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7/21/2021 3:59:12 PM

BM 620-334 New Community Living Center/620-334 CLC-Arch.rvt

VA FORM 08 - 6231

Revisions:		Date:

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ARCHITECT/ENGINEER OF RECORD		STAMP
A/E: TRIPLE C - The A/E Group 201 E. Jefferson Street, Suite 200 Syracuse, NY 13202 (315) 484-5958 Mat Perkins		
 A MULTI-DISCIPLINE COMPANY		

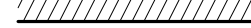
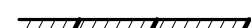
Office of Construction and Facilities Management
 U.S. Department of Veterans Affairs

Drawing Title EQUIPMENT PLAN - LEVEL 1 - AREA A
Approved:

Phase ISSUED FOR CONSTRUCTION
FULLY SPRINKLERED

Project Title NEW COMMUNITY LIVING CENTER	Project Number 620-334
Location 2094 Albany Post Road, Montrose, NY 10548	Building Number CLC
Issue Date 05/09/2022	Drawing Number Q-101A
Checked H.GARDNER	Drawn K. MCDERMOTT

ARCHITECTURAL SYMBOL LEGEND

	PROPOSED EXTERIOR WALL - SEE WALL SECTIONS
	INTERIOR STUD FRAMED WALL - SEE WALL TYPES
	AREA OF NO WORK, FACILITY TO REMAIN OPERATIONAL
	1 HR FIRE RATED PARTITION
	2 HR FIRE RATED PARTITION
	SMOKE RATED PARTITION / SMOKE BARRIER / COMPARTMENT
	1 HR FIRE AND SMOKE BARRIER
	2 HR FIRE AND SMOKE BARRIER
	VAVA ITEM - VA SUPPLIED & INSTALLED
	VACC OR VC ITEM - VA SUPPLIED & CONTRACTOR INSTALLED
	CC/CC ITEM - CONTRACTOR SUPPLIED & INSTALLED
	A1000 FURNITURE, FIXTURE, & EQUIPMENT INDICATOR
	MATCHLINE
	EXPANSION JOINT
	DEDUCTIVE ALTERNATE
	FOUNDATION DRAIN - SEE CIVIL

