



CONCEPT IMAGE - SUBJECT TO CHANGE



IONA COLLEGE

NEW YORK PRESBYTERIAN IONA SCHOOL OF HEALTH SCIENCES

BRONXVILLE CAMPUS
171 White Plains Rd.
Bronxville, NY 10708

APPLICABLE CODES

Building	2020 Building Code of New York State (BCNYS), which is an amended version of the 2018 International Building Code (IBC)
	2020 Existing Building Code of New York State (EBCNYS), which is an amended version of the 2018 International Existing Building Code (IEBC)
Fire Code	2020 Fire Code of New York State (FCNYS), which is an amended version of the 2018 International Fire Code (IFC)
Accessibility	BCNYS Chapter 11 and Appendix E 2009 Edition of ICC A117.1, Accessible and Usable Buildings and Facilities 2010 ADA Standards for Accessible Design
Plumbing Code	2020 Plumbing Code of New York State (PCNYS), which is an amended version of the 2018 International Plumbing Code (IPC)
Mechanical Code	2020 Mechanical Code of New York State (MCNYS), which is an amended version of the 2018 International Mechanical Code (IMC)
Fuel Gas Code	2020 Fuel Gas Code of New York State (FCGNYS), which is an amended version of the 2018 International Fuel Gas Code (IFGC)
Energy Code	2020 Energy Conservation Construction Code of New York State (ECCCNYS), which is an amended version of the 2018 International Energy Conservation Code (IECC)
Electrical Code	2017 Edition of NFPA 70, National Electric Code, as referenced by BCNYS Chapter 35

LIST OF DRAWINGS

AD101	BASEMENT LOWER LEVEL AND FIRST FLOOR DEMOLITION PLANS
AD102	SECOND FLOOR DEMOLITION PLAN, SITESCPE DEMOLITION
AD350	DEMOLITION BUILDING ELEVATIONS - WINDOWS
SD101	STRUCTURAL REINFORCEMENT
A350	WINDOW REPLACEMENT - LOCATION PLAN, BUILDING ELEVATIONS
A650	WINDOW REPLACEMENT - STOREFRONT ELEVATIONS AND DETAILS
PDU100	PLUMBING DEMOLITION UNDERGROUND FLOOR PLAN
PD101	PLUMBING DEMOLITION BASEMENT LOWER LEVEL AND FIRST FLOOR PLANS
PD102	PLUMBING DEMOLITION SECOND FLOOR AND ROOF PLANS
MD101	MECHANICAL DEMOLITION BASEMENT LOWER LEVEL AND FIRST FLOOR PLANS
MD102	MECHANICAL DEMOLITION SECOND FLOOR AND ROOF PLANS
ED101	ELECTRICAL DEMOLITION BASEMENT LOWER LEVEL AND FIRST FLOOR PLANS
ED102	ELECTRICAL DEMOLITION SECOND FLOOR AND ROOF PLANS



Owner:
Iona College
715 North Avenue
New Rochelle, NY 10801

Architect / Landscape Architect / Structural Engineer:
S/L/A/M Architects, Landscape Architects & Engineers, P.C.
80 Glastonbury Boulevard
Glastonbury, CT 06033

Owner's Representative:
JLL Project and Development Services
1 Station Place
Stamford, CT 06902

Mechanical / Electrical / Plumbing / Fire Protection / Technology:
CES Engineering, LLC
216 E. 45th St., 16th Fl.
New York, NY 10017

Civil Engineer:
Langan
One North Broadway
Suite 910
White Plains, NY 10601

Code Consultant:
Code Red Consultants, LLC
154 Turnpike Road, Suite 200
Southborough, MA 01772

Binding: **VOLUME 1 of 1**
Issued for: **BID PACKAGE NO. 1**
Date: **01/27/2022**
Proj No. : **20287.10**

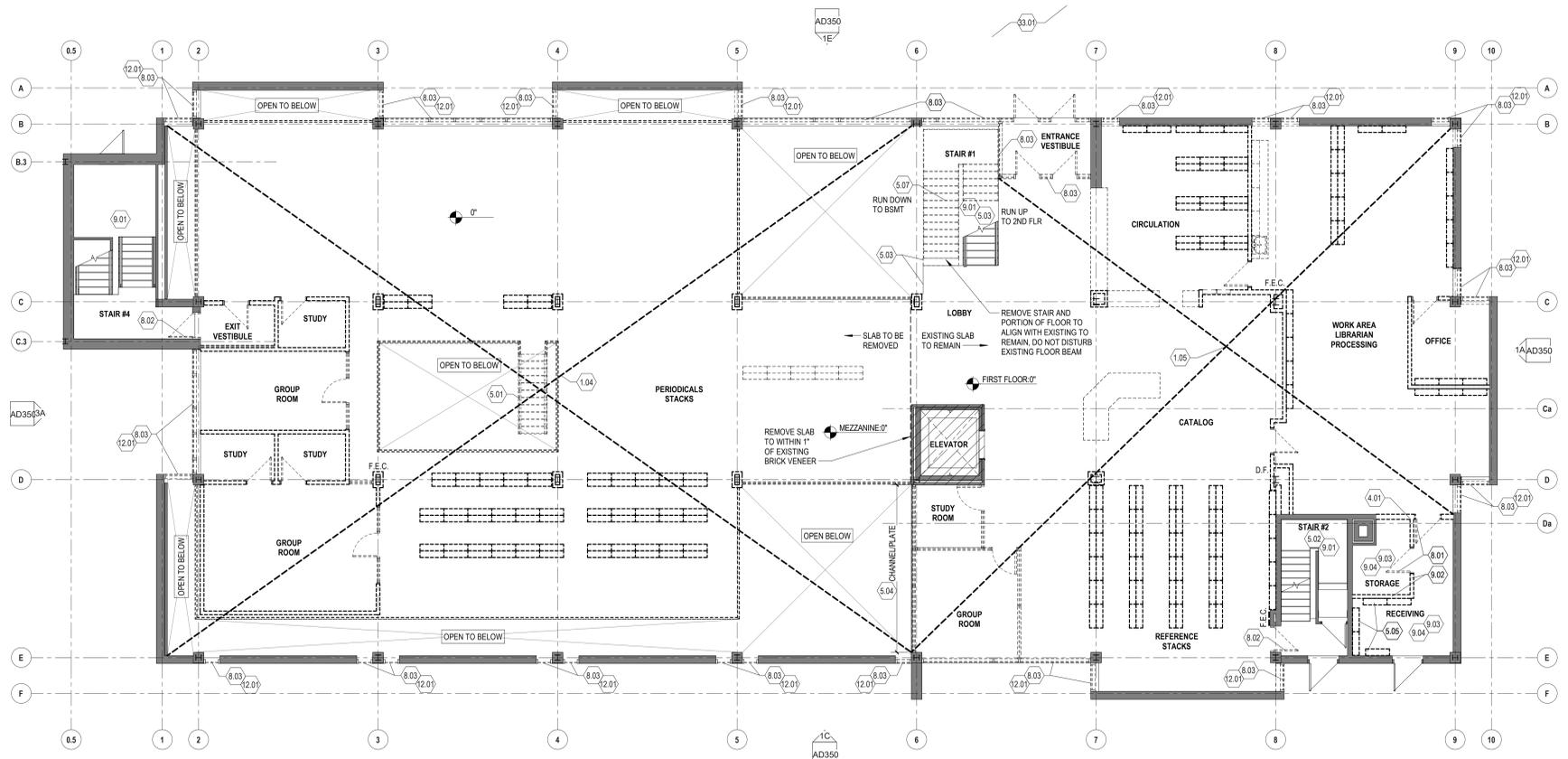
1

2

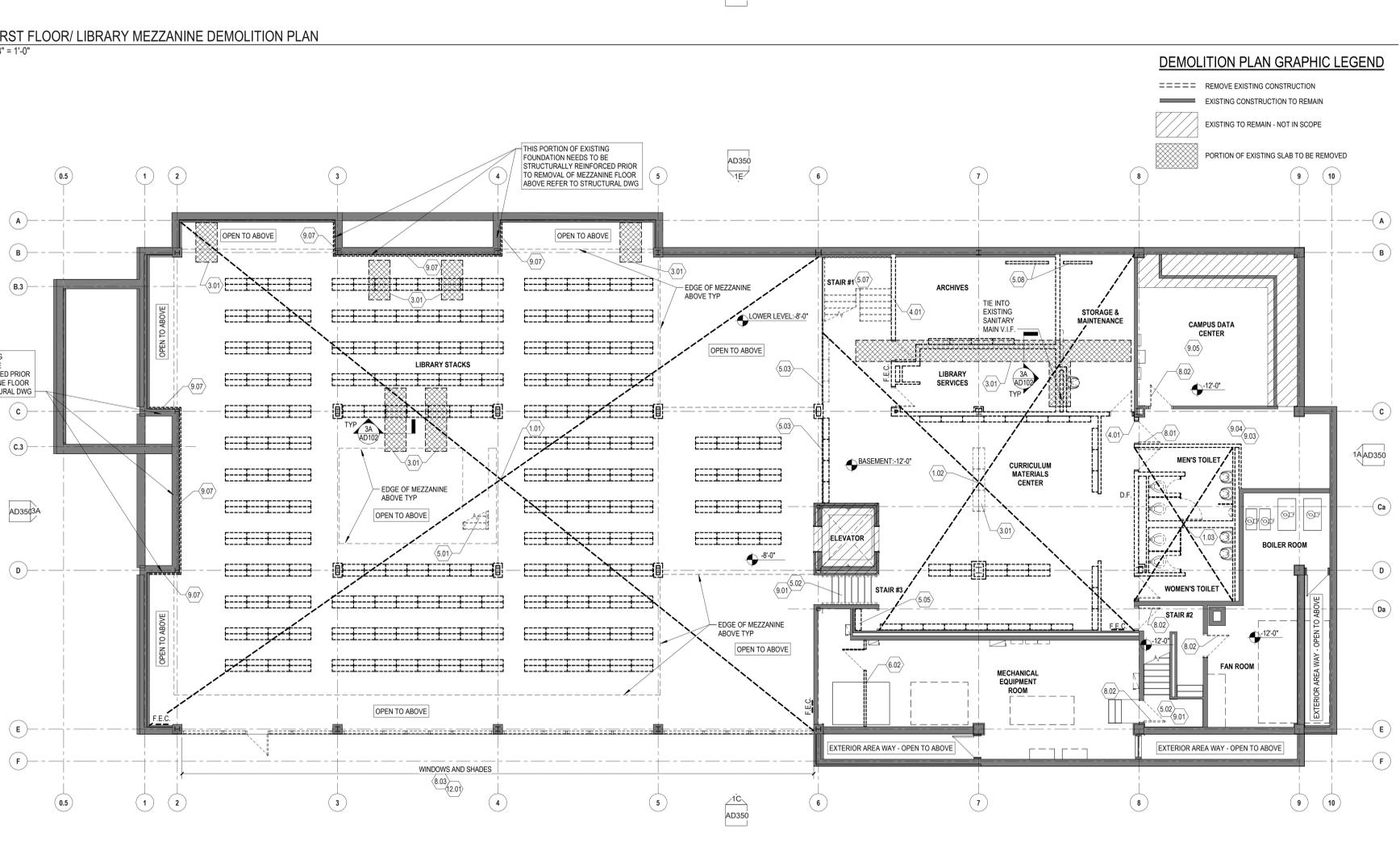
3

4

5



1C FIRST FLOOR/ LIBRARY MEZZANINE DEMOLITION PLAN
1/8" = 1'-0"



1E BASEMENT/ LOWER LEVEL DEMOLITION PLAN
1/8" = 1'-0"

DEMOLITION PLAN GRAPHIC LEGEND

- REMOVE EXISTING CONSTRUCTION
- EXISTING CONSTRUCTION TO REMAIN
- ▨ EXISTING TO REMAIN - NOT IN SCOPE
- ▩ PORTION OF EXISTING SLAB TO BE REMOVED

DEMOLITION GENERAL NOTES

- A. REFER TO DIVISION 02 SECTION "STRUCTURE DEMOLITION" AND/OR "SELECTIVE STRUCTURE DEMOLITION" FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- B. COORDINATE PROPOSED METHODS AND OPERATIONS OF DEMOLITION WITH OWNER'S DESIGNATED REPRESENTATIVE PRIOR TO START OF DEMOLITION. INCLUDE IN SCHEDULE COORDINATION FOR SHUT-OFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED.
- C. THIS BUILDING CONTAINS THE CENTRAL DATA HUB FOR THIS CAMPUS AND MUST BE PROTECTED AND MAINTAINED IN WORKING CONDITION THROUGHOUT THE DURATION OF THIS DEMOLITION AND CONSTRUCTION PROJECT.
- D. CONDUCT DEMOLITION AND DEBRIS REMOVAL IN A SAFE MANNER TO MINIMIZE INTERFERENCE WITH CORRIDORS, HALLS, STAIRS, AND OTHER ADJACENT FACILITIES AND TO AVOID DAMAGE TO SAME. DO NOT CLOSE OR OBSTRUCT TRAFFIC WAYS WITHOUT PERMISSION OF THE OWNER.
- E. ERECT TEMPORARY ENCLOSURE(S) AROUND ALL EXTERIOR OPENINGS CREATED IN THE BUILDING. THE BUILDING SHALL BE LEFT WEATHER-TIGHT AND SECURE AT THE END OF EACH WORKDAY.
- F. REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- G. ALL SALVAGEABLE MATERIAL AND EQUIPMENT SHOWN OR SCHEDULED TO BE REMAIN AS THE PROPERTY OF THE OWNER OR NOT DISCLAIMED BY THE OWNER PRIOR TO THE BEGINNING OF DEMOLITION WORK SHALL BE CAREFULLY REMOVED AND STORED WHERE DIRECTED BY THE OWNER. THE CONTRACTOR SHALL VERIFY WITH THE OWNER ALL ITEMS TO BE SALVAGED.
- H. ALL SALVAGEABLE MATERIAL AND EQUIPMENT SCHEDULED TO BE REMOVED AND NOT REUSED AND DISCLAIMED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
- I. VERIFY SAVING AND REUSE OF ALL MISCELLANEOUS ITEMS AND EQUIPMENT NOT SPECIFICALLY LISTED ON THE DRAWINGS OR IN THE SPECIFICATIONS WITH THE OWNER PRIOR TO DEMOLITION.
- J. UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR THE FINISH SCHEDULE, ALL PORTIONS OF THE EXISTING BUILDING (INCLUDING FINISHES) DISTURBED BY DEMOLITION OF EXISTING CONSTRUCTION AND/OR INSTALLATION OF NEW CONSTRUCTION, INCLUDING MECHANICAL AND ELECTRICAL WORK, SHALL BE REPAIRED AS REQUIRED AND RETURNED TO ITS ORIGINAL UNDISTURBED CONDITION OR BETTER.
- K. REMOVE ALL EXISTING WALL CONSTRUCTION, MILLWORK, EQUIPMENT, ETC. SHOWN DASHED ON THIS DRAWING IN ITS ENTIRETY TO THE EXTENT SHOWN ON THE DRAWINGS. PARTITIONS SHALL BE REMOVED FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
- L. AT EXISTING INTERSECTING WALL WHERE ONE WALL HAS BEEN DEMOLISHED, PREPARE NEWLY EXPOSED AREA OF WALL TO MATCH EXISTING ADJACENT SURFACES.
- M. EXISTING WALLS INDICATED TO REMAIN ARE FOR PURPOSES OF ECONOMY ONLY. CONTRACTOR MAY ASSUME, IF MORE EXPEDIENT FOR CONSTRUCTION OR LESS EXPENSIVE FOR THE OWNER, THAT EXISTING CONSTRUCTION MAY BE REMOVED AND REPLACED WITH NEW CONSTRUCTION ACCEPTABLE TO THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- N. DO NOT DISTURB EXISTING STRUCTURE TO REMAIN. MINIMIZE DISTURBANCE TO EXISTING. SPRAY APPLIED FIREPROOFING ON EXISTING STRUCTURAL STEEL MEMBERS TO REMAIN. DO NOT DISTURB EXISTING ROOF DRAIN PIPING WHERE OCCURRING.
- O. DEMOLITION DRAWINGS SHOW APPROXIMATE LAYOUT OF EXISTING PARTITIONS, DOORS, WINDOWS, FURNITURE, ETC. AND ARE NOT INTENDED TO REPRESENT AS-BUILT CONDITIONS. ALL INFORMATION MUST BE VERIFIED ON SITE.
- P. REMOVE EXISTING EXTERIOR ALUMINUM STOREFRONT AND ENTRANCE SYSTEMS WHERE INDICATED. REFER TO SHEET AD350 DEMOLITION BUILDING ELEVATIONS FOR ADDITIONAL INFORMATION.
- Q. PRIOR TO REMOVAL OF EXISTING MEZZANINE FLOOR SLAB, CERTAIN EXISTING FOUNDATION WALLS NEED TO BE REINFORCED. CONTRACTOR SHALL COORDINATE REINFORCEMENT BRACING WORK WITH AND PRIOR TO START OF DEMOLITION OPERATIONS.

DEMOLITION KEYNOTES

Key Value	Keynote Text
1.01	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, WALLS AND OTHER PARTITIONS AS INDICATED, STRUCTURAL LOAD BEARING BOOK SHELVING SYSTEM, NON-LOAD BEARING BOOK SHELVING UNITS, GYPSUM AND METAL STUD COLUMN ENCLOSURES, SIGNAGE, RAISED LETTERING, PLAQUES, FLOOR FINISHES, METAL HANG FLOOR DIFFUSER GRATES INCLUDING ASSOCIATED SUPPORTING FRAMES, OVERHEAD HORIZONTAL AND VERTICAL BREAK METAL DUCT AND RACEWAY ENCLOSURES, CEILING SYSTEMS, FIRE EXTINGUISHERS AND CABINETS, WALL MOUNTED LIGHTING, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
1.02	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, CMU WALLS AND OTHER PARTITIONS AS INDICATED, WALL MOUNTED BOOK SHELVING UNITS, FLOOR MOUNTED BOOK SHELVING UNITS, GYPSUM AND METAL STUD COLUMN ENCLOSURES, SIGNAGE, RAISED LETTERING, PLAQUES, FLOOR FINISHES, CEILING SYSTEMS, DOORS, DOOR FRAMES, DOOR HARDWARE, PLUMBING FIXTURES, FIRE EXTINGUISHERS AND CABINETS, WALL MOUNTED LIGHTING, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
1.03	WITHIN EXISTING TOILET ROOMS REMOVE ALL EXISTING CONSTRUCTION IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO, CMU WALLS, WALL TILE, TOILET PARTITIONS, DOORS, DOOR FRAMES, DOOR HARDWARE, CEILING SYSTEMS, TILE FLOOR FINISH INCLUDING THICK MUD-SET, TOILET ACCESSORIES INCLUDING GRAB BARS, HAND DRYERS, DRINKING FOUNTAIN, PLUMBING FIXTURES AND ALL ASSOCIATED PIPING, ELECTRICAL AND HVAC SYSTEMS AS INDICATED.
1.04	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, GYPSUM BOARD AND METAL STUD WALLS AND OTHER PARTITIONS AS INDICATED, SIGNAGE, RAISED LETTERING, PLAQUES, INTERIOR ALUMINUM STOREFRONT SYSTEMS, CLERESTORY WINDOWS, GYPSUM BOARD AND METAL STUD COLUMN ENCLOSURES, ENTIRE MEZZANINE STRUCTURAL FLOOR SLAB SYSTEM, FLOOR AND WALL MOUNTED BOOK SHELVING UNITS, FLOOR FINISHES, CEILING SYSTEMS, FIRE EXTINGUISHERS AND CABINETS, WALL MOUNTED LIGHTING, DOORS, DOOR FRAMES, DOOR HARDWARE, METAL AND WOOD GUARDRAIL SYSTEM, WALL MOUNTED MONITORS AND PROJECTORS, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
1.05	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, GYPSUM BOARD AND METAL STUD WALLS AND OTHER PARTITIONS AS INDICATED, SIGNAGE, RAISED LETTERING, PLAQUES, INTERIOR ALUMINUM STOREFRONT SYSTEMS, CLERESTORY WINDOWS, GYPSUM BOARD AND METAL STUD COLUMN ENCLOSURES, BUILT-IN CASEWORK INCLUDING, BASE CABINETS, WALL CABINETS, ASSOCIATED SINKS, FLOOR AND WALL MOUNTED BOOK SHELVING UNITS, FLOOR FINISHES, CEILING SYSTEMS, FIRE EXTINGUISHERS AND CABINETS, DRINKING FOUNTAIN, DOORS, DOOR FRAMES, DOOR HARDWARE, BOOK SECURITY SYSTEM INCLUDING PYLONS, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
1.06	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, GYPSUM BOARD AND METAL STUD WALLS AND OTHER PARTITIONS AS INDICATED, SIGNAGE, RAISED LETTERING, PLAQUES, INTERIOR ALUMINUM STOREFRONT SYSTEMS, CLERESTORY WINDOWS, GYPSUM BOARD AND METAL STUD COLUMN ENCLOSURES, INTERIOR BRICK WORK INCLUDING OVERHEAD ARCHES, BUILT-IN CASEWORK INCLUDING, BASE CABINETS, WALL CABINETS, WALL PANELING, FIXED AND SLIDING MARKERBOARD SYSTEMS, METAL STUD FRAMED-WOOD SHEATHED TIERED FLOOR SEATING SYSTEM, FIXED LECTURE SEATING AND WORKSURFACE SYSTEMS, FLOOR FINISHES INCLUDING ASSOCIATED SUBSTRATE SYSTEMS AND SUB FLOORING, WOOD WALL BASE, CEILING SYSTEMS INCLUDING SOFFITS AND WOOD ACCENT TRIM, ACOUSTIC WALL PANELS, MANUAL AND MOTORIZED PROJECTION SCREENS, CEILING MOUNTED PROJECTORS, FIRE EXTINGUISHERS AND CABINETS, DRINKING FOUNTAINS, DOORS, DOOR FRAMES, DOOR HARDWARE, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
3.01	SAWCUT AND REMOVE PORTION OF EXISTING CONCRETE SLAB AND EXCAVATE AS REQUIRED TO ACCOMMODATE INSTALLATION OF NEW UNDERSLAB PIPING OR CONDUIT. PIPING AND CONDUIT SIZES TO BE DETERMINED. REFER TO DETAIL 3A/AD102.
4.01	REMOVE PORTION OF EXISTING MASONRY WALL ENTIRELY TO EXTENT SHOWN.
4.02	REMOVE PORTION OF EXISTING MASONRY WALL AND ASSOCIATED FURRING PARTITION AS REQUIRED FOR REMOVAL OF EXISTING DUCTWORK AND UTILITIES AND INSTALLATION OF NEW. PROVIDE STRUCTURAL HEADER Lintel ABOVE OPENING AS REQUIRED.
5.01	REMOVE EXISTING METAL STAIR ASSEMBLY IN ITS ENTIRETY, INCLUDING STRINGERS, CONCRETE-FILLED METAL STAIR TREADS, AND RAILINGS.
5.02	REMOVE EXISTING WALL MOUNTED HANDRAIL IN ITS ENTIRETY AT STAIR. EXISTING STAIR TO REMAIN.
5.03	REMOVE EXISTING GUARDRAIL ASSEMBLY IN ITS ENTIRETY DOWN TO TOP OF EXISTING CHANNEL PLATE STRINGER. EXISTING CHANNEL PLATE STRINGER TO REMAIN. PREPARE SURFACES TO RECEIVE NEW GUARDRAIL ASSEMBLY.
5.04	REMOVE EXISTING STEEL CHANNEL AND STEEL PLATE ASSEMBLY ATTACHED TO EDGE OF EXISTING FLOOR SLAB. EXISTING FLOOR SLAB TO REMAIN.
5.05	REMOVE EXISTING WALL OR FLOOR MOUNTED METAL BOOK SHELVING UNITS.
5.06	REMOVE EXISTING OVERHEAD STEEL CHANNEL AND SUPPORTING STEEL HANGER ANGLES AND BRACING IN ITS ENTIRETY.
5.07	REMOVE EXISTING STEEL STAIR RUN IN ITS ENTIRETY FROM BASEMENT UP TO FIRST FLOOR, INCLUDING LOWER LANDING. TEMPORARY SHORE END OF FIRST FLOOR LANDING AFTER SUPPORTING STRINGER IS REMOVED.
5.08	REMOVE EXISTING STEEL TRENCH GRATING AND TRENCH BODY IN ITS ENTIRETY. PREPARE OUTLET PIPE TO RECEIVE NEW CLEAN OUT ASSEMBLY. REFER TO PLUMBING DWGS.
6.02	REMOVE EXISTING WOOD FRAMED PARTITION WITH HEAVY WIRE SCREEN INCLUDING ASSOCIATED DOOR IN ITS ENTIRETY.
8.01	REMOVE EXISTING DOOR, FRAME, AND HARDWARE IN ITS ENTIRETY.
8.02	REMOVE EXISTING DOOR HARDWARE AND DOOR, EXISTING FRAME TO REMAIN.
8.03	REMOVE EXISTING ALUMINUM WINDOW FRAMING AND GLAZING SYSTEM INCLUDING OPERABLE WINDOW UNITS AND DOORS AND HARDWARE WHERE OCCURRING IN THEIR ENTIRETY.
9.01	REMOVE EXISTING FLOOR FINISH AT ALL ASSOCIATED STAIR STEPS AND LANDINGS. EXISTING STAIR TO REMAIN.
9.02	REMOVE PORTION OF EXISTING PARTITION AS INDICATED.
9.03	REMOVE EXISTING RESILIENT FLOOR FINISH AND WALL BASE WITHIN THIS SPACE.
9.04	REMOVE EXISTING SUSPENDED ACOUSTICAL CEILING SYSTEM IN ITS ENTIRETY WITHIN THIS SPACE OR TO EXTENTS INDICATED.
9.05	CAREFULLY REMOVE AND STORE FOR REUSE PORTIONS OF EXISTING SUSPENDED CEILING PANELS AND GRID AS REQUIRED FOR INSTALLATION OF NEW PRE-ACTION SPRINKLER SYSTEM.
9.06	REMOVE EXISTING EXTERIOR SUSPENDED CEILING SYSTEMS INCLUDING CEILING SOFFIT INCLUDING BUT NOT LIMITED TO SUSPENSION CABLES, STEEL FRAMING, PERIMETER METAL TRIM, INTERMEDIATE METAL TRIM, LIGHT FIXTURES AND ASSOCIATED SUPPORTS.
9.07	REMOVE EXISTING WALL FURRING FULL HEIGHT TO EXTENT SHOWN.
12.01	REMOVE EXISTING WINDOW SHADING SYSTEM IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO, VERTICAL BLINDS, ROLLER SHADES, BLACK-OUT SHADES, ALL ASSOCIATED HEAD TRACKS, ROLL ENCLOSURES, FASCIAS, JAMB TRACKS, CORDS, CORD KEEPERS, ETC.
33.01	REMOVE PORTIONS OF EXISTING SIDEWALKS AND LANDSCAPING AS REQUIRED FOR NEW SITEWORK. SEE 12AD102 FOR ADDITIONAL INFORMATION.



