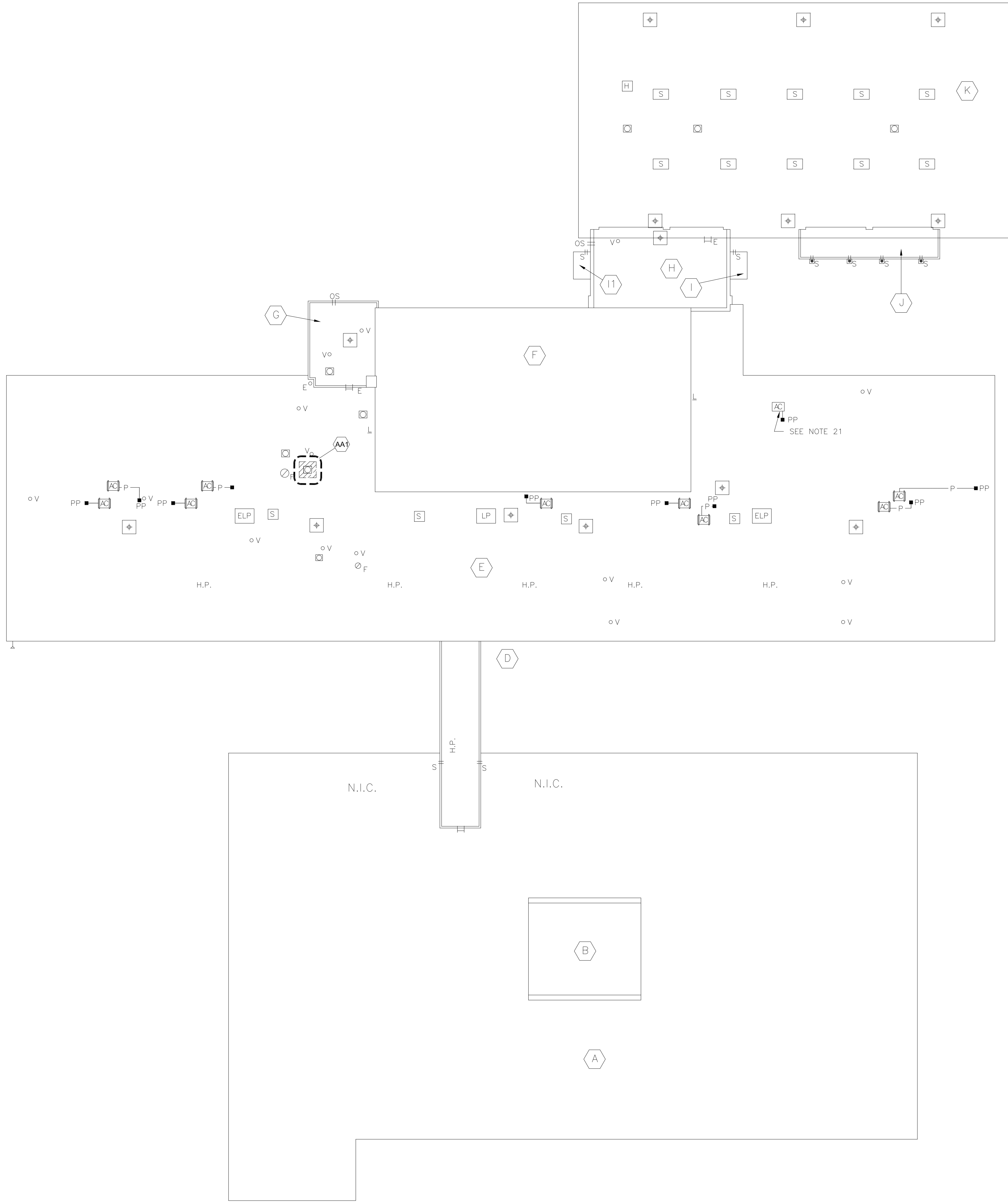


<div>KG+D Project No. 2021-1088</div> <div>NYSED Project Control No. 44-10-00-01-0-010-035</div> <div>DESIGN TEAM</div>	<div>CONSTRUCTION DOCUMENTS - BID ISSUE</div> <div>MAY 09, 2022</div>
<div>ARCHITECT</div> <div>KG+D Architects</div> <div>Kaeyer, Garment + Davidson Architects PC 285 Main Street, Mount Kisco, NY 10549 phone: 914.666.5900 fax: 914.666.0051</div> <div>ROOFING CONSULTANT</div> <div>WATSKY ASSOCIATES</div> <div>20 Madison Avenue Valhalla, NY 10595 phone: 914.948.3450 fax: 914.948.9493</div> <div>HAZARDOUS MATERIALS CONSULTANT</div> <div>ADELAIDE ENVIRONMENTAL HEALTH ASSOCIATES, INC.</div> <div>1511 Route 22, Suite C24 Brewster, NY 10509 phone: 845.278.7710</div>	<div>PARTIAL ROOF REPLACEMENT</div> <div>MAPLE HILL ANNEX AT TRUMAN MOON ELEMENTARY SCHOOL</div> <div><div>Enlarged City School District of Middletown</div><div>223 Wisner Road Middletown, New York 10940</div><div><div>LIST OF DRAWINGS:</div><div><div>T-1</div><div>TM-AA.1</div><div>TM-1</div><div>TM-2</div><div>TM-3</div><div>TM-4</div><div>TM-5</div><div>TITLE SHEET</div><div>ROOF ABATEMENT PLAN</div><div>PARTIAL ROOF PLAN</div><div>MASONRY REPAIR AT GRADE</div><div>ROOF DETAILS</div><div>ROOF DETAILS</div><div>ROOF DETAILS</div></div></div></div>

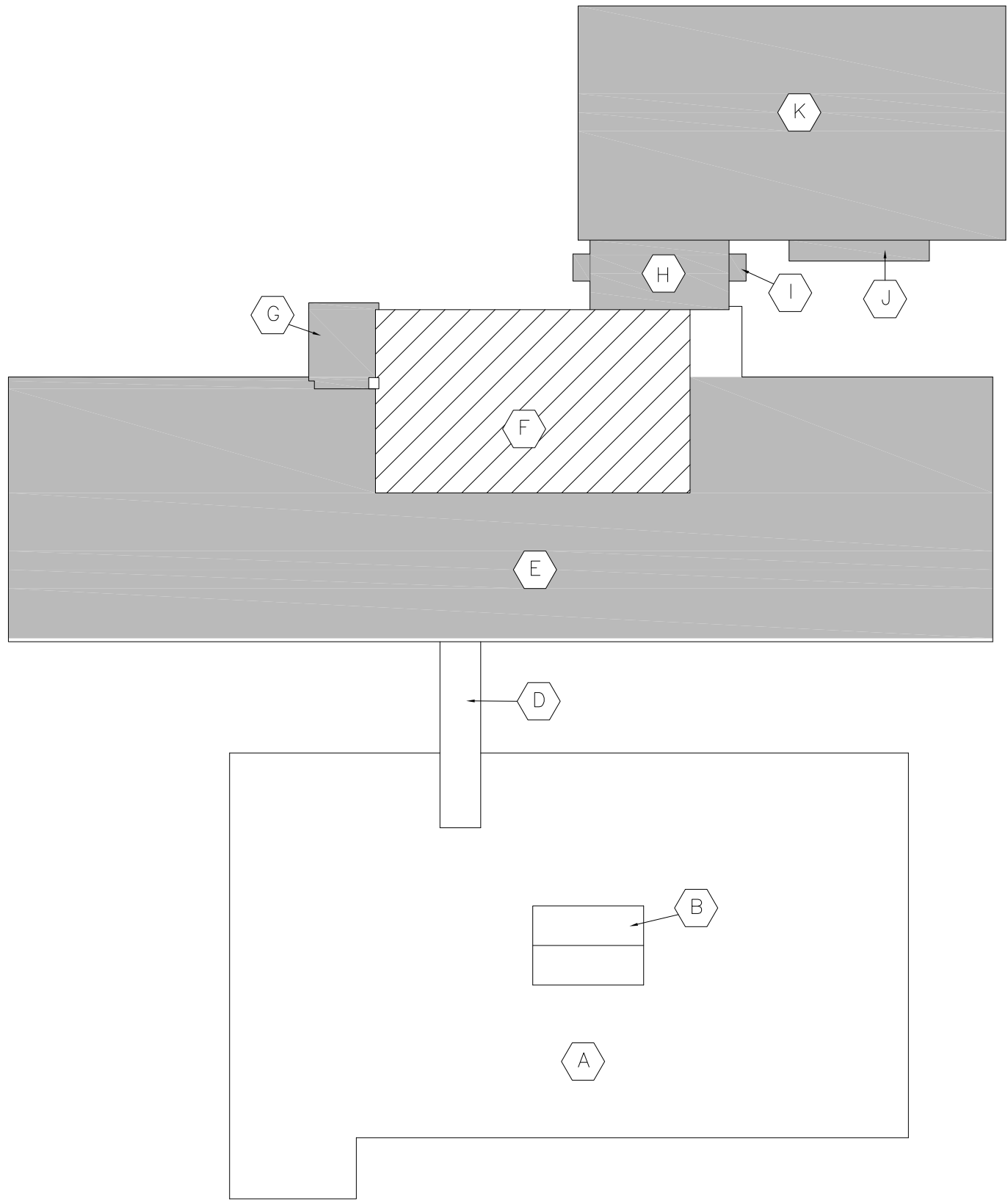


PARTIAL ROOF
ABATEMENT PLAN

0' 4' 8' 16'

PROJECT
NORTH

ASBESTOS ABATEMENT KEYNOTES		QTY
AA3	REMOVE AND DISPOSE OF CAULK ON FAN HOOD BASE TO CURB ADAPTER	TYP. FOR 8 LIN. FT.



KEY PLAN
NOT TO SCALE

PROJECT
NORTH

PARTIAL ROOF REPLACEMENT

MAPLE HILL ANNEX AT
TRUMAN MOON
ELEMENTARY SCHOOL

Enlarged City School
District of Middletown
223 WISNER AVENUE, MIDDLETOWN NY

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44-10-00-01-0-010-035

CONSTRUCTION DOCUMENTS

Adelaide
ENVIRONMENTAL HEALTH
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adelaidehc.com
Environmental Consultants

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ROOF ABATEMENT PLAN

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Scale	AS NOTED		
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PARTIAL ROOF REPLACEMENT

MAPLE HILL ANNEX AT
TRUMAN MOON
ELEMENTARY SCHOOL

Enlarged City School
District of Middletown
223 WISNER AVENUE, MIDDLETOWN NY

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PARTIAL ROOF PLAN

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2021-1088

Date

04/18/2022

Scale

AS NOTED

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E.W.

Sheet No.

2021-1088

Date

04/18/2022

Scale

AS NOTED

Drawn/Checked

E.W.

TM-1

ROOF R-VALUE CALCULATIONS				
ROOF AREA	DECK TYPE	STARTING THICKNESS OF NEW INSULATION	AVERAGE THICKNESS OF NEW INSULATION	R-VALUE OF NEW INSULATION
A			N.I.C.	
B			N.I.C.	
C	DEMOLISHED			
D	STRUCTURAL WOOD FIBER	5.5"	5.8"	33.6
E	STRUCTURAL WOOD FIBER	5.5"	7.0"	47.2
F			N.I.C.	
G	CONCRETE/SWF	5.5"	6.1"	35.4
H	STRUCTURAL WOOD FIBER	5.5"	6.2"	36.0
I	STRUCTURAL WOOD FIBER		CANOPY	
II	STRUCTURAL WOOD FIBER		CANOPY	
J	PLYWOOD	5.5"	5.5"	31.9
K	STRUCTURAL WOOD FIBER	5.5"	5.5"	31.9

NOTES:

1. INSTALL INSULATION WITH A MINIMUM R-VALUE OF 30 FOR CONTINUOUS INSULATION ENTIRELY ABOVE THE DECK, TO MEET THE NYS ENERGY CONSERVATION CONSTRUCTION CODE, INCLUDING THE INTERNATIONAL ENERGY CONSERVATION CODE AND THE NY STATE SUPPLEMENT, FOR A BUILDING IN CLIMATE ZONE 4.
2. INSTALL TAPERED ISO-CYANURATE INSULATION THAT SLOPES 1/8 INCH PER FOOT; MINIMUM STARTING THICKNESS 5-1/2 INCHES. INSTALL THE ISO-CYANURATE INSULATION IN MULTIPLE LAYERS, WITH THE THICKEST LAYER BEING 4 INCHES. STAGGER ALL JOINTS BETWEEN LAYERS 12 INCHES.
3. INSTALL 3" THICK LAYER OF ISO-CYANURATE INSULATION OVER A 2-1/2" THICK LAYER OF ISO-CYANURATE INSULATION ON ROOF AREA 'K' & 'J'.
4. INSTALL A COVER BOARD USING LOW RISE FOAM ADHESIVE OVER THE INSULATION AND CRICKETS.
5. INSTALL SLOPING CRICKETS ON THE UP-HILL SIDE OF ALL CURBS AND SKYLIGHTS THAT ARE 30 INCHES AND WIDER.
6. ROOF AREAS "I" AND "II" ARE NOT CONDITIONED SPACES/CANOPIES. INSTALL TAPERED ISO-CYANURATE INSULATION THAT SLOPES 1/8 INCH PER FOOT; MINIMUM STARTING THICKNESS 1-1/2 INCHES. INSTALL THE ISO-CYANURATE INSULATION IN MULTIPLE LAYERS. STAGGER ALL JOINTS BETWEEN LAYERS 12 INCHES.

ROOF UPLIFT LOAD NOTES:

1. INSTALL ROOFING AS INDICATED TO RESIST THE FOLLOWING UPLIFT LOADS:

FIELD ZONE: 60 PSF
PERIMETER ZONE: 100 PSF
CORNER ZONE: 150 PSF

2. INSTALL ROOFING TO COMPLY WITH THE WIND UPLIFT REQUIREMENTS OF THE 2010 BUILDING CODE OF NEW YORK STATE SECTIONS 1504 AND 1609; AND ASCE 7-10, FOR A 110 MPH WIND ZONE WITH A SAFETY FACTOR OF 2.

ROOF PROTECTION NOTES:

1. DO NOT WALK ON OR TRAFFIC OVER ROOF AREAS NOT BEING REROOFED.

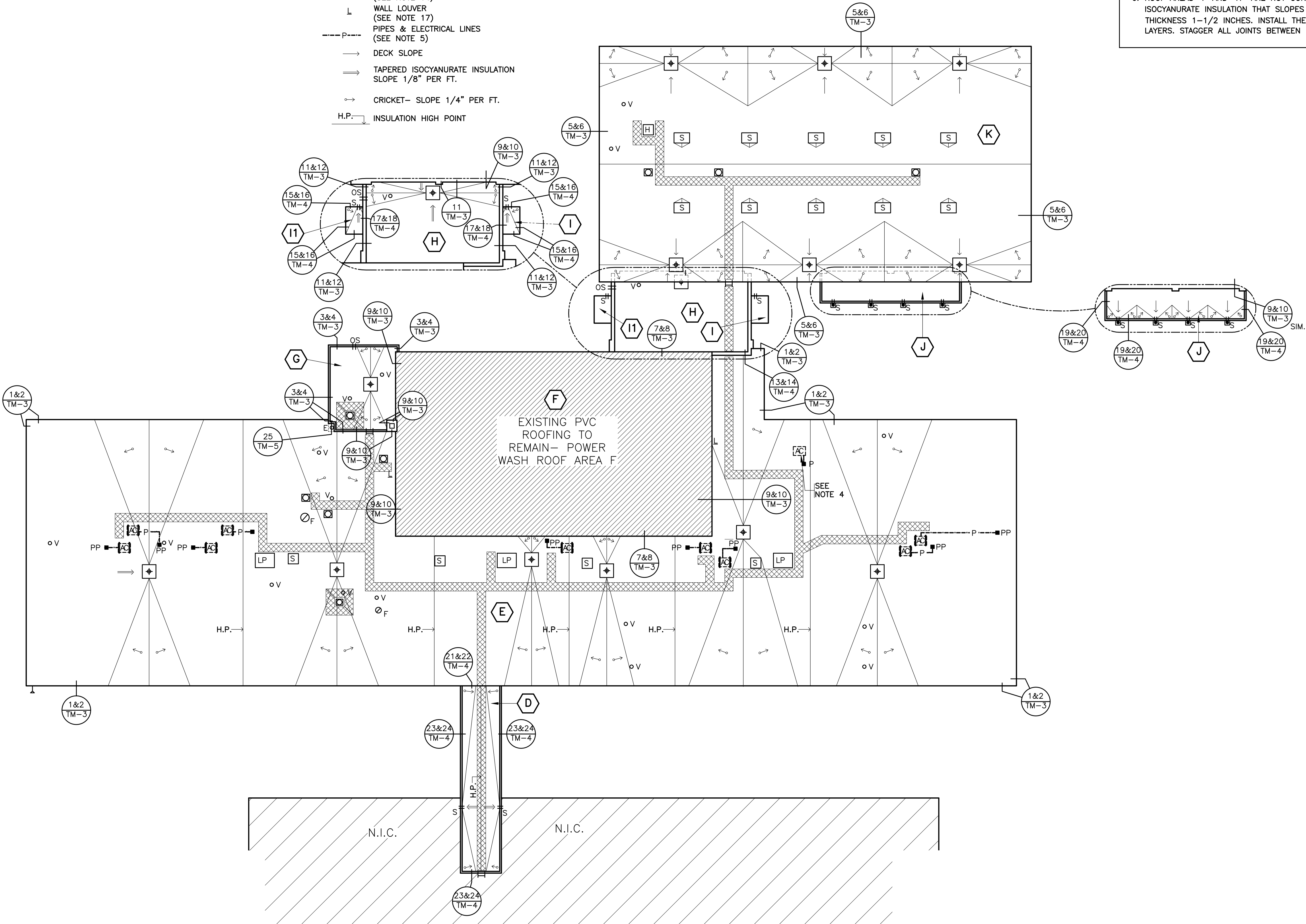
2. INSTALL 1" THICK EXTRUDED POLYSTYRENE INSULATION, 6 MIL FIRE RETARDANT POLYETHYLENE AND 2x10 WOOD PLANKS TO PROTECT EXISTING ROOFING WHERE CONSTRUCTION WORK AND TRAFFIC WILL OCCUR.

3. NEATLY CUT AND POSITION ROOF PROTECTION COMPONENTS TO FIT WITHIN 1/2" OF ROOF PENETRATIONS, EAVES AND CHANGE IN ELEVATION WALLS.