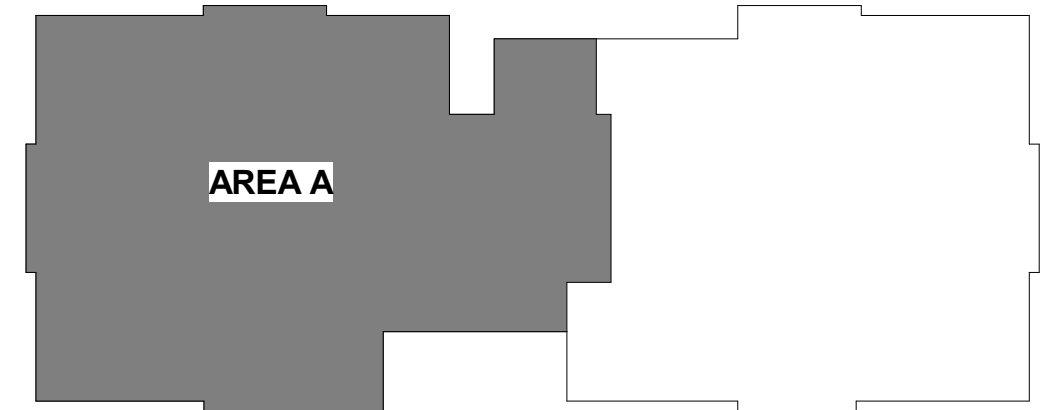
GENERAL SHEET NOTES

- CONTRACTOR TO COORDINATE WITH ROOF INSTALLATION WARRANTY REQUIREMENTS FOR ANY MODIFICATIONS TO ROOFING TO ENSURE NO VIOLATIONS OCCUR OF THE WARRANTY. CONTRACTOR TO EMPLOY A CERTIFIED ROOFING INSPECTOR MEETING THE REQUIREMENTS OF THE INSTALLED ROOF. ALL WARRANTY VIOLATIONS WILL BE REQUIRED TO BE CORRECTED PRIOR TO CLOSE OUT.
- CONTRACTOR TO VALIDATE AND VERIFY ALL FIRE RATED AND/OR SMOKE RATED WALLS AND ASSEMBLIES INDICATED ON PLANS IN WORK AREA. PROVIDE ALL PIPING PENETRATIONS OF FIRE, SMOKE AND FULL HEIGHT WALLS SHALL BE CAULKED AIRTIGHT TO THE ADJACENT STRUCTURE BY MEANS OF U.I. APPROVED FIRE PROOF CAULKING MATERIAL. SEE MECHANICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. CONTRACTOR SHALL COORDINATE ALL PIPING, PLUMBING, AND CONDUIT PIPING WITH STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS AND SHALL PROVIDE NECESSARY OFFSETS TO AVOID CONFLICTS AND TO MAINTAIN REQUIRED EQUIPMENT ACCESS AND SERVICEABILITY. EXISTING CONDITIONS ARE BASED ON EXISTING PLANS AND FIELD VERIFICATION WHERE FEASIBLE. ACTUAL CONDITIONS MAY DIFFER FROM THOSE INDICATED. CONTRACTOR TO FIELD VERIFY IN ADVANCE THE LOCATION AND CONDITION OF THOSE EXISTING SYSTEMS SHOWN TO BE MODIFIED OR REMOVED. CONTRACTOR TO NOTIFY ARCHITECT SHOULD CONDITIONS BE FOUND TO DIFFER SIGNIFICANTLY FROM CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO COORDINATE ALL NEW EQUIPMENT LOCATIONS WITH ALL TRADES PRIOR TO INSTALLATION.
- CONTRACTOR TO PROVIDE GALVANIC PROTECTION AS REQUIRED AT CONNECTIONS BETWEEN ALL DISSIMILAR METALS.
- ANY FLOOR, WALL, OR CEILING CUTTING OR FILLING THAT IS REQUIRED TO COMPLETE THIS PROJECT, THE CONTRACTOR SHALL PATCH AND PAINT AND RETURN TO MATCH EXISTING CONDITIONS AND FINISHES.
- CONTRACTOR TO PROVIDE ESCUTCHEONS ON ALL NEW EXPOSED EXTERIOR PIPE PENETRATIONS AND SEAL COMPLETELY.
- CONTRACTOR TO PROVIDE TEMPORARY FLOORING WHILE MODIFYING SUBFLOORING.
- ANY LANDSCAPE, HARDSCAPE, FIXTURE, SIGNAGE AND SYSTEMS OR PEDESTRIAN CONTROL DEVICES WITHIN THE TEMPORARY ACCESSIBLE PATHWAY SHALL BE PROTECTED IN PLACE OR TEMPORARILY RELOCATED AS NECESSARY FOR CONTINUED UNINTERRUPTED OPERATION, ACCESS, MAINTENANCE AND / OR VISIBILITY.

KEYNOTES

- WALLS SCREENED BACK FOR CLARITY
- REFERENCE Q-601 FOR DETAIL INFO OF JSN #. ITEMS SHOWN ARE CONTRACTOR FURNISHED AND INSTALLED
- REFERENCE IF101-IF101B FOR FURNITURE JSN INFORMATION
- PATIENT LIFT, COORDINATE POWER AND STRUCTURAL AS REQUIRED. DEDUCT ALT. 13. ELIMINATE PATIENT LIFTS EXCEPT AT BARIATRIC AND PTCT ROOMS.

KEY PLAN



KEY PLAN

F3 EQUIPMENT PLAN - LEVEL 1 - AREA A
1/8" = 1'-0"

DEDUCTIVE ALTERNATES:

(DEDUCTIVE ALTERNATES ARE CASCADING AND MUST BE EXERCISED IN THE ORDER PRESENTED) FOR A DETAILED DESCRIPTION OF EACH DEDUCTIVE ALTERNATE REFER TO COVER SHEET G1000

- DEDUCTIVE ALTERNATE #1: REDUCE WATER AND ICE SHIELD COVERAGE
- DEDUCTIVE ALTERNATE #2: ELIMINATE TUNNEL (EAST LEG)
- DEDUCTIVE ALTERNATE #3: ELIMINATE FAUX WINDOWS AT CLEARSTORY
- DEDUCTIVE ALTERNATE #4: ELIMINATE WORK AT E8 CORRIDOR
- DEDUCTIVE ALTERNATE #5: ELIMINATE CONCRETE
- DEDUCTIVE ALTERNATE #6: ELIMINATE LANDSCAPE
- DEDUCTIVE ALTERNATE #7: REDUCE PLATFORM AT CHILLER
- DEDUCTIVE ALTERNATE #8: ELIMINATE NVR SECURITY
- DEDUCTIVE ALTERNATE #9: ELIMINATE LARGE PORCH
- DEDUCTIVE ALTERNATE #10: ELIMINATE SMALL PORCH A
- DEDUCTIVE ALTERNATE #11: ELIMINATE SMALL PORCH B
- DEDUCTIVE ALTERNATE #12: ELIMINATE ENTRANCE CANOPY
- DEDUCTIVE ALTERNATE #13: ELIMINATE FENCE/ FAUX ROOFS AT RESIDENT ROOMS
- DEDUCTIVE ALTERNATE #14: ELIMINATE PATIENT LIFT TRACK EXTENSIONS INTO RESIDENT RESTROOMS
- DEDUCTIVE ALTERNATE #15: REDUCE THE POROUS ASPHALT / PARKING / PORTION OF DRIVE ENTRANCE
- DEDUCTIVE ALTERNATE #16: ELIMINATE EXTERIOR SIGNAGE