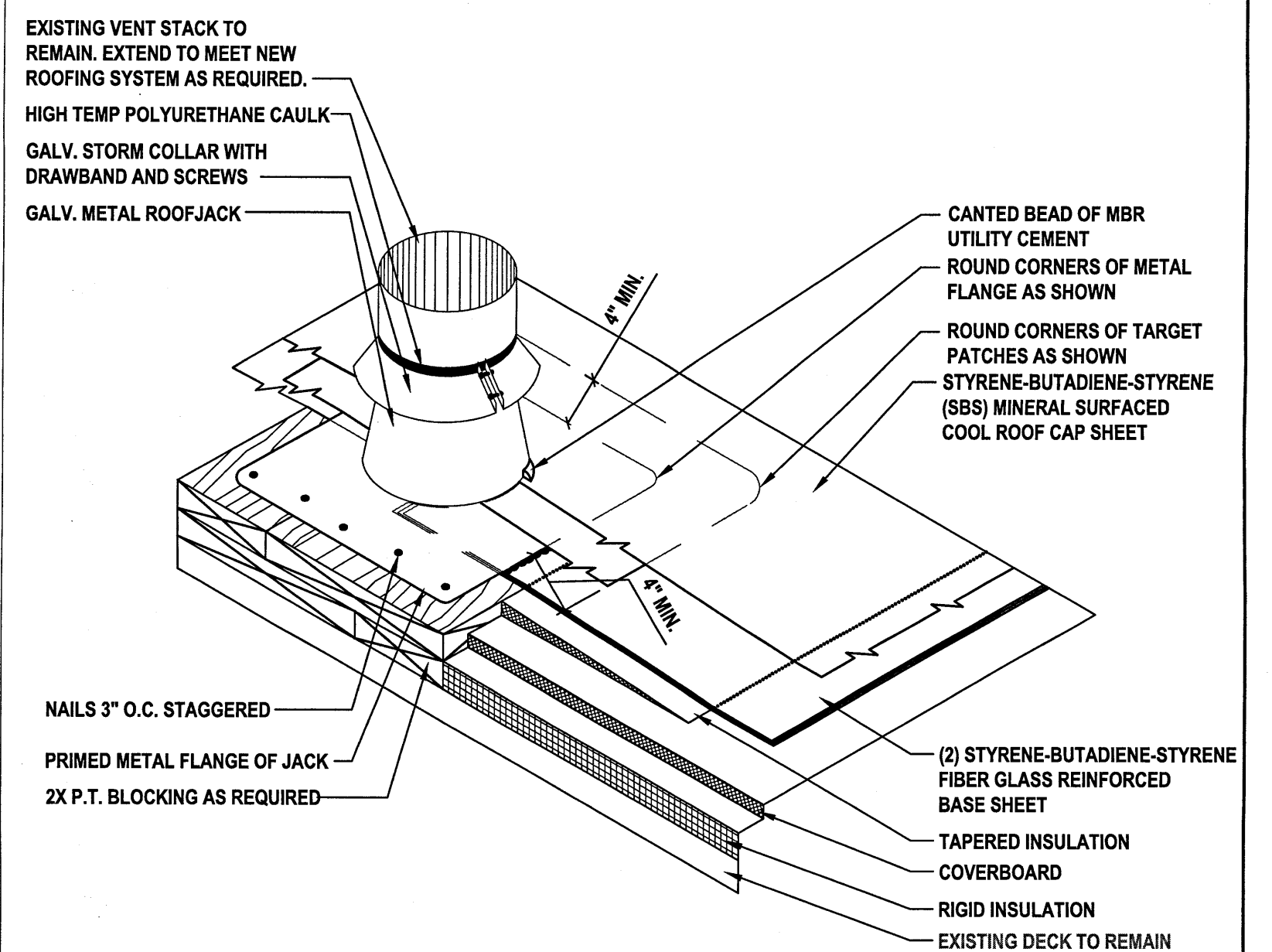
5 Peekskill Exterior Access Ladder w/ Caged Entry Gate
SCALE: N.T.S.