S / L / A / M Architects, Landscape Architects & Engineers, P.C.

80 Glastonbury Boulevard
Glastonbury, CT 06033-4410
Phone: 860 657.8077

www.slamcoll.com

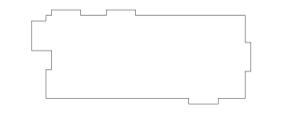
Drawn	MOS
Checked	MOS



NEW YORK
PRESBYTERIAN

IONA SCHOOL OF
HEALTH SCIENCES

171 White Plains Rd,
Bronxville, NY 10708



KEYPLAN

Number	Date	Issued For
01/27/2022		BID PACKAGE NO. 1

**BASEMENT/ LOWER LEVEL
AND FIRST FLOOR
DEMOLITION PLANS**

Date: 01/27/2022
Scale: As indicated
Drawing Number: AD101
Proj. Number: 20287.10

Autodesk Docs/20287 - IONA College School of Health Sciences/A - 20287 - IONA COLLEGE SCHOOL OF HEALTH SCIENCES_222.rvt 1/28/2022 11:05:34 AM

Drawn	MOS
Checked	MOS



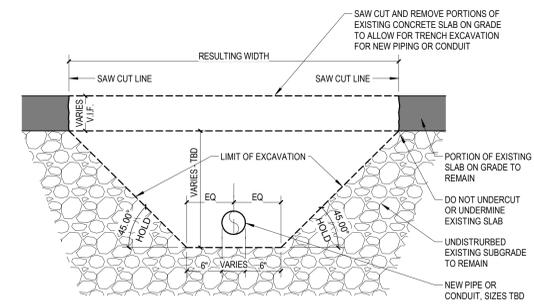
NEW YORK PRESBYTERIAN IONA SCHOOL OF HEALTH SCIENCES
 171 White Plains Rd, Bronxville, NY 10708

Number	Date	Issued For
01/27/2022		BID PACKAGE NO. 1

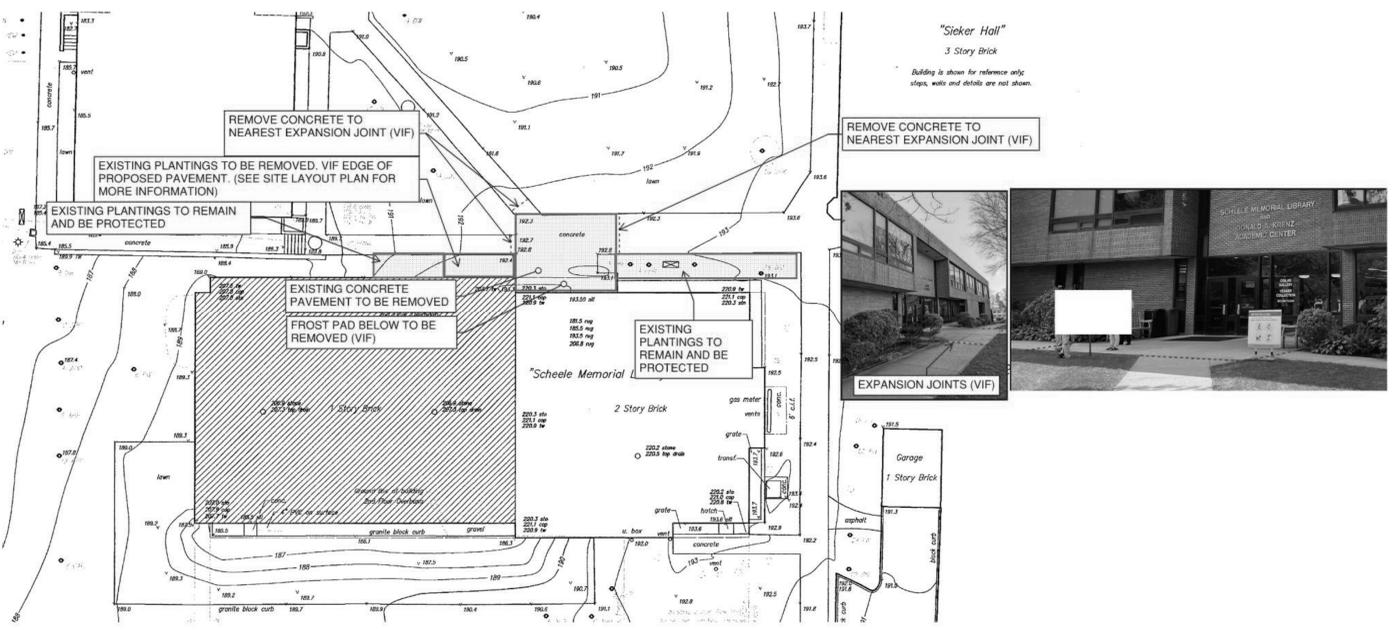
SECOND FLOOR DEMOLITION PLAN, SITESCAPE DEMOLITION

DEMOLITION GENERAL NOTES

- A. REFER TO DIVISION 02 SECTION "STRUCTURE DEMOLITION" AND/OR "SELECTIVE STRUCTURE DEMOLITION" FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- B. COORDINATE PROPOSED METHODS AND OPERATIONS OF DEMOLITION WITH OWNERS DESIGNATED REPRESENTATIVE PRIOR TO START OF DEMOLITION WORK. INCLUDE IN SCHEDULE COORDINATION FOR SHUT-OFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED.
- C. THIS BUILDING CONTAINS THE CENTRAL DATA HUB FOR THIS CAMPUS AND MUST BE PROTECTED AND MAINTAINED IN WORKING CONDITION THROUGHOUT THE DURATION OF THIS DEMOLITION AND CONSTRUCTION PROJECT.
- D. CONDUCT DEMOLITION AND DEBRIS REMOVAL IN A SAFE MANNER TO MINIMIZE INTERFERENCE WITH CORRIDORS, HALLS, STAIRS, AND OTHER ADJACENT FACILITIES AND TO AVOID DAMAGE TO SAME. DO NOT CLOSE OR OBSTRUCT TRAFFIC WAYS WITHOUT PERMISSION OF THE OWNER.
- E. ERECT TEMPORARY ENCLOSURE(S) AROUND ALL EXTERIOR OPENINGS CREATED IN THE BUILDING. THE BUILDING SHALL BE LEFT WEATHER-TIGHT AND SECURE AT THE END OF EACH WORKDAY.
- F. REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- G. ALL SALVAGEABLE MATERIAL AND EQUIPMENT SHOWN OR SCHEDULED TO BE REMAIN AS THE PROPERTY OF THE OWNER OR NOT DISCLAIMED BY THE OWNER PRIOR TO THE BEGINNING OF DEMOLITION WORK SHALL BE CAREFULLY REMOVED AND STORED WHERE DIRECTED BY THE OWNER. THE CONTRACTOR SHALL VERIFY WITH THE OWNER ALL ITEMS TO BE SALVAGED.
- H. ALL SALVAGEABLE MATERIAL AND EQUIPMENT SCHEDULED TO BE REMOVED AND NOT REUSED AND DISCLAIMED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
- I. VERIFY SAVING AND REUSE OF ALL MISCELLANEOUS ITEMS AND EQUIPMENT NOT SPECIFICALLY LISTED ON THE DRAWINGS OR IN THE SPECIFICATIONS WITH THE OWNER PRIOR TO DEMOLITION.
- J. UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR THE FINISH SCHEDULE, ALL PORTIONS OF THE EXISTING BUILDING (INCLUDING FINISHES) DISTURBED BY DEMOLITION OF EXISTING CONSTRUCTION AND/OR INSTALLATION OF NEW CONSTRUCTION, INCLUDING MECHANICAL AND ELECTRICAL WORK, SHALL BE REPAIRED AS REQUIRED AND RETURNED TO ITS ORIGINAL UNDISTURBED CONDITION OR BETTER.
- K. REMOVE ALL EXISTING WALL CONSTRUCTION, MILLWORK, EQUIPMENT, ETC. SHOWN DASHED ON THIS DRAWING IN ITS ENTIRETY TO THE EXTENT SHOWN ON THE DRAWINGS. PARTITIONS SHALL BE REMOVED FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
- L. AT EXISTING INTERSECTING WALL WHERE ONE WALL HAS BEEN DEMOLISHED, PREPARE NEWLY EXPOSED AREA OF WALL TO MATCH EXISTING ADJACENT SURFACES.
- M. EXISTING WALLS INDICATED TO REMAIN ARE FOR PURPOSES OF ECONOMY ONLY. CONTRACTOR MAY ASSUME, IF MORE EXPEDIENT FOR CONSTRUCTION OR LESS EXPENSIVE FOR THE OWNER, THAT EXISTING CONSTRUCTION MAY BE REMOVED AND REPLACED WITH NEW CONSTRUCTION ACCEPTABLE TO THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- N. DO NOT DISTURB EXISTING STRUCTURE TO REMAIN. MINIMIZE DISTURBANCE TO EXISTING SPRAY APPLIED FIREPROOFING ON EXISTING STRUCTURAL STEEL MEMBERS TO REMAIN. DO NOT DISTURB EXISTING ROOF DRAIN PIPING WHERE OCCURRING.
- O. DEMOLITION DRAWINGS SHOW APPROXIMATE LAYOUT OF EXISTING PARTITIONS, DOORS, WINDOWS, FURNITURE, ETC. AND ARE NOT INTENDED TO REPRESENT AS-BUILT CONDITIONS. ALL INFORMATION MUST BE VERIFIED ON SITE.
- P. REMOVE EXISTING EXTERIOR ALUMINUM STOREFRONT AND ENTRANCE SYSTEMS WHERE INDICATED. REFER TO SHEET AD350 EXISTING BUILDING ELEVATIONS FOR ADDITIONAL INFORMATION.
- Q. PRIOR TO REMOVAL OF EXISTING MEZZANINE FLOOR SLAB, CERTAIN EXISTING FOUNDATION WALLS NEED TO BE REINFORCED. CONTRACTOR SHALL COORDINATE REINFORCEMENT BRACING WORK WITH AND PRIOR TO START OF DEMOLITION OPERATIONS.



3A EXISTING SLAB REMOVAL
1" = 1'-0"



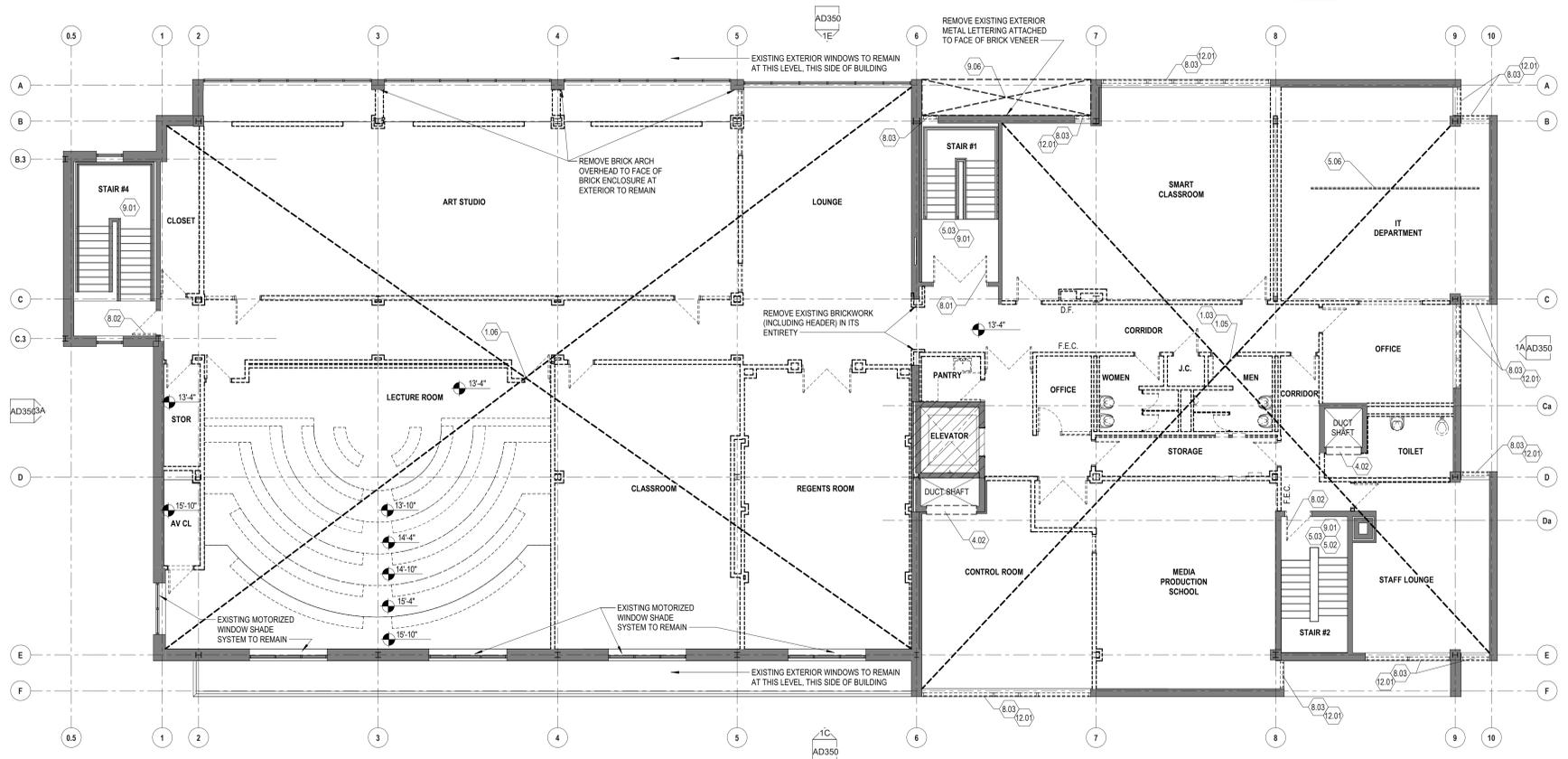
1C SITESCAPE DEMOLITION
1/8" = 1'-0"

DEMOLITION PLAN GRAPHIC LEGEND

- REMOVE EXISTING CONSTRUCTION
- EXISTING CONSTRUCTION TO REMAIN
- ▨ EXISTING TO REMAIN - NOT IN SCOPE
- ▩ PORTION OF EXISTING SLAB TO BE REMOVED

DEMOLITION KEYNOTES

Key Value	Keynote Text
1.01	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, WALLS AND OTHER PARTITIONS AS INDICATED, STRUCTURAL LOAD BEARING BOOK SHELVING SYSTEM, NON-LOAD BEARING BOOK SHELVING UNITS, GYPSUM AND METAL STUD COLUMN ENCLOSURES, SIGNAGE, RAISED LETTERING, PLAQUES, FLOOR FINISHES, METAL HANG FLOOR DIFFUSER GRATES INCLUDING ASSOCIATED SUPPORTING FRAMES, OVERHEAD HORIZONTAL AND VERTICAL BREAK METAL DUCT AND RACEWAY ENCLOSURES, CEILING SYSTEMS, FIRE EXTINGUISHERS AND CABINETS, WALL MOUNTED LIGHTING, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
1.02	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, CMU WALLS AND OTHER PARTITIONS AS INDICATED, WALL MOUNTED BOOK SHELVING UNITS, FLOOR MOUNTED BOOK SHELVING UNITS, GYPSUM AND METAL STUD COLUMN ENCLOSURES, SIGNAGE, RAISED LETTERING, PLAQUES, FLOOR FINISHES, CEILING SYSTEMS, DOORS, DOOR FRAMES, DOOR HARDWARE, PLUMBING FIXTURES, FIRE EXTINGUISHERS AND CABINETS, WALL MOUNTED LIGHTING, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
1.03	WITHIN EXISTING TOILET ROOMS REMOVE ALL EXISTING CONSTRUCTION IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO, CMU WALLS, WALL TILE, TOILET PARTITIONS, DOORS, DOOR FRAMES, DOOR HARDWARE, CEILING SYSTEMS, TILE FLOOR FINISH INCLUDING THICK MUD-SET, TOILET ACCESSORIES INCLUDING GRAB BARS, HAND DRYERS, DRINKING FOUNTAIN, PLUMBING FIXTURES AND ALL ASSOCIATED PIPING, ELECTRICAL AND HVAC SYSTEMS AS INDICATED.
1.04	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES BUT IS NOT LIMITED TO, CMU WALLS AND METAL STUD WALLS AND OTHER PARTITIONS AS INDICATED, SIGNAGE, RAISED LETTERING, PLAQUES, INTERIOR ALUMINUM STOREFRONT SYSTEMS, CLOSETORY WINDOWS, GYPSUM BOARD AND METAL STUD COLUMN ENCLOSURES, ENTIRE MEZZANINE STRUCTURAL FLOOR SLAB SYSTEM, FLOOR AND WALL MOUNTED BOOK SHELVING UNITS, FLOOR FINISHES, CEILING SYSTEMS, FIRE EXTINGUISHERS AND CABINETS, WALL MOUNTED LIGHTING, DOORS, DOOR FRAMES, DOOR HARDWARE, METAL AND WOOD GUARDRAIL SYSTEM, WALL MOUNTED MONITORS AND PROJECTORS, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
1.05	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES BUT IS NOT LIMITED TO, GYPSUM BOARD AND METAL STUD WALLS AND OTHER PARTITIONS AS INDICATED, SIGNAGE, RAISED LETTERING, PLAQUES, INTERIOR ALUMINUM STOREFRONT SYSTEMS, CLOSETORY WINDOWS, GYPSUM BOARD AND METAL STUD COLUMN ENCLOSURES, BUILT-IN CASEWORK INCLUDING, BASE CABINETS, WALL CABINETS, ASSOCIATED SINKS, FLOOR AND WALL MOUNTED BOOK SHELVING UNITS, FLOOR FINISHES, CEILING SYSTEMS, FIRE EXTINGUISHERS AND CABINETS, DRINKING FOUNTAIN, DOORS, DOOR FRAMES, DOOR HARDWARE, BOOK SECURITY SYSTEM INCLUDING PYLONS, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
1.06	GUT PORTION OF EXISTING BUILDING. DEMOLITION INCLUDES BUT IS NOT LIMITED TO, GYPSUM BOARD AND METAL STUD WALLS AND OTHER PARTITIONS AS INDICATED, SIGNAGE, RAISED LETTERING, PLAQUES, INTERIOR ALUMINUM STOREFRONT SYSTEMS, CLOSETORY WINDOWS, GYPSUM BOARD AND METAL STUD COLUMN ENCLOSURES, BRICK COLUMN ENCLOSURES, INTERIOR BRICK WORK INCLUDING OVERHEAD ARCHES, BUILT-IN CASEWORK INCLUDING, BASE CABINETS, WALL PANELING, FIXED AND SLIDING MARKERBOARD SYSTEMS, METAL STUD FRAMED-WOOD SHEATHED TIERED FLOOR SEATING SYSTEM, FIXED LECTURE SEATING AND WORKSURFACE SYSTEMS, FLOOR FINISHES INCLUDING ASSOCIATED SUBSTRATE SYSTEMS AND SUB FLOORING, WOOD WALL BASE, CEILING SYSTEMS INCLUDING SOFFITS AND WOOD ACCENT TRIM, ACOUSTIC WALL PANELS, MANUAL AND NOTORIZED PROJECTION SCREENS, CEILING MOUNTED PROJECTORS, FIRE EXTINGUISHERS AND CABINETS, DRINKING FOUNTAINS, DOORS, DOOR FRAMES, DOOR HARDWARE, MECHANICAL AND ELECTRICAL SYSTEMS AS INDICATED.
3.01	SAWCUT AND REMOVE PORTION OF EXISTING CONCRETE SLAB AND EXCAVATE AS REQUIRED TO ACCOMMODATE INSTALLATION OF NEW UNDERSLAB PIPING OR CONDUIT. PIPING AND CONDUIT SIZES TO BE DETERMINED. REFER TO DETAIL AD340/10.
4.01	REMOVE PORTION OF EXISTING MASONRY WALL ENTIRELY TO EXTENT SHOWN.
4.02	REMOVE PORTION OF EXISTING MASONRY WALL AND ASSOCIATED FURRING PARTITION AS REQUIRED FOR REMOVAL OF EXISTING DUCTWORK AND UTILITIES AND INSTALLATION OF NEW. PROVIDE STRUCTURAL HEADER Lintel AND/OR OPENING AS REQUIRED.
5.01	REMOVE EXISTING METAL STAIR ASSEMBLY IN ITS ENTIRETY, INCLUDING STRINGERS, CONCRETE-FILLED METAL STAIR TREADS, AND RAILINGS.
5.02	REMOVE EXISTING WALL MOUNTED HANDRAIL IN ITS ENTIRETY AT STAIR. EXISTING STAIR TO REMAIN.
5.03	REMOVE EXISTING GUARDRAIL ASSEMBLY IN ITS ENTIRETY DOWN TO TOP OF EXISTING CHANNELPLATE STRINGER. EXISTING CHANNELPLATE STRINGER TO REMAIN. PREPARE SURFACES TO RECEIVE NEW GUARDRAIL ASSEMBLY.
5.04	REMOVE EXISTING STEEL CHANNEL AND STEEL PLATE ASSEMBLY ATTACHED TO EDGE OF EXISTING FLOOR SLAB. EXISTING FLOOR SLAB TO REMAIN.
5.05	REMOVE EXISTING WALL OR FLOOR MOUNTED METAL BOOK SHELVING UNITS.
5.06	REMOVE EXISTING OVERHEAD STEEL CHANNEL AND SUPPORTING STEEL HANGER ANGLES AND BRACING IN ITS ENTIRETY.
5.07	REMOVE EXISTING STEEL STAIR RUN IN ITS ENTIRETY FROM BASEMENT UP TO FIRST FLOOR, INCLUDING LOWER LANDING. TEMPORARY SHORE END OF FIRST FLOOR LANDING AFTER SUPPORTING STRINGER IS REMOVED.
5.08	REMOVE EXISTING STEEL TRENCH GRATING AND TRENCH BODY IN ITS ENTIRETY. PREPARE OUTLET PIPE TO RECEIVE NEW CLEAN OUT ASSEMBLY. REFER TO PLUMBING DWGS.
6.02	REMOVE EXISTING WOOD FRAMED PARTITION WITH HEAVY WIRE SCREEN INCLUDING ASSOCIATED DOOR IN ITS ENTIRETY.
8.01	REMOVE EXISTING DOOR, FRAME, AND HARDWARE IN ITS ENTIRETY.
8.02	REMOVE EXISTING DOOR HARDWARE AND DOOR, EXISTING FRAME TO REMAIN.
8.03	REMOVE EXISTING ALUMINUM WINDOW FRAMING AND GLAZING SYSTEM INCLUDING OPERABLE WINDOW UNITS AND DOORS AND HARDWARE WHERE OCCURRING IN THEIR ENTIRETY.
9.01	REMOVE EXISTING FLOOR FINISH AT ALL ASSOCIATED STAIR STEPS AND LANDINGS, EXISTING STAIR TO REMAIN.
9.02	REMOVE PORTION OF EXISTING PARTITION AS INDICATED.
9.03	REMOVE EXISTING RESILIENT FLOOR FINISH AND WALL BASE WITHIN THIS SPACE.
9.04	REMOVE EXISTING SUSPENDED ACOUSTICAL CEILING SYSTEM IN ITS ENTIRETY WITHIN THIS SPACE OR TO EXTENTS INDICATED.
9.05	CAREFULLY REMOVE AND STORE FOR RE-USE PORTIONS OF EXISTING SUSPENDED CEILING PANELS AND GRID AS REQUIRED FOR INSTALLATION OF NEW PRE-ACTION SPRINKLER SYSTEM.
9.06	REMOVE EXISTING EXTERIOR SUSPENDED CEMENTITIOUS PLASTER, CEILING SOFFIT INCLUDING BUT NOT LIMITED TO SUSPENSION CABLES, STEEL FRAMING, PERIMETER METAL TRIM, INTERMEDIATE METAL TRIM, LIGHT FIXTURES AND ASSOCIATED SUPPORTS.
9.07	REMOVE EXISTING WALL FURRING FULL HEIGHT TO EXTENT SHOWN.
12.01	REMOVE EXISTING WINDOW SHADING SYSTEM IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO, VERTICAL BLINDS, ROLLER SHADES, BLACK-OUT SHADES, ALL ASSOCIATED HEAD TRACKS, ROLL ENCLOSURES, FASCIAS, JAMB TRACKS, CORDS, CORD KEEPERS, ETC.
33.01	REMOVE PORTIONS OF EXISTING SIDEWALKS AND LANDSCAPING AS REQUIRED FOR NEW SITEWORK. SEE CDAD102 FOR ADDITIONAL INFORMATION.