4. DO NOT COVER THE ROOF DRAINS - MAINTAIN THE ROOF DRAIN STRAINER VISIBLE AND CLEAR AT ALL TIMES.

LEGEND:

- A ROOF AREA DESIGNATION
E° ELECTRICAL CONDUIT PENETRATION TO REMAIN (SEE DET. 25/TM-5)
ROOF DRAIN LOCATION (SEE DET. 26/TM-5)
EXHAUST FAN (SEE DET. 27/TM-5)
LOUVERED PENTHOUSE (SEE DET. 27/TM-5 SIM.)
H ROOF HATCH (SEE DET. 28/TM-5)
AC UNIT ON CURBS (TO REMAIN)
AC UNIT ON WOOD DUNNAGE (SEE NOTE 4)
P PITCH POCKET (SEE DET. 29/TM-5)
PP PORTALS PLUS (TO REMAIN)
S SCUPPER, LEADER & LEADER HEAD (SEE DET. 30/TM-5)
S SCUPPER AT CANOPY (SEE DET. 31/TM-5)
OS OVERFLOW SCUPPER (SEE DET. 32/TM-5)
V VENT PIPE (SEE DET. 33/TM-5)
S SKYLIGHT AT AREA 'E' (SEE DET. 34/TM-5)
S SKYLIGHT AT AREA 'K' (SEE DET. 35/TM-5)
F EXISTING FLUE (SEE DET. 36/TM-5)
I SITE LIGHT, CAMERA OR SPEAKER (SEE NOTE 5)
L ROOF LADDER (SEE NOTE 9)
WALKWAY PADS (SEE NOTE 14)
L WALL LOUVER (SEE NOTE 17)
P PIPES & ELECTRICAL LINES (SEE NOTE 5)
DECK SLOPE
TAPERED ISO-CYANURATE INSULATION SLOPE 1/8" PER FT.
CRICKET- SLOPE 1/4" PER FT.
H.P. INSULATION HIGH POINT



PARTIAL ROOF PLAN

0' 4' 8' 16'



KEY PLAN
NOT TO SCALE



LEGEND:

- AREAS BEING REROOFED
EXISTING ROOFING TO REMAIN
POWER WASH EXISTING ROOF

GENERAL NOTES:

1. DIMENSIONS AND CONDITIONS ON THE ROOF PLAN AND DETAILS ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR.
2. ONLY CERTAIN FASTENERS ARE SHOWN ON THE DRAWINGS, REFER TO THE SPECIFICATIONS FOR ADDITIONAL FASTENER REQUIREMENTS.
3. TEST EACH DRAIN LINE WITH A RUNNING HOSE FOR AT LEAST ONE HOUR PRIOR TO STARTING ANY OTHER WORK ON SITE. PROVIDE A WRITTEN REPORT OF ANY CLOGGED LINES TO THE OWNER.
- A. CLOGGED DRAIN LINES REPORTED TO THE OWNER BEFORE WORK STARTS WILL BE CLEANED BY THE OWNER.
- B. COVER & PROTECT ALL DRAIN OPENINGS AT THE BEGINNING OF EACH WORK DAY. REMOVE THE COVERS AT THE END OF EACH DAY AND BEFORE PRECIPITATION OCCURS.
- C. PERFORM WHATEVER WORK IS REQUIRED SO ALL DRAIN LINES ARE CLEAN AND FREE FLOWING UPON COMPLETION OF THE PROJECT.
4. REMOVE AND RESET EXISTING AC CONDENSERS THAT REST ON WOOD BLOCKING - REINSTALL THE AC CONDENSERS, AND BIRD REPELLENT OWL ON THE OYM, ON 2 X 2 FOOT X 2 INCH THICK CONCRETE PAVERS SET ON WALKWAY PADS. FASTEN THE CONDENSERS TO THE PAVERS WITH STAINLESS STEEL NAIL-INS. DISCONNECT, ADJUST, MODIFY, AND RECONNECT THE EXISTING BOX, SUPPLY & RETURN LINES AND CONDUITS.
5. REMOVE AND RESET SITE LIGHT FIXTURES, WIRES, PIPES AND CONDUITS. THAT INTERFERE WITH THE WORK. REPLACE COMPONENTS THAT CANNOT BE PROPERLY REINSTALLED.
6. REMOVE ABANDONED ELECTRIC SERVICE CABLE PORCELAIN INSULATOR BAR, AND RESTORE THE BRICK WALL.
7. WIRE BRUSH, PRIME & PAINT FERROUS METAL ROOF TOP EQUIPMENT HOUSINGS, GAS LINES, AND THE VENT PIPES. DO NOT PAINT NEW EQUIPMENT, OR OVER EQUIPMENT NAME PLATES AND LABELS.
8. REPAIR EXHAUST EQUIPMENT HOUSINGS SO THEY ARE WATERTIGHT; REPLACE ANY MISSING PIECES.
9. REMOVE, MODIFY AND REMOUNT THE EXISTING LADDERS TO ACCOMMODATE THE INCREASED INSULATION THICKNESS AND SO THEY ARE OSHA COMPLIANT. SCRAPE, PRIME AND PAINT THE LADDERS. FILL OLD FASTENER HOLES WITH COLOR MATCHING MORTAR.
10. RE-CAULK ALL VERTICAL MASONRY CONTROL AND EXPANSION JOINTS IN THE CHANGE IN ELEVATION WALLS ABOVE LOWER LEVEL ROOFS, REMOVE EXISTING SEALANT AND BACK UP MATERIALS, AND INSTALL NEW BACKER ROD AND SEALANT.
11. RE-CAULK JOINTS BETWEEN THE WALL LOUVERS AND MASONRY FACADE. REMOVE EXISTING SEALANT AND BACK UP MATERIALS, AND INSTALL NEW BACKER ROD AND SEALANT.
12. REFASTEN LOOSE SECTIONS OF STRUCTURAL WOOD FIBER (SWF) DECKS AS BASE BID WORK. REPAIR SURFACE DEFECTS LESS THAN 1/2 INCH DEEP IN THE TOP SURFACE OF STRUCTURAL WOOD FIBER AND CONCRETE DECKS AS BASE BID WORK USING FAST SETTING CONCRETE GROUT. REPLACE DAMAGED OR DETERIORATED SECTIONS OF DECK IN ACCORDANCE WITH THE UNIT PRICES.
13. INSULATE ALL EXISTING DRAIN LINES WHERE EXPOSED INSIDE THE BUILDING, ALL NEW DRAIN LINES, AND THE UNDERSIDES OF THE NEW DRAIN BOWLS.
14. INSTALL NEW WALKWAY PADS WHERE SHOWN ON THE ROOF PLAN AROUND ALL HVAC EQUIPMENT, AND AT ALL ROOF ACCESS POINTS.
15. POWER WASH AND CLEAN EXISTING ROOF AREA F.
16. REMOVE EXISTING WALL LOUVERS AND INSTALL NEW ALUMINUM WALL LOUVERS WITH BIRD AND INSECT SCREENS REMOVE THE EXISTING SEALANT AROUND THE LOUVERS, INSTALL NEW BAKER ROD AND SEALANT.
17. AT ALL PORTAL PLUS:
 - a. INSTALL PIPE CLAMPS AT EACH PIPE BOOT.
 - b. REMOVE AND MODIFY THE EXISTING ELECTRICAL SUPPORT (KINDORF BRACKETS) CLAMPED TO PORTALS PLUS CURB. REINSTALL THE SUPPORTS AND PROTECT THE NEWLY INSTALLED EPDM WITH A WALKWAY PAD BETWEEN THE CURB AND CLAMPS.

PARTIAL ROOF
REPLACEMENT

MAPLE HILL ANNEX AT
TRUMAN MOON
ELEMENTARY SCHOOL

Enlarged City School
District of Middletown
223 WISNER AVENUE, MIDDLETOWN NY

KG+D architects

kaeyer, garment + davidson architects, pc
265 main street mount kisco, new york 10549
p. 914.666.5900 f. 914.666.0051 kgdarchitects.com

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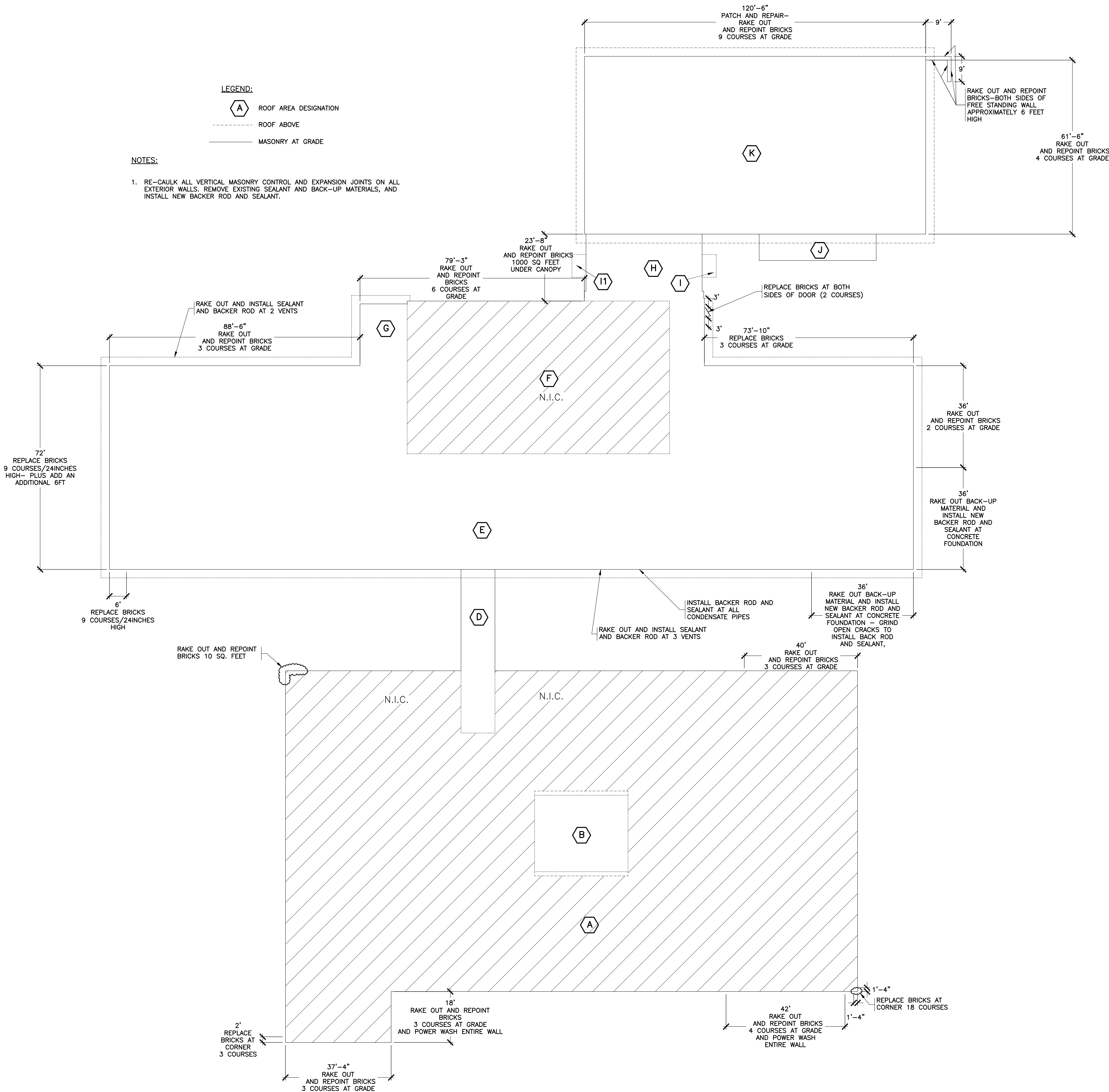
MASONRY REPAIR
AT GRADE

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LEGEND:
A ROOF AREA DESIGNATION
--- ROOF ABOVE
--- MASONRY AT GRADE

NOTES:

1. RE-CAULK ALL VERTICAL MASONRY CONTROL AND EXPANSION JOINTS ON ALL EXTERIOR WALLS. REMOVE EXISTING SEALANT AND BACK-UP MATERIALS, AND INSTALL NEW BACKER ROD AND SEALANT.



MASONRY AT GRADE
0' 4' 8' 16'



