

REFERENCE: ORANGE COUNTY GIS (GEOGRAPHICAL INFORMATION SYSTEMS)

VICINITY MAP  
SCALE: 1" = 1000'



AERIAL MAP  
SCALE = N.T.S.



# SITE PLAN

## FOR HUMANE SOCIETY OF PORT JERVIS / DEERPARK

### 202 U.S. ROUTE 209 SECTION 53 BLOCK 1 LOT 4 TOWN OF DEERPARK, NY

**PROJECT INFORMATION**

ZONING HM-U (HAMLET/MIXED USE DISTRICT)  
TAX ID SECTION 53 BLOCK 1 LOT 4  
LOT AREA 150,493 S.F. / 3.46± ACRES

DRAWING LIST	
T-1	TITLE SHEET
S-1	EXISTING CONDITIONS
S-2	SITE PLAN
S-3	GRADING PLAN
S-4	LIGHTING & LANDSCAPING PLAN
S-5	EROSION & SEDIMENTATION PLAN
S-6	SITE DETAILS

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

THIS PLAN CONTAINS 7 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.

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REVISIONS				
DWN BY	REV	DESCRIPTION	DATE	APPROVED
DL	0	FOR APPROVAL	06/09/21	
DL	1	REVISED PER TOWN COMMENT	09/28/21	
DL	1	REVISED PER TOWN COMMENT	10/29/21	

*John D. Fuller*

JOHN D. FULLER  
REG. NO. 077703

4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

**JOHN D. FULLER, P.E., P.C.**

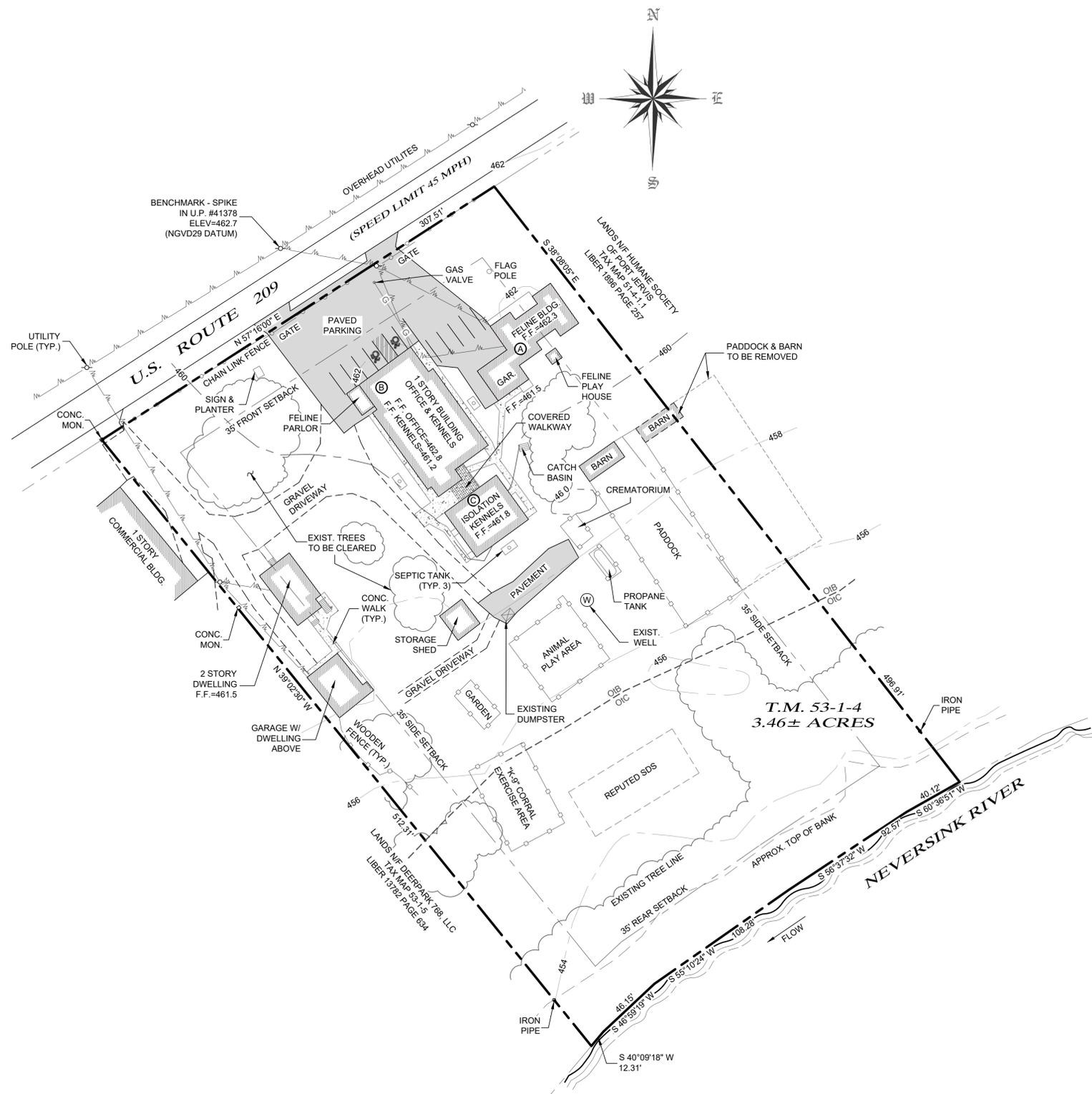
HUMANE SOCIETY OF PORT JERVIS / DEERPARK  
202 U.S. ROUTE 209  
SECTION 53 BLOCK 1 LOT 4  
TOWN OF DEERPARK, NY