1E SECOND FLOOR DEMOLITION PLAN
1/8" = 1'-0"

1

2

3

4

5



S / L / A / M Architects, Landscape Architects & Engineers, P.C.

80 Glastonbury Boulevard

Glastonbury, CT 06033-4410

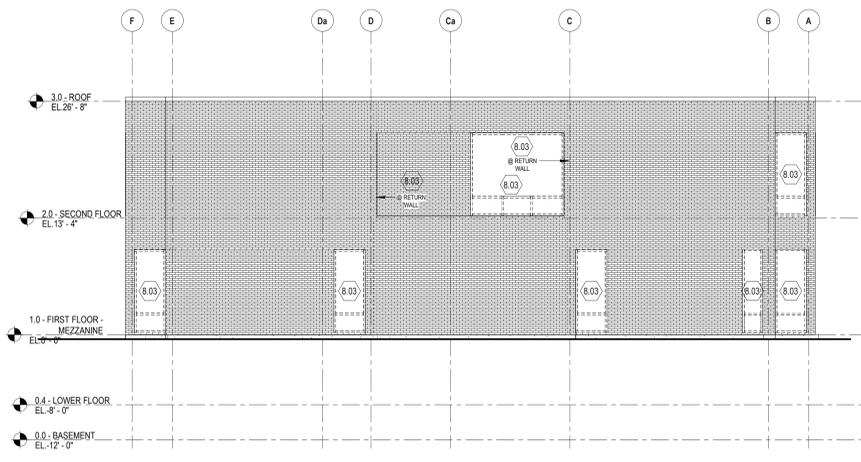
Phone: 860 657.8077

www.slamcoll.com

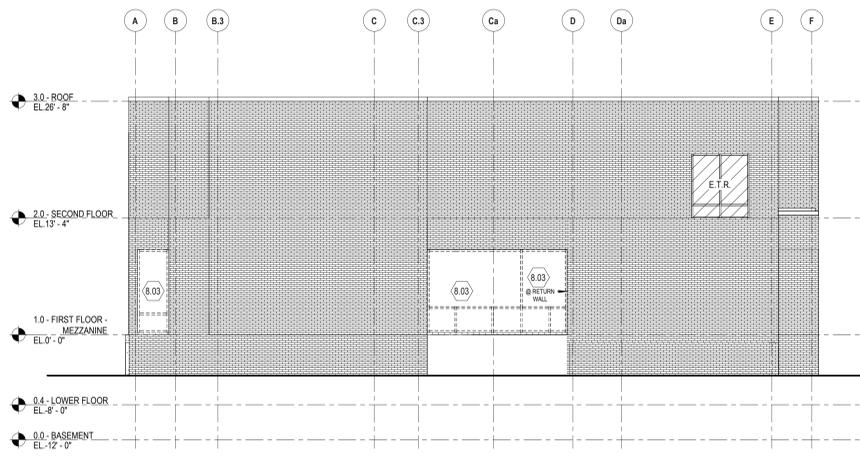
DEMOLITION GENERAL NOTES

- A. REFER TO DIVISION 02 SECTION "STRUCTURE DEMOLITION" AND/OR "SELECTIVE STRUCTURE DEMOLITION" FOR ADDITIONAL DEMOLITION REQUIREMENTS.
B. COORDINATE PROPOSED METHODS AND OPERATIONS OF DEMOLITION WITH OWNERS DESIGNATED REPRESENTATIVE PRIOR TO START OF DEMOLITION WORK.
C. THIS BUILDING CONTAINS THE CENTRAL DATA HUB FOR THIS CAMPUS AND MUST BE PROTECTED AND MAINTAINED IN WORKING CONDITION THROUGHOUT THE DURATION OF THIS DEMOLITION AND CONSTRUCTION PROJECT.
D. CONDUCT DEMOLITION AND DEBRIS REMOVAL IN A SAFE MANNER TO MINIMIZE INTERFERENCE WITH CORRIDORS, HALLS, STAIRS, AND OTHER ADJACENT FACILITIES AND TO AVOID DAMAGE TO SAME.
E. ERECT TEMPORARY ENCLOSURE(S) AROUND ALL EXTERIOR OPENINGS CREATED IN THE BUILDING.
F. REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
G. ALL SALVAGEABLE MATERIAL AND EQUIPMENT SHOWN OR SCHEDULED TO BE REMAIN AS THE PROPERTY OF THE OWNER OR NOT DISCLAIMED BY THE OWNER PRIOR TO THE BEGINNING OF DEMOLITION WORK.
H. ALL SALVAGEABLE MATERIAL AND EQUIPMENT SCHEDULED TO BE REMOVED AND NOT REUSED AND TRANSPORTED FROM THE SITE AS THEY ARE REMOVED.
I. VERIFY SAVING AND REUSE OF ALL MISCELLANEOUS ITEMS AND EQUIPMENT NOT SPECIFICALLY LISTED ON THE DRAWINGS OR IN THE SPECIFICATIONS WITH THE OWNER PRIOR TO DEMOLITION.
J. UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR THE FINISH SCHEDULE, ALL PORTIONS OF THE EXISTING BUILDING (INCLUDING FINISHES) DISTURBED BY DEMOLITION OF EXISTING CONSTRUCTION AND/OR INSTALLATION OF NEW CONSTRUCTION, INCLUDING MECHANICAL AND ELECTRICAL WORK, SHALL BE REPAIRED AS REQUIRED AND RETURNED TO ITS ORIGINAL UNDISTURBED CONDITION OR BETTER.
K. REMOVE ALL EXISTING WALL CONSTRUCTION, MILLWORK, EQUIPMENT, ETC. SHOWN DASHED ON THIS DRAWING IN ITS ENTIRETY TO THE EXTENT SHOWN ON THE DRAWINGS.
L. AT EXISTING INTERSECTING WALL WHERE ONE WALL HAS BEEN DEMOLISHED, PREPARE NEWLY EXPOSED AREA OF WALL TO MATCH EXISTING ADJACENT SURFACES.
M. EXISTING WALLS INDICATED TO REMAIN ARE FOR PURPOSES OF ECONOMY ONLY. CONTRACTOR MAY ASSUME, IF MORE EXPEDIENT FOR CONSTRUCTION OR LESS EXPENSIVE FOR THE OWNER, THAT EXISTING CONSTRUCTION MAY BE REMOVED AND REPLACED WITH NEW CONSTRUCTION ACCEPTABLE TO THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
N. DO NOT DISTURB EXISTING STRUCTURE TO REMAIN. MINIMIZE DISTURBANCE TO EXISTING SPRAY APPLIED FIREPROOFING ON EXISTING STRUCTURAL STEEL MEMBERS TO REMAIN.
O. DEMOLITION DRAWINGS SHOW APPROXIMATE LAYOUT OF EXISTING PARTITIONS, DOORS, WINDOWS, FURNITURE, ETC. AND ARE NOT INTENDED TO REPRESENT AS-BUILT CONDITIONS.
P. REMOVE EXISTING EXTERIOR ALUMINUM STOREFRONT AND ENTRANCE SYSTEMS WHERE INDICATED.
Q. PRIOR TO REMOVAL OF EXISTING MEZZANINE FLOOR SLAB, CERTAIN EXISTING FOUNDATION WALLS NEED TO BE REINFORCED.

A



1A EAST ELEVATION WINDOW DEMOLITION 1/8" = 1'-0"

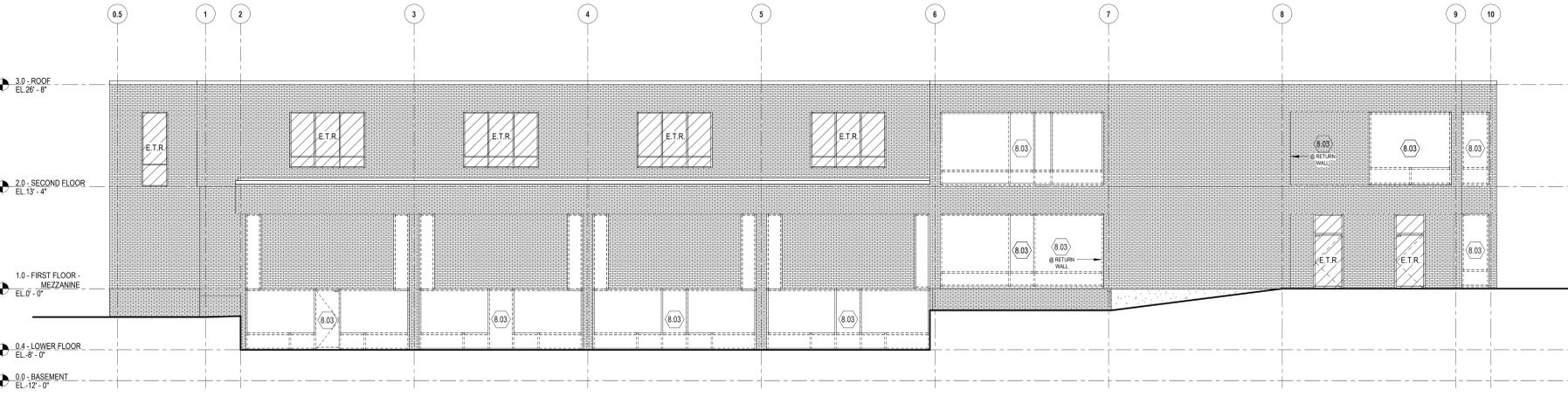


3A WEST ELEVATION WINDOW DEMOLITION 1/8" = 1'-0"

DEMOLITION PLAN GRAPHIC LEGEND

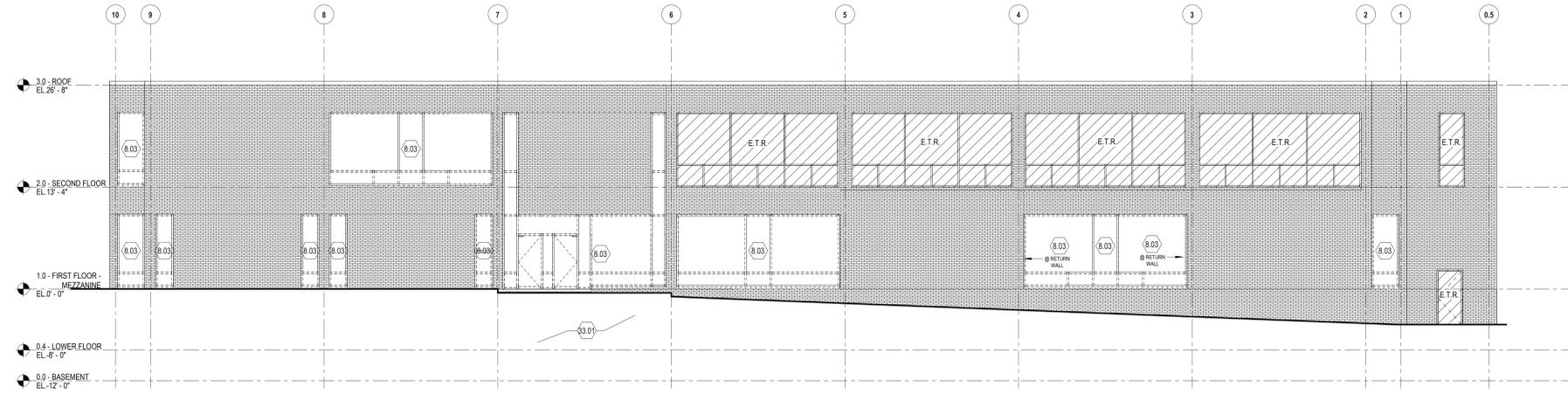
- REMOVE EXISTING CONSTRUCTION
--- EXISTING CONSTRUCTION TO REMAIN
--- EXISTING TO REMAIN - NOT IN SCOPE
--- PORTION OF EXISTING SLAB TO BE REMOVED

B



1C SOUTH ELEVATION WINDOW DEMOLITION 1/8" = 1'-0"

D



1E NORTH ELEVATION WINDOW DEMOLITION 1/8" = 1'-0"

E

DEMOLITION KEYNOTES

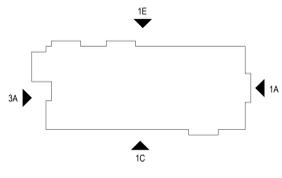
Table with 2 columns: Key Value and Keynote Text. Contains 33 numbered items detailing demolition tasks such as 'GUT PORTION OF EXISTING BUILDING', 'REMOVE PORTION OF EXISTING CONCRETE SLAB', and 'REMOVE EXISTING WINDOW SHADING SYSTEM'.



NEW YORK PRESBYTERIAN

IONA SCHOOL OF HEALTH SCIENCES

171 White Plains Rd, Bronxville, NY 10708



KEYPLAN

Table with 3 columns: Number, Date, Issued For. Contains revision history for the keyplan.

DEMOLITION BUILDING ELEVATIONS - WINDOWS

Date: 01/27/2022
Scale: As indicated
Proj. Number: 20287.10
Drawing Number: AD350

© 2022 The SLAM Collaborative, Inc. AutoCAD Docs/20287 - IONA College School of Health Sciences/A_20287 - IONA COLLEGE SCHOOL OF HEALTH SCIENCES_222.dwg 1/28/2022 11:05:41 AM