PARTIAL ROOF REPLACEMENT

MAPLE HILL ANNEX AT
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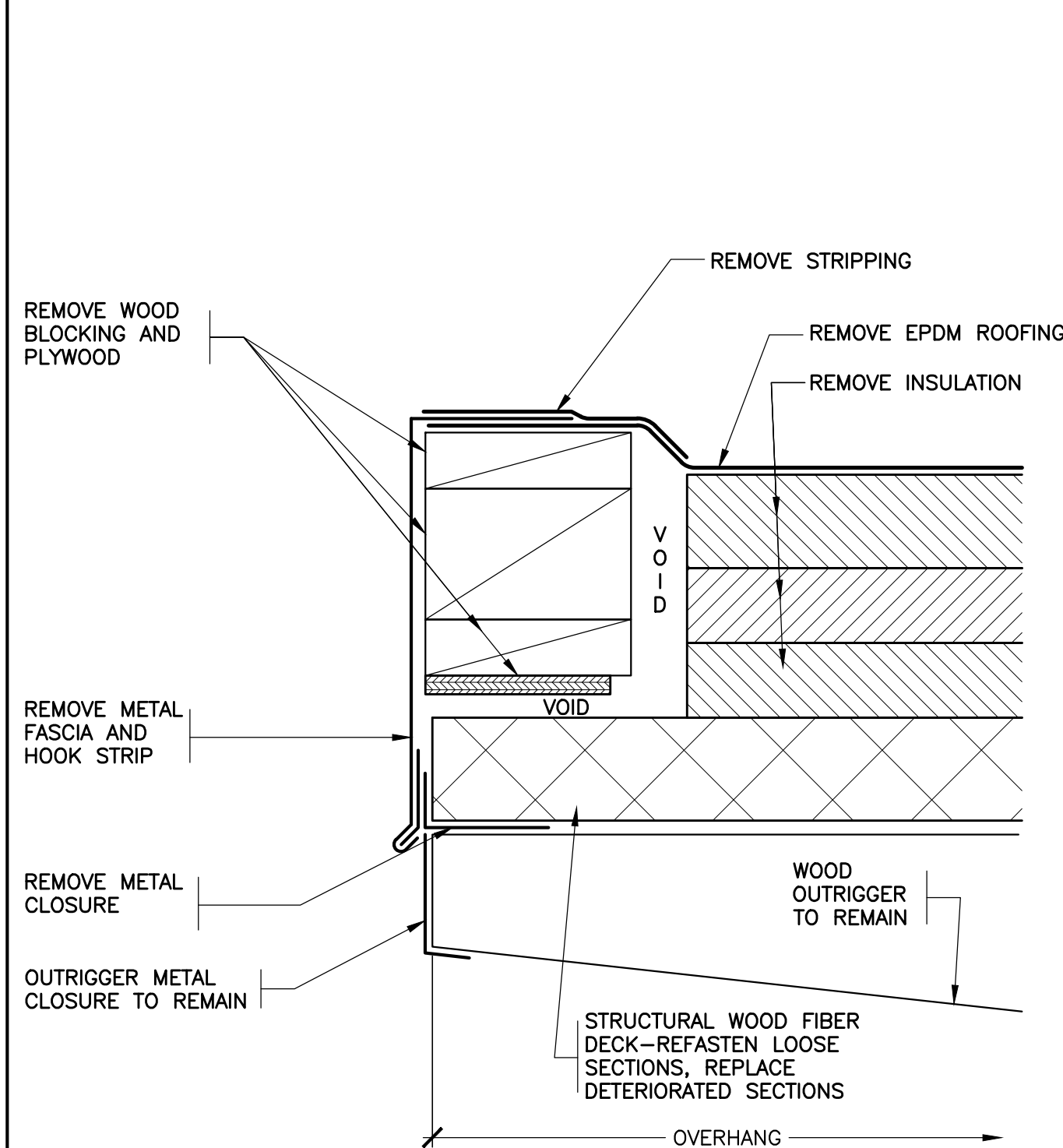
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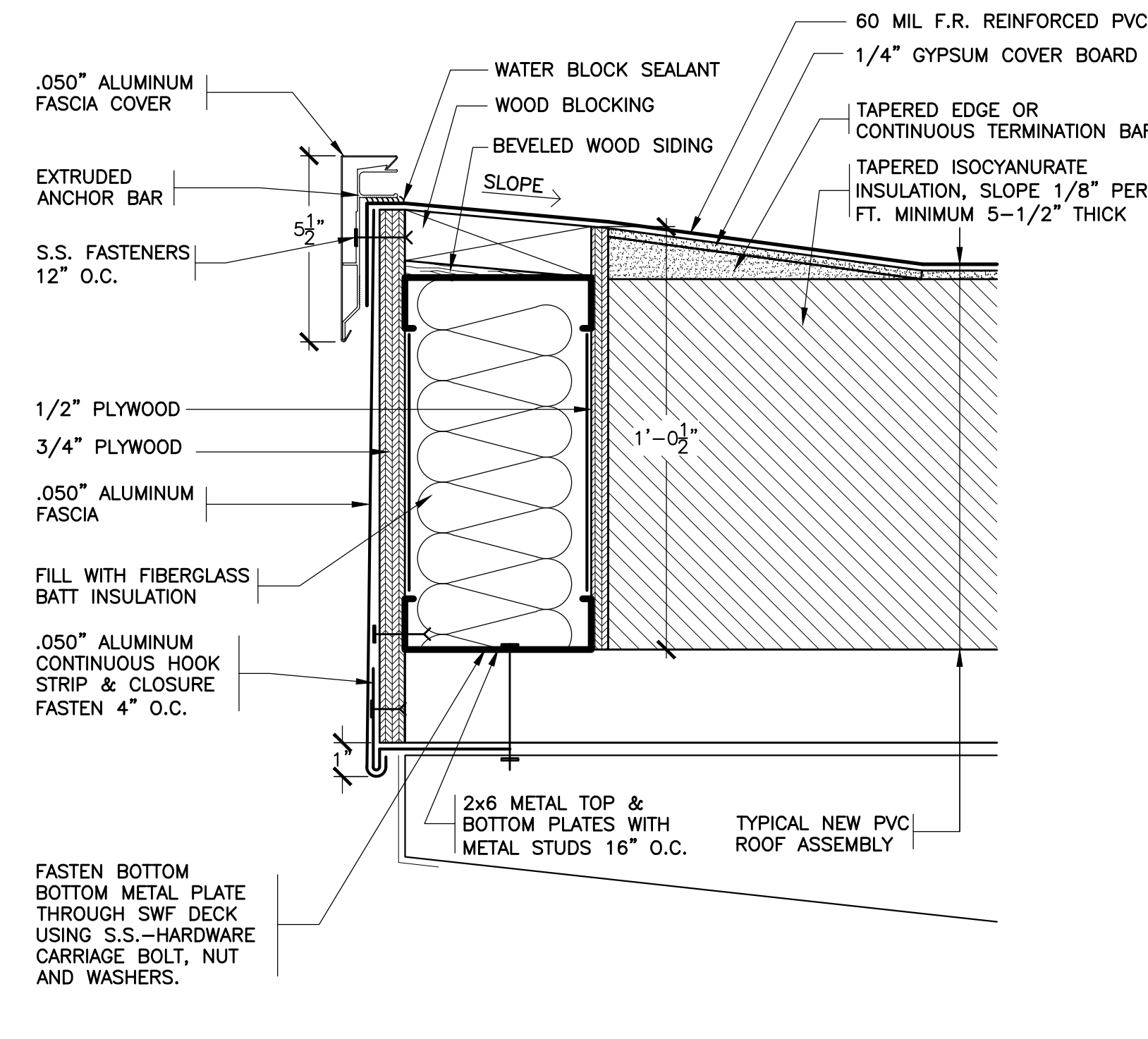
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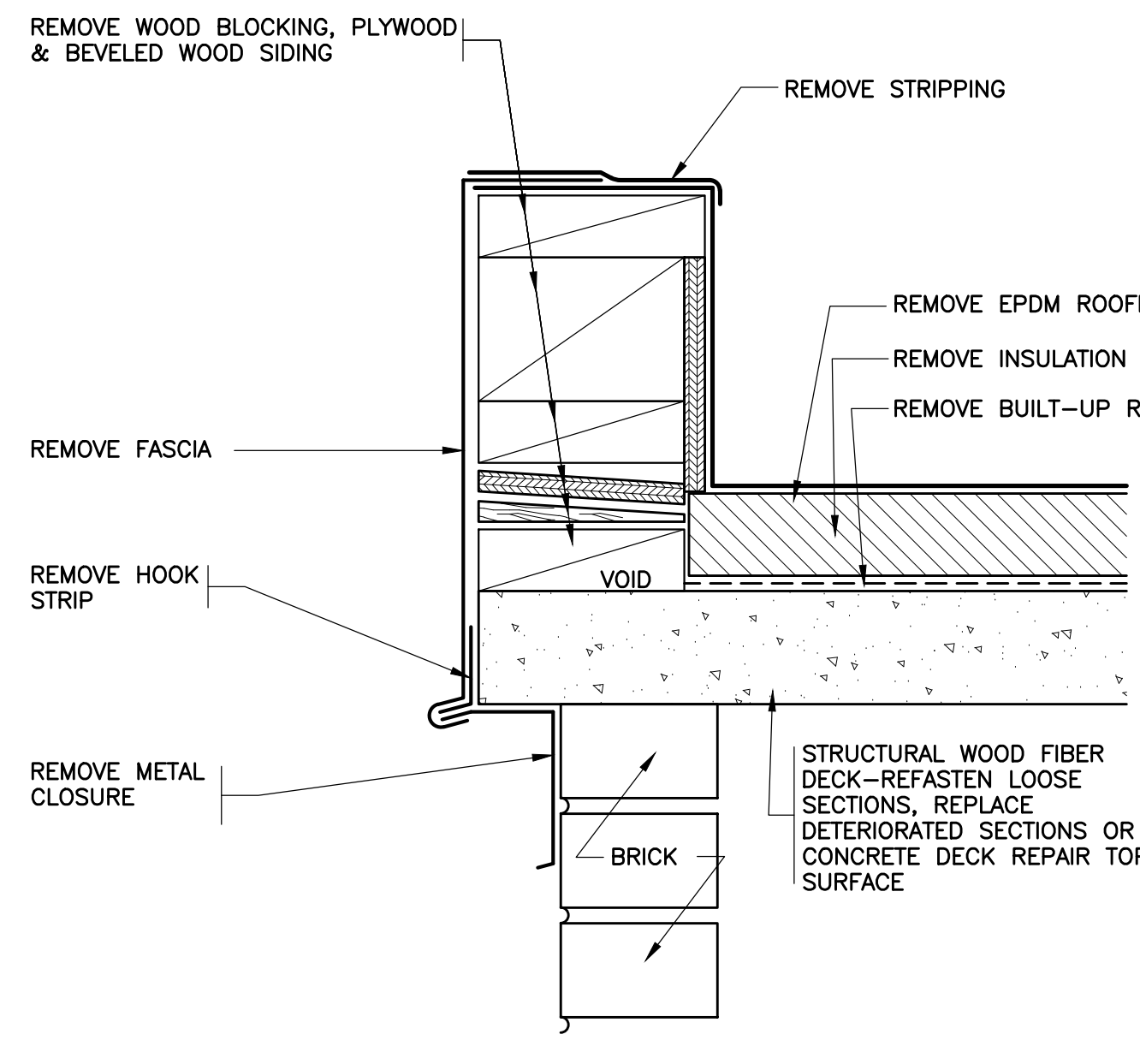
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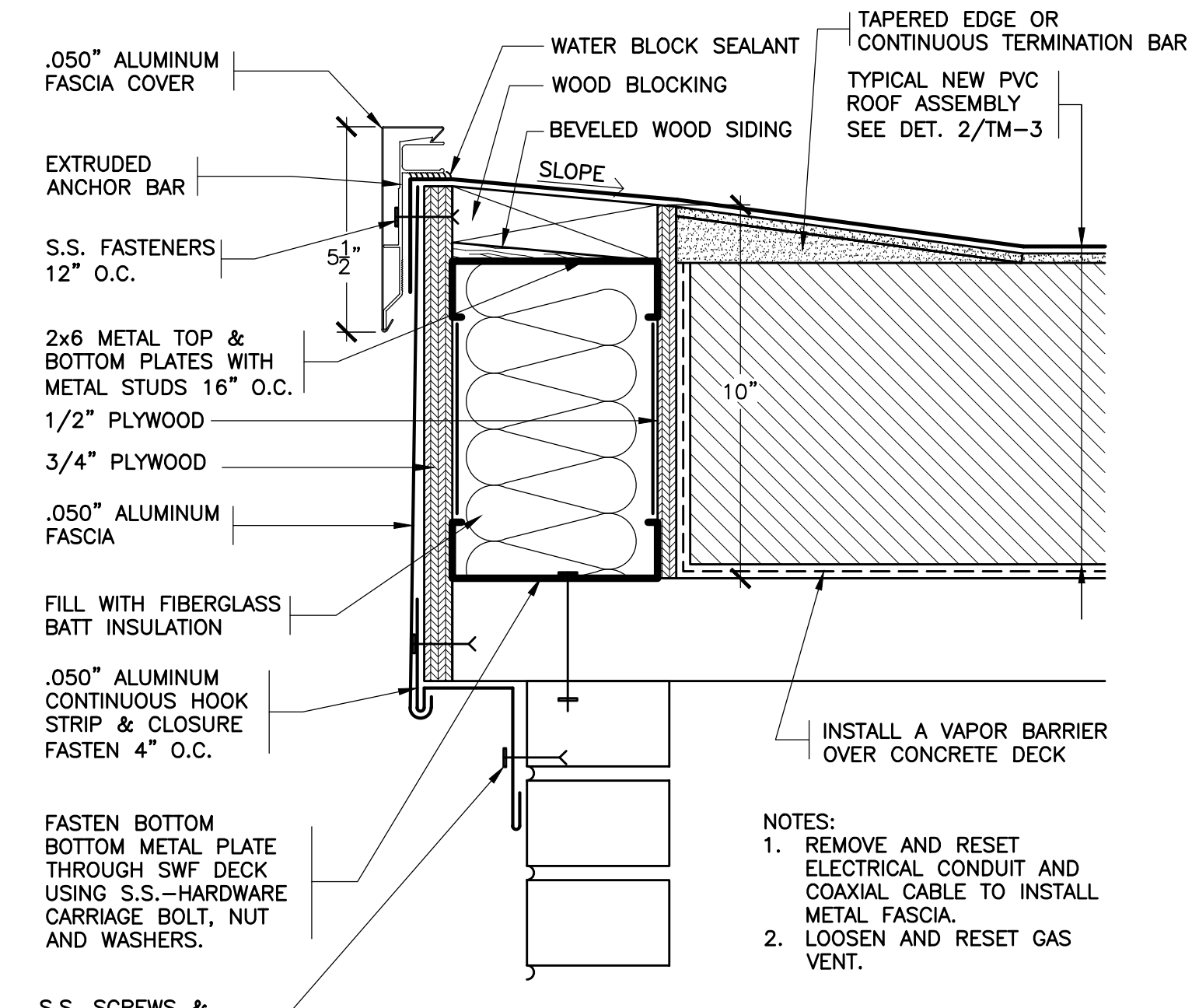
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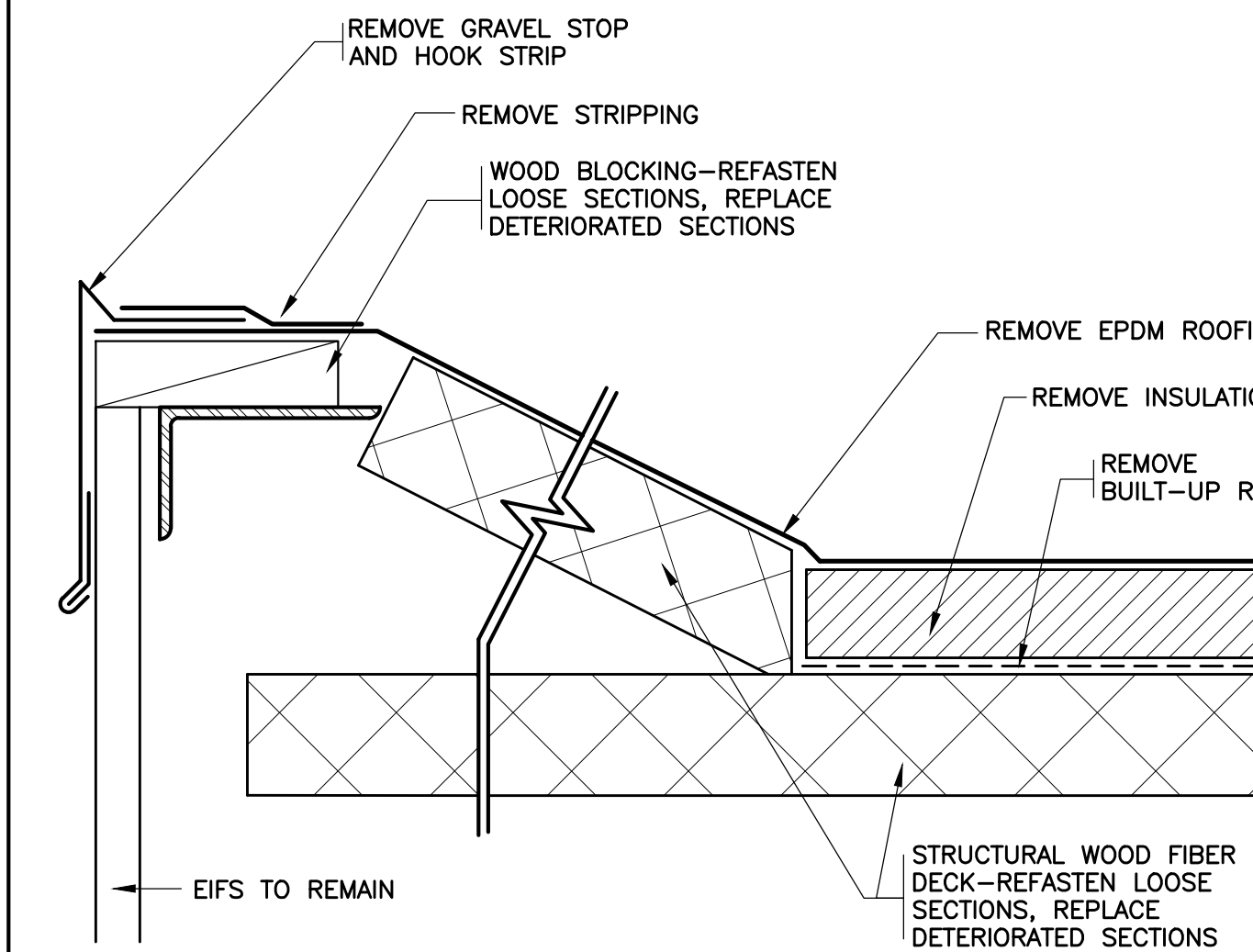
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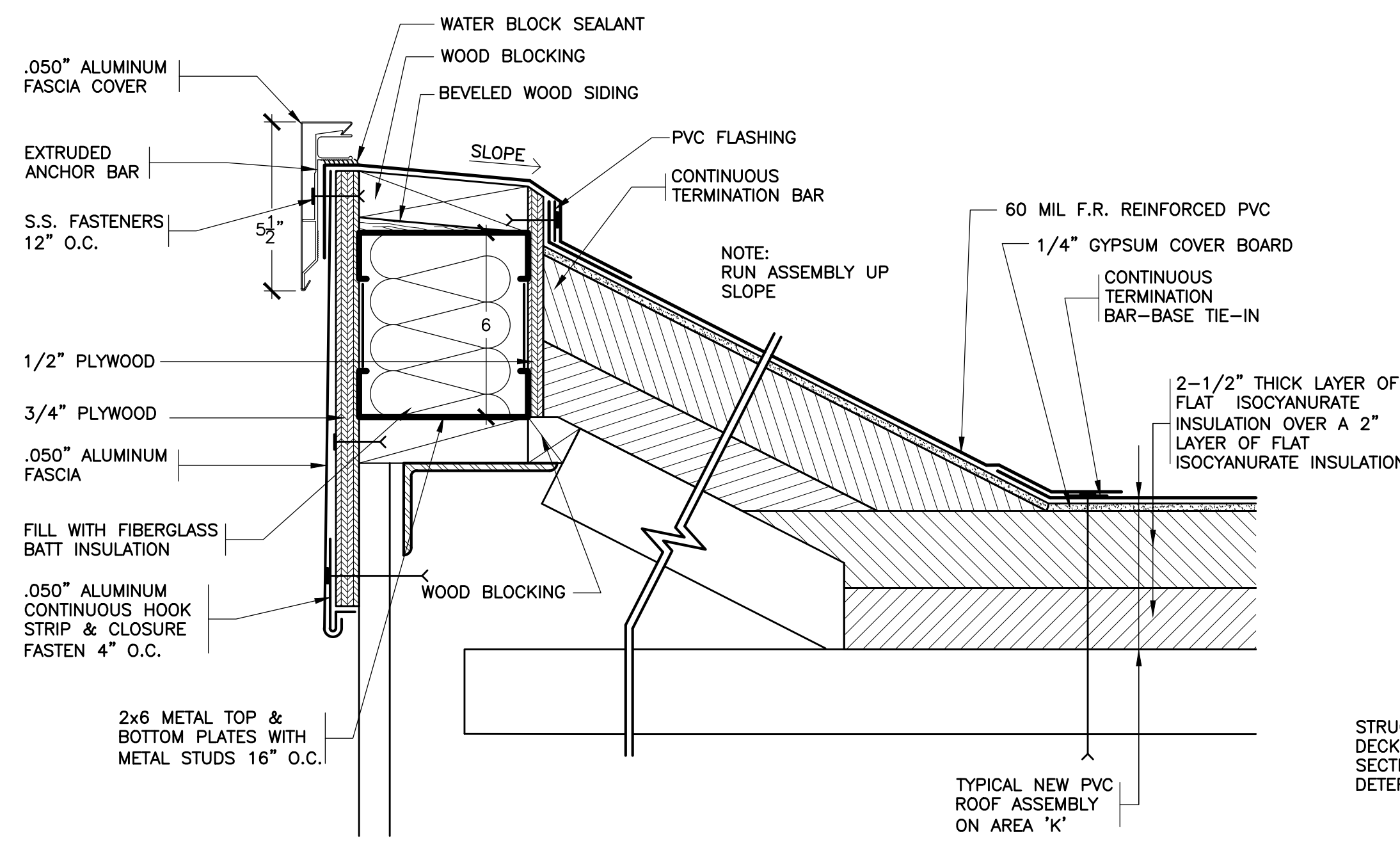
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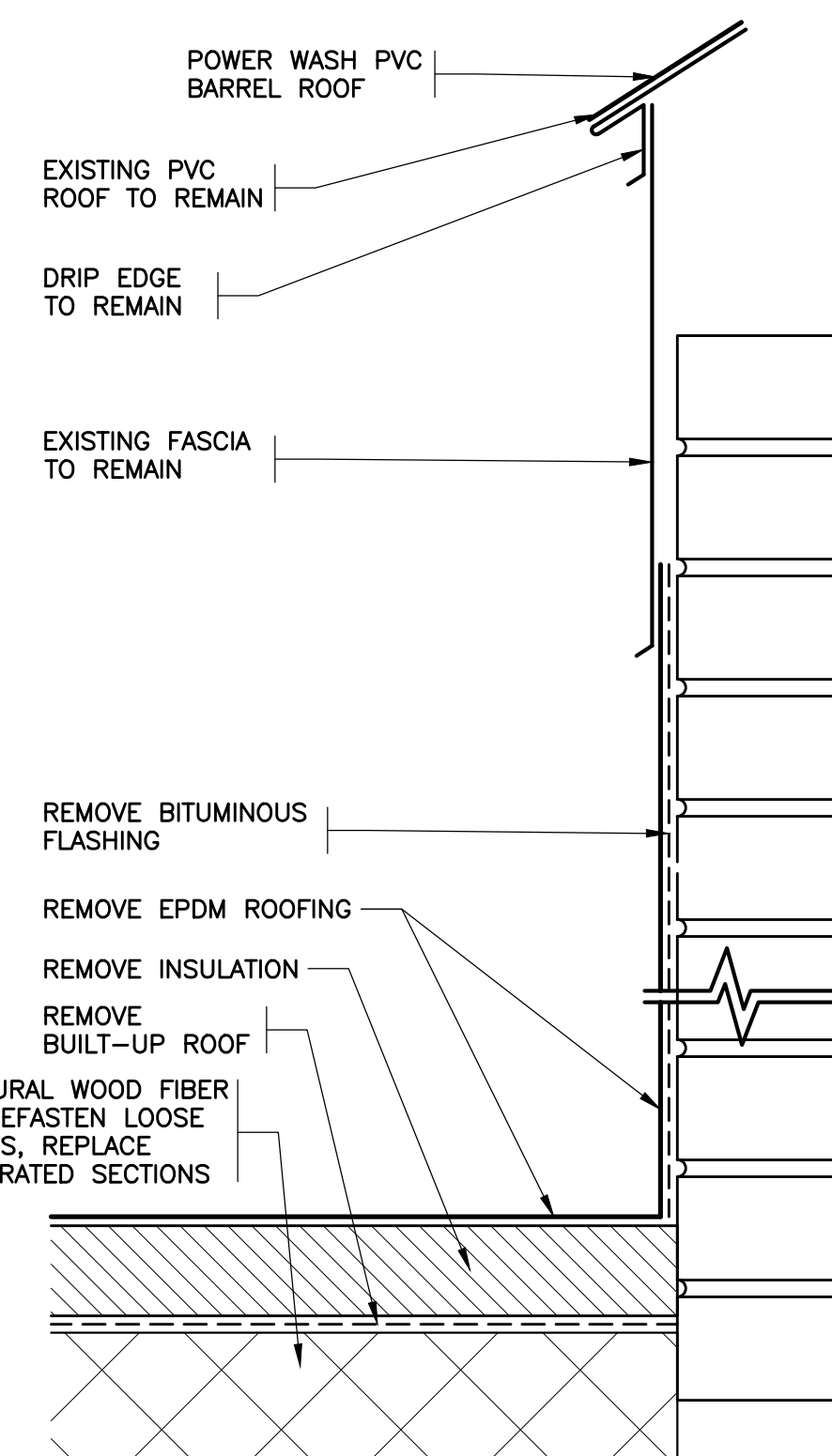
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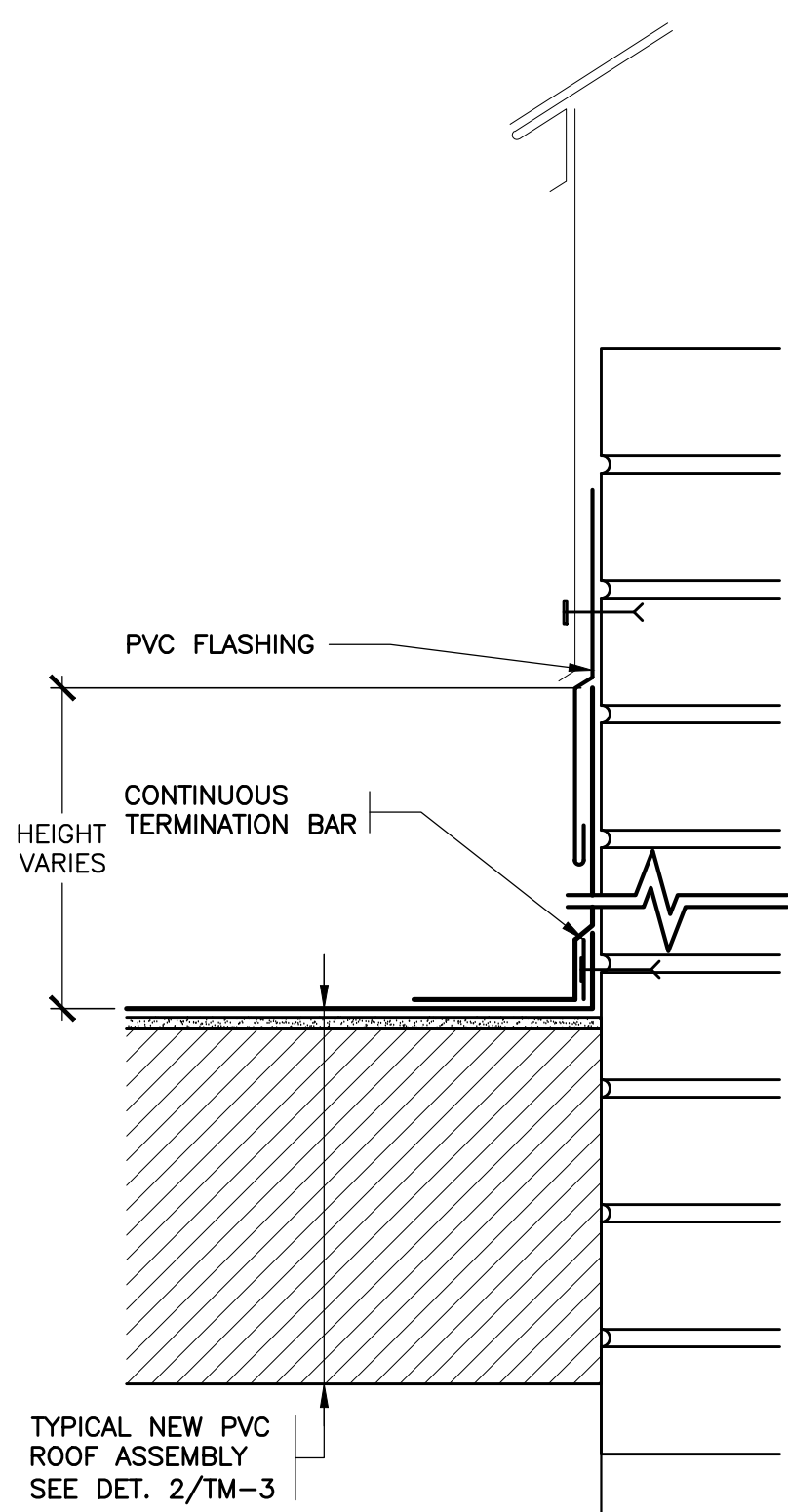
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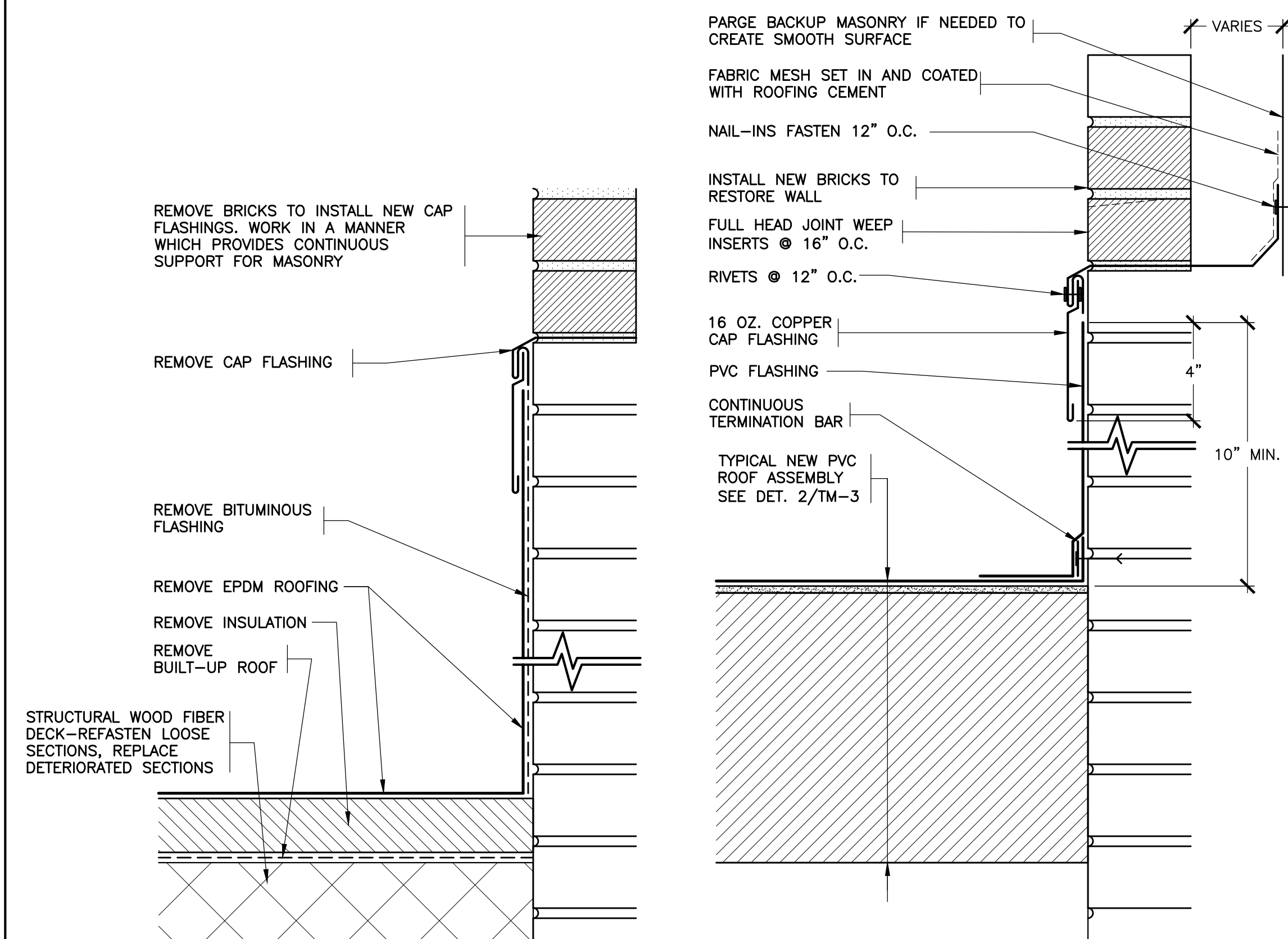
6 REVISED EAVE AREA 'K'



