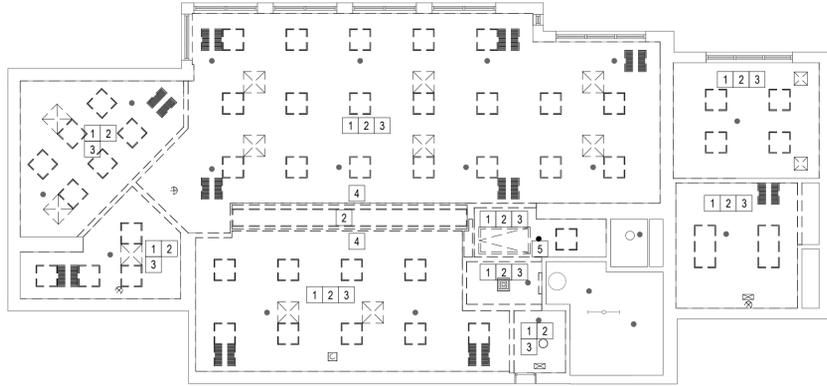
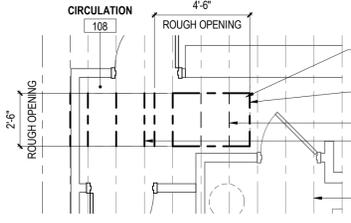


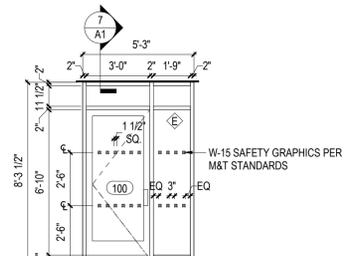
1 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



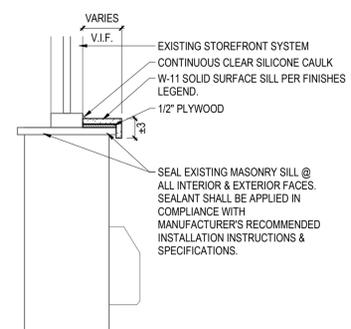
2 DEMO REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