DWG TITLE **TITLE SHEET** DWG NO. **T-1**

SCALE AS NOTED JOB NO. 2235.001

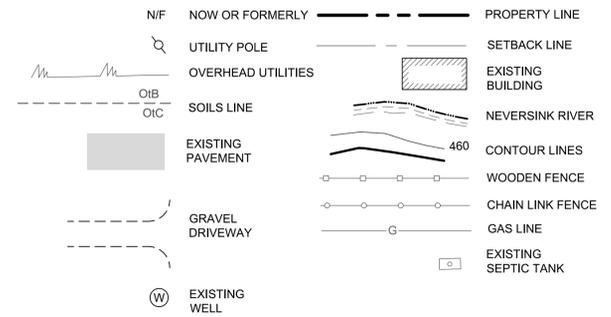
**REFERENCE MAP:**

SURVEY MAP ENTITLED, "SURVEY MAP OF LAND, PREPARED HUMANE SOCIETY OF PORT JERVIS - DEERPARK, INC.", PREPARED BY CONRAD, CLOSE & EWALD, DATED OCTOBER 13, 2015, LATEST REVISION DATE 10-18-19, AS DRAWING NUMBER 10969-A.



BLDG. REF.	EXISTING USE
(A)	FELINE BUILDING
(B)	OFFICE & KENNELS
(C)	ISOLATION KENNELS

**LEGEND**



**GENERAL NOTES**

- OWNER OF RECORD / APPLICANT: HUMANE SOCIETY OF PORT JERVIS / DEERPARK, 202 U.S. ROUTE 209, PORT JERVIS, NY 12771
- TAX MAP DESIGNATION: SECTION 53 BLOCK 1 LOT 4
- PARCEL ZONED: HM-U (HAMLET/MIXED USE DISTRICT)
- TOTAL AREA: 150,493 S.F. / 3.46± ACRES
- SITE IS SERVICED BY AN EXISTING WELL AND SEPTIC SYSTEM.

**BULK TABLE REQUIREMENTS:**

ZONED DISTRICT: (HM-U) HAMLET/MIXED USE DISTRICT

	MINIMUM REQUIREMENTS	TAX LOT 53-1-4
LOT AREA:	40,000 S.F.	3.46± ACRES
LOT WIDTH:	200 FEET	306.9± FEET
LOT DEPTH:	200 FEET	495.5± FEET
FRONT YARD:	35 FEET	58.9± FEET
SIDE YARD:	35 FEET	6.7± FEET *
REAR YARD:	35 FEET	269.3± FEET
FLOOR AREA:	1,000 S.F.	> 1,000 S.F.
	MAXIMUM PERMITTED	
BUILDING HEIGHT:	35 FEET	< 35 FEET
BUILDING COVERAGE:	20 %	< 20%

\*PRE-EXISTING CONDITION



SCALE: 1" = 40'

**EXISTING CONDITIONS**

SCALE: 1" = 40'



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Signature of John D. Fuller  
JOHN D. FULLER  
REG. NO. 077703