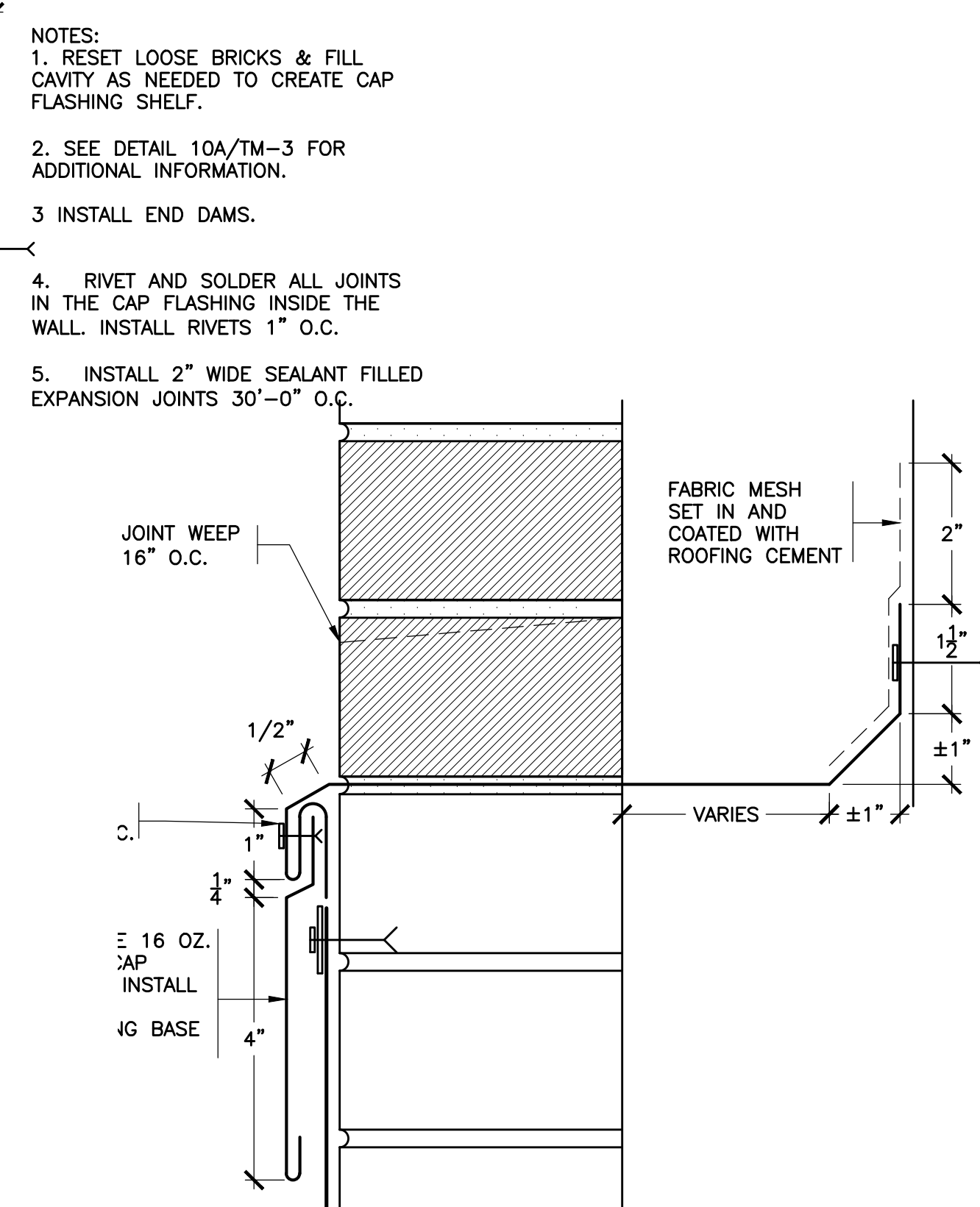
7 EXISTING BASE AT BARREL ROOF



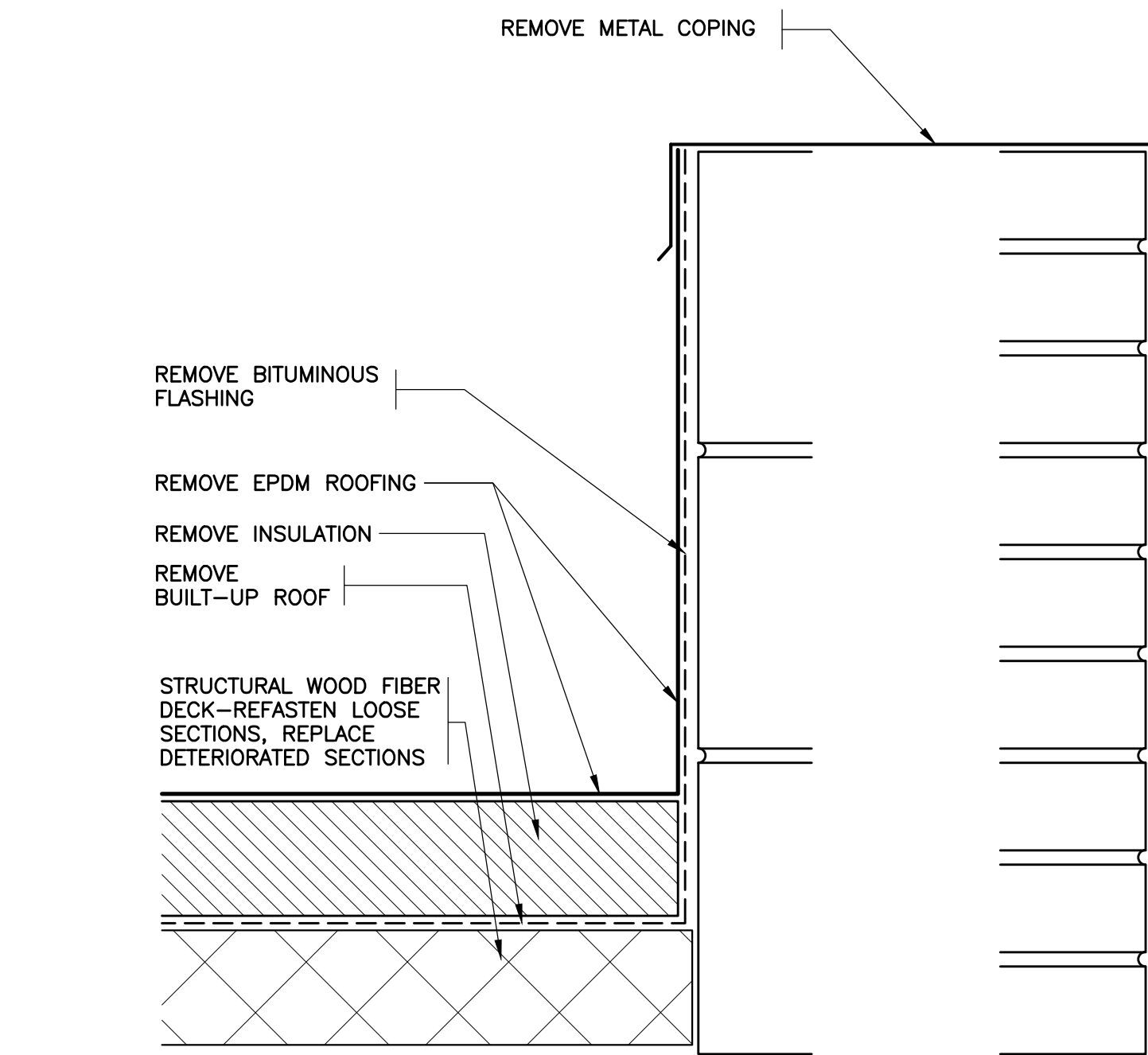
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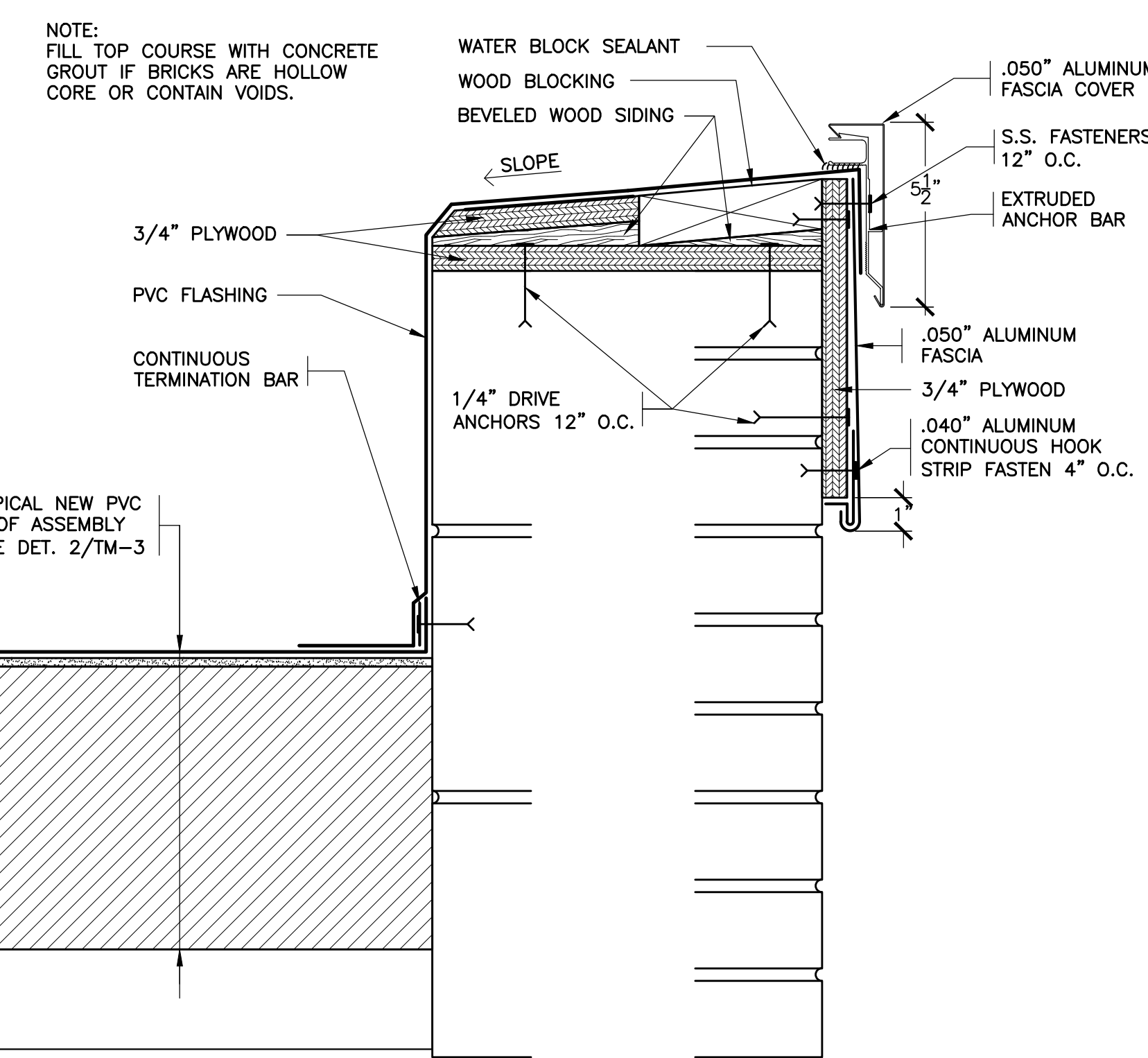
9 EXISTING BASE