5 ENLARGED ATTIC FRAMING PLAN
SCALE: 1/4" = 1'-0"



6 STOREFRONT ELEVATION
SCALE: 1/4" = 1'-0"

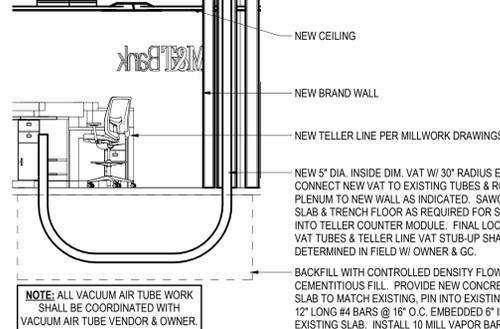


8 WINDOW SILL DETAIL
SCALE: 1" = 1'-0"

DEMO RCP LEGEND

- 2X2 LIGHT FIXTURE
- ⊕ EMERGENCY EXIT SIGN
- ⊗ SUPPLY AIR TERMINAL
- ⊖ RETURN AIR TERMINAL
- SPRINKLER HEAD

7 SOFFIT SECTION
SCALE: 1" = 1'-0"



9 VAT SECTION
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN KEY NOTES

- DEMO & REMOVE WALLPAPER/WALLCOVERING IN ITS ENTIRETY. SKIM COAT EXISTING GYP & PREPARE TO LEVEL DRYWALL FINISH THROUGHOUT BRANCH. IF GYP. BD. FINISH CANNOT BE SALVAGED, REMOVE GYP. BD. & PREPARE STUDS TO RECEIVE NEW 5/8" GYP. BD. SKIM COAT AND PROVIDE LEVEL DRYWALL FINISH.
- A. DEMO AND REMOVE WALLS AS INDICATED INCLUDING ALL OF ITS COMPONENTS WITHIN ELECTRICAL CONTRACTOR SHALL TEST EXISTING CIRCUITING AND DEEM SAFE PRIOR TO DEMOLITION EFFORTS. TRACE ABANDONED FEEDER WIRES BACK TO PANEL.
- B. DEMO AND REMOVE DOORS AND FRAMES AS INDICATED.
- C. DEMO AND REMOVE INTERIOR WINDOWS AS INDICATED.
- D. DEMO AND REMOVE FLOOR FINISH AND BASE IN ITS ENTIRETY. GRIND OFF RESIDUAL MASTIC AND/OR THIN SET DOWN TO CONCRETE SLAB IN PREPARATION FOR NEW FLOORING.
- E. REMOVE INTERIOR SIGNAGE, MARKETING AND ARTWORK. RETURN TO OWNER FOR POSSIBLE RE-USE.
- F. DEMO AND REMOVE MILLWORK. RETURN UNDER COUNTER STEEL CABINETS AND BANK EQUIPMENT TO OWNER FOR POSSIBLE RE-USE. ELECTRICAL CONTRACTOR SHALL TEST EXISTING CIRCUITS AND DEEM SAFE PRIOR TO DEMO. TRACE ABANDONED FEEDER WIRES BACK TO PANEL.
- G. REMOVE PLUMBING FIXTURES AND ACCESSORIES AS INDICATED. CAP EXISTING PLUMBING LINES AFTER FIXTURE REMOVAL. REFER TO PLUMBING PLAN FOR MORE INFO.
- H. REMOVE PLUMBING FIXTURES AND ACCESSORIES AS INDICATED. MODIFIED EXG PLUMBING LINES FOR NEW ADA RESTROOM LAYOUT. REFER TO PLUMBING PLAN FOR MORE INFO.
- I. RELOCATE SECURITY EQUIPMENT AND CAMERA MONITOR AS REQUIRED. COORDINATE WITH BANK'S SECURITY VENDOR.
- J. DEMO & REMOVE THRU WALL DEAL DRAWER. PREPARE OPENING FOR INFILL. INFILL SHALL MATCH ADJACENT WALL CONSTRUCTION.
- K. CAREFULLY REMOVE M&T BRANDING GRAPHIC.
- L. DEMO AND REMOVE KITCHENETTE MILLWORK, APPLIANCES & PLUMBING FIXTURES AS INDICATED. PREPARE PLUMBING LINES PER NEW KITCHENETTE LAYOUT. SEE PROPOSED PLUMBING PLAN FOR MORE INFORMATION.
- M. EXISTING IT RACK TO REMAIN IN SERVICE CONTINUOUSLY DURING CONSTRUCTION. PROVIDE TEMPORARY PROTECTION DURING DEMOLITION PHASES & CONSTRUCTION. COORDINATE RELOCATION W/ OWNERS IT DEPARTMENT.
- N. VAT SYSTEM TO BE CUT AND PREPARED FOR NEW ROUTE TO PROPOSED LOCATION. COORDINATE ALL WORK WITH BANK EQUIPMENT CONTRACTOR TO ENSURE OPERATION OF ALL EQUIPMENT. REFER TO PROPOSED FLOOR PLAN & SECTION FOR MORE INFORMATION.
- O. REMOVE & RELOCATE EXISTING FIRE EXTINGUISHER/FIRE EXTINGUISHER CABINET TO NEW LOCATION AS INDICATED ON PROPOSED FLOOR PLAN.
- P. REMOVE & RELOCATE SECURITY KEYPAD TO NEW LOCATION PER PROPOSED FLOOR PLAN. REPLACE SECURITY KEYPAD IF DAMAGED.
- Q. REMOVE & RELOCATE THERMOSTAT TO NEW LOCATION PER MECHANICAL PLAN. REPLACE THERMOSTAT IF DAMAGED.
- R. DEMO & REMOVE FRIDGE.
- S. REMOVE BANK EQUIPMENT & RETURN TO OWNER FOR POTENTIAL RE-USE.
- T. CASH SAFE TO BE REUSED. PROTECT & STORE ON SITE. RELOCATE TO NEW LOCATION PER PROPOSED FLOOR PLAN.
- U. DEMO AND REMOVE VERTICAL WINDOW SHADES/HORIZONTAL BLINDS & ASSOCIATED TRACK HARDWARE. PATCH AND REPAIR OPENING AS REQUIRED FOR ADDITION OF NEW SOLAR SHADES.
- V. DEMO & REMOVE DRIVE-UP ATM. PREPARE OPENING FOR INFILL & NEW ATM INSTALLATION. INFILL SHALL MATCH ADJACENT WALL CONSTRUCTION.
- W. DEMO AND REMOVE DECORATIVE CROWN MOLDING THROUGHOUT BRANCH. PATCH & REPAIR TOP OF WALL AS REQUIRED TO MATCH ADJACENT CONSTRUCTION.
- X. REMOVE FURNITURE IN ITS ENTIRETY. RETURN TO OWNER FOR POTENTIAL RE-USE.
- Y. DEMO & REMOVE PLUS MOLD MULTI OUTLET STRIP ABOVE COUNTERTOP.