1

2

3

4

5

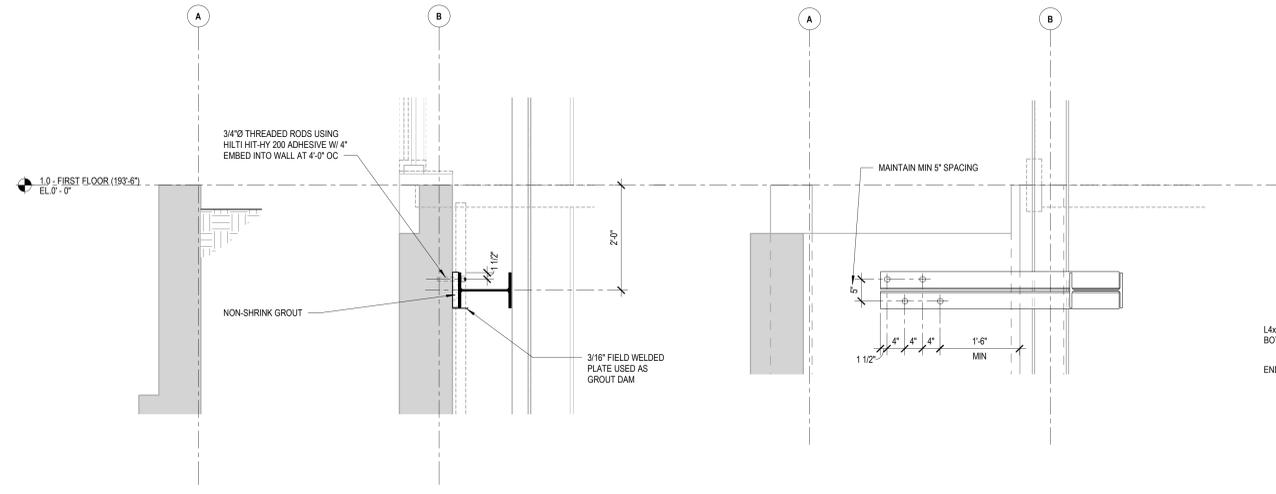
A

B

C

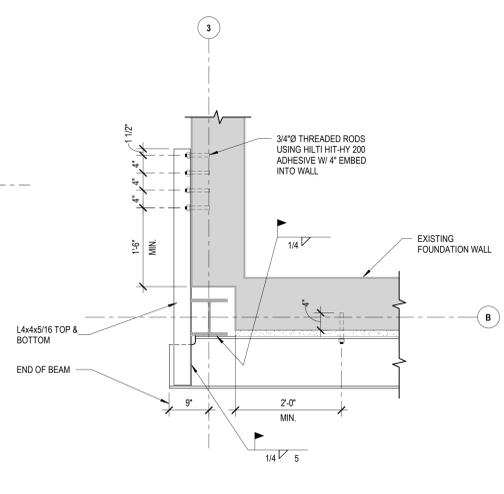
D

E



2 SECTION
SD101 3/4\"/>

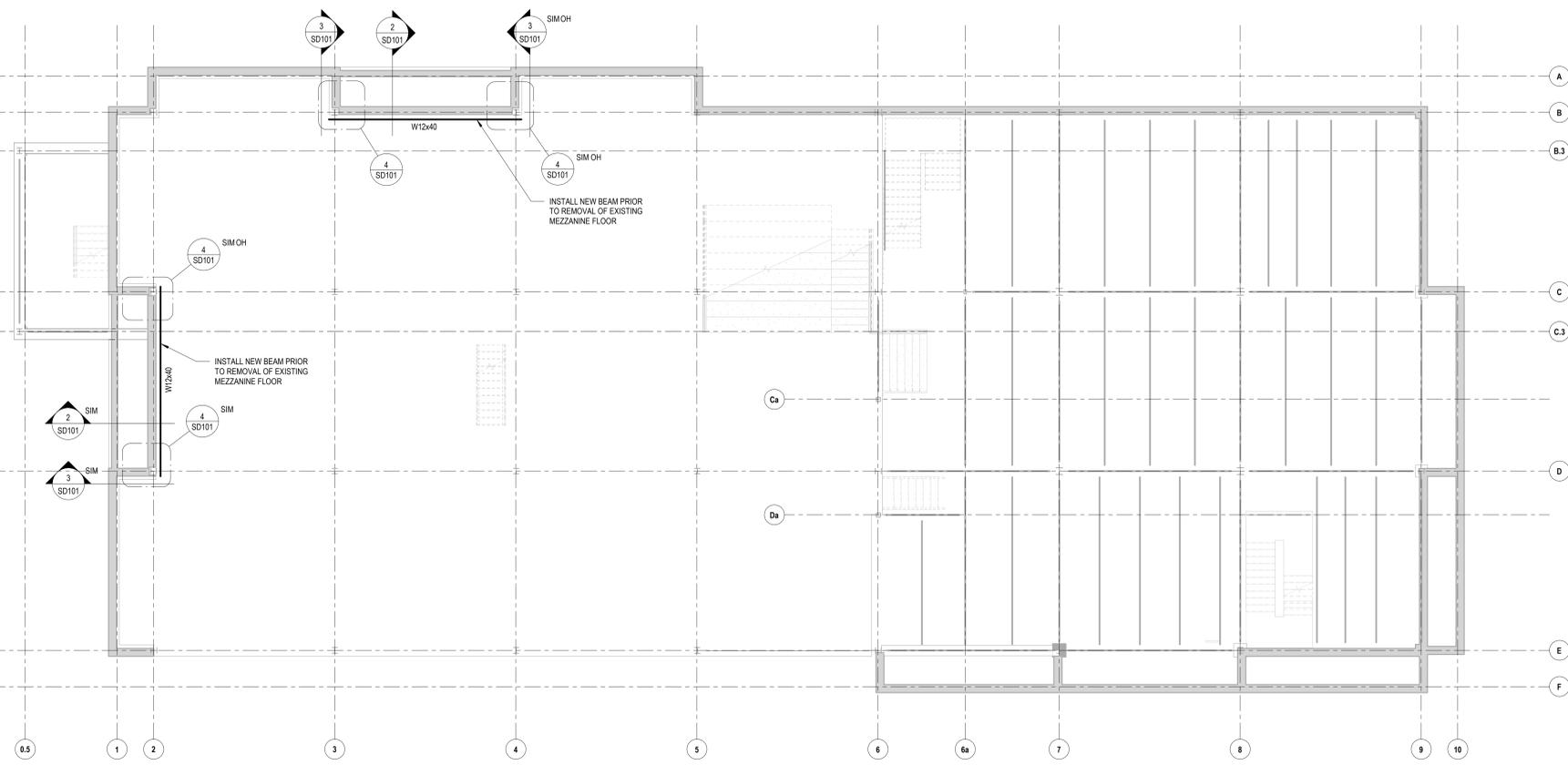
3 SECTION
SD101 3/4\"/>



4 PLAN DETAIL
SD101 3/4\"/>

STRUCTURAL GENERAL NOTES

- A. **CODES AND STANDARDS:**
THE FOLLOWING CODES AND STANDARDS, AND ALL REFERENCED STANDARDS THEREIN, SHALL APPLY TO THE DESIGN, CONSTRUCTION, AND QUALITY CONTROL OF ALL WORK PERFORMED ON THE PROJECT. USE THE LATEST EDITIONS UNLESS NOTED OTHERWISE. SAFETY AND CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 1. 2020 BUILDING CODE OF NEW YORK STATE
 2. INTERNATIONAL BUILDING CODE, 2015
 3. *MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES* (SEI/ASCE 7-16), AMERICAN SOCIETY OF CIVIL ENGINEERS
 4. *STEEL CONSTRUCTION MANUAL*, 15TH EDITION, 2017, AMERICAN INSTITUTE OF STEEL CONSTRUCTION (INCLUDING SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS)
- B. **MATERIALS:**
 - a. STEEL: STRUCTURAL STEEL WIDE FLANGE & TEE SECTIONS ASTM A992
 - b. STRUCTURAL ANGLES, CHANNELS & PLATES ASTM A36
 - c. HIGH STRENGTH BOLTS ASTM A325-N OR TC-TYPE
 - d. WELDING ELECTRODES AWS A5.1 OR A5.5, E70XX
- C. **CONSTRUCTION:**
 1. GENERAL:
 - a. IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, DETAILS AND SPECIFICATIONS, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.
 - b. TYPICAL DETAILS APPLY REPEATIVELY ON THE PROJECT. CONTRACTOR SHALL COORDINATE THE GENERAL REQUIREMENTS OF TYPICAL DETAILS WITH PROJECT CONDITIONS, PLANS, SPECIFICATIONS, AND SECTIONS.
 - c. REPRODUCTION OF ANY PORTION OF THE STRUCTURAL CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
 - d. THESE DRAWINGS REPRESENT THE COMPLETED PROJECT WHICH HAS BEEN DESIGNED FOR THE WEIGHTS OF THE MATERIALS INDICATED ON THE DRAWINGS AND FOR THE SUPERIMPOSED LOADS INDICATED IN THE DESIGN DATA. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FALSEWORK, FORMWORK, STAGINGS, BRACING, SHEETING AND SHORING, ETC.
 - e. IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES, TEMPORARY SHORING, AND BRACING OF CONSTRUCTION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - f. ALL COSTS OF INVESTIGATION AND/OR REDESIGN, DUE TO CONTRACTOR MISLOCATION OF STRUCTURAL ELEMENTS OR OTHER LACK OF CONFORMANCE WITH THE PROJECT DOCUMENTS, SHALL BE AT THE CONTRACTOR'S EXPENSE.
 - g. CONTRACTOR SHALL COORDINATE WITH ALL ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, LAUNDRY AND FOOD SERVICE DRAWINGS FOR SIZE AND LOCATIONS OF OPENINGS, SLEEVES, CONCRETE HOUSEKEEPING PADS, INSERTS, AND DEPRESSIONS.
 2. **STRUCTURAL STEEL:**
 - a. PERMANENT FRAMING AND FINAL CONNECTION DETAILS ARE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTION SEQUENCES, MEANS, AND METHODS, AND FOR THE DESIGN OF TEMPORARY LATERAL AND VERTICAL BRACING. TEMPORARY BRACING SHALL REMAIN IN PLACE UNTIL THE COMPLETE VERTICAL AND LATERAL FORCE RESISTING SYSTEMS HAVE BEEN INSTALLED.
 - b. WHEN INSTALLING EXPANSION BOLTS OR ADHESIVE ANCHORS, THE CONTRACTOR SHALL TAKE MEASURES TO AVOID DRILLING OR CUTTING OF ANY EXISTING REINFORCING AND DESTRUCTION OF CONCRETE. INSTALL EXPANSION BOLTS AND ADHESIVE ANCHORS PER MANUFACTURER'S RECOMMENDATIONS.
 - c. WELDING ELECTRODES, WELDING PROCESS, MINIMUM PREHEAT AND INTERPASS TEMPERATURES SHALL BE IN ACCORDANCE WITH THE AISC AND AWS SPECIFICATIONS. ANY STRUCTURAL STEEL DAMAGED IN WELDING IS TO BE REPLACED OR REINFORCED AS ACCEPTABLE TO THE STRUCTURAL ENGINEER.
 - d. WELDERS SHALL HAVE CURRENT EVIDENCE OF PASSING THE APPROPRIATE AWS QUALIFICATION TESTS. THE ENGINEER MAY REQUEST SUCH EVIDENCE AT ANY TIME DURING THE PROJECT.
 - e. THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER OF ANY FABRICATION OR ERECTION ERRORS OR DEVIATIONS AND SHALL RECEIVE WRITTEN APPROVAL BEFORE ANY FIELD CORRECTIONS ARE MADE.
 3. **CONNECTIONS:**
 - a. PROVIDE NO LESS THAN 3/16" WELDS EXCEPT ALONG EDGES OF MATERIALS THAT ARE 1/2" OR LESS IN THICKNESS. FOR EDGES OF MATERIALS THAT ARE 1/4" OR LESS IN THICKNESS, USE THE MAXIMUM SIZE WELD PERMITTED BY THE GOVERNING AISC SPECIFICATION.
 - b. ALL SHOP AND FIELD CONNECTIONS SHALL BE MADE WITH HIGH STRENGTH BOLTS OR WELDS. ALL HIGH STRENGTH BOLTS AND NUTS SHALL BE CLEARLY MARKED AS REQUIRED BY AISC SPECIFICATIONS. CONNECTIONS MADE WITH UNMARKED BOLTS AND NUTS WILL BE REJECTED.
 - c. UNLESS OTHERWISE NOTED, ALL BOLTS SHALL BE TIGHTENED TO THE "SNUG TIGHT" CONDITION DEFINED AS THE TIGHTNESS ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF A PERSON USING AN ORDINARY SPUD WRENCH. THE SNUG TIGHT CONDITION MUST ENSURE THAT THE PILES OF THE CONNECTED MATERIAL HAVE BEEN BROUGHT INTO SNUG CONTACT.
 - d. BOLTS USED IN STRUCTURAL STEEL FRAMING CONNECTIONS SHALL BE A MINIMUM OF 1/2" DIAMETER.
 - e. BOLTED CONNECTIONS SHALL USE A MINIMUM OF TWO BOLTS PER CONNECTED PART, UNLESS OTHERWISE INDICATED.



1 FIRST FLOOR FRAMING PLAN
SD101 1/8\"/>



S / L / A / M Architects, Landscape Architects & Engineers, P.C.

80 Glastonbury Boulevard
Glastonbury, CT 06033-4410
Phone: 860 657.8077

www.slamcoll.com

Drawn
SM, CK

Checked
sm



NEW YORK
PRESBYTERIAN

**IONA SCHOOL OF
HEALTH SCIENCES**

171 White Plains Rd,
Bronxville, NY 10708



KEYPLAN

Number	Date	Issued For
01/27/2022		BID PACKAGE NO.1

**STRUCTURAL
REINFORCEMENT**

Date
01/27/2022

Scale
As indicated

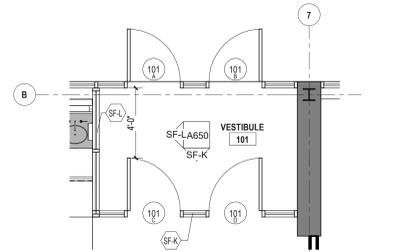
Proj. Number
20287.00

Drawing Number
SD101

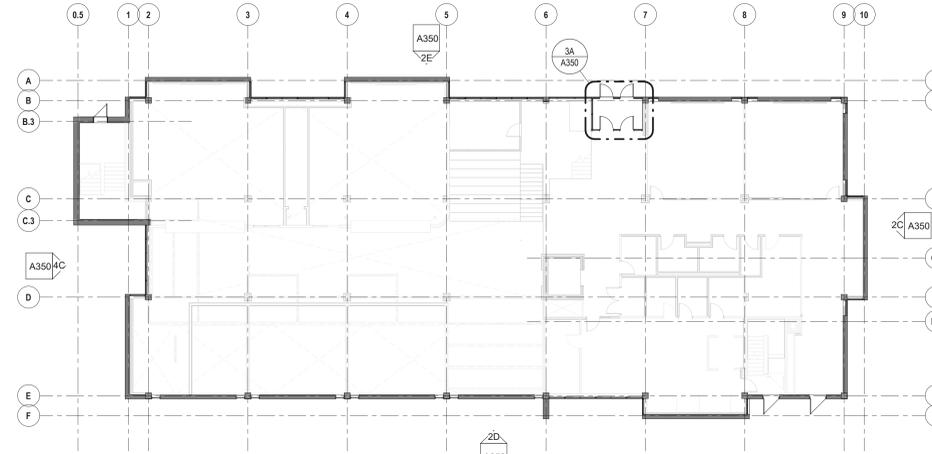
© 2022 The SLAM Collaborative, Inc. Autodesk Docs://20287 - IONA College School of Health Sciences_20287 - IONA College School of Health Sciences_20287.rvt 1/28/2022 10:06:53 AM

WINDOW REPLACEMENT GENERAL NOTES

1. REFER TO SPECIFICATION MANUAL FOR ADDITIONAL INFORMATION.
2. NEW ALUMINUM STOREFRONT WINDOW SYSTEMS ARE TO BE INSTALLED IN EXISTING OPENINGS. DIMENSIONS INDICATED ARE FOR REFERENCE ONLY. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO FABRICATION.
3. REFER TO FLOOR PLAN DIAGRAM AND BUILDING ELEVATIONS FOR LOCATIONS OF NEW STOREFRONT WINDOW SYSTEMS (SHEET A350).
4. REFER TO ENLARGED WINDOW ELEVATIONS FOR WINDOW TYPES, APPROXIMATE SIZES AND DETAIL REFERENCES (SHEET A650).
5. DOOR HARDWARE TO BE INDICATED AND PROVIDED IN SUBSEQUENT PACKAGE.
6. ALUMINUM EXTERIOR DOORS SHALL BE 2" THICK WITH 1" INSULATED TEMPERED GLAZING, INTERIOR ALUMINUM DOORS SHALL BE 1 3/4" THICK WITH 1/4" TEMPERED GLAZING.
7. PROVIDE THERMALLY BROKEN, ACCESSIBLE HEIGHT, ALUMINUM THRESHOLDS AT ALL ALUMINUM FRAMED OPENINGS.
8. WINDOW REPLACEMENT DETAILS SHOWN (SHEET A650) ARE BASED ON EXISTING DRAWINGS PROVIDED BY OWNER AND DATED MAY 31, 1972 BY GIBBONS HEIDTMANN & SALVADOR ARCHITECTS & PLANNERS. EXISTING CONDITIONS REPRESENTED IN DETAILS AS DRAWN HAVE NOT BEEN FIELD VERIFIED AND HAVE NOT BEEN CONFIRMED BY ARCHITECT. CONTRACTOR TO VERIFY EXISTING WINDOW OPENING CONDITIONS AFTER EXISTING WINDOWS HAVE BEEN REMOVED.

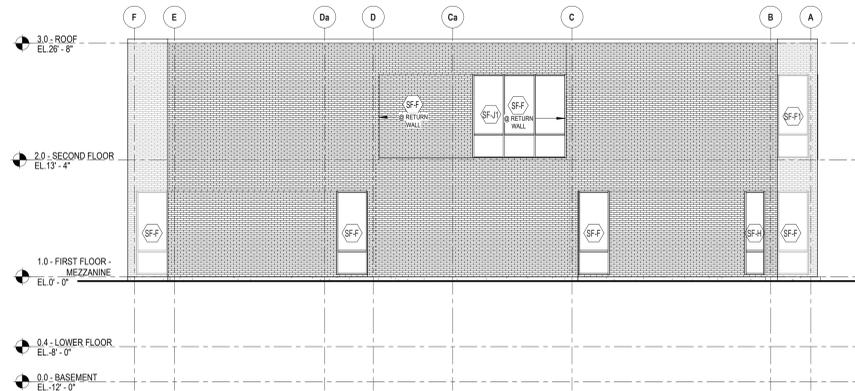


3A ENLARGED FLOOR PLAN - ENTRY VESTIBULE
1/4" = 1'-0"

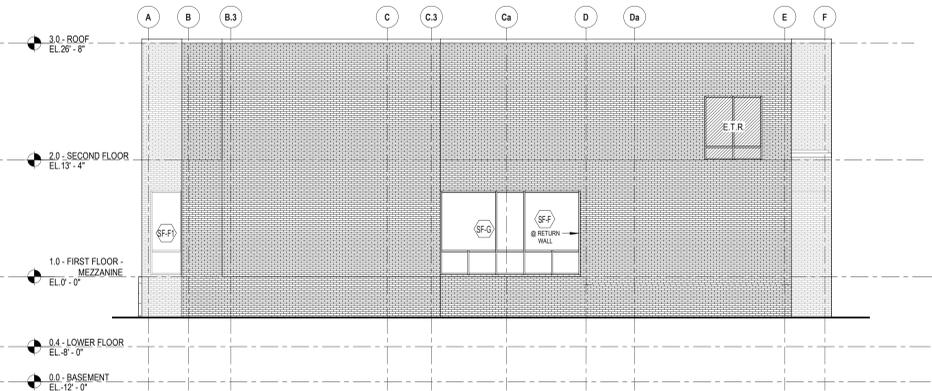


4A FLOOR PLAN DIAGRAM
1/16" = 1'-0"

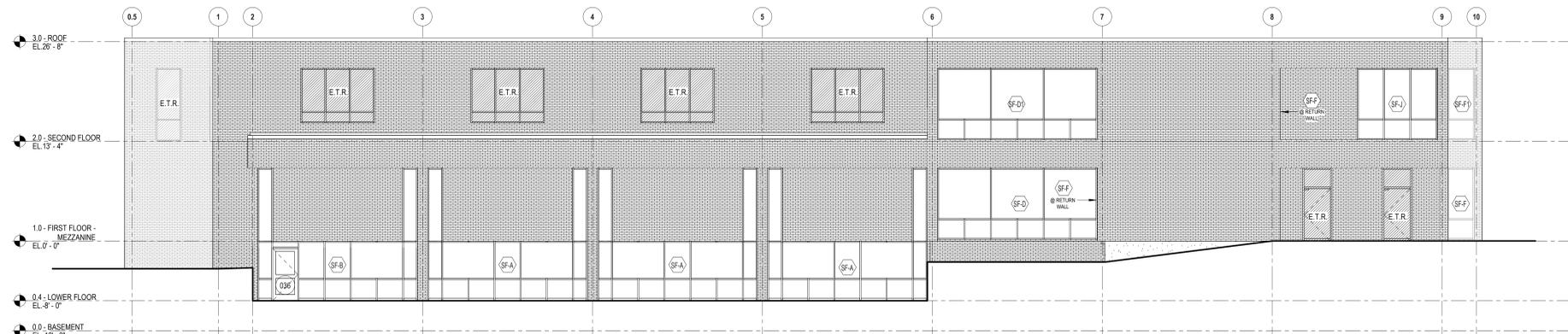
FLOOR PLAN FOR ORIENTATION PURPOSES - FIRST FLOOR LEVEL SHOWN



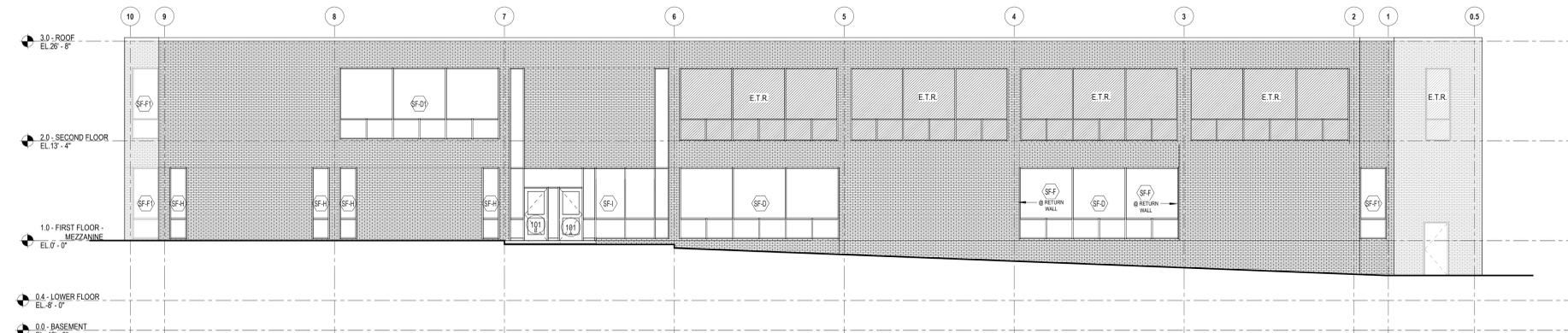
2C ELEVATION - EAST
1/8" = 1'-0"



4C ELEVATION - WEST
1/8" = 1'-0"

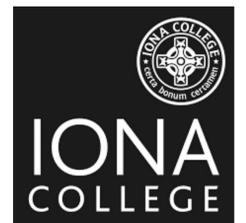


2D ELEVATION - SOUTH
1/8" = 1'-0"



2E ELEVATION - NORTH
1/8" = 1'-0"

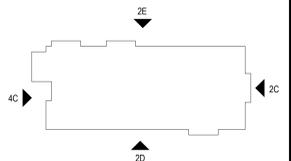
Drawn	PH
Checked	MOS



NEW YORK
PRESBYTERIAN

IONA SCHOOL OF
HEALTH SCIENCES

171 White Plains Rd,
Bronxville, NY 10708

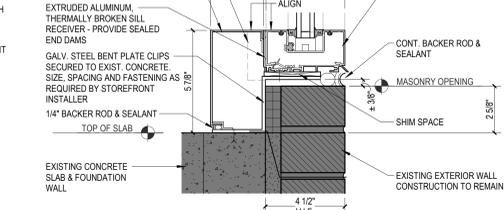
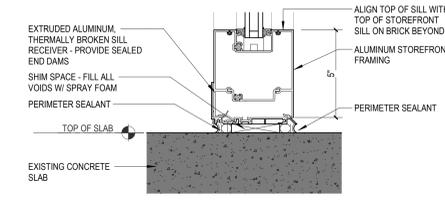
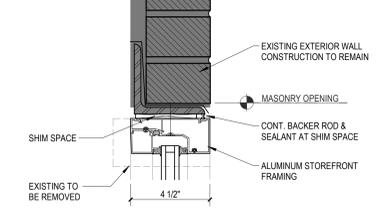
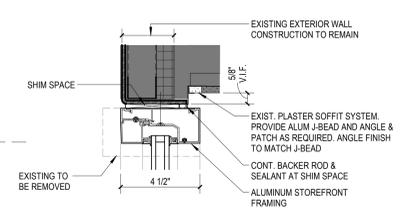
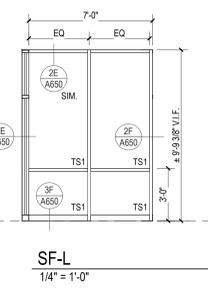
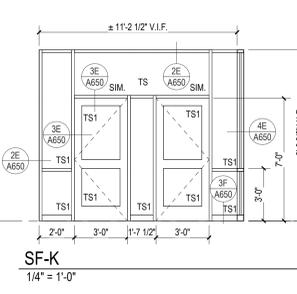
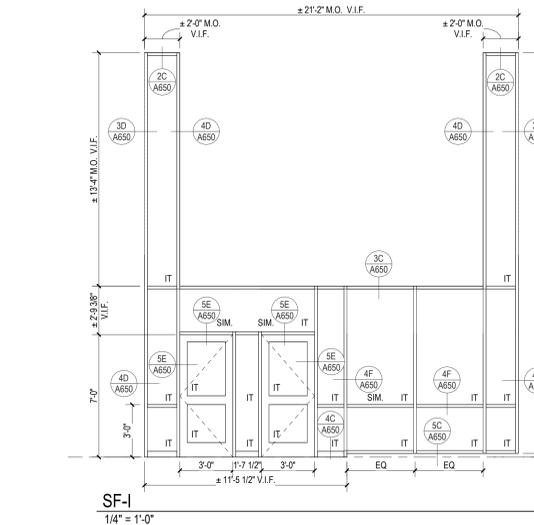
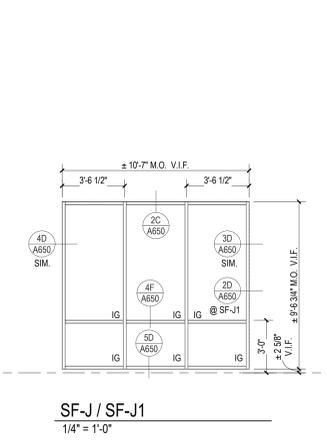
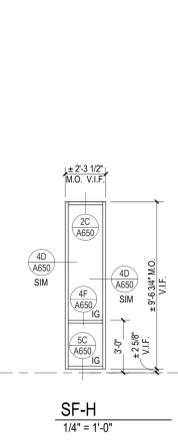
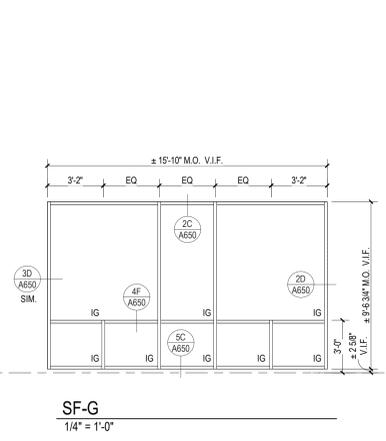
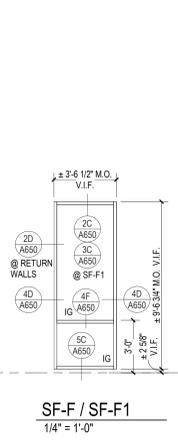
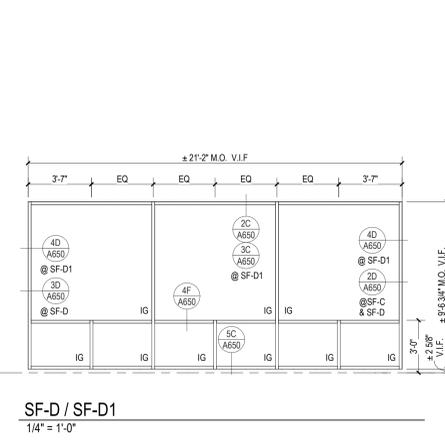
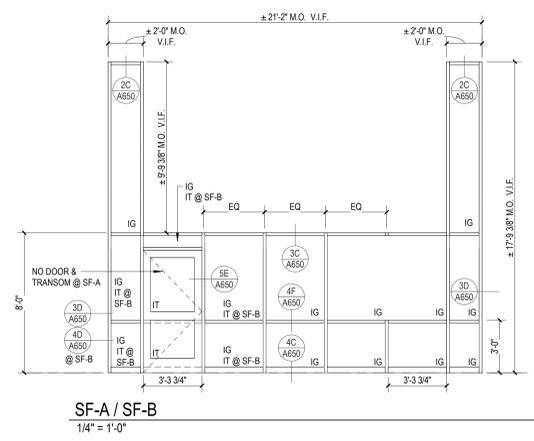