10 REVISED BASE

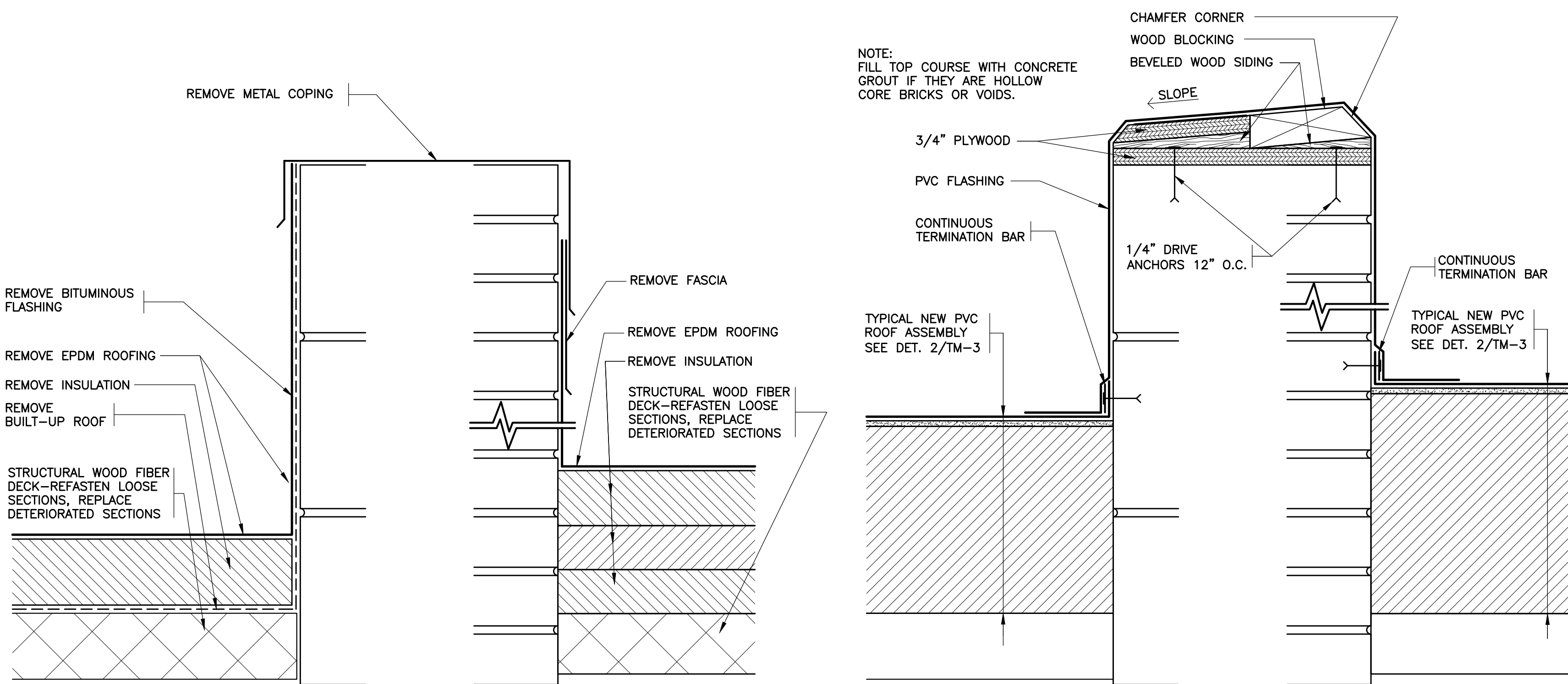


11 EXISTING PARAPET



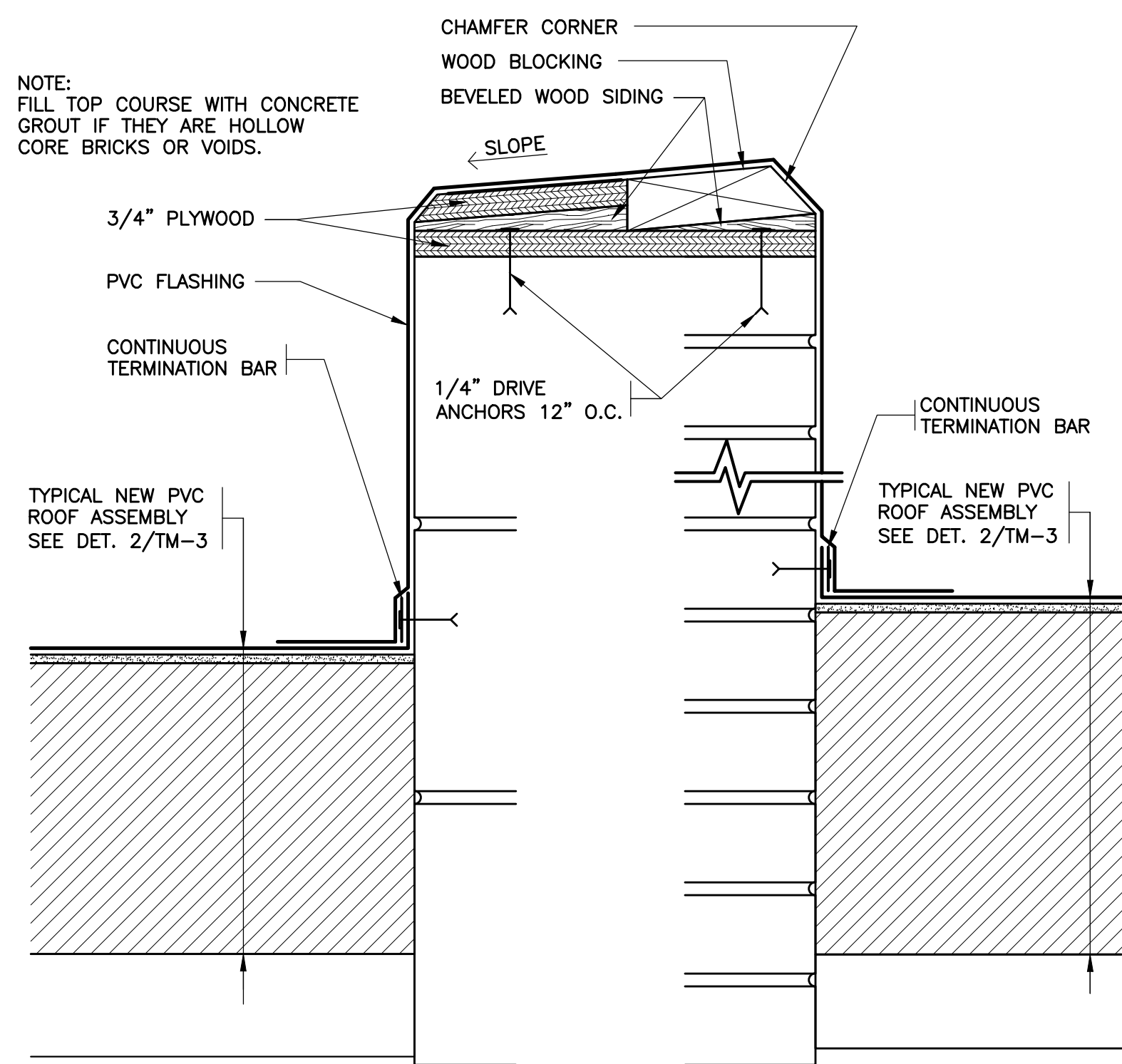
12 REVISED PARAPET

10A REVISED CAP FLASHING



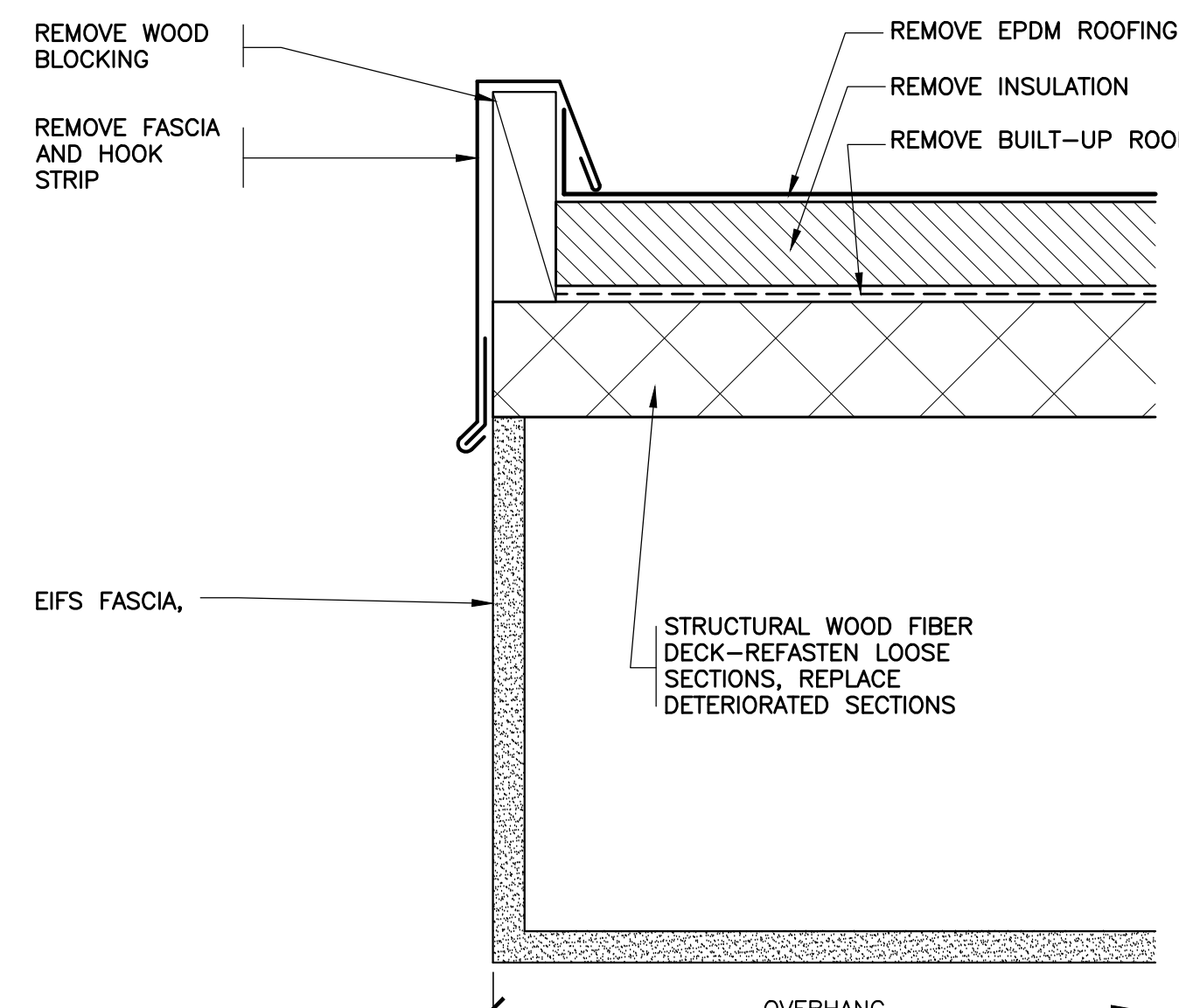
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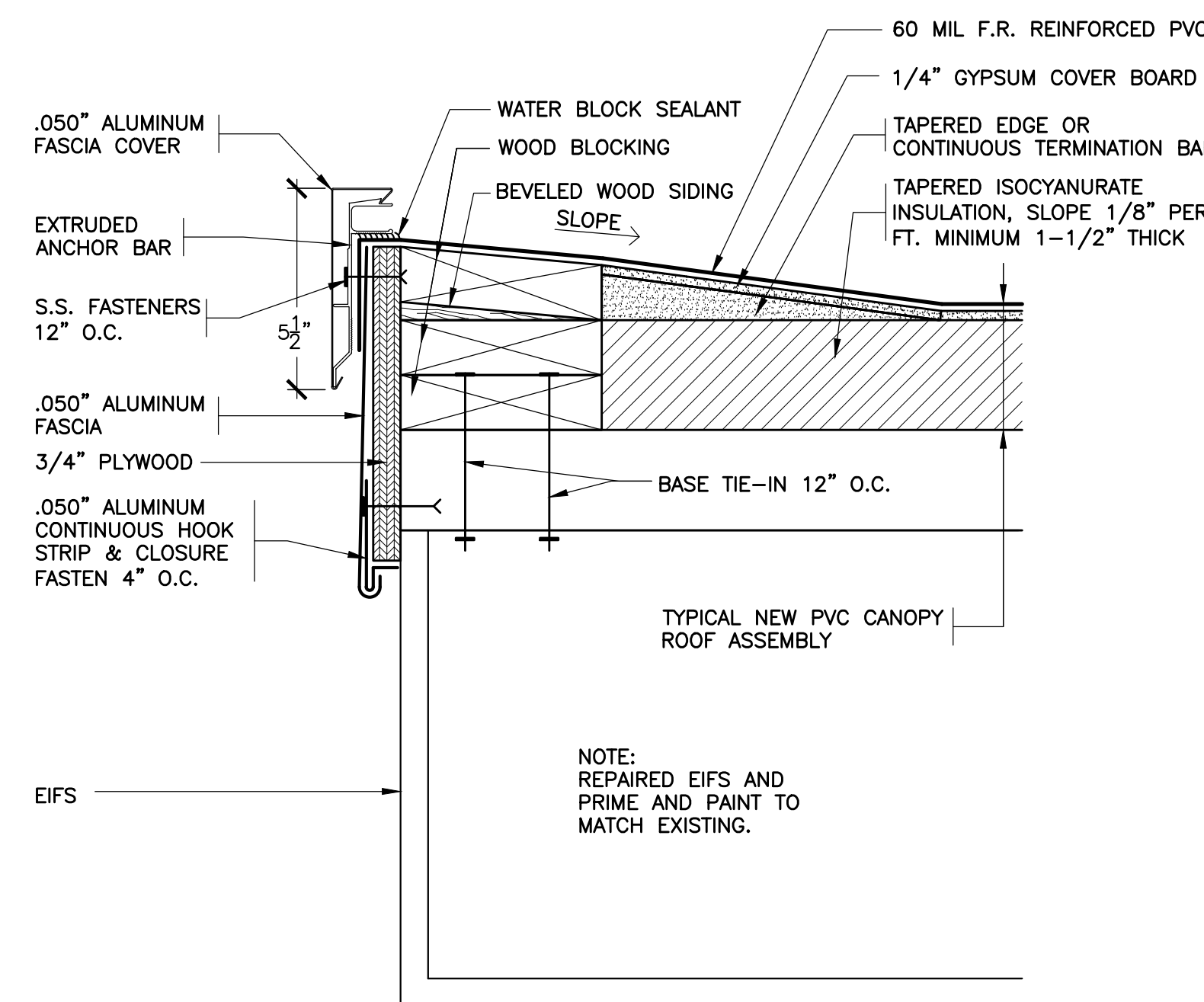
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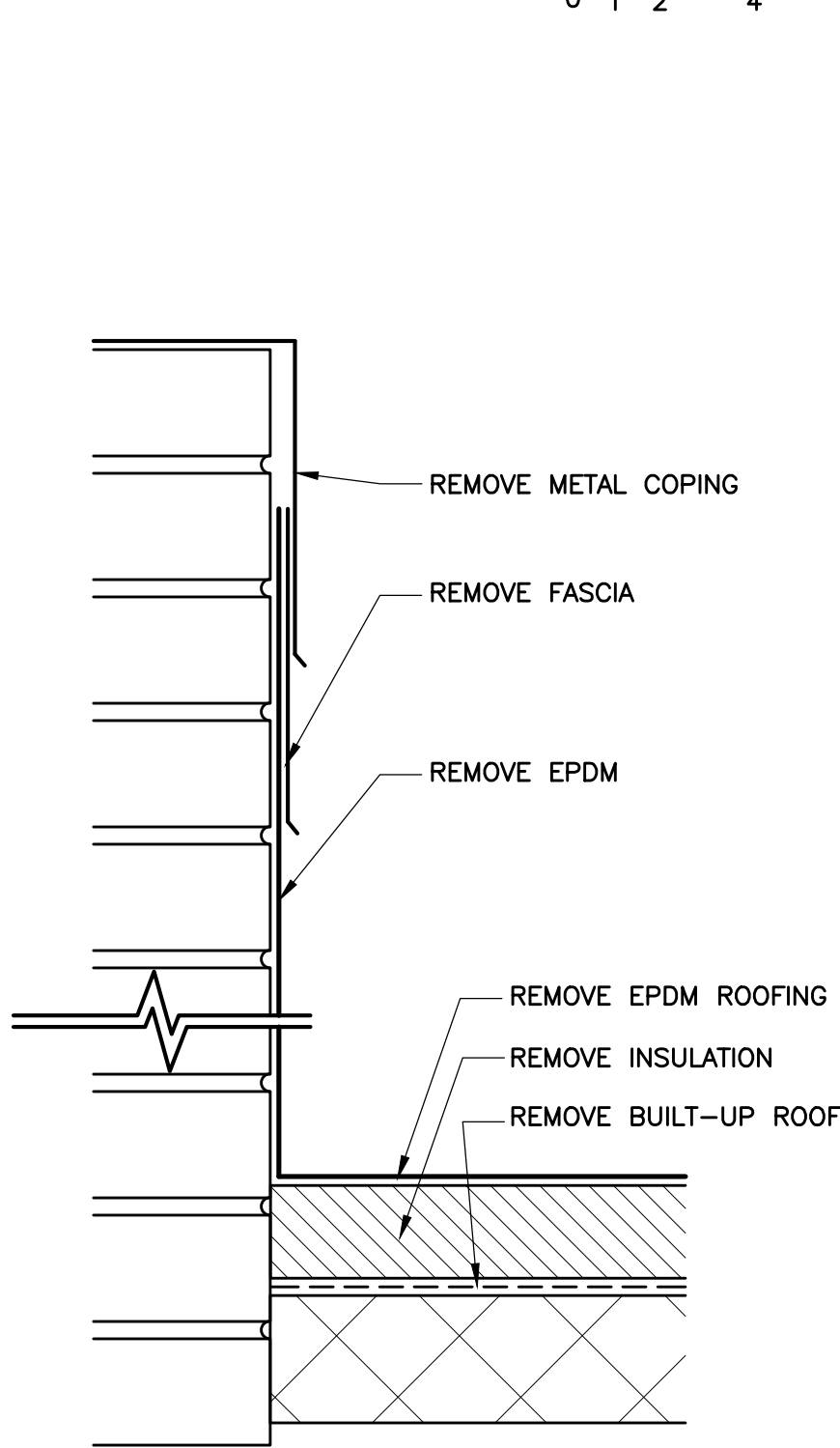
15 EXISTING CANOPY EAVE

SCALE: 0 1" 2" 4" 8"



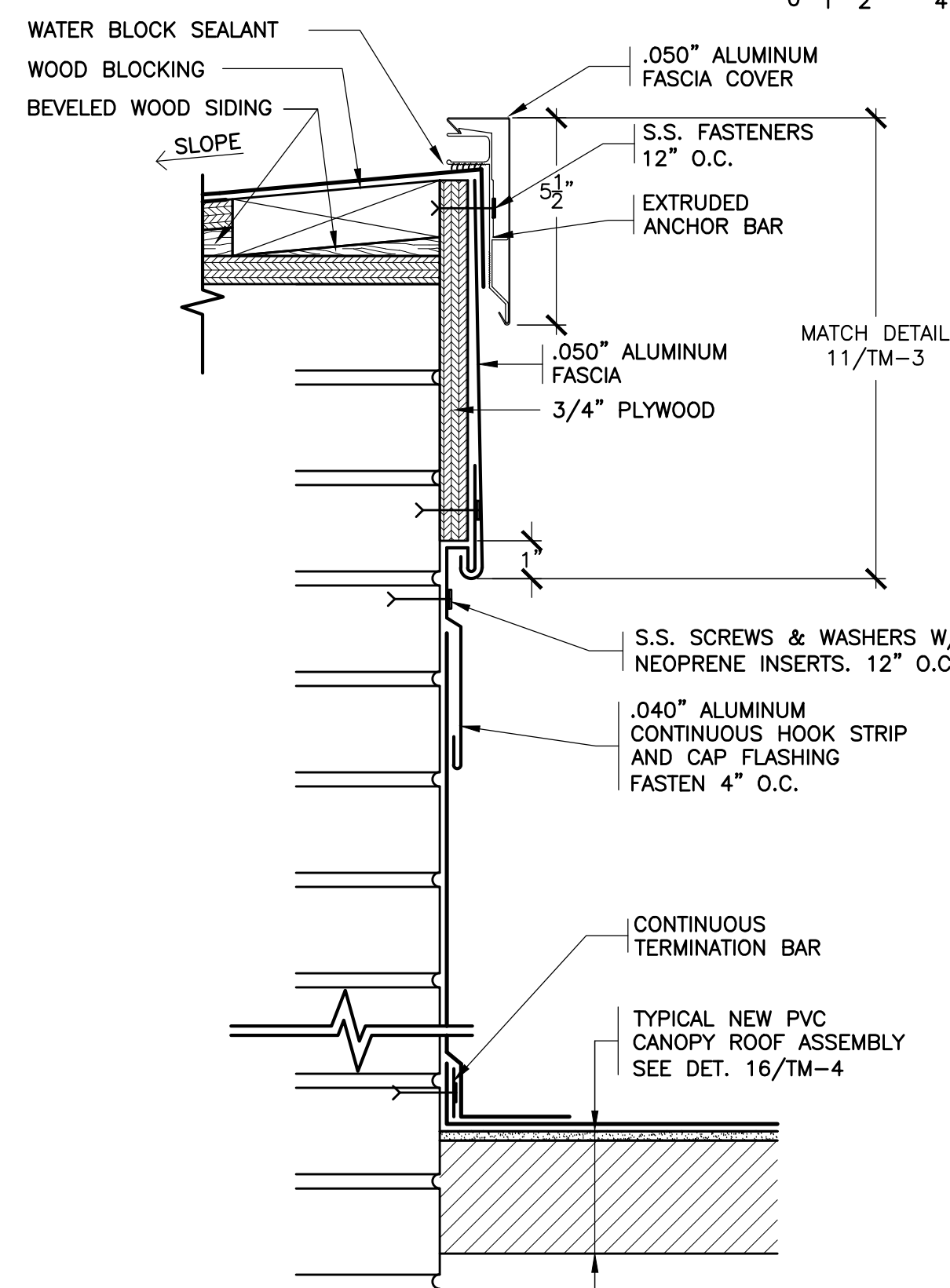
16 REVISED CANOPY EAVE

SCALE: 0 1" 2" 4" 8"



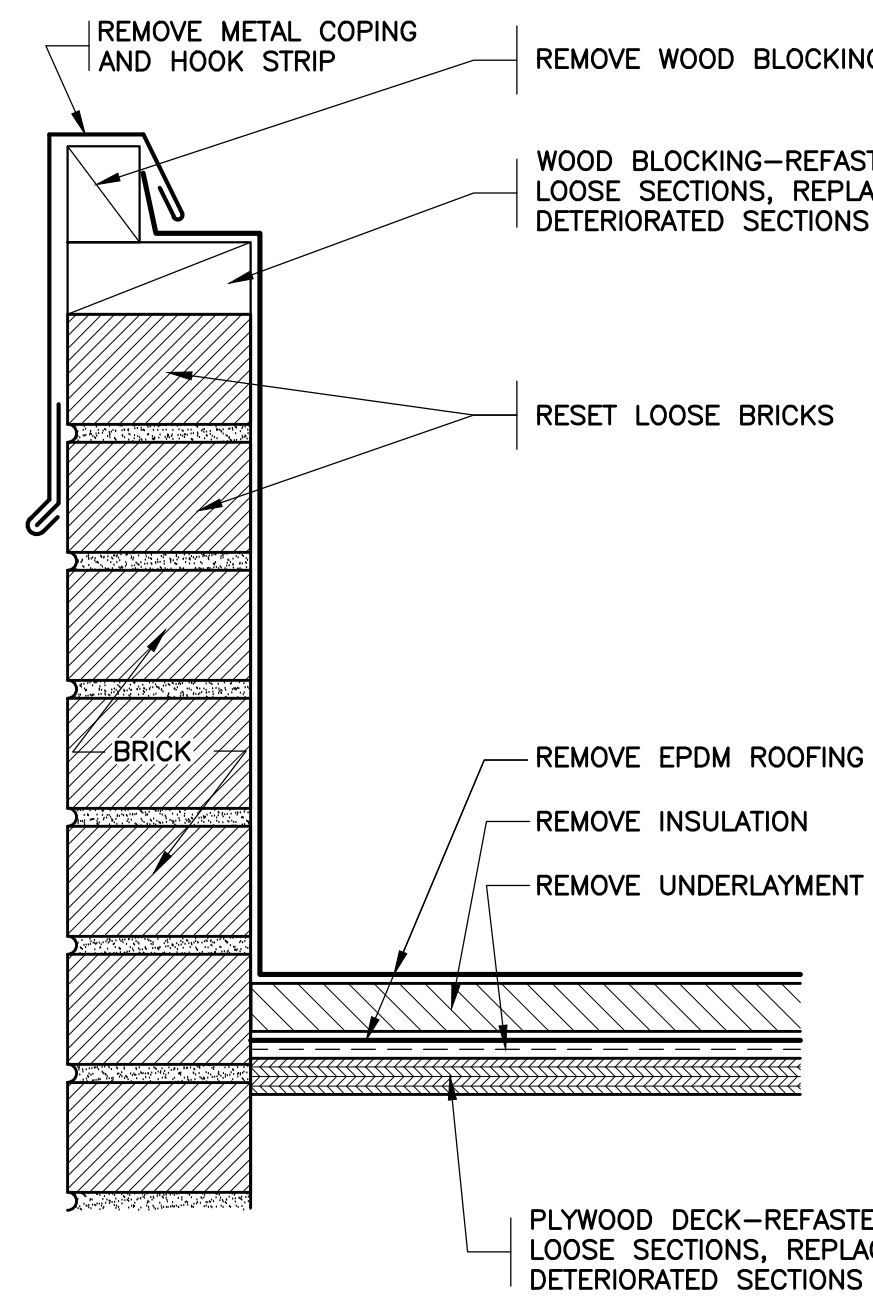
17 EXISTING CANOPY BASE FLASHING

SCALE: 0 1" 2" 4" 8"



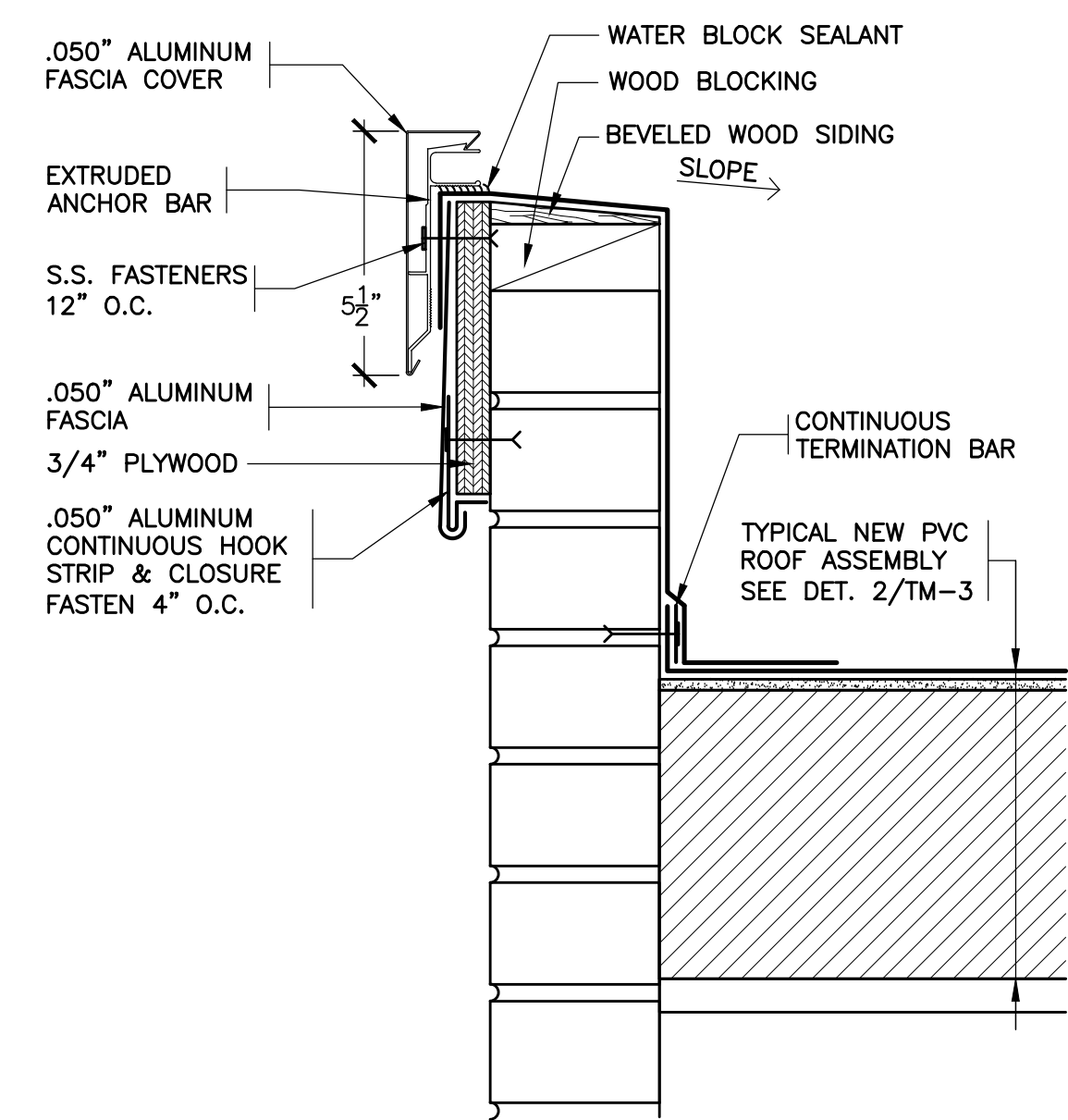
18 REVISED CANOPY BASE FLASHING

SCALE: 0 1" 2" 4" 8"