DEMO REFLECTED CEILING PLAN KEY NOTES

- COORDINATE REMOVAL OF BANK'S SECURITY CAMERA SYSTEM WITH VENDOR. PATCH & REPAIR WALLS AS REQUIRED. NEW LOCATIONS SHALL BE DETERMINED BY OWNER & SECURITY VENDOR.
- COORDINATE ALL CEILING WORK WITH BANK'S PROPERTY MAINTENANCE DEPARTMENT FOR NEW HVAC EQUIPMENT ABOVE.

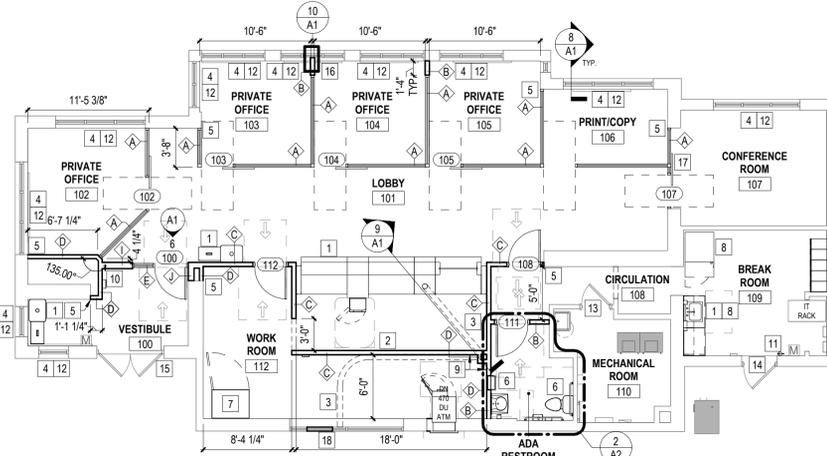
- 1. DEMO AND REMOVE CEILING SYSTEM IN ITS ENTIRETY IN SPECIFIED AREA.
- 2. DEMO AND REMOVE ALL LIGHT FIXTURES AS INDICATED. SALVAGE EXISTING FEEDER WIRES AND SWITCHING WHERE POSSIBLE FOR REPLACEMENT LIGHT FIXTURES.
- 3. DEMO AND REMOVE ALL HVAC GRILLES AND DIFFUSERS AS INDICATED. SALVAGE EXISTING FLEX DUCT AND DUCTWORK TO RECONNECT WITH REPLACEMENT HVAC GRILLES AND DIFFUSERS. ALL EXISTING DUCTWORK SHALL BE CLEANED AND SANITIZED FOR REUSE.
- 4. DEMO AND REMOVE SOFFIT AS INDICATED.
- 5. DEMO AND REMOVE ATTIC ACCESS HATCH & LADDER. MODIFY FRAMING FOR INSTALL OF NEW ATTIC ACCESS HATCH & LADDER. SEE FRAMING PLAN FOR MORE INFORMATION.