KEYPLAN

Number	Date	Issued For
01/27/2022		BID PACKAGE NO. 1

WINDOW REPLACEMENT -
LOCATION PLAN, BUILDING
ELEVATIONS

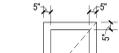
Date	01/27/2022	Drawing Number	A350
Scale	As indicated	Proj. Number	20287.10



GLASS MATERIAL

- IG INSULATED GLASS - 1"
- IT INSULATED TEMPERED SAFETY GLASS - 1"
- TS1 TEMPERED SAFETY GLASS - 1/4"

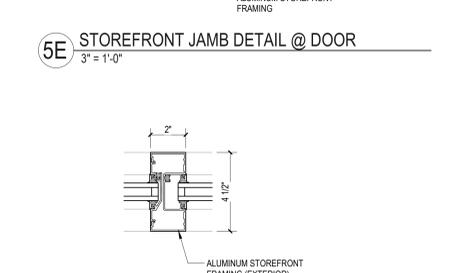
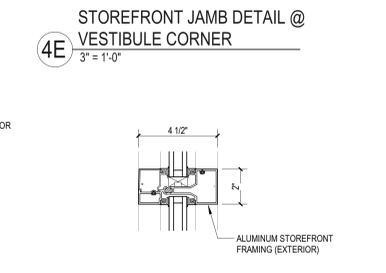
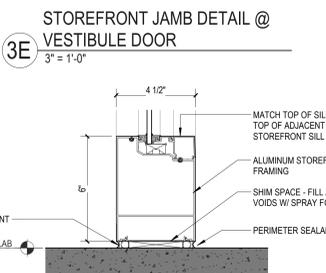
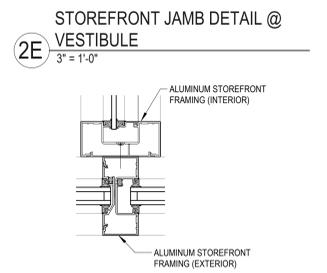
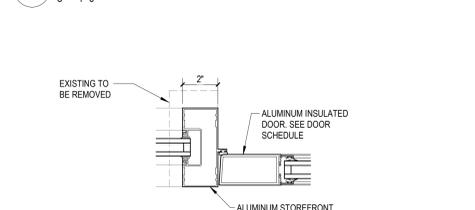
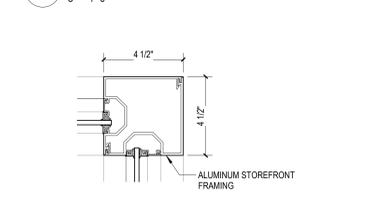
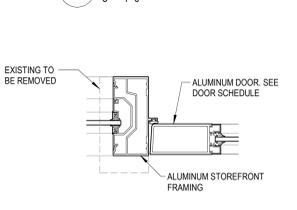
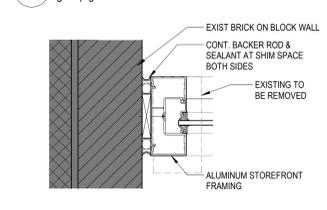
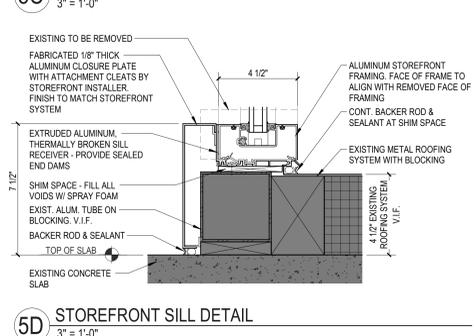
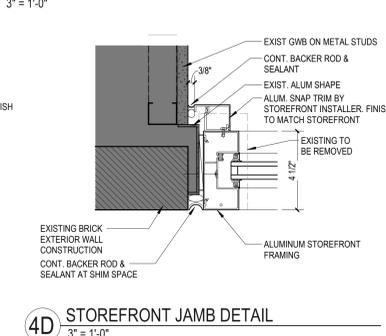
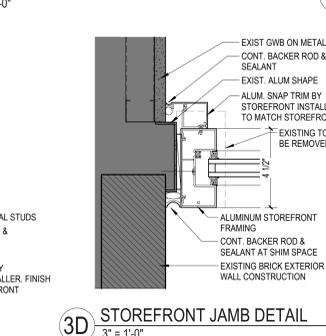
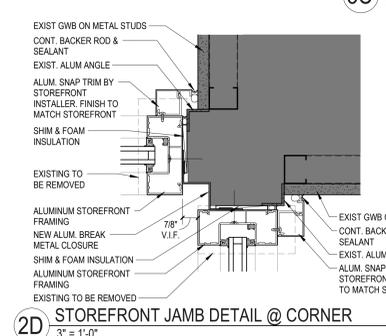
ALUMINUM DOORS



WSR WIDE STILE ALUMINUM AND GLASS DOOR WITH MIDDLE RAIL

WINDOW REPLACEMENT GENERAL NOTES

- REFER TO SPECIFICATION MANUAL FOR ADDITIONAL INFORMATION.
- NEW ALUMINUM STOREFRONT WINDOW SYSTEMS ARE TO BE INSTALLED IN EXISTING OPENINGS. DIMENSIONS INDICATED ARE FOR REFERENCE ONLY. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS IN FILED PRIOR TO FABRICATION.
- REFER TO FLOOR PLAN DIAGRAM AND BUILDING ELEVATIONS FOR LOCATIONS OF NEW STOREFRONT WINDOW SYSTEMS (SHEET A350).
- REFER TO ENLARGED WINDOW ELEVATIONS FOR WINDOW TYPES, APPROXIMATE SIZES AND DETAIL REFERENCES (SHEET A650).
- DOOR HARDWARE TO BE INDICATED AND PROVIDED IN SUBSEQUENT PACKAGE.
- ALUMINUM EXTERIOR DOORS SHALL BE 2" THICK WITH 1" INSULATED TEMPERED GLAZING. INTERIOR ALUMINUM DOORS SHALL BE 1 3/4" THICK WITH 1/4" TEMPERED GLAZING.
- PROVIDE THERMALLY BROKEN, ACCESSIBLE HEIGHT, ALUMINUM THRESHOLDS AT ALL ALUMINUM FRAMED OPENINGS.
- WINDOW REPLACEMENT DETAILS SHOWN (SHEET A650) ARE BASED ON EXISTING DRAWINGS PROVIDED BY OWNER AND DATED MAY 31, 1972 BY GIBBONS HEDTMANN & SALVADOR ARCHITECTS & PLANNERS. EXISTING CONDITIONS REPRESENTED IN DETAILS AS DRAWN HAVE NOT BEEN FIELD VERIFIED AND HAVE NOT BEEN CONFIRMED BY ARCHITECT. CONTRACTOR TO VERIFY EXISTING WINDOW OPENING CONDITIONS AFTER EXISTING WINDOWS HAVE BEEN REMOVED.



Drawn	PH
Checked	MOS



NEW YORK PRESBYTERIAN
IONA SCHOOL OF HEALTH SCIENCES
171 White Plains Rd,
Bronxville, NY 10708

KEYPLAN

Number	Date	Issued For

WINDOW REPLACEMENT - STOREFRONT ELEVATIONS & DETAILS

Autodesk Docs/20287 - IONA College School of Health Sciences/A_20287 - IONA COLLEGE SCHOOL OF HEALTH SCIENCES_P222.dwg 1/28/2022 8:46:49 AM

PLUMBING DEMOLITION
GENERAL NOTES

NOTE:
1. COORDINATE REMOVAL OF EXISTING
STORM PIPING/RISERS WITH FUTURE NEW
WORK OR TEMPORARY STORM WATER
MITIGATION PLAN.



S / L / A / M Architects, Landscape Architects & Engineers, P.C.

80 Glastonbury Boulevard
Glastonbury, CT 06033-4410
Phone: 860 657.8077

www.slamcoll.com

Drawn
MA
Checked
EMG

CES
CES Engineering, LLC
216 E. 45th St., 16th Fl
New York, NY 10017
646.961.3999
ceseng.com
CES #2021619.00



NEW YORK
PRESBYTERIAN

**IONA SCHOOL OF
HEALTH SCIENCES**

171 White Plains Rd,
Bronxville, NY 10708



KEYPLAN

Number	Date	Issued For
01/27/2022		BID PACKAGE NO. 1

**PLUMBING DEMOLITION
UNDERGROUND FLOOR
PLAN**

Date
01/27/2022
Scale
1/8" = 1'-0"
Proj. Number
20287.10

Drawing Number
PDU100

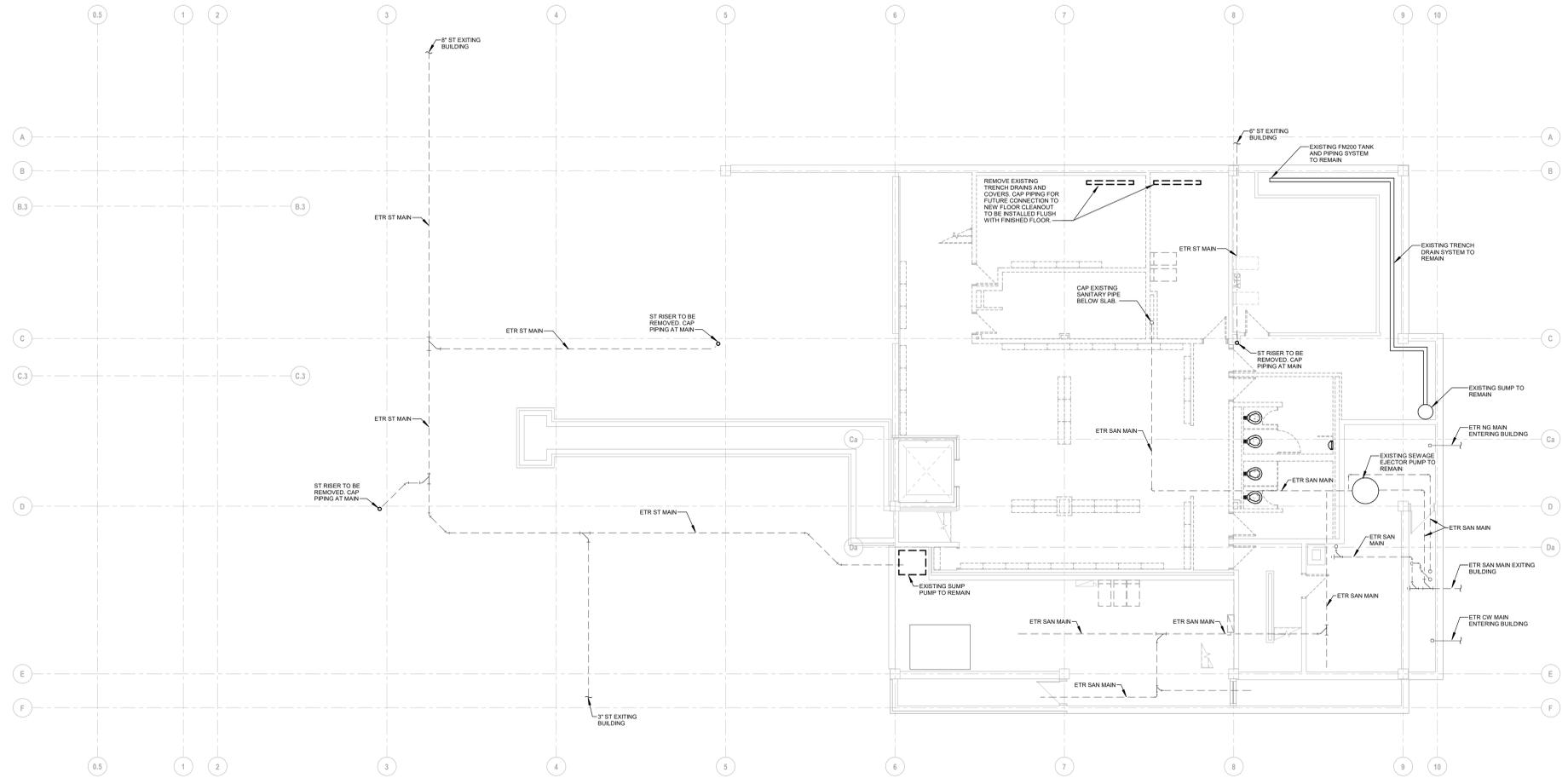
A

B

C

D

E



1 PLUMBING DEMOLITION UNDERGROUND PLAN
1/8" = 1'-0"

PLUMBING DEMOLITION GENERAL NOTES

NOTE:
1. COORDINATE REMOVAL OF EXISTING STORM PIPING/RISERS WITH FUTURE NEW WORK OR TEMPORARY STORM WATER MITIGATION PLAN.



S / L / A / M Architects, Landscape Architects & Engineers, P.C.

80 Glastonbury Boulevard
Glastonbury, CT 06033-4410
Phone: 860 657.8077

www.slamcoll.com

Drawn
MA
Checked
EMG

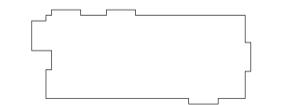
CES Engineering, LLC
216 E. 45th St., 16th Fl
New York, NY 10017
646.961.3999
ceseng.com
CES #2021619.00



NEW YORK
PRESBYTERIAN

IONA SCHOOL OF
HEALTH SCIENCES

171 White Plains Rd,
Bronxville, NY 10708

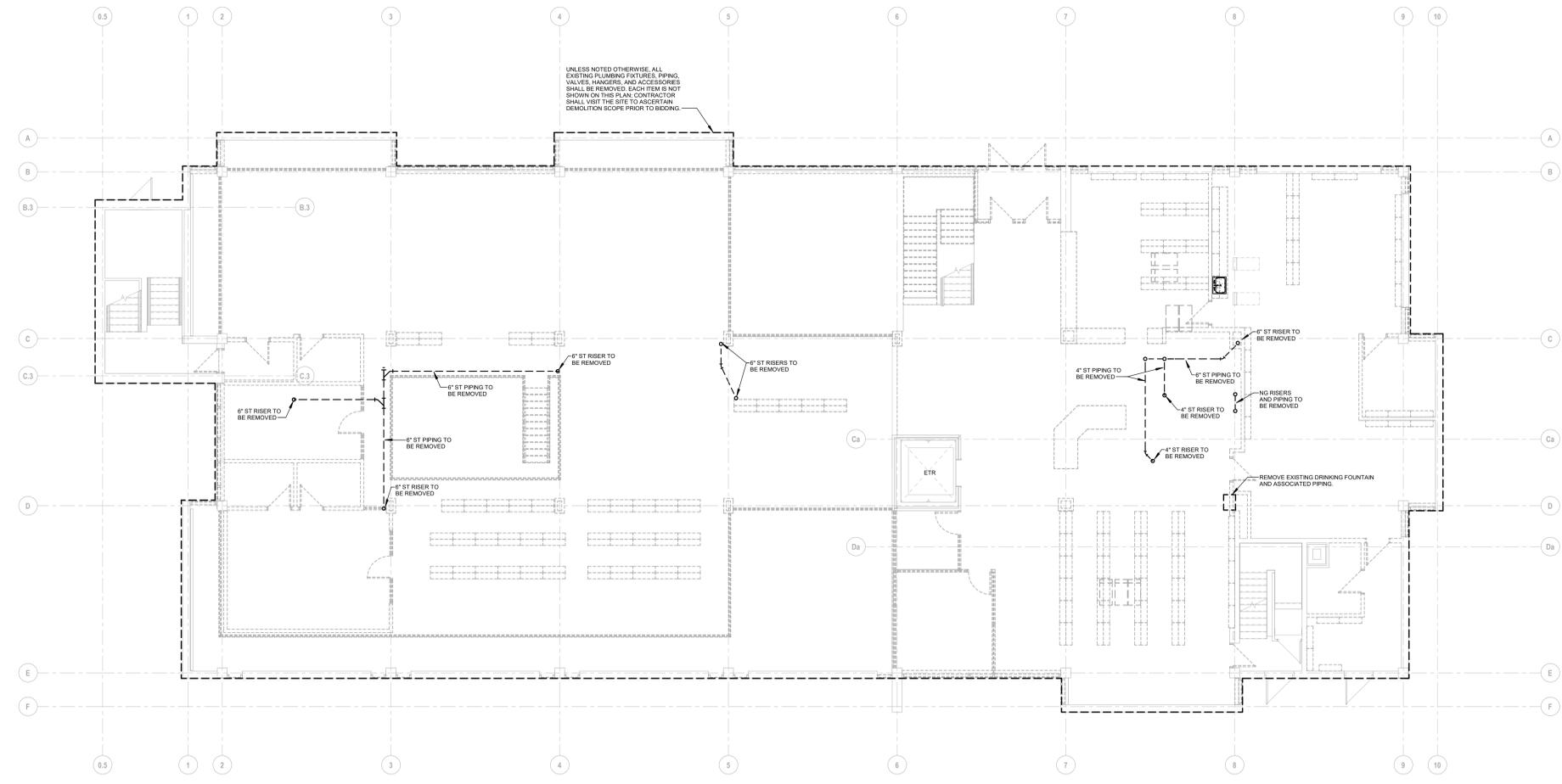


KEYPLAN

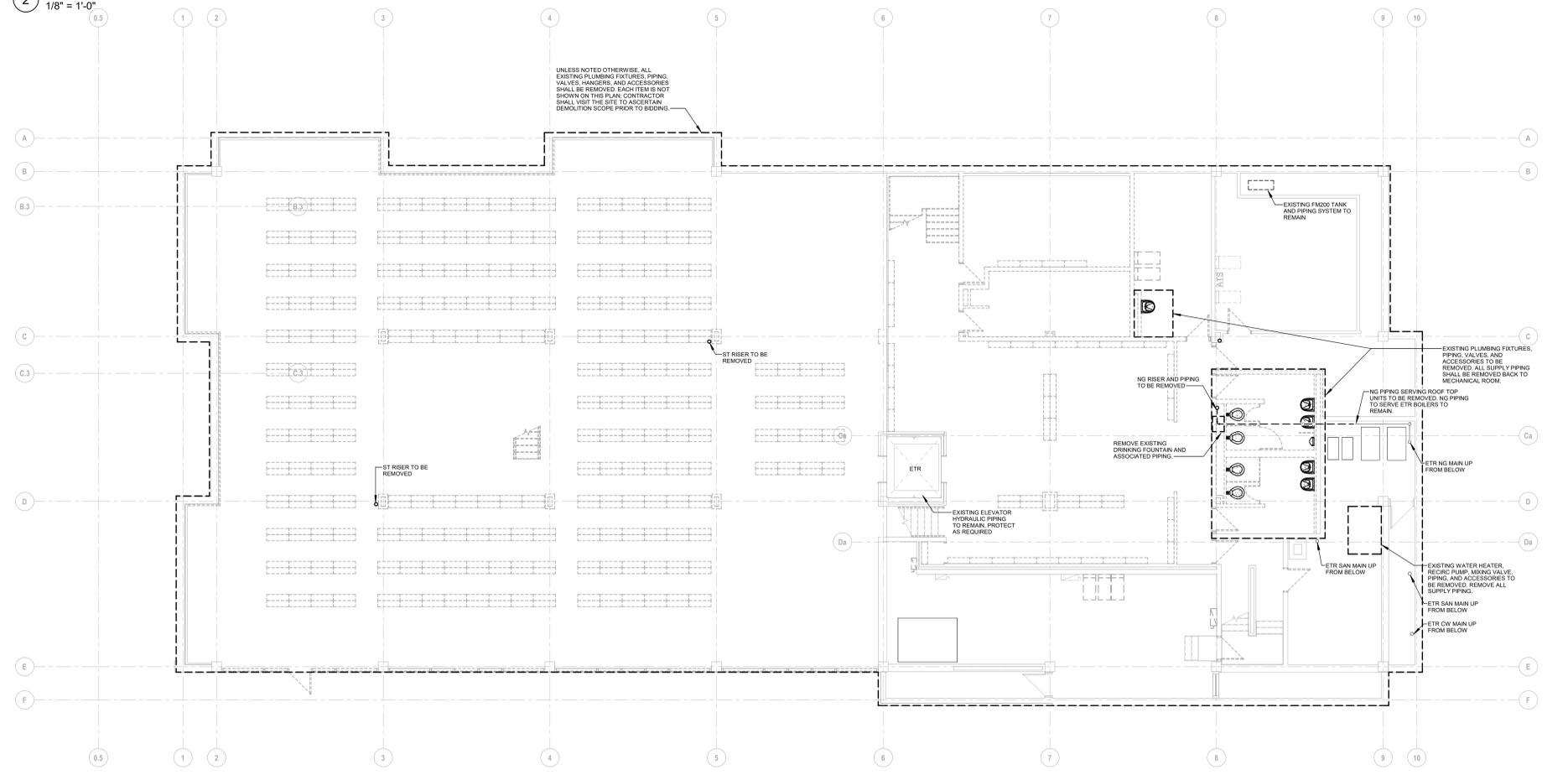
Number	Date	Issued For
1	01/27/2022	BID PACKAGE NO. 1

PLUMBING DEMOLITION
BASEMENT/LOWER LEVEL
AND FIRST FLOOR PLANS

Date
01/27/2022
Scale
1/8" = 1'-0"
Proj. Number
20287.10
Drawing Number
PD101



2 PLUMBING DEMOLITION FIRST LEVEL FLOOR PLAN
1/8" = 1'-0"



1 PLUMBING DEMOLITION BASEMENT LEVEL FLOOR PLAN
1/8" = 1'-0"

A
B
C
D
E

3'
11/12"
1'
3/4"
1/2"
3/8"
1/4"
1/8"

Autodesk Docs/7/20287 - Iona College School of Health Sciences/22-01619-MEP-Contr - Iona School of Health Sciences.vt 1/27/2022 4:17:16 PM

PLUMBING DEMOLITION GENERAL NOTES

NOTE:
1. COORDINATE REMOVAL OF EXISTING STORM PIPING/RISERS WITH FUTURE NEW WORK OR TEMPORARY STORM WATER MITIGATION PLAN.



S / L / A / M Architects, Landscape Architects & Engineers, P.C.