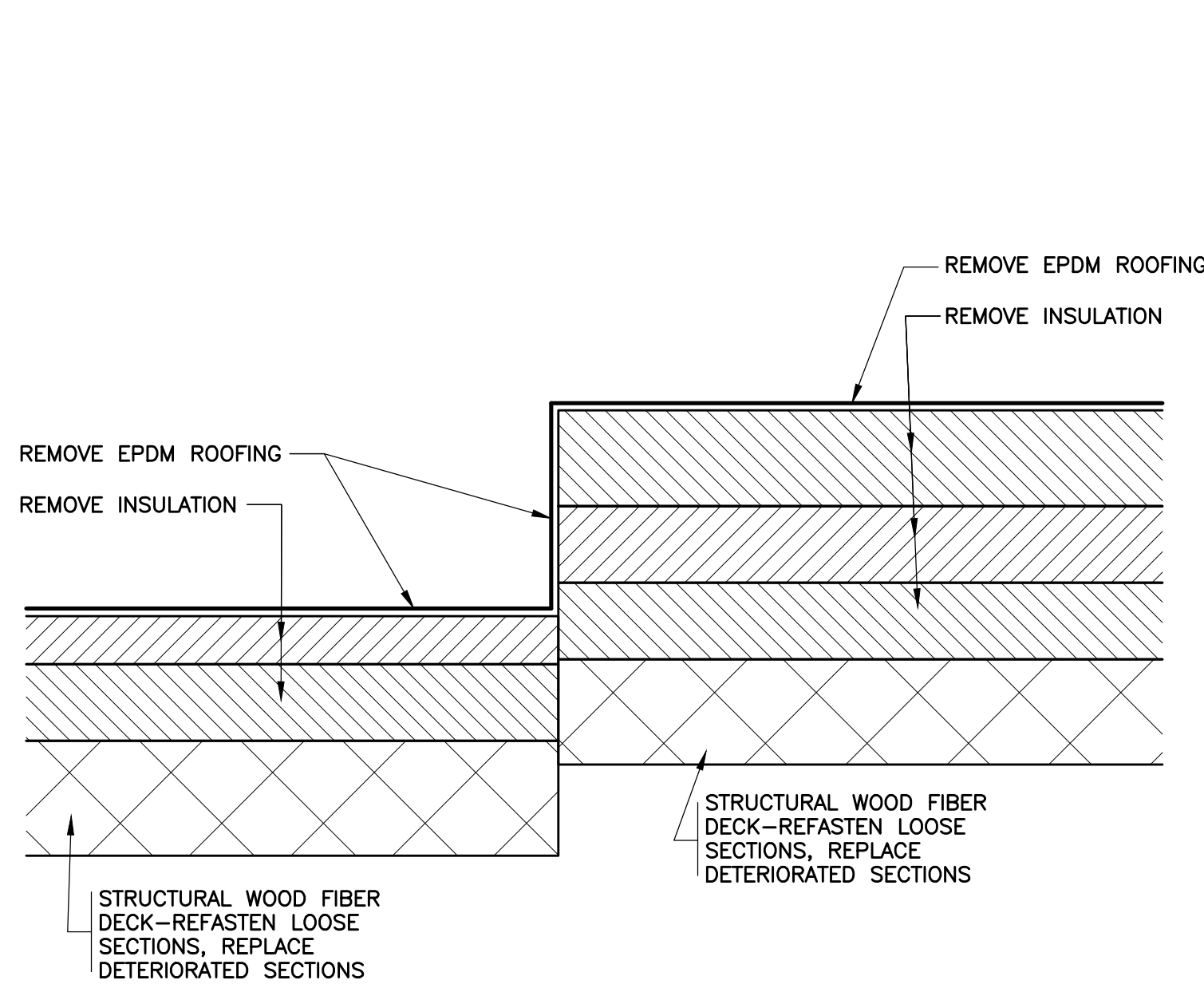
19 EXISTING EAVE

SCALE: 0 1" 2" 4" 8"



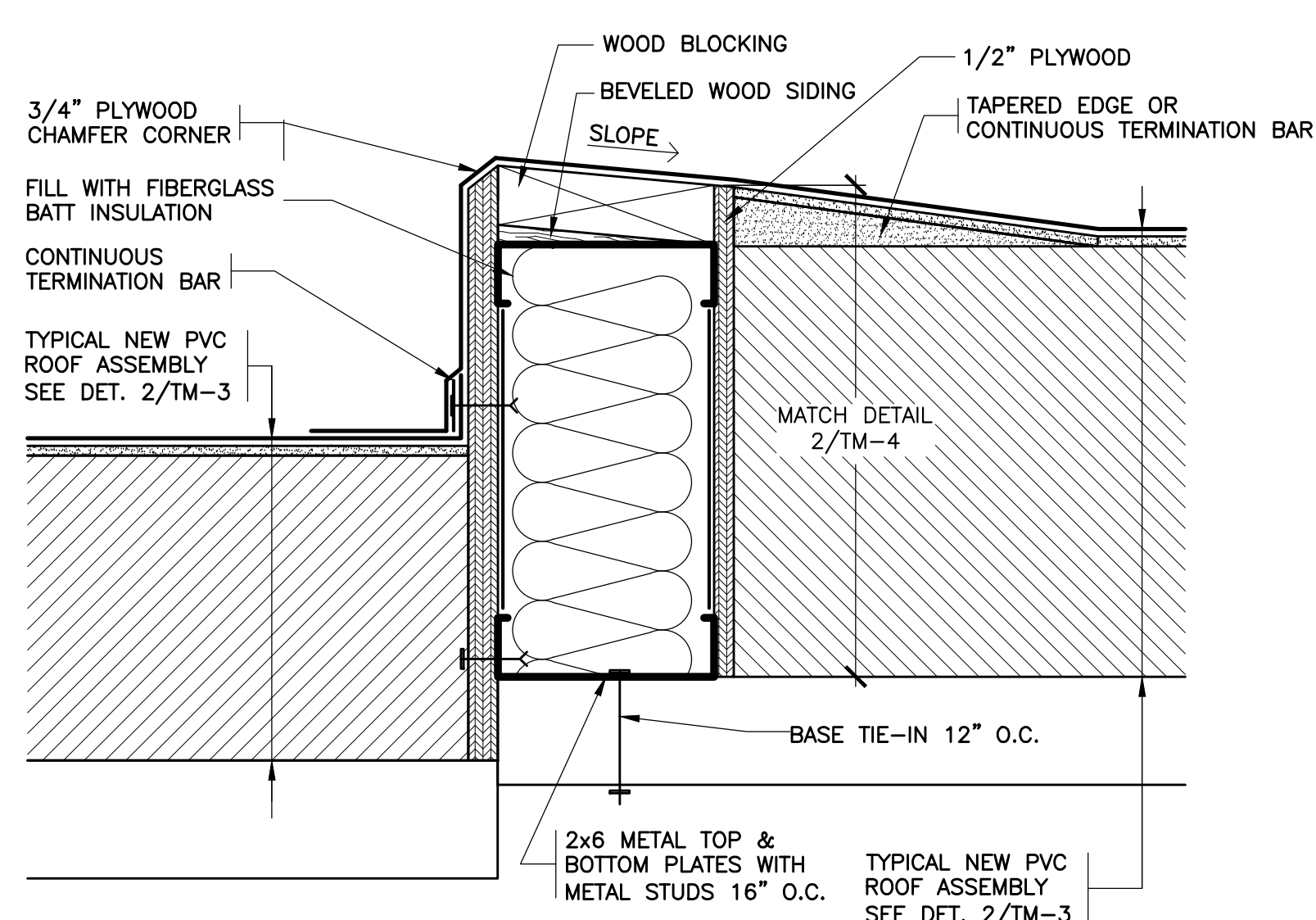
20 REVISE EAVE

SCALE: 0 1" 2" 4" 8"



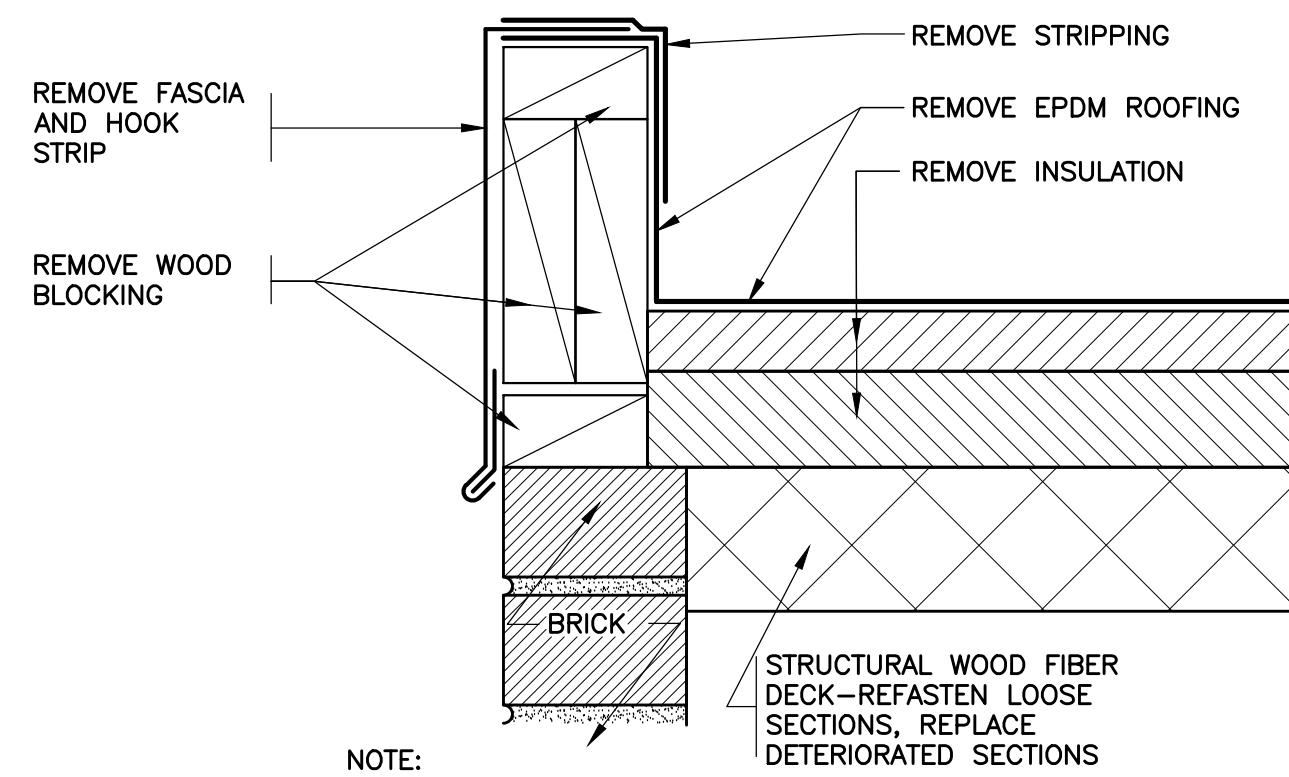
21 EXISTING TRANSITION

SCALE: 0 1" 2" 4" 8"



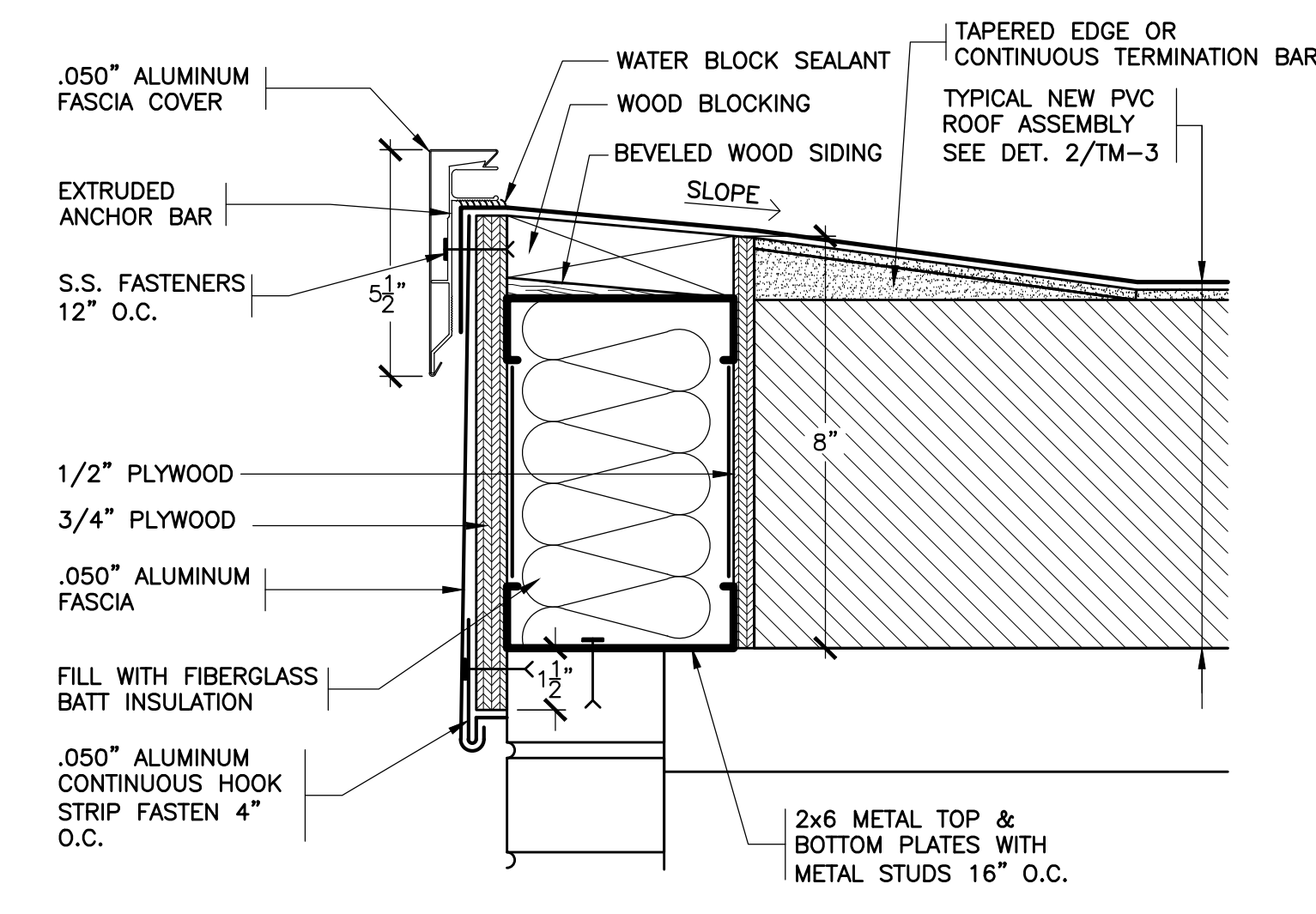
22 REVISED TRANSITION

SCALE: 0 1" 2" 4" 8"



23 EXISTING EAVE

SCALE: 0 1" 2" 4" 8"



24 REVISED EAVE

SCALE: 0 1" 2" 4" 8"

PARTIAL ROOF REPLACEMENT

MAPLE HILL ANNEX AT
TRUMAN MOON
ELEMENTARY SCHOOL

Enlarged City School
District of Middletown
223 WISNER AVENUE, MIDDLETOWN NY

KG+D architects

kaeyer, garment + davidson architects, pc
265 main street mount kisco, new york 10549
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44-10-00-01-0-010-035

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2 05-09-2022 BID ISSUE

1 04-18-2022 CONSTRUCTION DOCUMENTS

No. Date Issue

Sheet Title

ROOF DETAILS

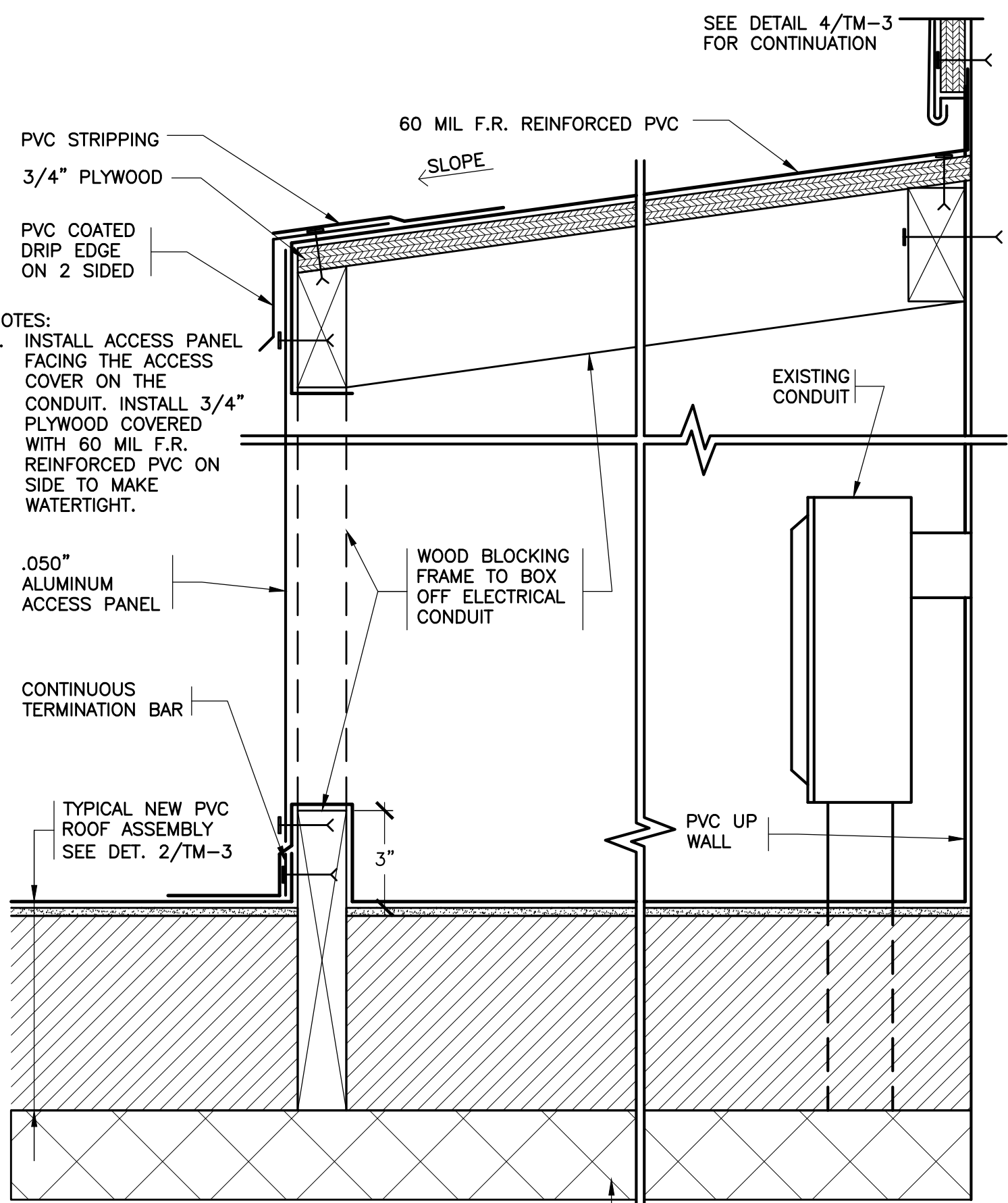
Job No. 2021-1088

Date 04/18/2022

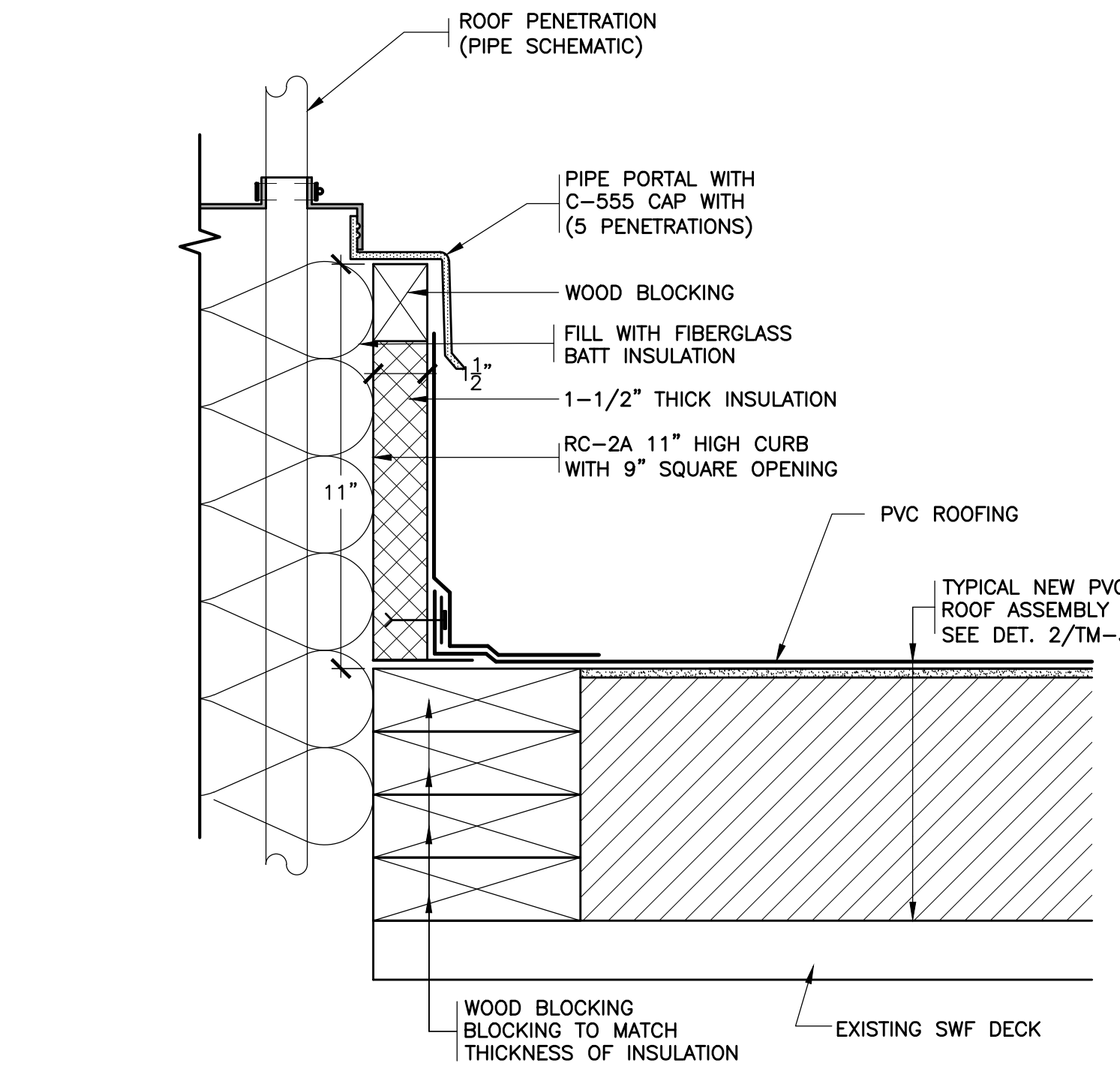
Scale AS NOTED

Drawn/Checked E.W.