GENERAL DEMOLITION NOTES

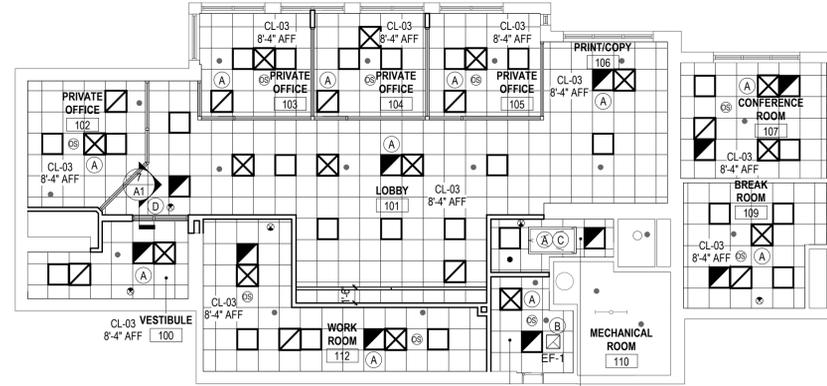
- CONTRACTOR SHALL REVIEW PRE-CONSTRUCTION ASBESTOS REPORT PRIOR TO BEGINNING WORK EFFORTS.
- PROTECT EXISTING WALLS, FLOORS AND ANY OTHER ITEMS TO REMAIN DURING DEMOLITION.
- ALL DEMOLISHED MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN STRICT ACCORDANCE WITH ALL APPLICABLE REGULATIONS, AND AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL PROVIDE DUMPSTERS AND MEANS OF MATERIAL REMOVAL FROM SITE. IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS, AND AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL CARRY FORTH DAILY CLEAN UP IN SITE.
- CONTRACTOR SHALL PROVIDE PROOF OF INSURANCE TO OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUOUS ON SITE SUPERVISION.
- THE ELECTRICAL CONTRACTOR SHALL TURN OFF POWER TO AREAS OF WORK AND DEEM SAFE PRIOR TO DEMOLITION EFFORTS.
- THE CONTRACTOR SHALL SHORE AND BRACE ANY STRUCTURAL COMPONENT INVOLVED IN DEMOLITION THAT COULD AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- ANY ITEM NOT SPECIFICALLY CALLED OUT TO BE REMOVED OR RELOCATED, BUT NECESSARY TO DO AS PART OF THE PROJECT, SHALL BE REMOVED AND STORED ON SITE AS REQUIRED.
- DOORS AND WINDOWS NOT DASHED ARE EXISTING TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY PROTECTION AND BARRIERS TO MAINTAIN A SAFE WORKING ENVIRONMENT.

HAZARDOUS MATERIAL NOTES

- IF THE DEMOLITION CONTRACTOR OR ANY OTHER TRADE SUSPECTS THEY HAVE ENCOUNTERED HAZARDOUS MATERIALS, THEY SHALL STOP WORK IMMEDIATELY AND NOTIFY THE OWNER AND ARCHITECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR TESTING ALL QUESTIONABLE MATERIALS INVOLVED IN THIS PROJECT.
- SUBCONTRACTORS ARE REQUIRED TO PROVIDE A LIST OF MATERIALS RELATED TO EACH TRADE THAT IS OF A SUSPICIOUS NATURE AND REQUIRES TESTING.
- HAZARDOUS MATERIALS REMOVAL, INCLUDING BUT NOT LIMITED TO MOLD, LEAD PAINT, AND ASBESTOS, IF ABATEMENT IS REQUIRED, IT SHALL BE PERFORMED BY A LICENSED ABATEMENT CONTRACTOR AND SHALL BE PERFORMED PER ALL LOCAL, STATE AND NATIONAL CODES.



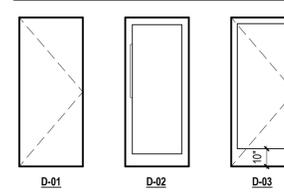
3 PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"



4 REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

#	DOOR			TYPE	MAT.	FRAME		GLASS	MISC.
	W	H	T			TYPE	MAT.		
100	3'-0"	7'-0"	1-3/4"	D-03	GLASS	F-03	AL	FULL	H-03
102	3'-0"	7'-0"	1-3/4"	D-02	GLASS	F-02	AL	FULL	H-02
103	3'-0"	7'-0"	1-3/4"	D-02	GLASS	F-02	AL	FULL	H-02
104	3'-0"	7'-0"	1-3/4"	D-02	GLASS	F-02	AL	FULL	H-02
105	3'-0"	7'-0"	1-3/4"	D-02	GLASS	F-02	AL	FULL	H-02
107	3'-0"	7'-2"	1-3/4"	D-02	GLASS	F-02	AL	FULL	H-02
108	3'-0"	7'-0"	1-3/4"	D-01	HM	F-01	HM	-	H-01
111	3'-0"	7'-0"	1-3/4"	D-01	HM	F-01	HM	-	H-06
112	3'-0"	7'-0"	1-3/4"	D-01	HM	F-01	HM	-	H-01

DOOR & FRAME TYPES



- DOORS**
- D-01 1 3/4" 18GA SHOP PRIMED HOLLOW METAL DOOR. PAINT W-03 PER FINISHES LEGEND
- D-02 DIRTT SYSTEM SLIDING BARN DOOR BY FURNITURE VENDOR. ALL GLASS TO BE APPROVED SAFETY GLASS. PROVIDE W-13 PER FINISHES LEGEND.
- D-03 1 3/4" KAWNEER 350 STYLE ENTRANCE DOOR W/ 10" BOTTOM RAIL - KYNAR BONE WHITE FINISH WITH 1/4" THICK CLEAR TEMPERED GLAZING. ALL GLASS TO BE APPROVED SAFETY GLASS.