80 Glastonbury Boulevard
Glastonbury, CT 06033-4410
Phone: 860 657.8077

www.slamcoll.com

Drawn
MA
Checked
EMG

CES Engineering, LLC
216 E. 45th St., 16th Fl
New York, NY 10017
546.961.3999
ceseng.com
CES #2021619.00



NEW YORK
PRESBYTERIAN

IONA SCHOOL OF
HEALTH SCIENCES

171 White Plains Rd,
Bronxville, NY 10708



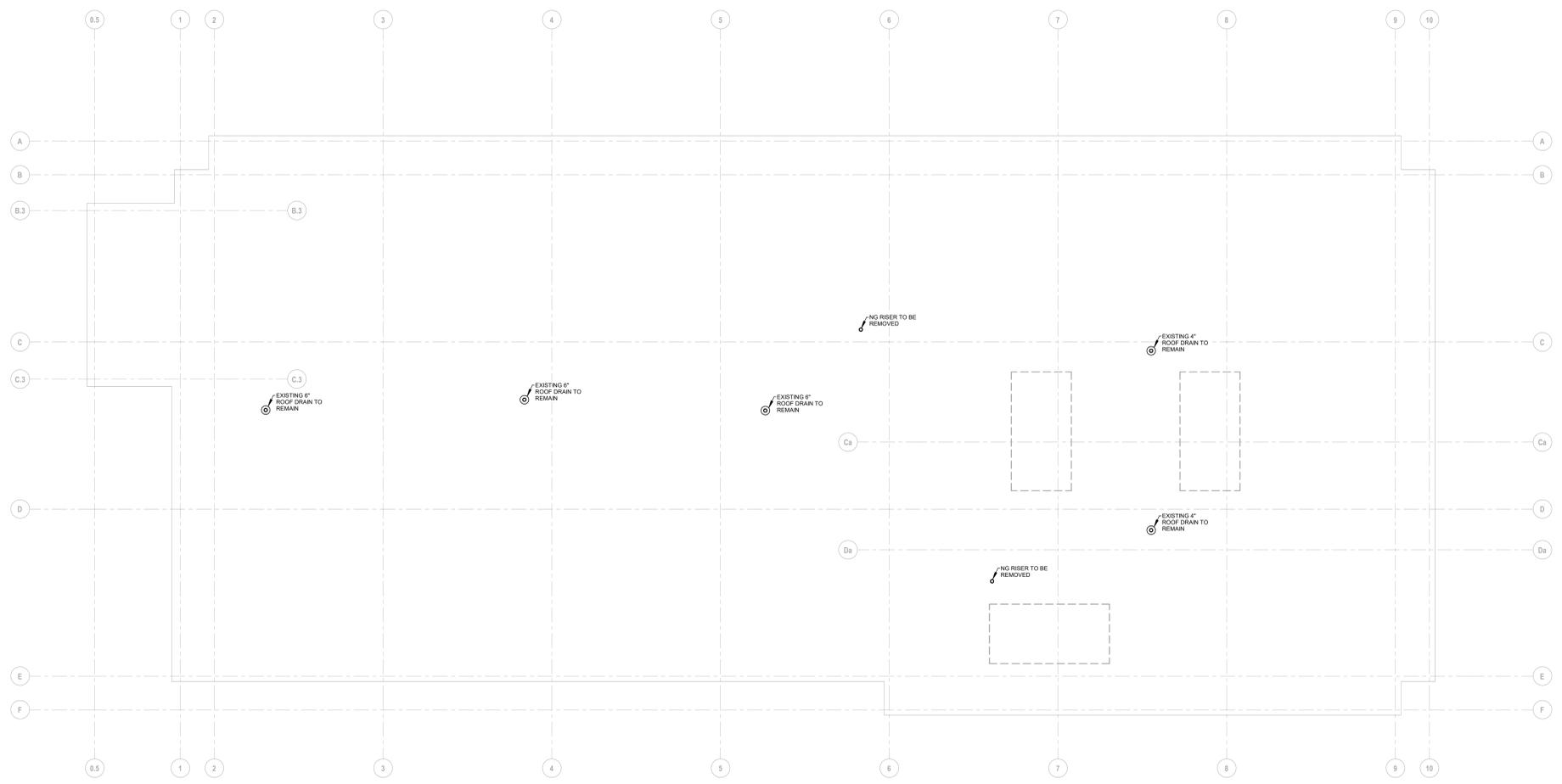
KEYPLAN

Number	Date	Issued For
01/27/2022		BID PACKAGE NO. 1

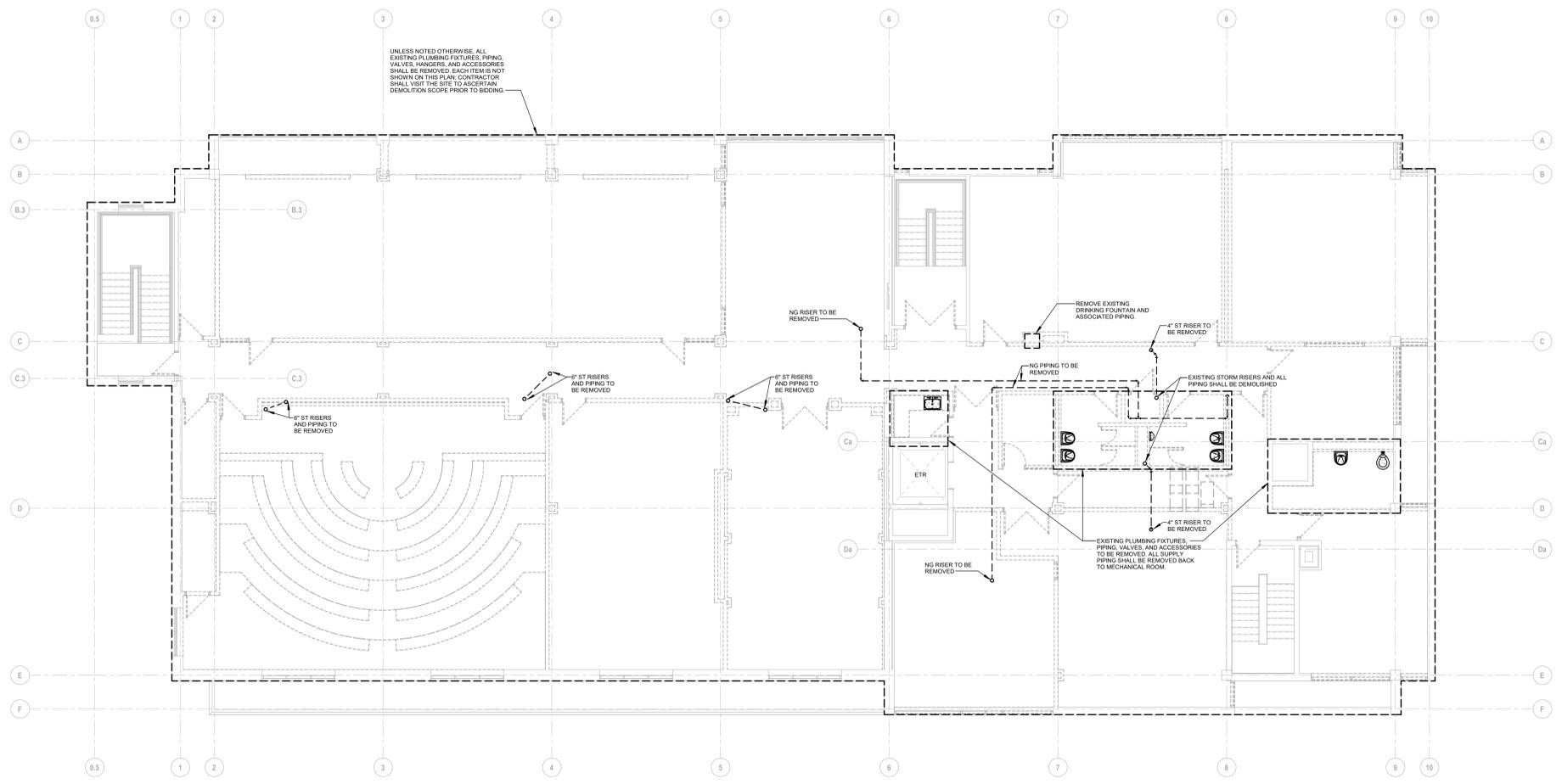
PLUMBING DEMOLITION
SECOND FLOOR AND ROOF
PLANS

Date
01/27/2022
Scale
1/8" = 1'-0"
Proj. Number
20287.10

Drawing Number
PD102



2 PLUMBING DEMOLITION ROOF LEVEL FLOOR PLAN
1/8" = 1'-0"



1 PLUMBING DEMOLITION SECOND LEVEL FLOOR PLAN
1/8" = 1'-0"

A

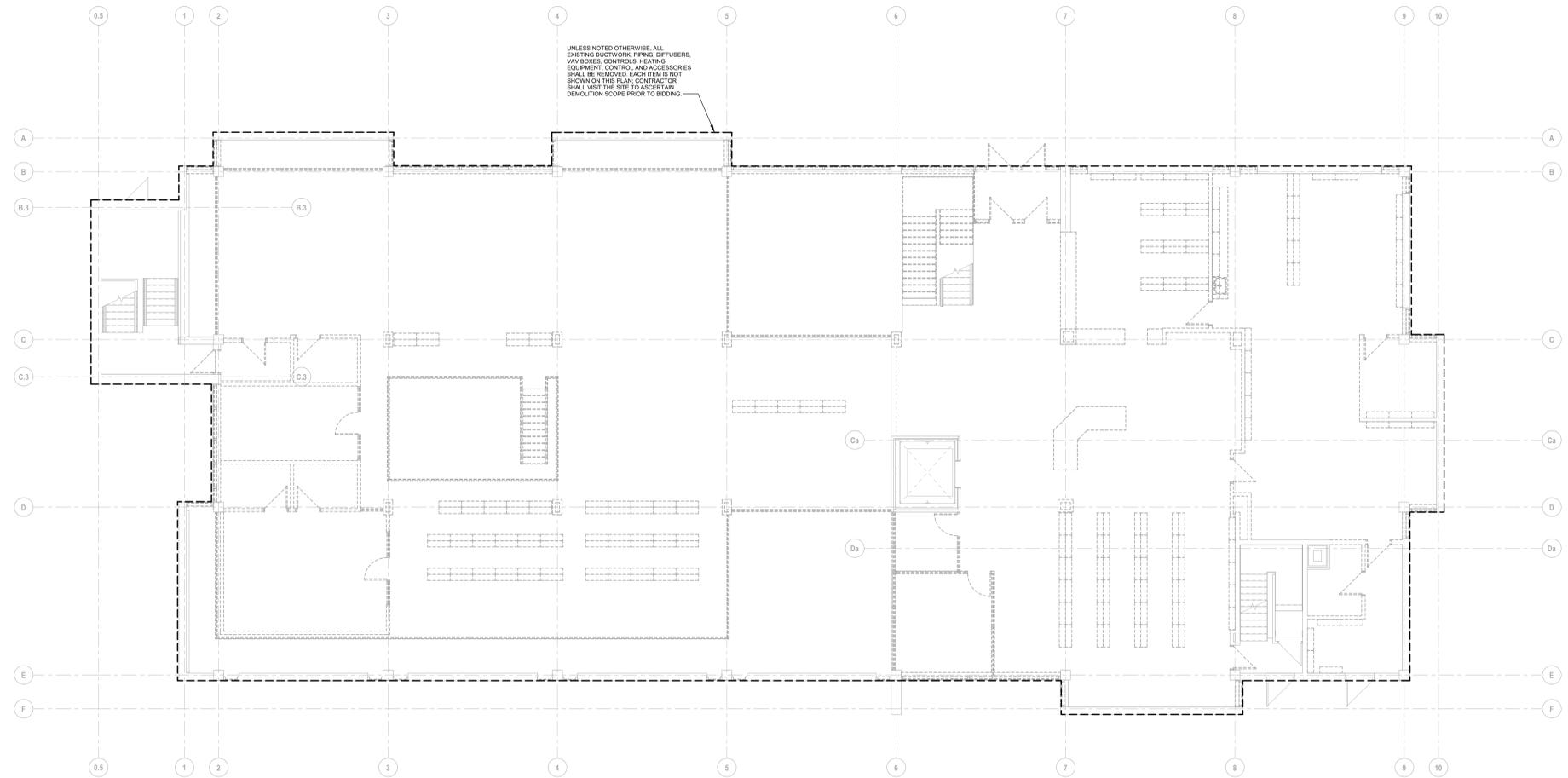
B

C

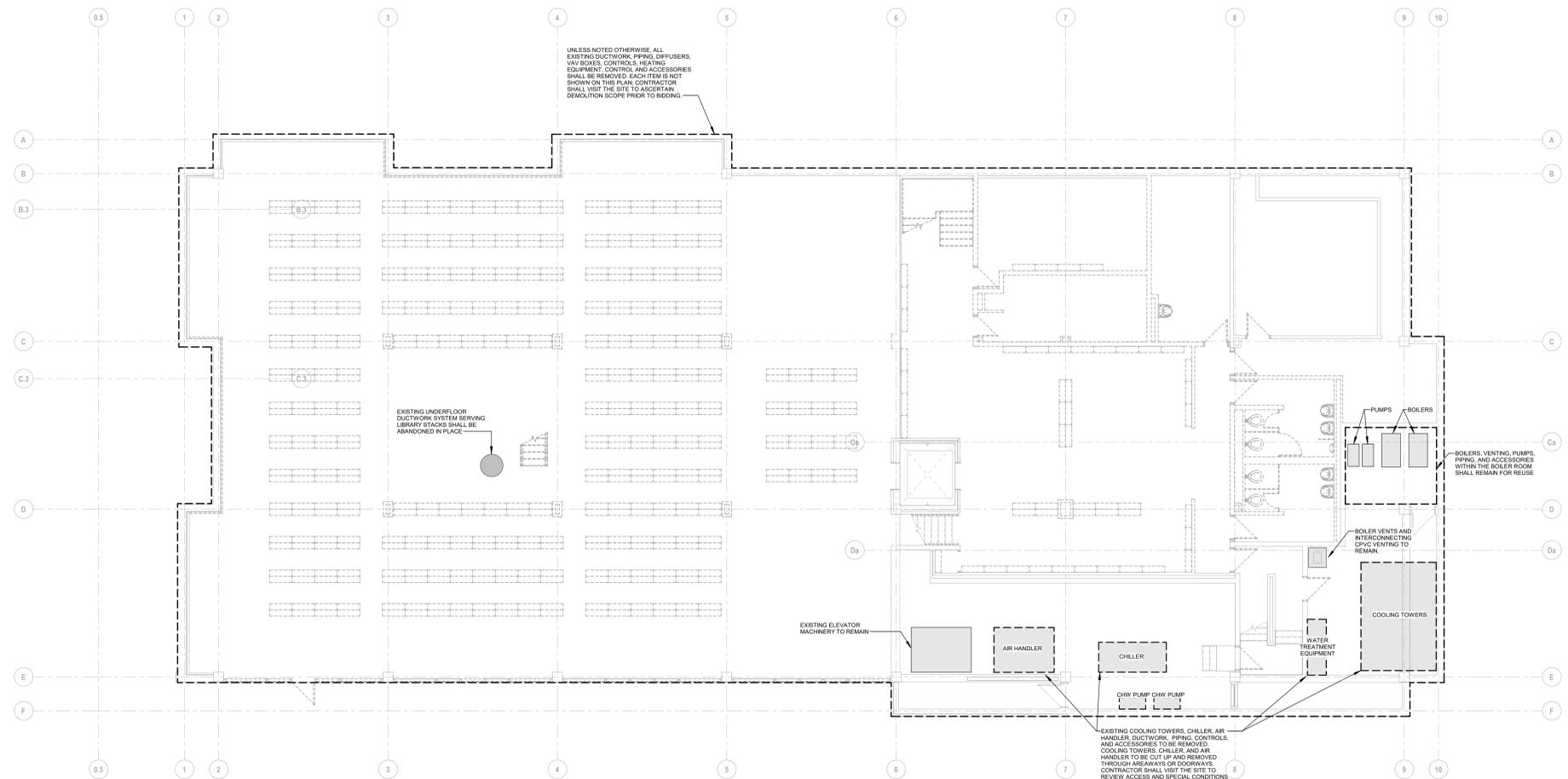
D

E





2 MECHANICAL DEMOLITION FIRST LEVEL FLOOR PLAN
1/8" = 1'-0"

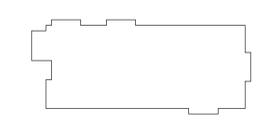


1 MECHANICAL DEMOLITION BASEMENT LEVEL FLOOR PLAN
1/8" = 1'-0"

Drawn MA	 CES Engineering, LLC 216 E. 45th St., 16th Fl New York NY 10017 646.961.3999 ceseng.com CES #2021619.00
Checked EMG	



**NEW YORK
PRESBYTERIAN**
**IONA SCHOOL OF
HEALTH SCIENCES**
171 White Plains Rd,
Bronxville, NY 10708



KEYPLAN

Number	Date	Issued For
	01/27/2022	BID PACKAGE NO. 1

**MECHANICAL DEMOLITION
BASEMENT/ LOWER LEVEL
AND FIRST FLOOR PLANS**

Date 01/27/2022	Drawing Number MD101
Scale 1/8" = 1'-0"	Proj. Number 20287.10

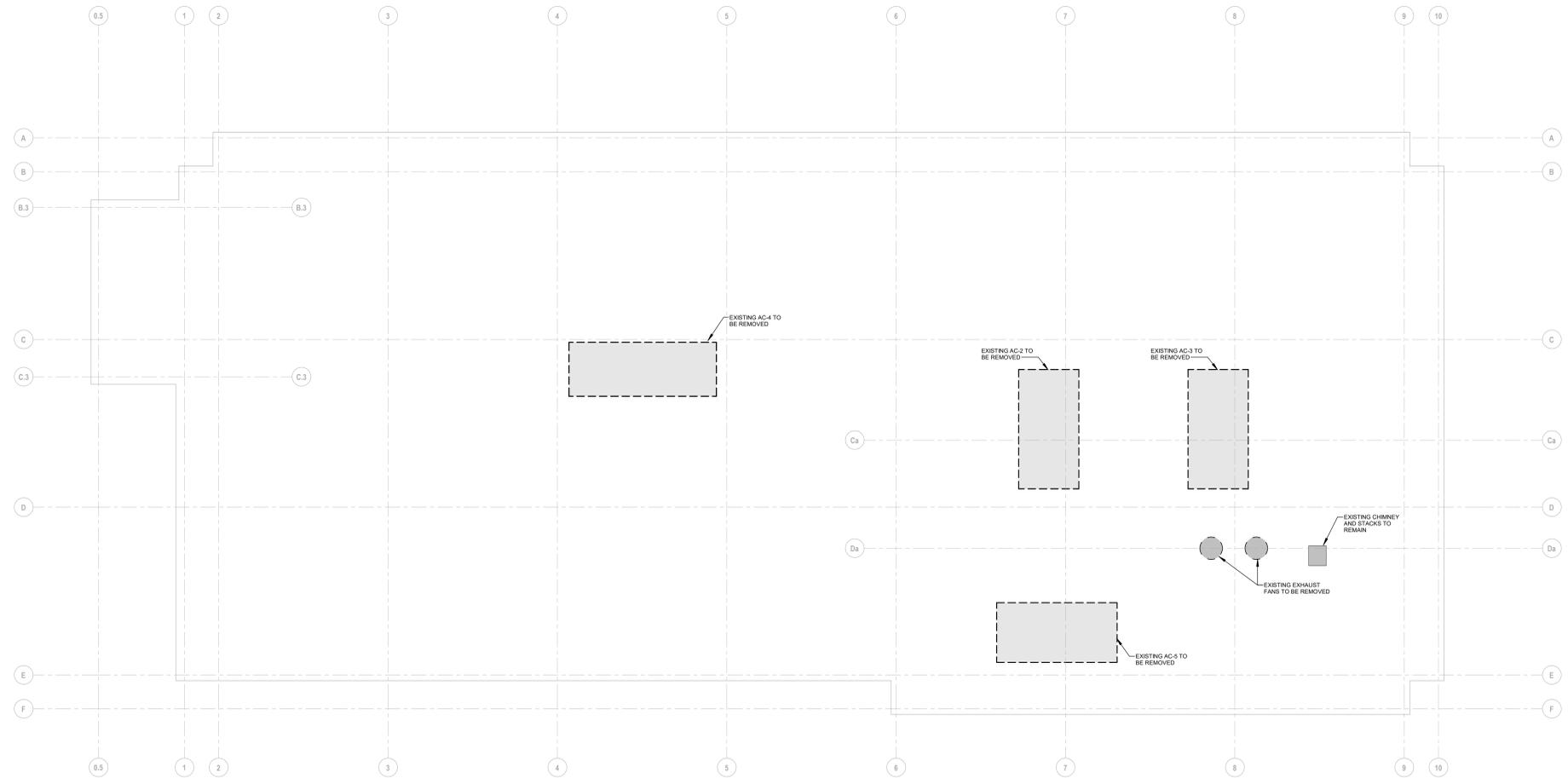
1

2

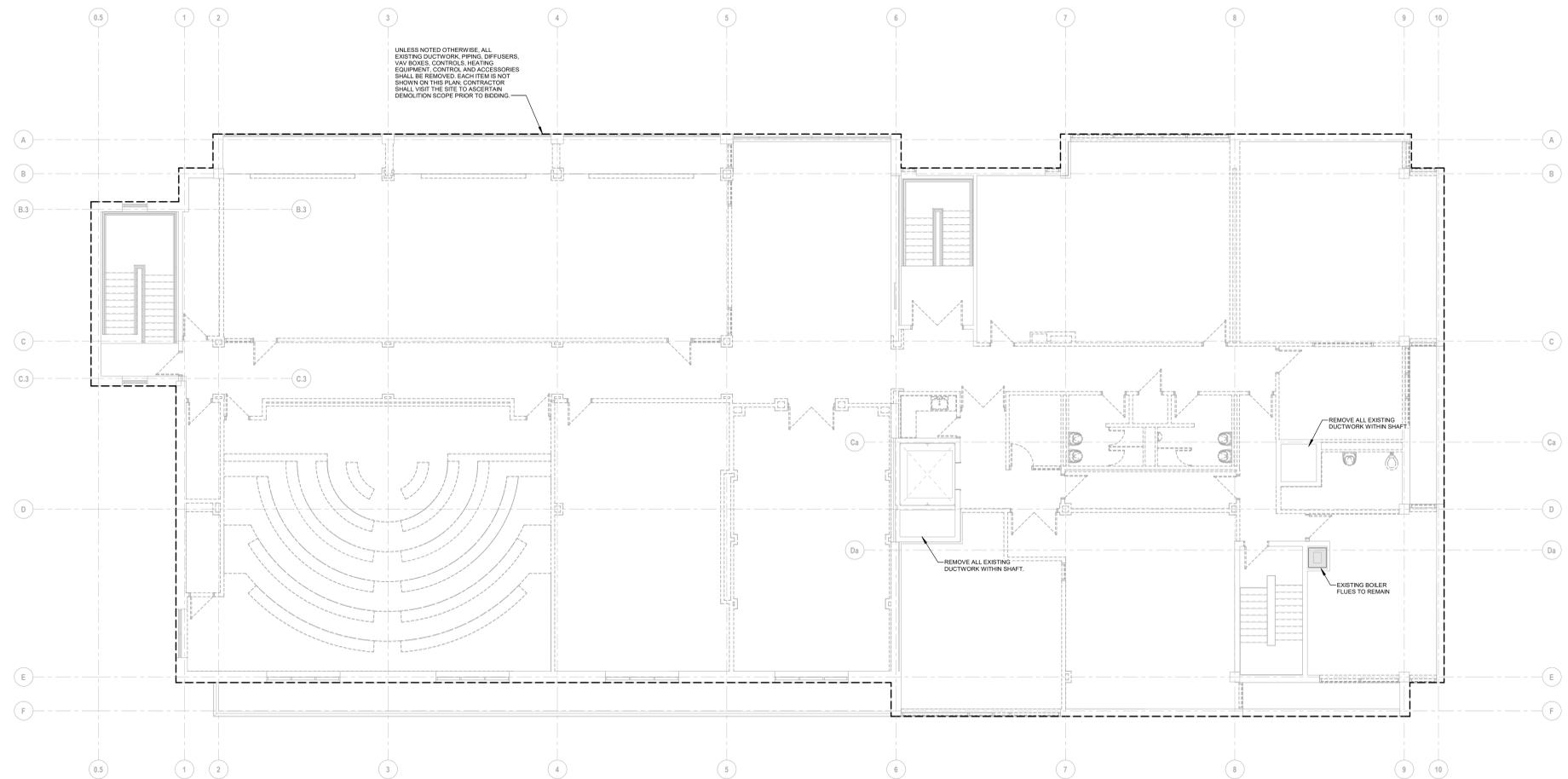
3

4

5



2 MECHANICAL DEMOLITION ROOF LEVEL FLOOR PLAN
1/8" = 1'-0"



1 MECHANICAL DEMOLITION SECOND LEVEL FLOOR PLAN
1/8" = 1'-0"



S / L / A / M Architects, Landscape Architects & Engineers, P.C.