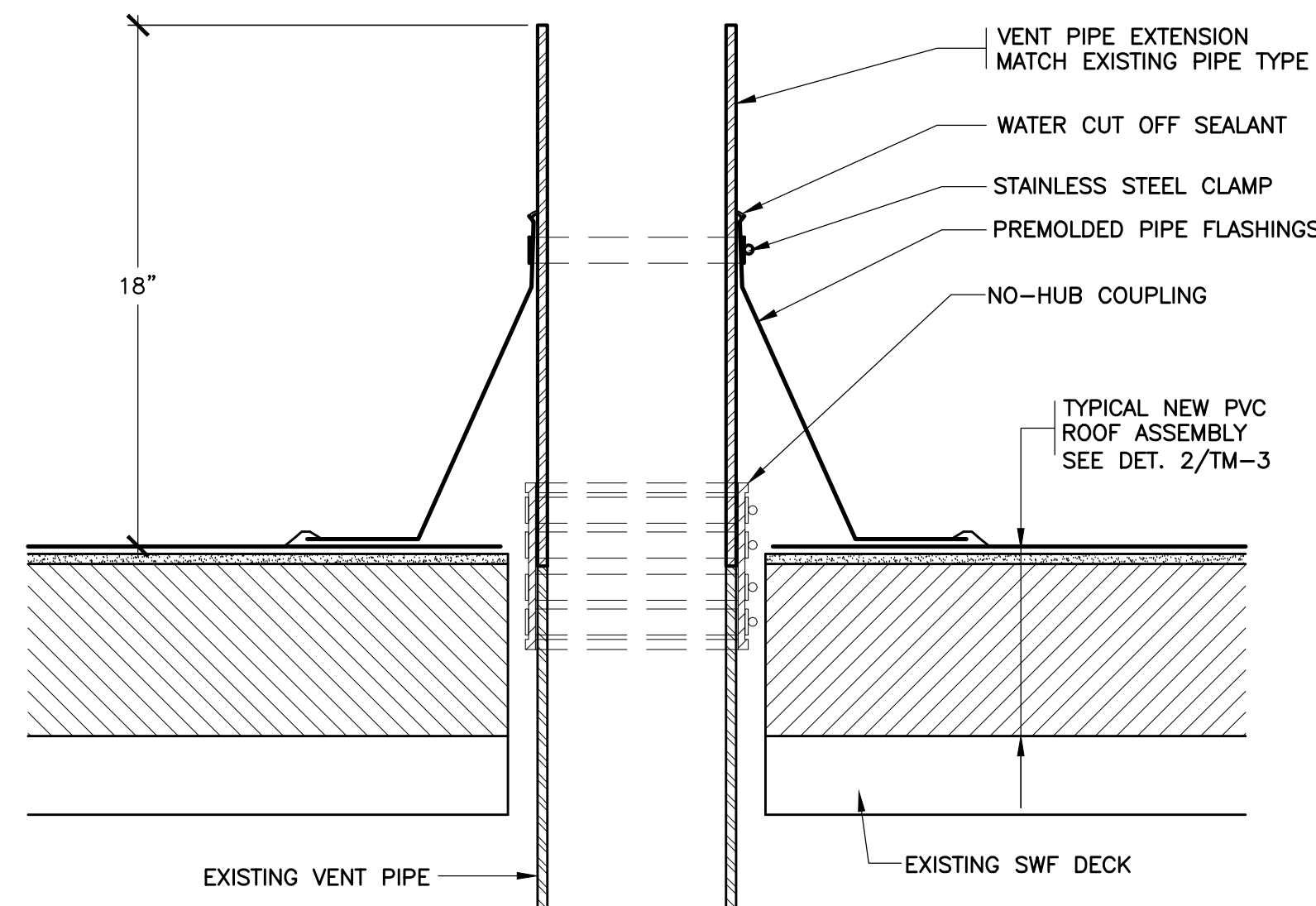
TM-4



25 REVISED CONDUIT ACCESS
SCALE: 0 1" 2" 4" 8"

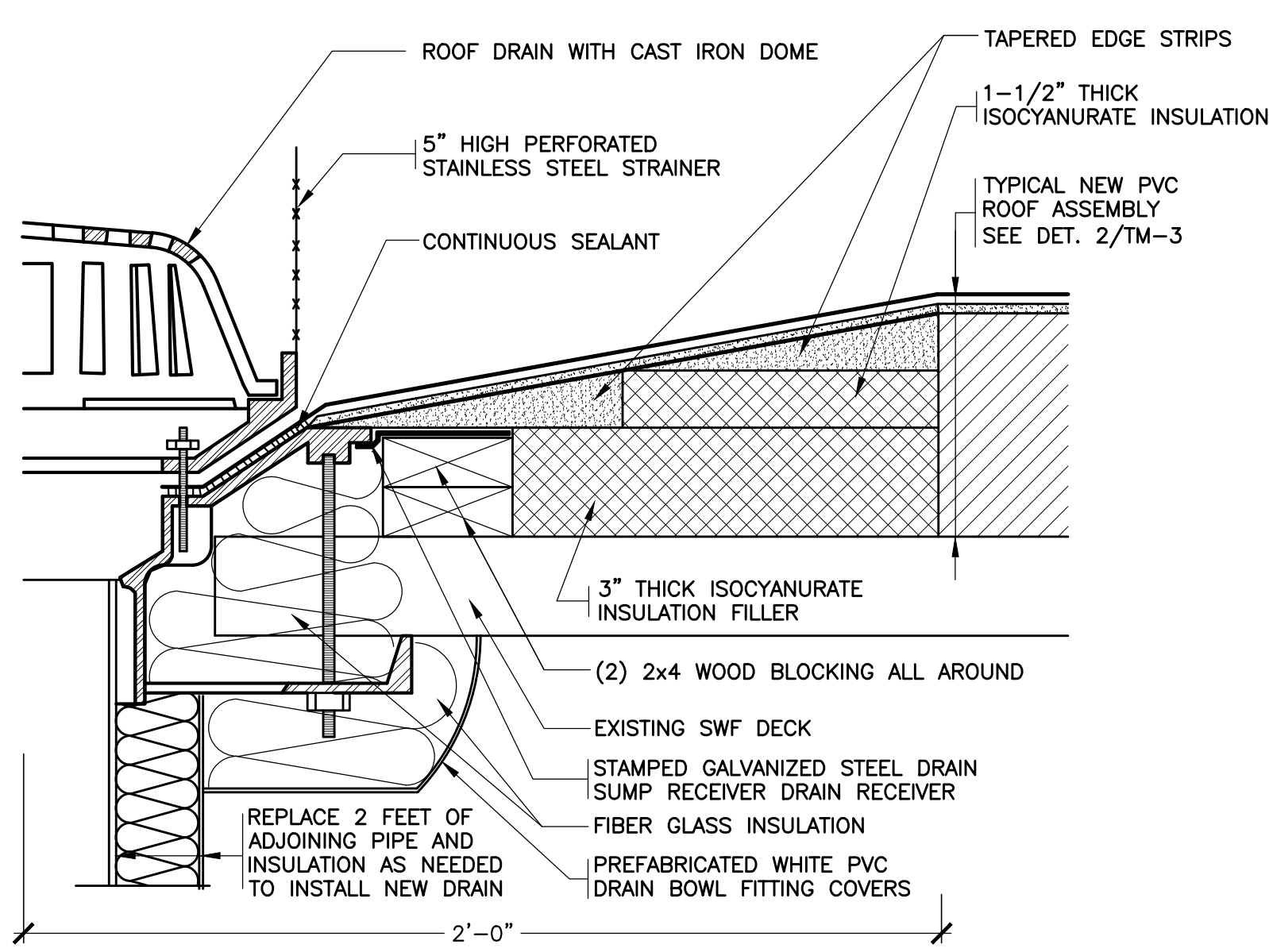


29 PORTALS PLUS ON PVC
SCALE: 0 1" 2" 4" 8"



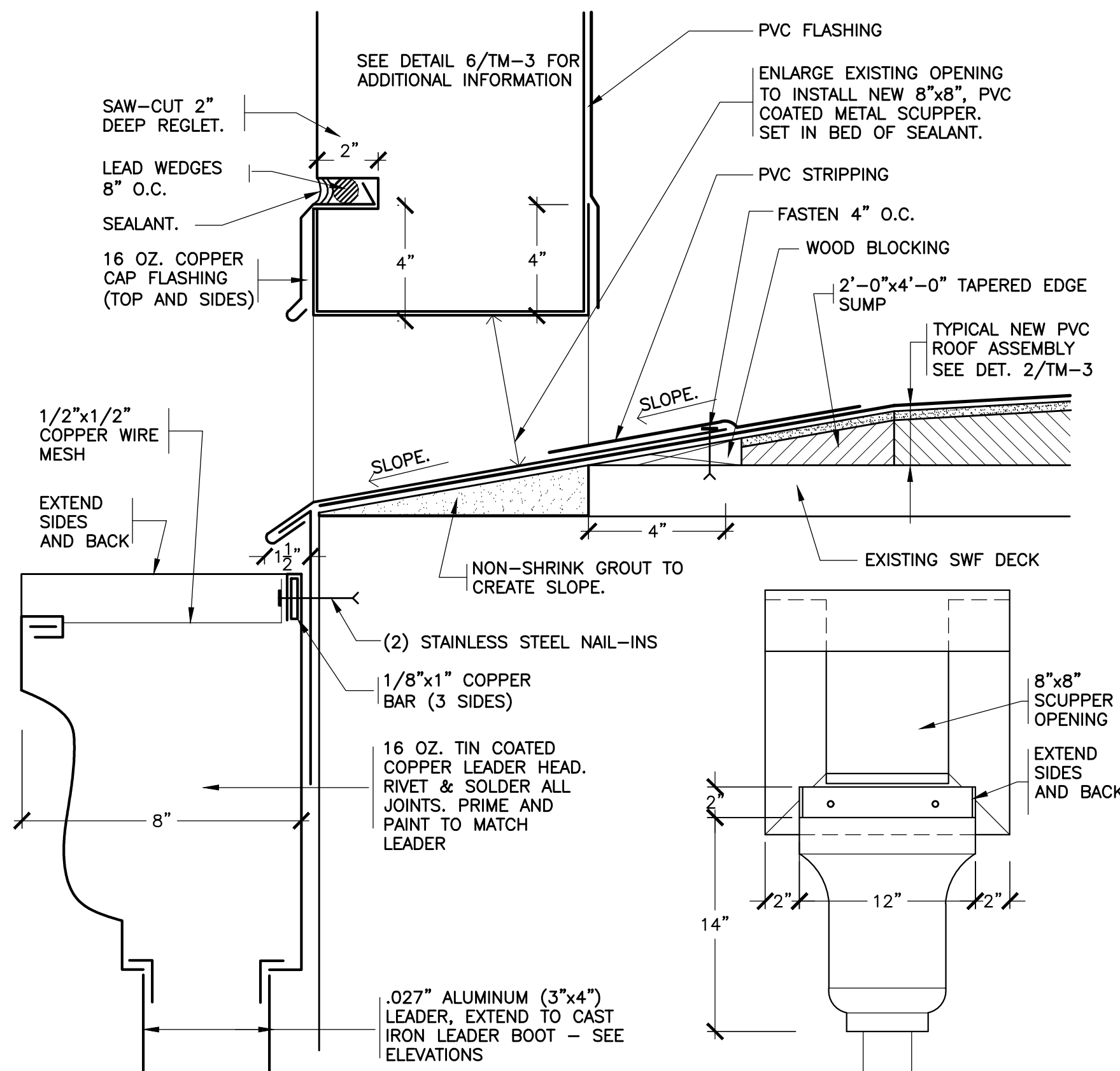
- NOTES:
1. REMOVE ALL EXISTING FLASHINGS.
 2. REMOVE KENNEDY COUPLINGS AND EXTEND VENT PIPES TO MEET MIN. HEIGHT REQUIREMENT.
 3. INSTALL PREMOLDED PIPE FLASHINGS WHENEVER POSSIBLE. WHEN PREMOLDED PIPE FLASHINGS CANNOT BE INSTALLED USE FIELD WRAPPED FLASHINGS.

33 REVISED VENT PIPE
SCALE: 0 1" 2" 4" 8"

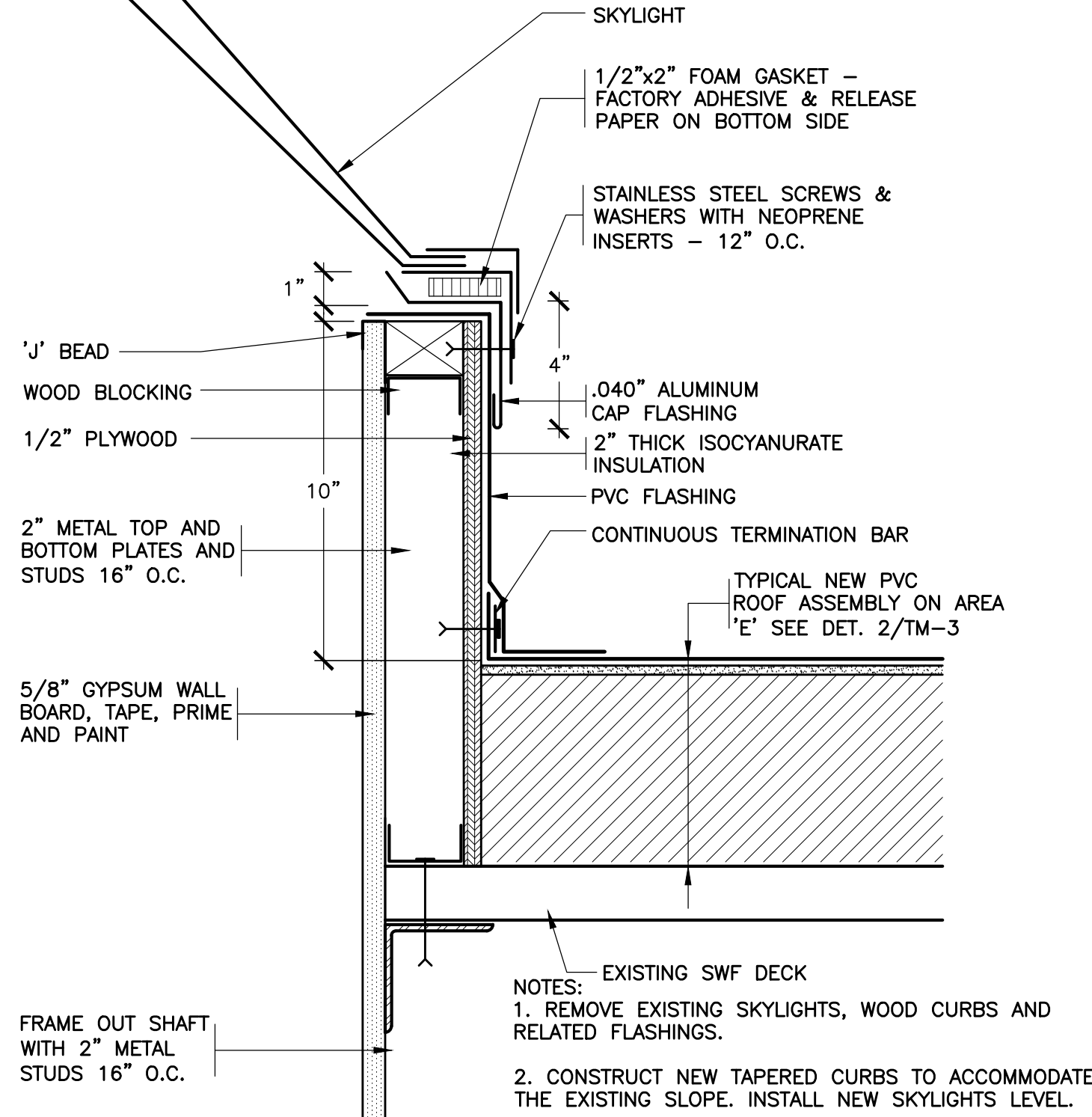


- NOTES:
1. REMOVE EXISTING ROOF DRAINS AND RELATED FLASHINGS.
 2. INSTALL TAPERED EDGE STRIPS & INSULATION FILLERS TO CREATE A MINIMUM 4 FT. x 4 FT. SQUARE SUMP AT EACH DRAIN.
 3. INSULATE THE DRAIN BOWL AND NEW PIPE.