- FRAMES**
- F-01 18GA HOLLOW METAL DRYWALL TYPE, MIN. (3) ANCHORS PER JAMB. PAINT W-03 PER FINISHES LEGEND
- F-02 DIRTT SYSTEM FRAME FOR SLIDING BARN DOOR BY FURNITURE VENDOR
- F-03 KAWNEER TRIFAB 451 IN KYNAR BONE WHITE FINISH



DOOR HARDWARE TYPES

- ALL NEW DOOR HARDWARE SHALL BE SATIN CHROME FINISH (US26D) UNLESS NOTED OTHERWISE.
- ALL INTERIOR DOORS (EXCEPT RESTROOMS) SHALL BE KEYPED WITH THE BRANCH MASTER CORE.

RCP LEGEND

- 2X2 LIGHT FIXTURE
- ⊕ 2X2 LIGHT FIXTURE W/ EMERGENCY BATTERY BACKUP
- ⊗ EMERGENCY EXIT SIGN
- ⊙ CEILING OCCUPANCY SENSOR
- ⊗ SUPPLY AIR TERMINAL
- ⊖ RETURN AIR TERMINAL
- ⊗ EXHAUST FAN
- EXISTING SPRINKLER HEAD

DOOR HARDWARE TYPES

- H-01 RESTRICTED ACCESS - BACK OF HOUSE
 - (3) BUTT HINGES, TAZ714 - 4" x 4", MFG: MCKINNEY
 - (1) CLOSER, 5300 SERIES W/ HOLD OPEN FUNCTION, MFG: HAGER
 - (1) CYPHER LOCKSET, DL-2700 IC SMALL FORMAT, MFG: TRILOGY
 - (1) CYLINDER, MFG: MEDECO
 - (1) WALL STOP, DS20, MFG: MCKEYTT
 - (1) DOOR SCOPE, DS-2000-AL-SIL, CENTER ON DOOR 60" AFF. MFG: MDI SUPPLY
 - SILENCERS, SR64, MFG: IVES
- H-02 DIRTT SYSTEM SLIDING BARN DOOR HARDWARE BY FURNITURE VENDOR
 - DOOR HANDLES TO BE POLISHED STAINLESS STEEL
 - OFFICE LOCK
- H-03 ALUMINUM STOREFRONT ENTRY DOOR
 - (1) CONTINUOUS HINGE, MFG: KAWNEER
 - (1) SURFACE MOUNTED CLOSER, MFG: LCN
 - (1) PULL, CO-9, MFG: KAWNEER
 - (1) PUSH, CP-11, MFG: KAWNEER
 - (1) THUMBTURN LOCK (LOBBY SIDE)
 - (1) KEYPED CYLINDER DEADBOLT (VESTIBULE SIDE)
 - (1) AUTOMATIC DOOR OPERATOR, HD-SWING SERIES 4000LE, MFG: HORTON OR APPROVED EQUAL
 - (2) 4"x4" SQUARE WALL RECESSED PUSH PLATE AT LOBBY & VESTIBULE SIDE OF DOOR
 - (1) DEADLATCH PADDLE, #4590, MFG: ADAMS RITE
 - (1) FLOOR STOP, DS6, MFG: MCKEYTT
- H-06 PASSAGE W/ DEADBOLT OCCUPANT INDICATOR - RESTROOM
 - (3) BUTT HINGES, TAZ714 - 4" x 4", MFG: MCKINNEY
 - (1) CLOSER, 5300 SERIES W/ HOLD OPEN FUNCTION, MFG: HAGER
 - (1) CYLINDRICAL PASSAGE LEVERSET 10U15, MFG: SARGENT
 - (1) B571 DEADBOLT OCCUPANT INDICATOR, MFG: SCHLAGE, FINISH: 626
 - (1) KICKPLATE, K1050 F 8" x 34", MFG: ROCKWOOD
 - (1) WALL STOP, DS20, MFG: MCKEYTT
 - SILENCERS, SR64, MFG: IVES