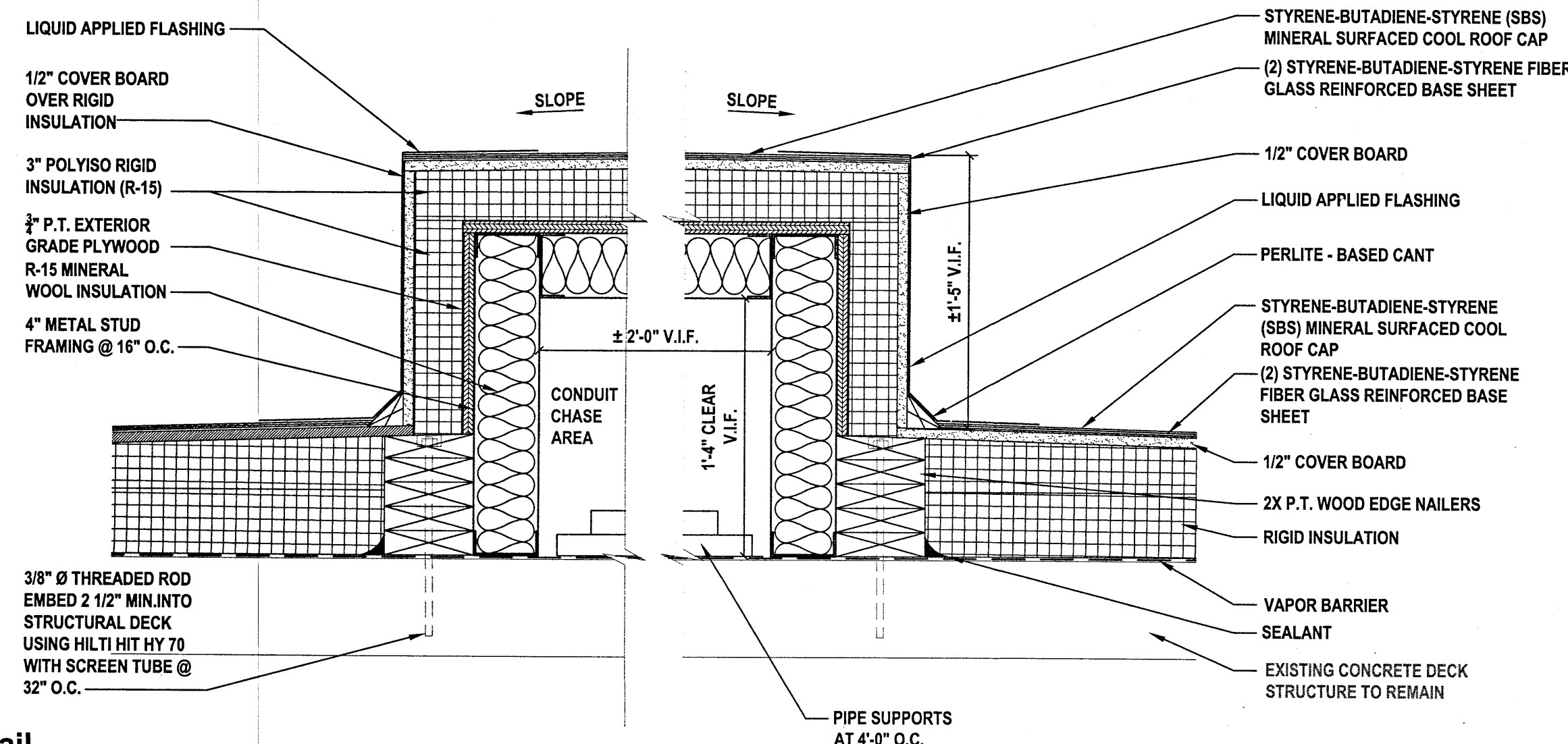
6 Typical Pitch Pocket
SCALE: 1-1/2"=1'-0"



7 Typical Equipment Mounting Support
SCALE: 1-1/2"=1'-0"



8 Typical Vent Stack Detail
SCALE: N.T.S.



9 Conduit Chase Detail
SCALE: N.T.S.

IN CHARGE OF _____
CHECKED BY _____
MADE BY _____

REGISTERED ARCHITECT
STATE OF NEW YORK
063031
H 2 M architects + engineers
538 Broad Hollow Road
Melville, NY 11747
P: (631) 756-8000
F: (631) 694-4122
Melville, NY 11747
Albany, NY 12203
White Plains, NY 10604
New City, NY 10956
Parsippany, NJ 07054
Hewlett, NJ 07731

REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION
RECORD DRAWING CERTIFICATION				
<input type="checkbox"/> AS BUILT - CHANGES AS NOTED <input type="checkbox"/> AS BUILT - NO CHANGES				
CONTRACTOR			PROJECT COORDINATOR	
NAME SIGNATURE TITLE			NAME SIGNATURE TITLE	
DATE			DATE	
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING				
ROOF REPLACEMENT PROGRAM MAMARONECK AND PEEKSKILL WATER RESOURCE RECOVERY FACILITIES ROOF DETAILS				
CONTRACT NUMBER 18-515		SHEET NUMBER A3.1		SHEET NO. 11 OF 11
SCALE: AS NOTED DATE: AUGUST 2021		DPW FILE NO. 205-01-A-463-0		REV. NO. 0