80 Glastonbury Boulevard
Glastonbury, CT 06033-4410
Phone: 860 657.8077

www.slamcoll.com

Drawn
MA
Checked
EMG

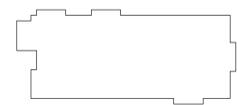
CES Engineering, LLC
216 E. 45th St., 16th Fl
New York NY 10017
646.961.3999
ceseng.com
CES #2021619.00



NEW YORK
PRESBYTERIAN

**IONA SCHOOL OF
HEALTH SCIENCES**

171 White Plains Rd,
Bronxville, NY 10708



KEYPLAN

Number	Date	Issued For
01/27/2022		BID PACKAGE NO. 1

**MECHANICAL DEMOLITION
SECOND FLOOR AND ROOF
PLANS**

Date
01/27/2022
Scale
1/8" = 1'-0"
Proj. Number
20287.10

Drawing Number
MD102

Autodesk Docs/7/20227 - IONA College School of Health Sciences/R22.2021619.MEP Control - Iona School of Health Sciences.vt 1/27/2022 4:17:15 PM

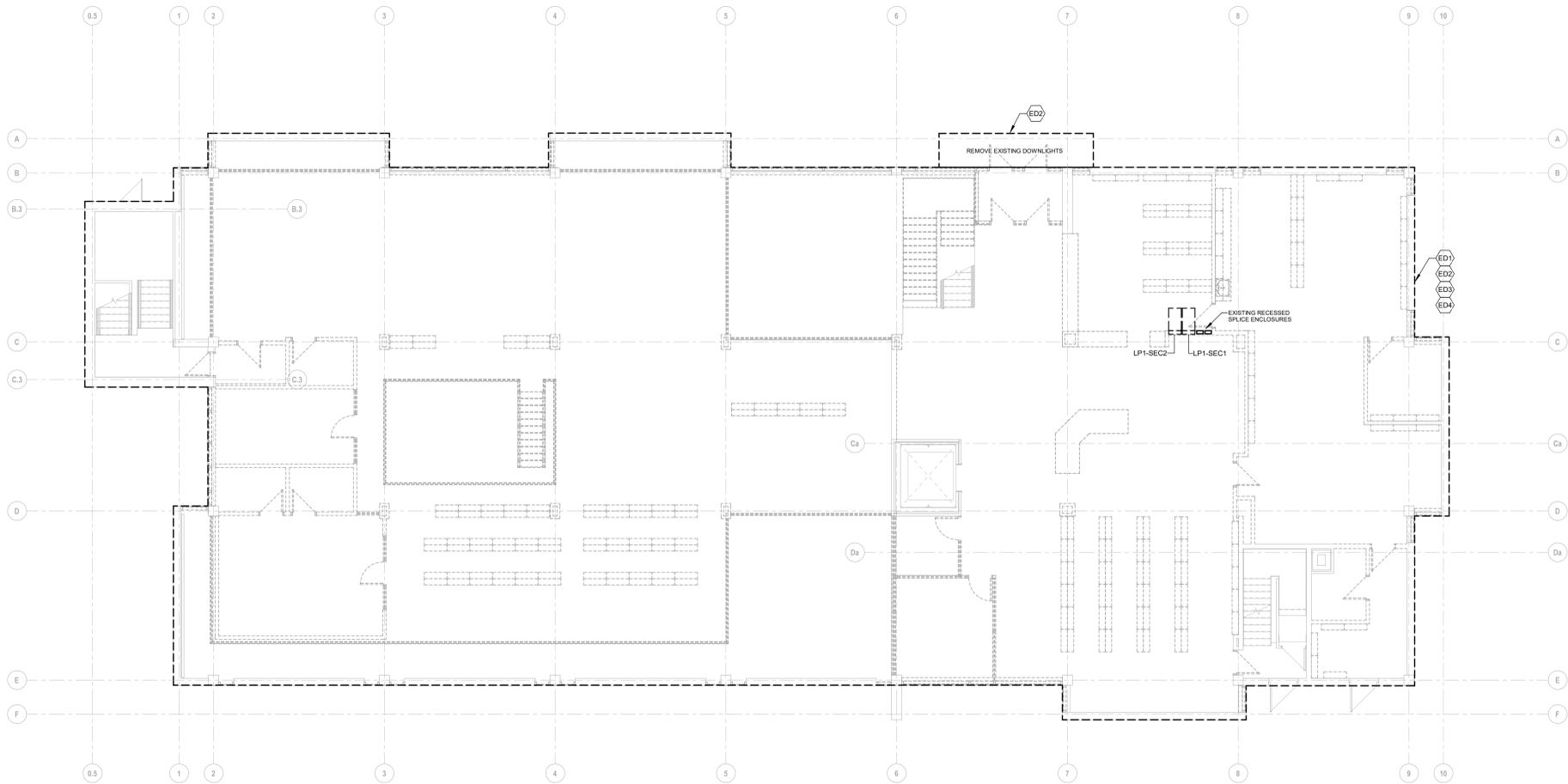
A

B

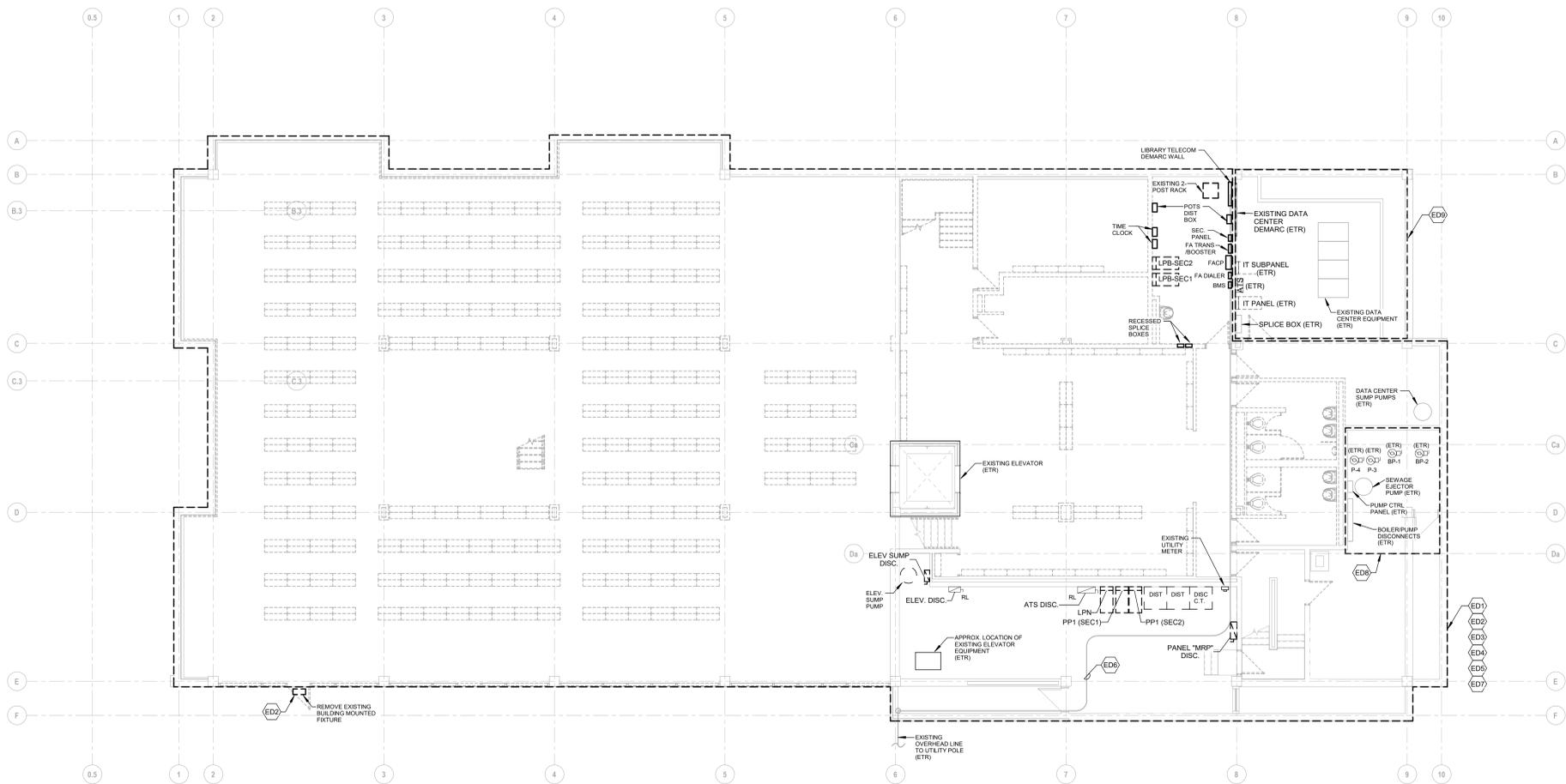
C

D

E



2 ELECTRICAL DEMOLITION FIRST LEVEL FLOOR PLAN
1/8" = 1'-0"



1 ELECTRICAL DEMOLITION BASEMENT LEVEL FLOOR PLAN
1/8" = 1'-0"

ELECTRICAL DEMOLITION NOTES

- EXISTING ELECTRICAL DEVICES IN REGIONS OF DEMOLITION SHALL BE REMOVED UNLESS NOTED OTHERWISE, INCLUDING BUT NOT LIMITED TO PANELBOARDS, RECEPTACLES, LIGHT FIXTURES, LIGHTING CONTROLS, TELECOMMUNICATION DEVICES, FIRE ALARM DEVICES, SECURITY DEVICES, AND MECHANICAL EQUIPMENT CONNECTIONS. REMOVAL SHALL BE COMPLETE INCLUDING BOXES, BRACKETS, HANGERS AND BRANCH CIRCUIT WIRING BACK TO SOURCE PANELBOARD OR LAST ACTIVE DEVICE TO REMAIN.
- ELECTRICAL DEMOLITION PLANS ARE DIAGRAMMATIC AND NOT INTENDED TO DEPICT THE ENTIRE SCOPE OF ELECTRICAL DEMOLITION. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING DEVICES. ADDITIONAL DEMOLITION AND MODIFICATION WORK NOT SHOWN SHOULD BE ANTICIPATED.
- DEMOLITION OF EXISTING TELECOMMUNICATION DEVICES SHALL INCLUDE REMOVAL OF CONNECTORS, FACEPLATE, BACKBOX, CONDUIT AND WIRING BACK TO SOURCE.
- DEMOLITION OF EXISTING SECURITY AND FIRE ALARM DEVICES SHALL INCLUDE REMOVAL OF DEVICE, CONNECTORS, MOUNTING HARDWARE, BACKBOX, CONDUIT AND WIRING BACK TO SOURCE OR LAST ACTIVE DEVICE TO REMAIN.
- CONTRACTOR SHALL REMOVE EXISTING LIGHTING FIXTURES SHALL ALSO INCLUDE REMOVAL OF ASSOCIATED SWITCHES AND SWITCHED WIRING UNLESS OTHERWISE NOTED IN NEW WORK PLANS. LOCATIONS OF ALL SWITCHES SHALL BE FIELD VERIFIED PRIOR TO DEMOLITION.
- REFER TO MECHANICAL/PLUMBING DEMOLITION DRAWINGS FOR EXISTING MECHANICAL AND PLUMBING EQUIPMENT TO BE REMOVED. FOR THIS EQUIPMENT, DISCONNECT AND REMOVE WIRING BACK TO SOURCE AND REMOVE ASSOCIATED STARTERS, DRIVES AND DISCONNECT SWITCHES AT EQUIPMENT LOCATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL ITEMS TO BE REMOVED IN A SAFE, LEGAL AND RESPONSIBLE MANNER.
- CONTRACTOR SHALL MODIFY EXISTING CIRCUITS, WHEN EXISTING DEVICES ARE REMOVED, AS REQUIRED TO MAINTAIN CIRCUIT CONTINUITY.
- PRIOR TO SUBMITTING BID, VISIT SITE AND IDENTIFY EXISTING CONDITIONS AND DIFFICULTIES THAT WILL AFFECT WORK TO BE PERFORMED. NO COMPENSATION WILL BE GRANTED FOR ADDITIONAL WORK CAUSED BY UNFAMILIARITY WITH SITE CONDITIONS THAT ARE VISIBLE OR READILY IDENTIFIED BY EXPERIENCED OBSERVERS. INCLUDE IN THE BID ALL DEMOLITION WORK REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR STORAGE AND HANDLING OF EXISTING TO BE RELOCATED EQUIPMENT AND DEVICES.
- THE CONTRACTOR SHALL COORDINATE THE USE OF THE EXISTING FIRE ALARM SYSTEM AS TEMPORARY PROTECTION. THE FIRE ALARM SYSTEM SHALL BE MODIFIED IN AREA OF DEMOLITION WORK TO PROVIDE AND BE MAINTAIN COVERAGE IN AND OUTSIDE AREA OF WORK, PARTICULARLY WITH THE EXISTING DATA CENTER. MAINTAIN OPERATION OF THE EXISTING FIRE ALARM SYSTEM THROUGHOUT DEMOLITION. PROVIDE ADDITIONAL COORDINATED EXTEND CIRCUITS WITH WIRING TO MATCH EXISTING CLASS AND STYLE TO MAINTAIN CONTINUITY OF CIRCUITS UPSTREAM AND DOWNSTREAM OF THE WORK AFFECTED BY DEMOLITION. PROTECT DEVICES DURING CONSTRUCTION. TAKE DEVICES OFF-LINE IF NECESSARY. COORDINATE BYPASSING AND REACTIVATION OF THESE DEVICES WITH OWNER. PROVIDE TESTING AND REPROGRAMMING OF SYSTEM, AND COORDINATE ACCEPTANCE TESTING WITH THE LOCAL AHJ.
- BRANCH CIRCUITS THAT ARE EXISTING TO REMAIN OR TO BE RELOCATED IN PANELBOARDS THAT ARE BEING DEMOLISHED SHALL BE INDICATED TO INDICATE WHAT THEY ARE BASED ON EXISTING PANELBOARD DIRECTORY.
- PANELBOARDS THAT ARE EXISTING TO REMAIN SHALL HAVE THEIR DIRECTORY UPDATED TO INDICATE CIRCUITS THAT ARE EXISTING TO REMAIN. CIRCUITS THAT HAVE BEEN REMOVED AS PART OF DEMOLITION SHALL BE INDICATED IN THE REVISED DIRECTORY AS SPARES.

ELECTRICAL DEMOLITION ABBREVIATIONS

ETR	EXISTING TO REMAIN
RE	EXISTING TO BE REMOVED
RL	EXISTING TO BE RELOCATED
RR	EXISTING TO BE RELOCATED IN SAME LOCATION ON NEW SURFACE
RN	EXISTING TO BE REMOVED AND REPLACED WITH NEW (EXISTING BACKBOXES CONDUIT AND WIRING TO REMAIN)
NE	NEW DEVICE INSTALLED IN SAME LOCATION AS EXISTING REMOVED DEVICE
NL	NEW LOCATION OF EXISTING RELOCATED DEVICE

ELECTRICAL DEMOLITION KEY NOTES

- ED1** EXISTING LIGHTING DEMOLITION
REMOVE EXISTING INTERIOR LIGHTING THROUGHOUT, INCLUDING BUT NOT LIMITED TO CONTROLS DEVICES & WIRING, BOXES, HANGERS, SUPPORTS, SWITCHES, RACEWAYS, AND WIRING BACK TO PANELBOARD OF ORIGIN. CIRCUITS ORIGINATING FROM THE PANELBOARD LOCATED IN THE DATA CENTER SHALL BE REMOVED BACK TO THIS LOCATION AND THE ASSOCIATED CIRCUIT BREAKER BE LABELED AS SPARE.
- ED2** EXISTING EXTERIOR LIGHTING DEMOLITION
REMOVE EXISTING EXTERIOR LIGHTING AT THIS APPROXIMATE LOCATION. REMOVAL SHALL INCLUDE BOXES, HANGER, RACEWAYS, AND WIRING BACK TO PANELBOARD OF ORIGIN.
- ED3** EXISTING POWER RECEPTACLE INFRASTRUCTURE
REMOVE EXISTING POWER RECEPTACLE THROUGHOUT, INCLUDING BUT NOT LIMITED TO FACEPLATES, BOXES, HANGERS, SUPPORTS, RACEWAYS, AND WIRING BACK TO PANELBOARD OF ORIGIN. CIRCUITS ORIGINATING FROM THE PANELBOARD LOCATED IN THE DATA CENTER SHALL BE REMOVED BACK TO THIS LOCATION, AND THE ASSOCIATED CIRCUIT BREAKER BE LABELED AS SPARE.
- ED4** EXISTING FIRE ALARM DEMOLITION
REMOVE EXISTING FIRE ALARM SYSTEM, INCLUDING BUT NOT LIMITED TO CONTROL PANELS, ASSOCIATED ENCLOSURES, BOXES, SUPPORTS, RACEWAYS, AND WIRING THROUGHOUT. FIRE ALARM DEMOLITION SHALL ALSO INCLUDE ANY DEVICES LOCATED ON THE EXTERIOR OF THE BUILDING, IF APPLICABLE. COORDINATE, THE PHASED REMOVAL OR TEMPORARY RELOCATION OF THE FIRE ALARM SYSTEM HEADEND EQUIPMENT TO MAINTAIN PROTECTION TO THE DATA CENTER.
- ED5** EXISTING DATA & SECURITY INFRASTRUCTURE DEMOLITION
NOT APPLICABLE TO THE EXISTING DATA CENTER
REMOVE EXISTING DATA AND SECURITY INFRASTRUCTURE IN THE BUILDING, INCLUDING BUT NOT LIMITED TO CARD READERS, CAMERAS, HEADEND EQUIPMENT, FACEPLATES, BOXES, HANGERS, SUPPORTS, RACEWAYS, AND WIRING BACK TO ROOM OF ORIGIN. REMOVE ASSOCIATED BACKS AND CABINETS AND ALL SUPPORTED/MOUNTED EQUIPMENT. TURN OVER TO THE OWNER OR DISPOSE AT THE OWNER'S DISCRETION. REMOVE EXISTING BUILDING ONLY EXCLUDING DATA CENTER INCOMING TELECOMMUNICATION SERVICES BACK TO POINT OF ENTRANCE AND OUT TO UTILITY POLE.
- ED6** EXISTING FIBER INFRASTRUCTURE TO REMAIN
EXISTING OVERHEAD FIBER AND CONDUIT TO REMAIN. APPROXIMATE ROUTING SHOWN. EXISTING FIBER IS ASSOCIATED WITH THE DATA CENTER.
- ED7** EXISTING SERVICE ENTRANCE, DISTRIBUTION, AND PANELBOARD EQUIPMENT DEMOLITION
REMOVE EXISTING ELECTRICAL DISTRIBUTION EQUIPMENT, INCLUDING SECONDARY FEEDERS BACK TO THE TRANSFORMER LOCATION. REMOVE EXISTING PANELBOARD EQUIPMENT THROUGHOUT. COORDINATE ELECTRICAL FEED RELOCATION OF THE FOLLOWING EQUIPMENT WITH INSTALLATION OF NEW ELECTRICAL EQUIPMENT (SEE KEYNOTES ED8 AND ED9 FOR ADDITIONAL INFORMATION).
1. BOILERS, ASSOCIATED PUMPS AND DISCONNECT EQUIPMENT
2. SEWAGE EJECTOR PUMPS & CONTROL PANEL
3. DATA CENTER DISCONNECT, ATS, AND ASSOCIATED PANELBOARDS.
- ED8** EXISTING MECHANICAL & PLUMBING EQUIPMENT TO REMAIN
EXISTING BOILER & ASSOCIATED PUMPS, SEWAGE EJECTOR PUMPS & ASSOCIATED CONTROL PANEL, AND DISCONNECT EQUIPMENT TO REMAIN IN THIS AREA. ELECTRICAL CONNECTIONS TO REMAIN UNTIL ELECTRICAL CONNECTIONS ARE RELOCATED TO NEW ELECTRICAL PANELBOARD EQUIPMENT.
- ED9** DATA CENTER
ALL SYSTEMS ASSOCIATED WITH THE DATA CENTER (POWER/LIGHTING/TELECOMMUNICATIONS) AND ASSOCIATED SUMP PUMPS SHALL REMAIN UNDISTURBED. THE DEMOLITION CONTRACTOR SHALL CAREFULLY ASSESS COPPER OR FIBER CABLING ROUTED OUTSIDE OF THE DATA CENTER SPACE PRIOR TO REMOVAL. REMOVAL OF ANY CABLING BELIEVED TO BE ASSOCIATED WITH THE DATA CENTER SHALL BE COMMUNICATED AND COORDINATED WITH THE OWNER.
- ED10** ROOF ELECTRICAL DEMOLITION
REMOVE ELECTRICAL CONNECTION TO ALL EXISTING ROOF MOUNTED MECHANICAL EQUIPMENT, INCLUDING BUT NOT LIMITED TO DISCONNECTS, SUPPORTS, RACEWAYS, AND WIRING BACK TO PANELBOARD OF ORIGIN.
REMOVE EXISTING ROOF MOUNTED POWER RECEPTACLE DEVICES, INCLUDING BUT NOT LIMITED TO FACEPLATES, BOXES, COVERS, HANGERS, SUPPORTS, RACEWAYS, AND WIRING BACK TO PANELBOARD OF ORIGIN.
REMOVE EXISTING ANTENNA DEVICES LOCATED ON THE ROOF, INCLUDING BUT NOT LIMITED TO ASSOCIATED SUPPORTS AND CABLING BACK TO ROOM OR POINT OF ORIGIN. ANTENNA DEVICES TO BE TURNED OVER TO THE OWNER, OR DISPOSED AT THE OWNER'S DISCRETION.
- ED11** MOTORIZED SHADES TO REMAIN FOR FUTURE REUSE
EXISTING MOTORIZED SHADES TO REMAIN AT ITS CURRENT LOCATION. DISCONNECT ELECTRICAL FEED AND REMOVE WIRING BACK TO PANELBOARD OF ORIGIN. DISCONNECT EXISTING CONTROL WIRING AND SECURE FOR FUTURE EXTENSION AND RECONNECTION.