PROPOSED FLOOR PLAN KEY NOTES

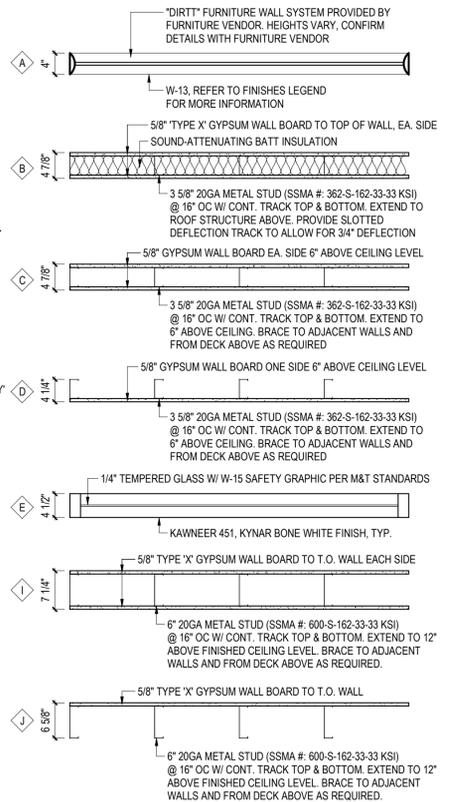
- 1. PROVIDE NEW MILLWORK. REFER TO MILLWORK DRAWINGS FOR MORE INFORMATION. PROVIDE BLOCKING IN WALLS AS REQUIRED.
- 2. NEW BRAND WALL IN ACCORDANCE TO M&T STANDARDS. REFER TO FINISH PLAN & FINISHES LEGEND FOR MORE INFORMATION.
- 3. APPROXIMATE ROUTE FOR VACUUM AIR TUBE TO NEW REMOTE TELLER UNIT IN TELLER COUNTER. SEE SECTION FOR MORE INFORMATION.
- 4. INTERIOR & EXTERIOR FACES OF EXISTING WINDOW SILL SHALL BE TREATED AND SEALED WITH TRUST-ULCUM MIRACLE SEALANTS S11 IMPREGNATOR. MS 511 IMPREGNATOR QT OR APPROVED EQUAL. GC SHALL VERIFY STONE SILL IS COMPATIBLE WITH SELECTED SEALANT. APPLY SEALANT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE AND INSTALL W-11 SOLID SURFACE SILL ATOP EXISTING STONE SILL. REFER TO SECTION DETAIL FOR MORE INFORMATION.
- 5. ALIGN WITH EXISTING WALL.
- 6. NEW PLUMBING FIXTURES AND ACCESSORIES. REFER TO ENLARGED ADA RESTROOM PLAN AND PLUMBING DRAWINGS FOR MORE INFORMATION.
- 7. RELOCATED SAFE. CONFIRM FINAL LOCATION IN FIELD W/ OWNER.
- 8. NEW KITCHEN APPLIANCES TO BE INSTALLED AND SUPPLIED BY CONTRACTOR. COORDINATE FINAL KITCHEN LAYOUT WITH OWNER.
- 9. PROVIDE 3/4" FIRE RETARDANT PLYWOOD TO 8'-0" A.F.F. AS INDICATED. PAINT W-01 PER FINISHES LEGEND.
- 10. PROPOSED LOCATION OF POTTER ROEMER LOMA 7300 SERIES RECESSED FIRE EXTINGUISHER CABINET. MODEL No. 7320-BA-6V-STEEL W/ WHITE FINISH. TOP OF OPERABLE PART OF CABINET NOT MORE THAN 48" A.F.F. ENSURE ALL ADA & NFPA 10 REQUIREMENTS ARE MET. REPURPOSE EXISTING FIRE EXTINGUISHER WHERE POSSIBLE. PROVIDE 10 POUND COSMIC 10E FIRE EXTINGUISHER CLASSIFIED FOR USE IN A, B & C FIRES WHERE REQUIRED.
- 11. RELOCATED WALL MOUNTED FIRE EXTINGUISHER. TOP OF OPERABLE PART OF EXTINGUISHER SHALL BE INSTALLED NO MORE THAN 48" A.F.F.
- 12. PROVIDE & INSTALL NEW SOLAR SHADES. REFER TO FINISH LEGEND FOR MORE INFORMATION.
- 13. PROVIDE & INSTALL NEW DOOR HARDWARE ON EXISTING DOOR:
 - CYLINDRICAL LEVER LOCKSET, 10G04 (STOREROOM), MFG: SARGENT
- 14. PROVIDE & INSTALL NEW PANIC DOOR HARDWARE ON EXISTING DOOR:
 - 8500 NARROW DESIGN RIM EXIT DEVICE, 80 SERIES W/ FLAT PLATE 802-PTB ON EXTERIOR, MFG: SARGENT
 - CLOSER, 5300 SERIES NO HOLD OPEN FUNCTION, MFG: HAGER
- 15. INSTALL AUTOMATIC DOOR OPERATOR, HD-SWING SERIES 4000LE, MFG: HORTON OR APPROVED EQUAL ON RIGHT LEAF OF DOOR AS INDICATED. PROVIDE & INSTALL (1):
 - 4"x4" SQUARE SURFACE MOUNTED PUSH PLATE BUTTONS ON EXTERIOR & INTERIOR SIDE OF DOUBLE DOOR. REFER TO POWER PLAN FOR MORE INFORMATION
- 16. WALL PARTITION TO RUN TO STOREFRONT WINDOW TO ENCLOSE PRIVATE OFFICES. REFER TO DETAIL FOR MORE INFORMATION.
- 17. NEW DIRTT WALL SHALL EXTEND TO UNDERSIDE OF EXISTING OPENING. GC SHALL CONFIRM HEIGHT W/ FURNITURE VENDOR.
- 18. WALL INFILL TO MATCH ADJACENT CONSTRUCTION & FINISH.