26 REVISED ROOF DRAIN
SCALE: 0 1" 2" 4" 8"

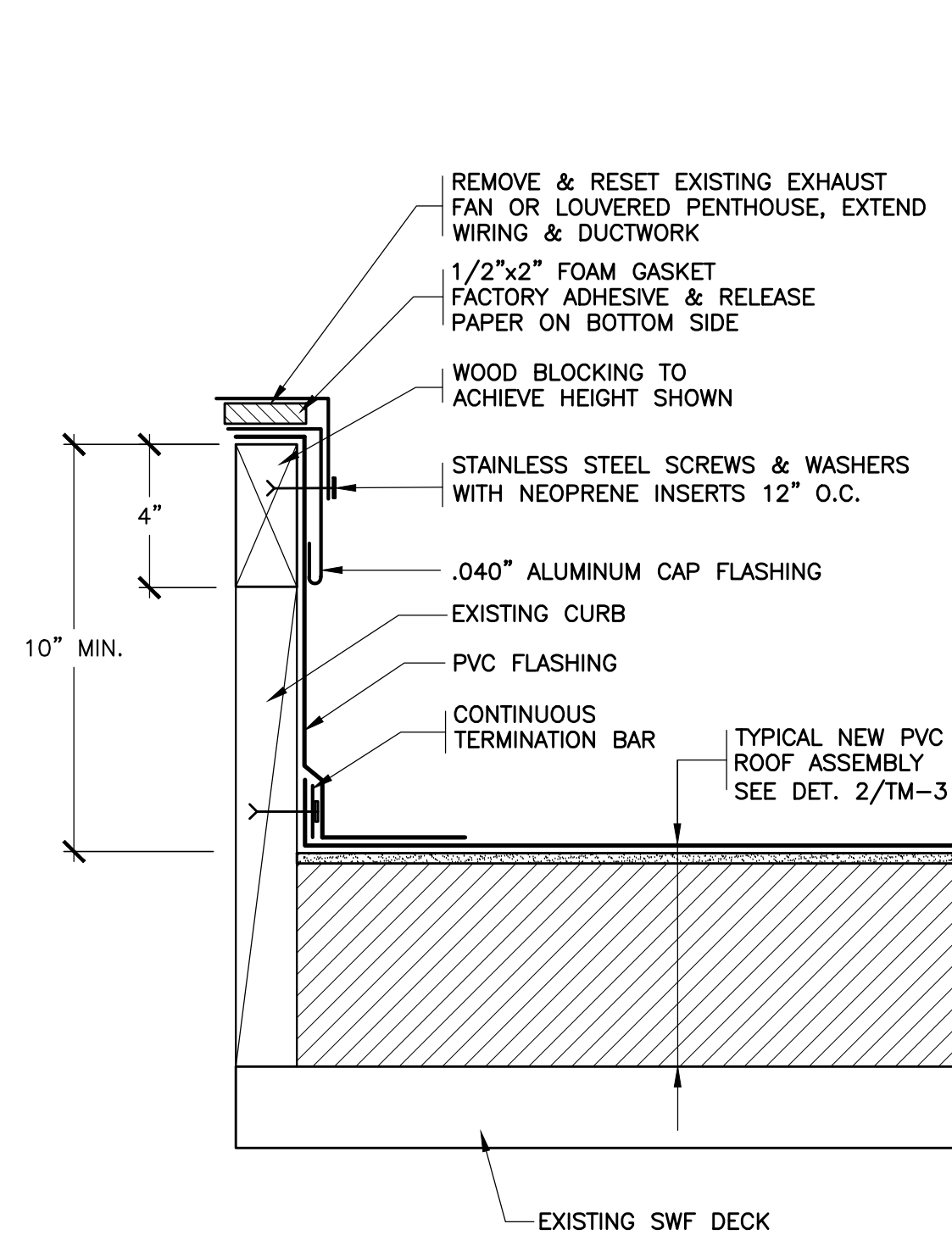


30 REVISED SCUPPER, LEADER & LEADER HEAD
SCALE: N.T.S.

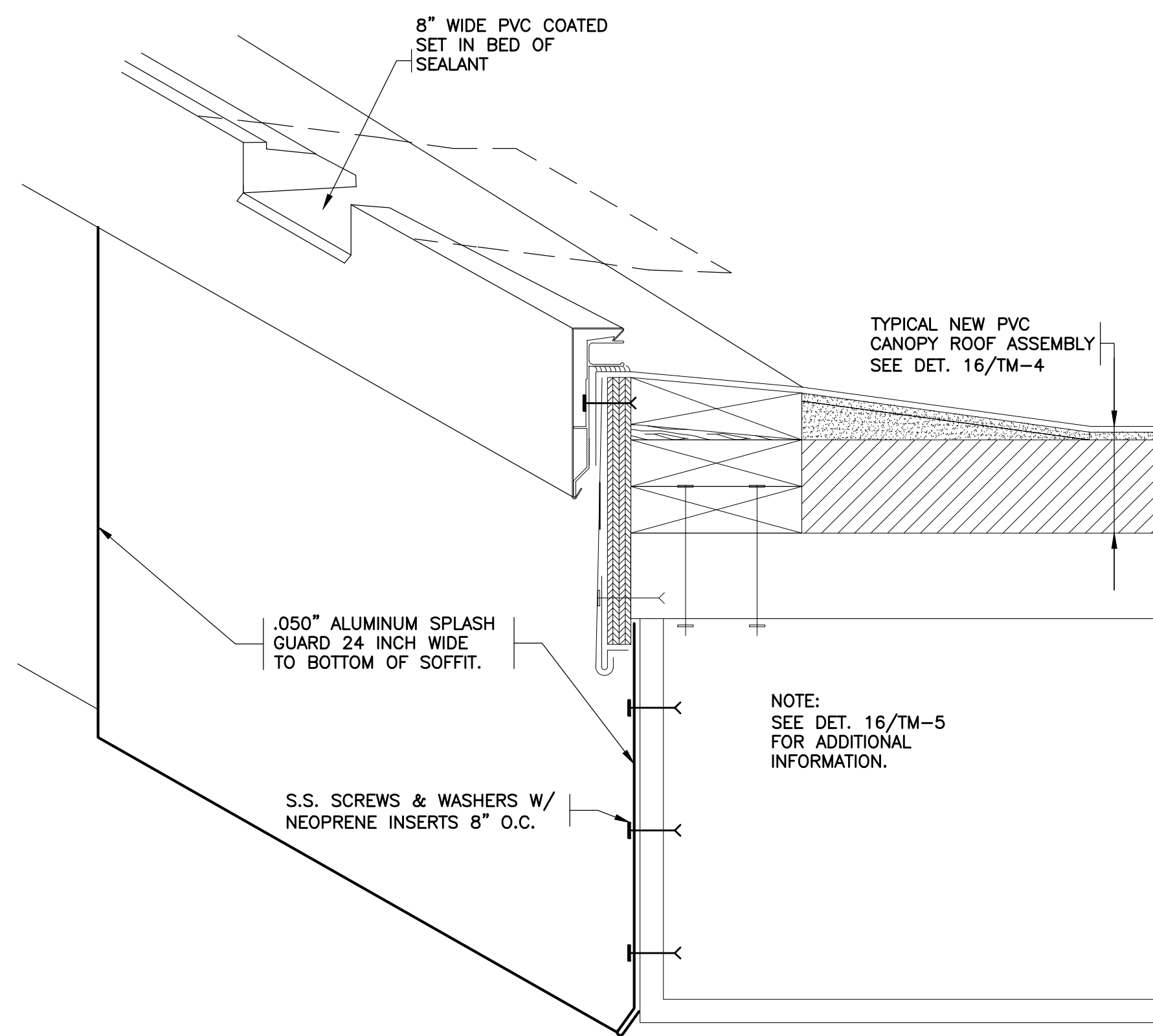


- NOTES:
1. REMOVE EXISTING SKYLIGHTS, WOOD CURBS AND RELATED FLASHINGS.
 2. CONSTRUCT NEW TAPERED CURBS TO ACCOMMODATE THE EXISTING SLOPE. INSTALL NEW SKYLIGHTS LEVEL.

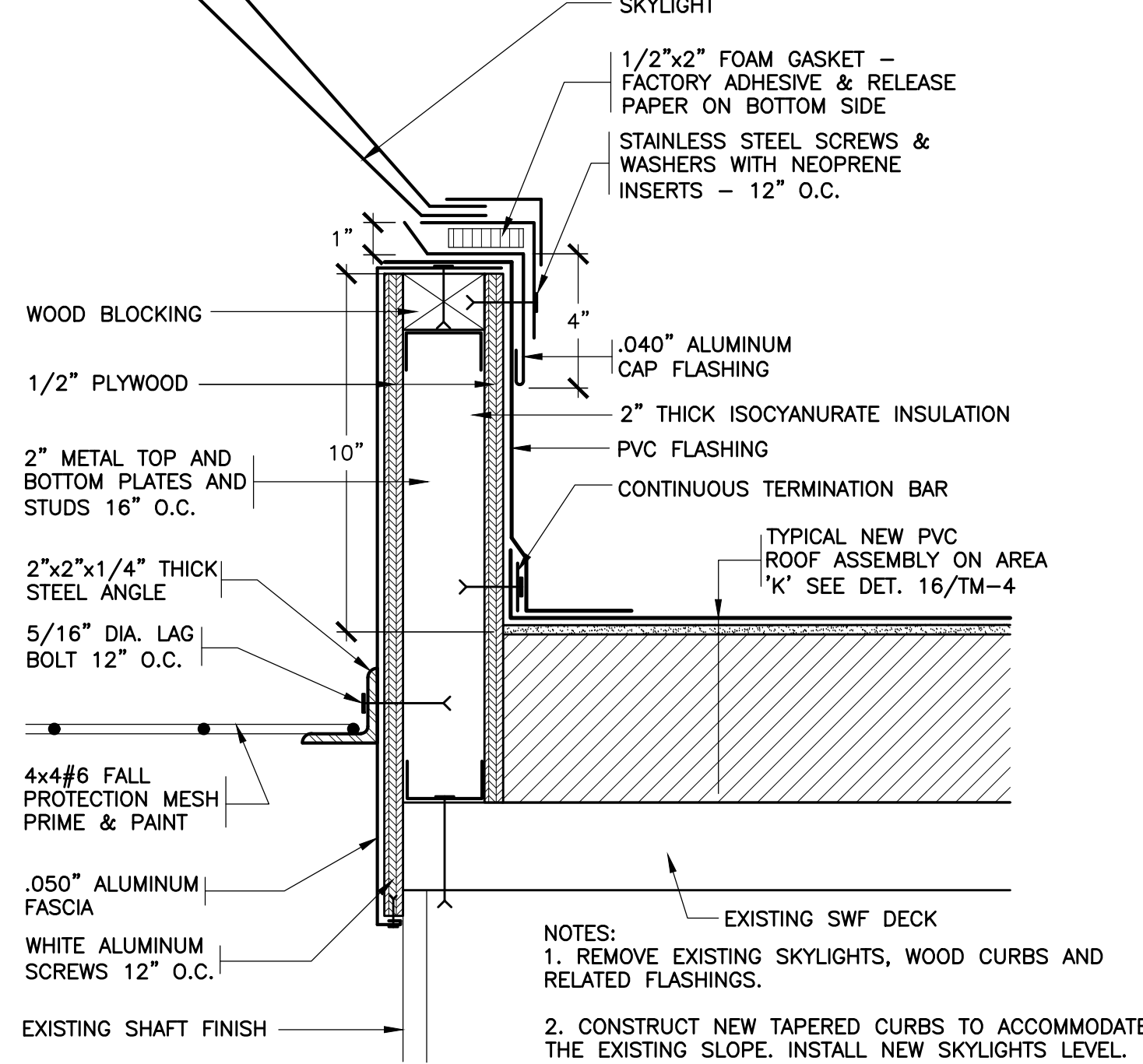
34 REVISED SKYLIGHT (AREA E)
SCALE: 0 1" 2" 4" 8"



27 REVISED EXHAUST FAN/LOUVERED PENTHOUSE
SCALE: 0 1" 2" 4" 8"

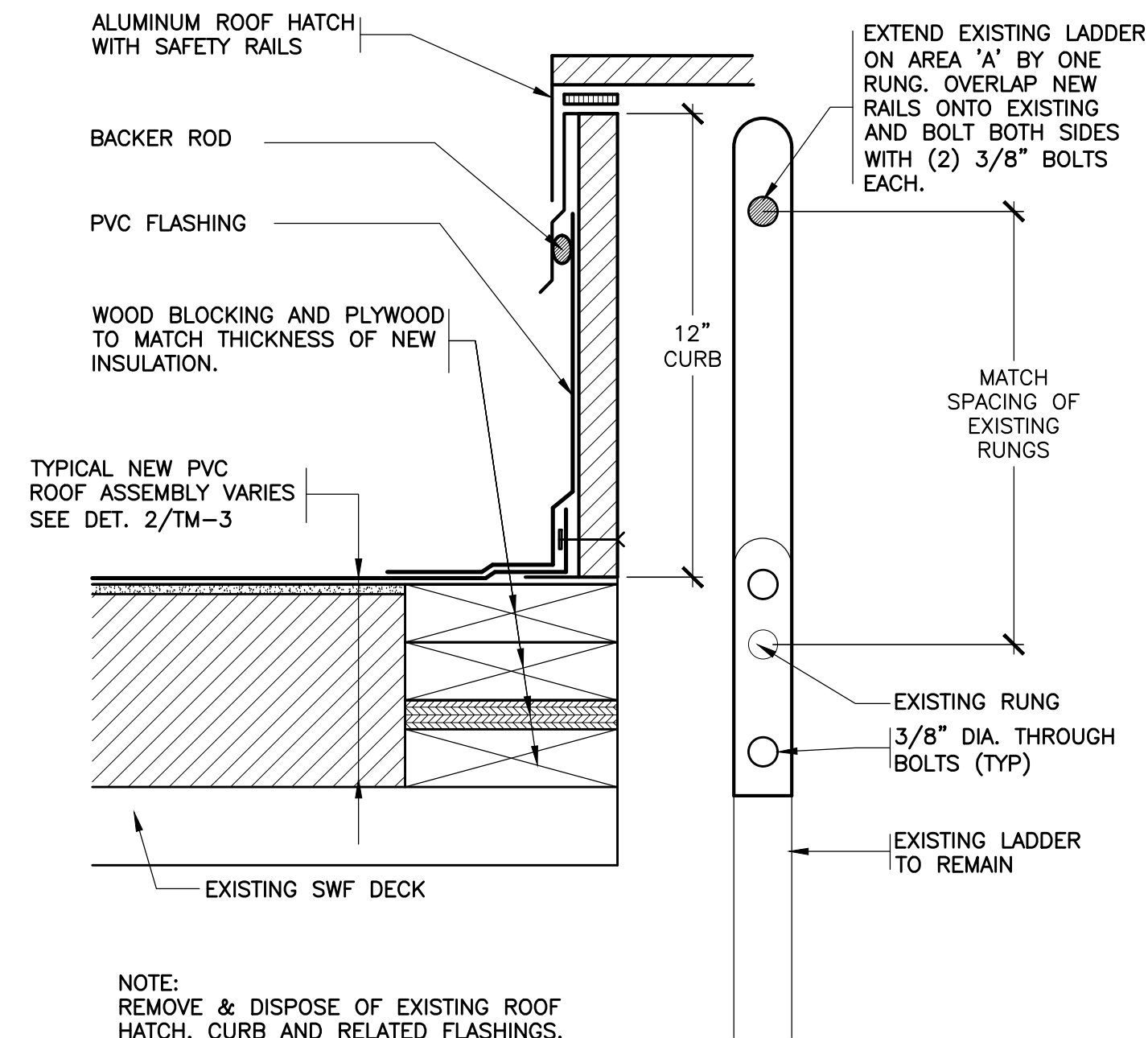


31 REVISED SCUPPER AT CANOPY
SCALE: N.T.S.

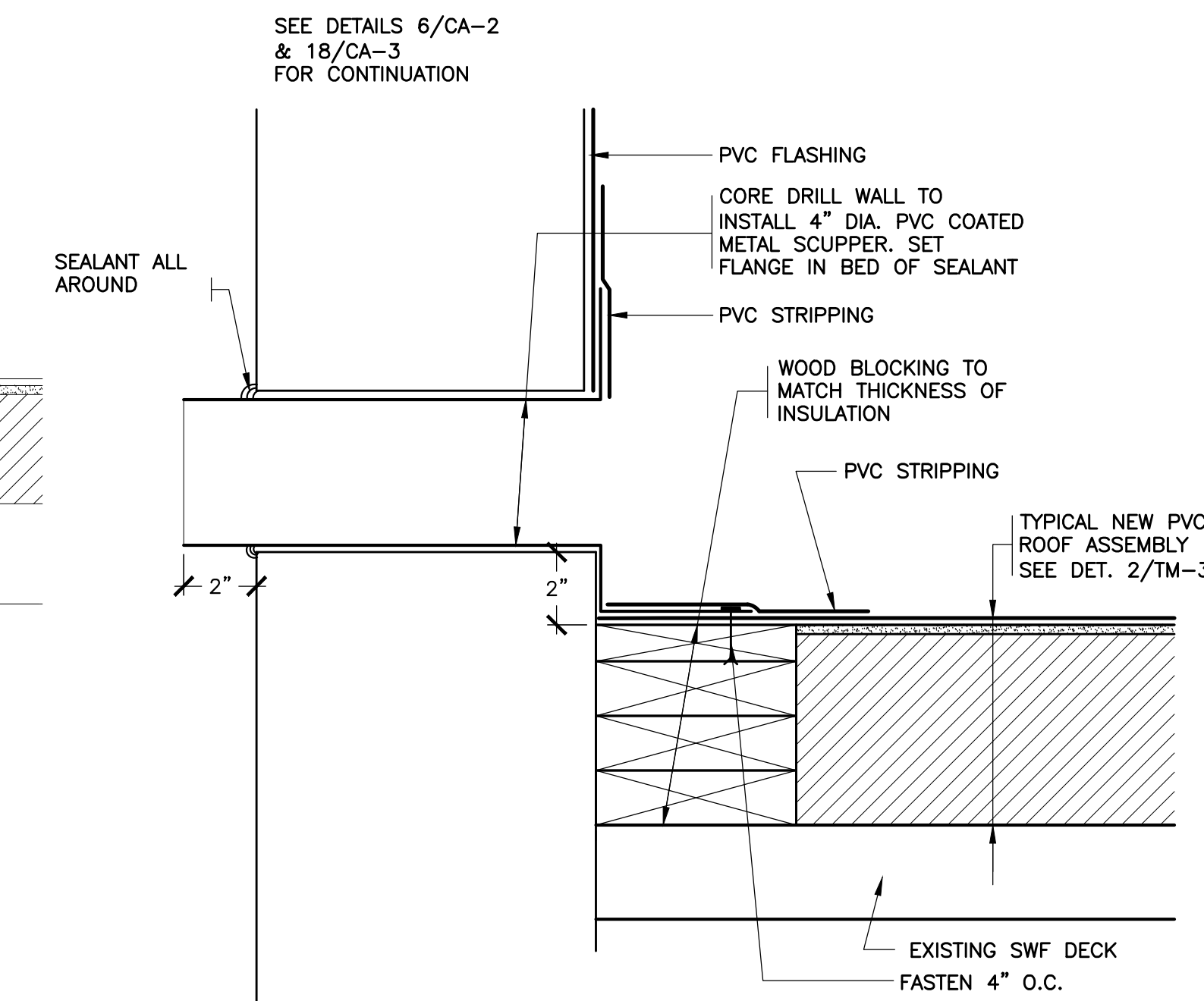


- NOTES:
1. REMOVE EXISTING SKYLIGHTS, WOOD CURBS AND RELATED FLASHINGS.
 2. CONSTRUCT NEW TAPERED CURBS TO ACCOMMODATE THE EXISTING SLOPE. INSTALL NEW SKYLIGHTS LEVEL.

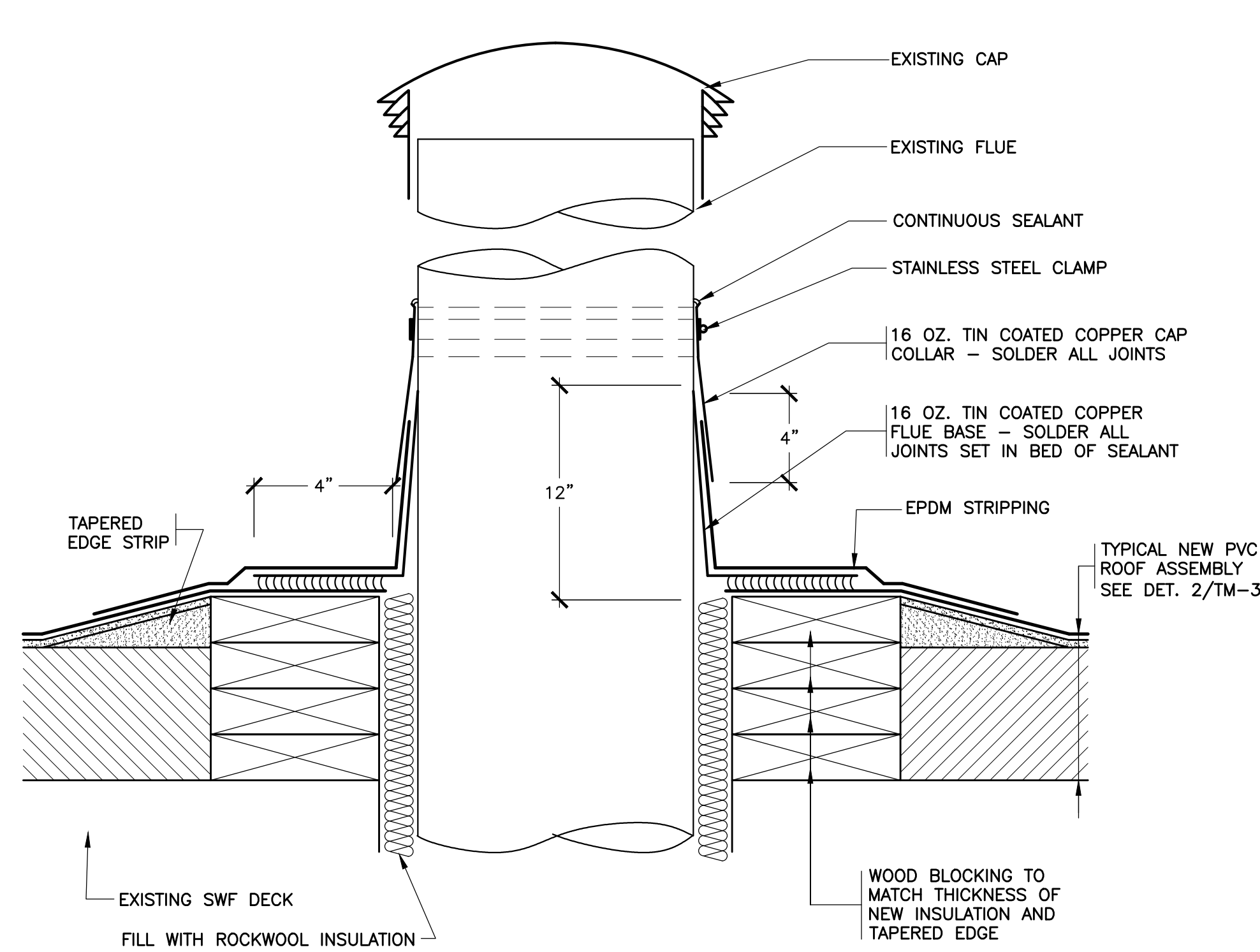
35 REVISED SKYLIGHT (AREA K)
SCALE: 0 1" 2" 4" 8"



28 REVISED ROOF HATCH
SCALE: 0 1" 2" 4" 8"



32 REVISED OVERFLOW SCUPPER
SCALE: N.T.S.



36 REVISED FLUE FLASHING
SCALE: 0 1" 2" 4" 8"

PARTIAL ROOF REPLACEMENT

MAPLE HILL ANNEX AT
TRUMAN MOON
ELEMENTARY SCHOOL

Enlarged City School
District of Middletown
223 WISNER AVENUE, MIDDLETOWN, NY

KG+D architects

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44-10-00-01-0-010-035

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No.	Date	Issue
2	05-09-2022	BID ISSUE
1	04-18-2022	CONSTRUCTION DOCUMENTS

Sheet Title

ROOF DETAILS

Job No.	Sheet No.
2021-1088	
Date	04/18/2022
Scale	AS NOTED
Drawn/Checked	EJW

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