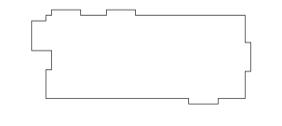


S / L / A / M Architects, Landscape Architects & Engineers, P.C.
80 Glastonbury Boulevard
Glastonbury, CT 06033-4410
Phone: 860 657.8077
www.slamcoll.com

Drawn	VCM
Checked	EMG



NEW YORK
PRESBYTERIAN
IONA SCHOOL OF
HEALTH SCIENCES
171 White Plains Rd,
Bronxville, NY 10708



KEYPLAN

Number	Date	Issued For
01/27/2022		BID PACKAGE NO. 1

ELECTRICAL DEMOLITION
BASEMENT/ LOWER LEVEL
AND FIRST FLOOR PLANS

Date 01/27/2022
Scale As indicated
Proj. Number 20287.10
Drawing Number ED101

1

2

3

4

5

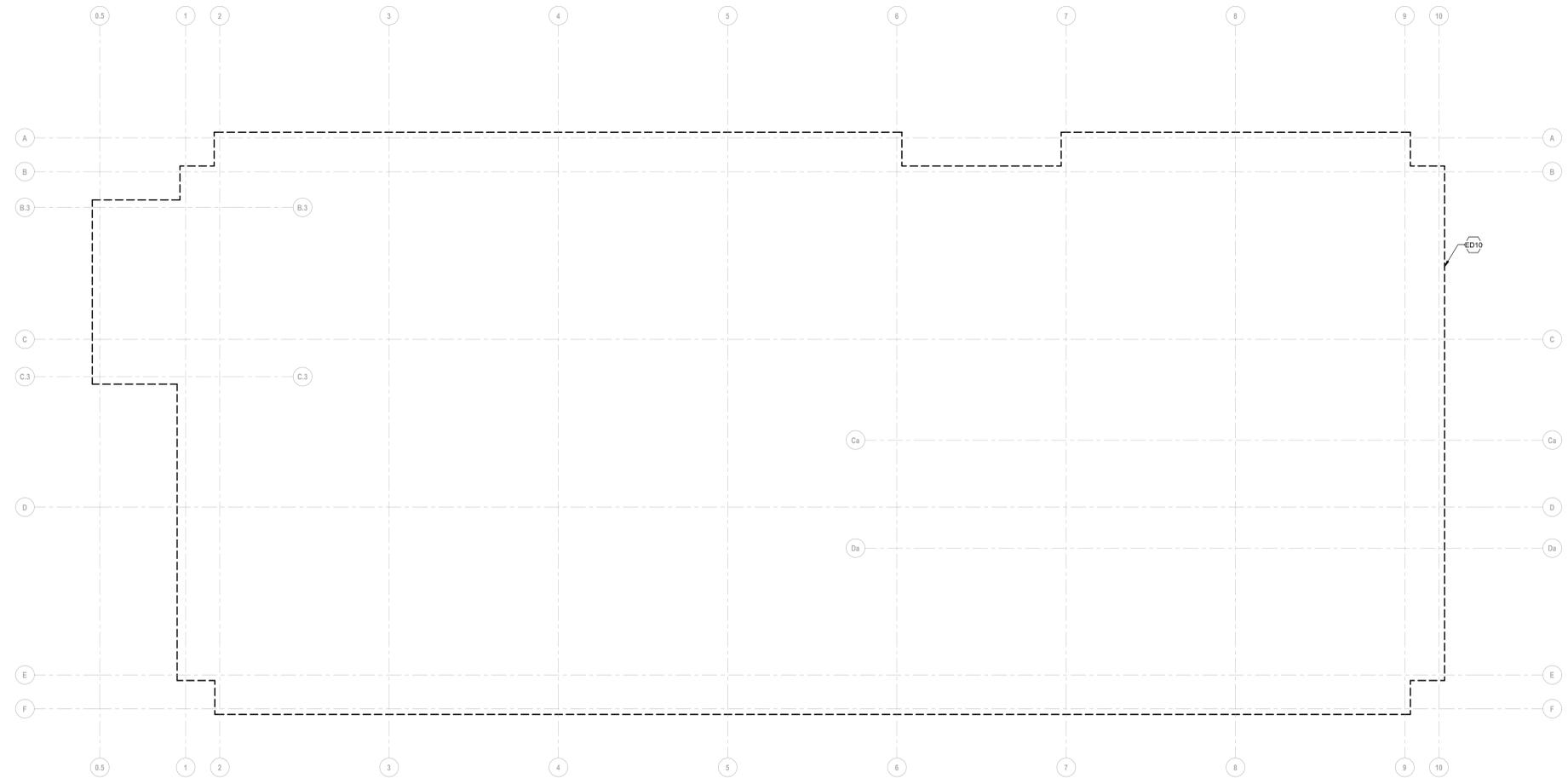
A

B

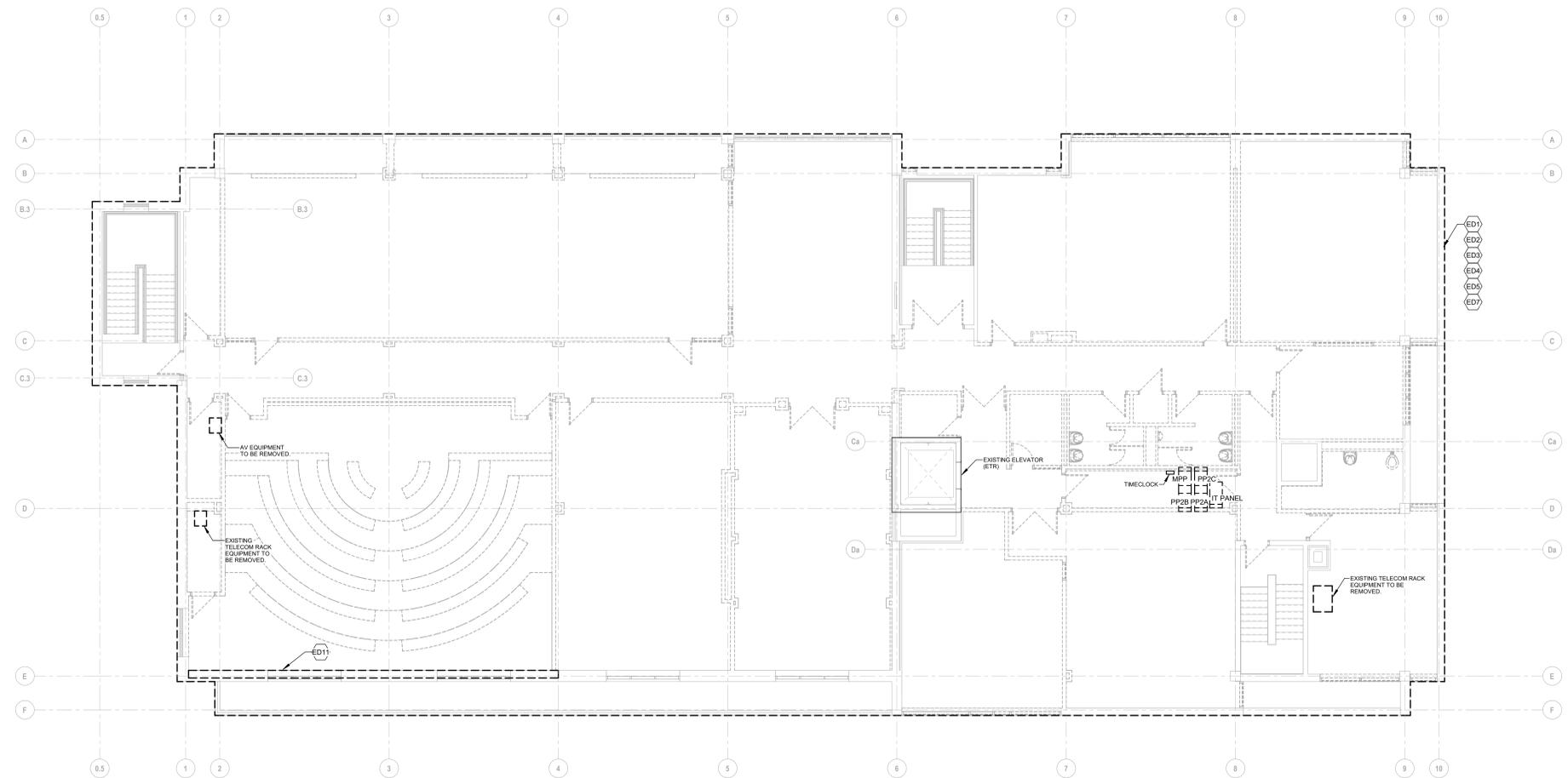
C

D

E



2 ELECTRICAL DEMOLITION ROOF LEVEL FLOOR PLAN
1/8" = 1'-0"



1 ELECTRICAL DEMOLITION SECOND LEVEL FLOOR PLAN
1/8" = 1'-0"

ELECTRICAL DEMOLITION NOTES

- EXISTING ELECTRICAL DEVICES IN REGIONS OF DEMOLITION SHALL BE REMOVED UNLESS NOTED OTHERWISE, INCLUDING BUT NOT LIMITED TO PANELBOARDS, RECEPTACLES, LIGHT FIXTURES, LIGHTING CONTROLS, TELECOMMUNICATION DEVICES, FIRE ALARM DEVICES, SECURITY DEVICES, AND MECHANICAL EQUIPMENT CONNECTIONS. REMOVAL SHALL BE COMPLETE INCLUDING BOXES, BRACKETS, HANGERS AND BRANCH CIRCUIT WIRING BACK TO SOURCE PANELBOARD OR LAST ACTIVE DEVICE TO REMAIN.
- ELECTRICAL DEMOLITION PLANS ARE DIAGRAMMATIC AND NOT INTENDED TO DEPICT THE ENTIRE SCOPE OF ELECTRICAL DEMOLITION. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING DEVICES. ADDITIONAL DEMOLITION AND MODIFICATION WORK NOT SHOWN SHOULD BE ANTICIPATED.
- DEMOLITION OF EXISTING TELECOMMUNICATIONS DEVICES SHALL INCLUDE REMOVAL OF CONNECTORS, FACEPLATE, BACKBOX, CONDUIT AND WIRING BACK TO SOURCE.
- DEMOLITION OF EXISTING SECURITY AND FIRE ALARM DEVICES SHALL INCLUDE REMOVAL OF DEVICE, CONNECTORS, MOUNTING HARDWARE, BACKBOX, CONDUIT AND WIRING BACK TO SOURCE OR LAST ACTIVE DEVICE TO REMAIN.
- DEMOLITION OF EXISTING LIGHTING FIXTURES SHALL ALSO INCLUDE REMOVAL OF ASSOCIATED SWITCHES AND SWITCHED WIRING UNLESS OTHERWISE NOTED IN NEW WORK PLANS. LOCATIONS OF ALL SWITCHES SHALL BE FIELD VERIFIED PRIOR TO DEMOLITION.
- REFER TO MECHANICAL/PLUMBING DEMOLITION DRAWINGS FOR EXISTING MECHANICAL AND PLUMBING EQUIPMENT TO BE REMOVED. FOR THIS EQUIPMENT, DISCONNECT AND REMOVE WIRING BACK TO SOURCE AND REMOVE ASSOCIATED STARTERS, DRIVES AND DISCONNECT SWITCHES AT EQUIPMENT LOCATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL ITEMS TO BE REMOVED IN A SAFE, LEGAL AND RESPONSIBLE MANNER.
- CONTRACTOR SHALL MODIFY EXISTING CIRCUITS, WHEN EXISTING DEVICES ARE REMOVED, AS REQUIRED TO MAINTAIN CIRCUIT CONTINUITY.
- PRIOR TO SUBMITTING BID, VISIT SITE AND IDENTIFY EXISTING CONDITIONS AND DIFFICULTIES THAT WILL AFFECT WORK TO BE PERFORMED. NO COMPENSATION WILL BE GRANTED FOR ADDITIONAL WORK CAUSED BY UNFAMILIARITY WITH SITE CONDITIONS THAT ARE VISIBLE OR READILY IDENTIFIED BY EXPERIENCED OBSERVERS. INCLUDE IN THE BID ALL DEMOLITION WORK REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR STORAGE AND HANDLING OF EXISTING TO BE RELOCATED EQUIPMENT AND DEVICES.
- THE CONTRACTOR SHALL COORDINATE THE USE OF THE EXISTING FIRE ALARM SYSTEM AS TEMPORARY PROTECTION. THE FIRE ALARM SYSTEM SHALL BE MODIFIED IN AREA OF DEMOLITION WORK TO PROVIDE AND BE MAINTAIN COVERAGE IN AND OUTSIDE AREA OF WORK, PARTICULARLY WITH THE EXISTING DATA CENTER. MAINTAIN OPERATION OF THE EXISTING FIRE ALARM SYSTEM DURING DEMOLITION PROVIDE ADDITIONAL COMPATIBLE EXTERIOR EXTERIOR DEVICES WITH WIRING TO MATCH EXISTING CLASS AND STYLE TO MAINTAIN CONTINUITY OF CIRCUITS UPSTREAM AND DOWNSTREAM OF THE WORK AFFECTED BY DEMOLITION. PROTECT DEVICES DURING CONSTRUCTION. TAKE DEVICES OFF-LINE IF NECESSARY. COORDINATE BYPASSING AND REACTIVATION OF THESE DEVICES WITH OWNER. PROVIDE TESTING AND REPROGRAMMING OF SYSTEM, AND COORDINATE ACCEPTANCE TESTING WITH THE LOCAL AHJ.
- BRANCH CIRCUITS THAT ARE EXISTING TO REMAIN OR TO BE RELOCATED IN PANELBOARDS THAT ARE BEING DEMOLISHED SHALL BE LABELED TO INDICATE WHAT THEY ARE SERVING (BASED ON EXISTING PANELBOARD DIRECTORY).
- PANELBOARDS THAT ARE EXISTING TO REMAIN SHALL HAVE THEIR DIRECTORY UPDATED TO INDICATE CIRCUITS THAT ARE EXISTING TO REMAIN. CIRCUITS THAT ARE BEING REMOVED AS PART OF DEMOLITION SHALL BE INDICATED IN THE REVISED DIRECTORY AS SPARES.

ELECTRICAL DEMOLITION ABBREVIATIONS

ETR	EXISTING TO REMAIN
RE	EXISTING TO BE REMOVED
RL	EXISTING TO BE RELOCATED
RR	EXISTING TO BE RELOCATED IN SAME LOCATION ON NEW SURFACE
RN	EXISTING TO BE REMOVED AND REPLACED WITH NEW (EXISTING BACKBOXES CONDUIT AND WIRING TO REMAIN)
NE	NEW DEVICE INSTALLED IN SAME LOCATION AS EXISTING REMOVED DEVICE
NL	NEW LOCATION OF EXISTING RELOCATED DEVICE

ELECTRICAL DEMOLITION KEY NOTES

- (ED1)** EXISTING LIGHTING DEMOLITION
REMOVE EXISTING INTERIOR LIGHTING THROUGHOUT, INCLUDING BUT NOT LIMITED TO CONTROLS DEVICES & WIRING, BOXES, HANGERS, SUPPORTS, SWITCHES, RACEWAYS, AND WIRING BACK TO PANELBOARD OF ORIGIN. CIRCUITS ORIGINATING FROM THE PANELBOARD LOCATED IN THE DATA CENTER SHALL BE REMOVED BACK TO THIS LOCATION AND THE ASSOCIATED CIRCUIT BREAKER BE LABELED AS SPARE.
- (ED2)** EXISTING EXTERIOR LIGHTING DEMOLITION
REMOVE EXISTING EXTERIOR LIGHTING AT THIS APPROXIMATE LOCATION. REMOVAL SHALL INCLUDE BOXES, HANGER, RACEWAYS, AND WIRING BACK TO PANELBOARD OF ORIGIN.
- (ED3)** EXISTING POWER RECEPTACLE INFRASTRUCTURE DEMOLITION
REMOVE EXISTING POWER RECEPTACLE THROUGHOUT, INCLUDING BUT NOT LIMITED TO FACEPLATES, BOXES, HANGERS, SUPPORTS, RACEWAYS, AND WIRING BACK TO PANELBOARD OF ORIGIN. CIRCUITS ORIGINATING FROM THE PANELBOARD LOCATED IN THE DATA CENTER SHALL BE REMOVED BACK TO THIS LOCATION, AND THE ASSOCIATED CIRCUIT BREAKER BE LABELED AS SPARE.
- (ED4)** EXISTING FIRE ALARM DEMOLITION
REMOVE EXISTING FIRE ALARM SYSTEM, INCLUDING BUT NOT LIMITED TO CONTROL PANELS, ASSOCIATED ENCLOSURES, BOXES, SUPPORTS, RACEWAYS, AND WIRING THROUGHOUT. FIRE ALARM DEVICES THAT ARE EXISTING TO REMAIN OR TO BE RELOCATED IN PANELBOARDS THAT ARE BEING DEMOLISHED SHALL BE LABELED TO INDICATE WHAT THEY ARE SERVING (BASED ON EXISTING PANELBOARD DIRECTORY).
- (ED5)** EXISTING DATA & SECURITY INFRASTRUCTURE DEMOLITION
NOT APPLICABLE TO THE EXISTING DATA CENTER
REMOVE EXISTING DATA AND SECURITY INFRASTRUCTURE IN THE BUILDING, INCLUDING BUT NOT LIMITED TO CARD READERS, CAMERAS, HEADEND EQUIPMENT, FACEPLATES, BOXES, HANGERS, SUPPORTS, RACEWAYS, AND WIRING BACK TO ROOM OF ORIGIN. REMOVE ASSOCIATED RACKS AND CABINETS AND ALL SUPPORTED/MOUNTED EQUIPMENT. TURN OVER TO THE OWNER OR DISPOSE AT THE OWNER'S DISCRETION. REMOVE EXISTING BUILDING ONLY EXCLUDING DATA CENTER INCOMING TELECOMMUNICATION SERVICES BACK TO POINT OF ENTRANCE AND OUT TO UTILITY POLE.
- (ED6)** EXISTING FIBER INFRASTRUCTURE TO REMAIN
EXISTING OVERHEAD FIBER AND CONDUIT TO REMAIN. APPROXIMATE ROUTING SHOWN. EXISTING FIBER IS ASSOCIATED WITH THE DATA CENTER.
- (ED7)** EXISTING SERVICE ENTRANCE, DISTRIBUTION, AND PANELBOARD EQUIPMENT DEMOLITION
REMOVE EXISTING ELECTRICAL DISTRIBUTION EQUIPMENT, INCLUDING SECONDARY FEEDERS BACK TO THE TRANSFORMER LOCATION. REMOVE EXISTING PANELBOARD EQUIPMENT THROUGHOUT. COORDINATE ELECTRICAL FEED RELOCATION OF THE FOLLOWING EQUIPMENT WITH INSTALLATION OF NEW ELECTRICAL EQUIPMENT (SEE KEYNOTES ED8 AND ED9 FOR ADDITIONAL INFORMATION).
1. BOILERS, ASSOCIATED PUMPS AND DISCONNECT EQUIPMENT
2. SEWAGE EJECTOR PUMPS & CONTROL PANEL
3. DATA CENTER DISCONNECT, ATS, AND ASSOCIATED PANELBOARDS.
- (ED8)** EXISTING MECHANICAL & PLUMBING EQUIPMENT TO REMAIN
EXISTING BOILER & ASSOCIATED PUMPS, SEWAGE EJECTOR PUMPS & ASSOCIATED CONTROL PANEL, AND DISCONNECT EQUIPMENT TO REMAIN IN THIS AREA. ELECTRICAL CONNECTIONS TO REMAIN UNTIL ELECTRICAL CONNECTIONS ARE RELOCATED TO NEW ELECTRICAL PANELBOARD EQUIPMENT.
- (ED9)** DATA CENTER
ALL SYSTEMS ASSOCIATED WITH THE DATA CENTER (POWER/LIGHTING/TELECOMMUNICATIONS) AND ASSOCIATED SUMP PUMPS SHALL REMAIN UNDISTURBED. THE DEMOLITION CONTRACTOR SHALL CAREFULLY ASSESS COPPER OR FIBER CABLING ROUTED OUTSIDE OF THE DATA CENTER SPACE PRIOR TO REMOVAL. REMOVAL OF ANY CABLING BELIEVED TO BE ASSOCIATED WITH THE DATA CENTER SHALL BE COMMUNICATED AND COORDINATED WITH THE OWNER.
- (ED10)** ROOF ELECTRICAL DEMOLITION
REMOVE ELECTRICAL CONNECTION TO ALL EXISTING ROOF MOUNTED MECHANICAL EQUIPMENT, INCLUDING BUT NOT LIMITED TO DISCONNECTS, SUPPORTS, RACEWAYS, AND WIRING BACK TO PANELBOARD OF ORIGIN.
REMOVE EXISTING ROOF MOUNTED POWER RECEPTACLE DEVICES, INCLUDING BUT NOT LIMITED TO FACEPLATES, BOXES, COVERS, HANGERS, SUPPORTS, RACEWAYS, AND WIRING BACK TO PANELBOARD OF ORIGIN.
REMOVE EXISTING ANTENNA DEVICES LOCATED ON THE ROOF, INCLUDING BUT NOT LIMITED TO ASSOCIATED SUPPORTS AND CABLING BACK TO ROOM OR POINT OF ORIGIN. ANTENNA DEVICES TO BE TURNED OVER TO THE OWNER, OR DISPOSED AT THE OWNERS DISCRETION.
- (ED11)** MOTORIZED SHADES TO REMAIN FOR FUTURE REUSE
EXISTING MOTORIZED SHADES TO REMAIN AT ITS CURRENT LOCATION. DISCONNECT ELECTRICAL FEED AND REMOVE WIRING BACK TO PANELBOARD OF ORIGIN. DISCONNECT EXISTING CONTROL WIRING AND SECURE FOR FUTURE EXTENSION AND RECONNECTION.

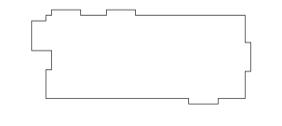


S / L / A / M Architects, Landscape Architects & Engineers, P.C.
80 Glastonbury Boulevard
Glastonbury, CT 06033-4410
Phone: 860 657.8077
www.slamcoll.com

Drawn	VCM
Checked	EMG



NEW YORK PRESBYTERIAN
IONA SCHOOL OF HEALTH SCIENCES
171 White Plains Rd,
Bronxville, NY 10708



KEYPLAN

Number	Date	Issued For
01/27/2022	01/27/2022	BID PACKAGE NO. 1

ELECTRICAL DEMOLITION SECOND FLOOR AND ROOF PLANS

Date: 01/27/2022
Scale: As indicated
Proj. Number: 20287.10
Drawing Number: ED102

© 2022 The SLAM Collaborative, Inc. Iona College School of Health Sciences#22-2021619-MEP-Contral - Iona School of Health Sciences.vt 1/27/2022 4:43:48 PM