REFLECTED CEILING PLAN KEY NOTES

- RELOCATE ANY EQUIPMENT AS REQUIRED BY NEW CONSTRUCTION.
- GENERAL CONTRACTOR SHALL COORDINATE ALL NEW CEILING COMPONENTS WITH THE FOLLOWING TRADES: MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION.
- A. NEW CEILING GRID, CEILING TILES, LIGHT FIXTURES, MECHANICAL DIFFUSERS. REFER TO AIR TERMINAL SCHEDULE AND LIGHTING PLANS FOR MORE INFORMATION.
- B. PROVIDE NEW CEILING MOUNTED EXHAUST FAN - EF-1. REFER TO SHEET M1 FOR MORE INFORMATION.
- C. NEW ATTIC ACCESS DROP STAIRS. COMMERCIAL GRADE PRECISION SUPER SIMPLEX ATTIC STAIR BY STAIRWAY SHOP OR APPROVED EQUAL. REFER TO FRAMING PLAN FOR MORE INFORMATION. VERIFY DEPTH OF FRAMING TO DETERMINE IF STANDARD BOX FRAME OR DEEP BOX FRAME SHALL BE USED.
- D. NEW SOFFIT SUSPENDED FROM STRUCTURE ABOVE W/ 6" METAL STUDS & 5/8" GYP. BD. EACH SIDE. REFER TO SECTION FOR MORE INFORMATION.

WALL TYPES LEGEND

- NOTES:
- 1. ALL METAL STUDS SHALL BE DIAGONALLY BRACED AT 32" O.C. ALTERNATE SIDES TO STRUCTURE ABOVE. TYP. COORDINATE WITH HVAC DUCTWORK.
- 2. PROVIDE METAL DRYWALL CASING BEADS, TYPE AND SIZE AS APPROPRIATE, TO TERMINATION TYPE, TYPICAL ALL LOCATIONS.
- 3. USE MOISTURE-RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS (SINK COUNTERS, JANITOR COUNTERS, ETC.).
- 4. PROVIDE AND INSTALL 2X FIRE TREATED WOOD BLOCKING AS REQUIRED FOR ALL COUNTERS, SHELVES, WALL HUNG ELECTRONICS, ETC.



WALL TYPES LEGEND

ENLARGED PARTITION TO STOREFRONT DETAIL
SCALE: 1 1/2" = 1'-0"



OWNER:
M&T BANK

PROJECT:
M&T HARRISON
350 HALSTEAD AVE.
HARRISON, NY 10528



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#	ISSUE DATE	DESCRIPTION
04/22/2022	CHECK SET	
04/28/2022	PERMIT SET	

SEAL SIGNATURE

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SHEET TITLE

DEMOLITION & PROPOSED
FLOOR PLANS, DETAILS AND
NOTES

PROJECT NUMBER
2022-009

PLOT DATE
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SHEET

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