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

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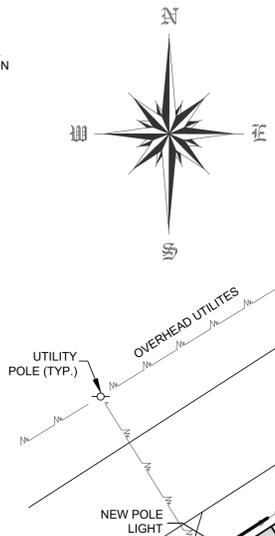
HUMANE SOCIETY OF PORT JERVIS / DEERPARK  
202 U.S. ROUTE 209  
SECTION 53 BLOCK 1 LOT 4  
TOWN OF DEERPARK, NY

DWG TITLE: **EXISTING CONDITIONS** DWG NO.: **S-1**

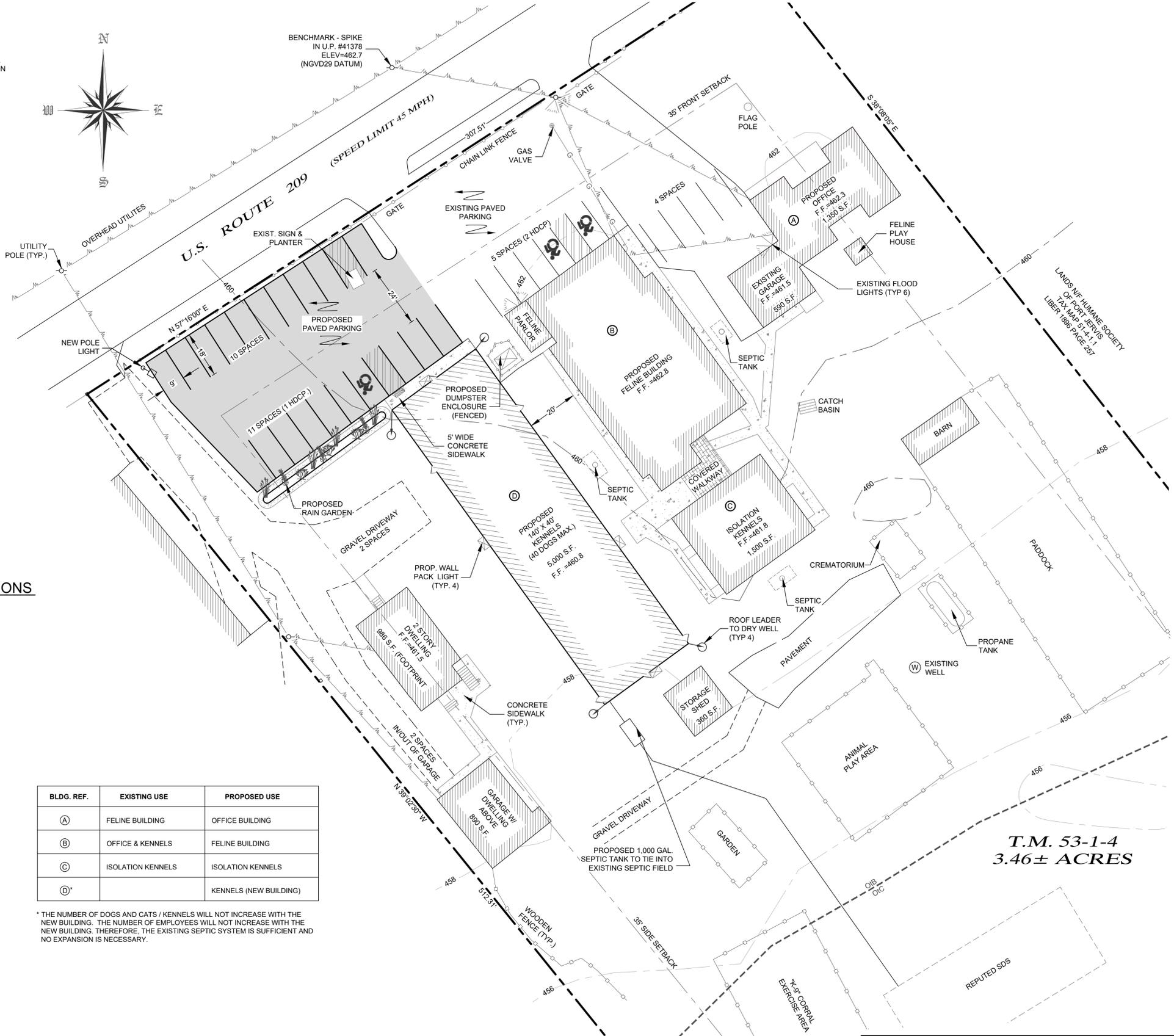
SCALE: AS NOTED JOB NO.: 2235.001

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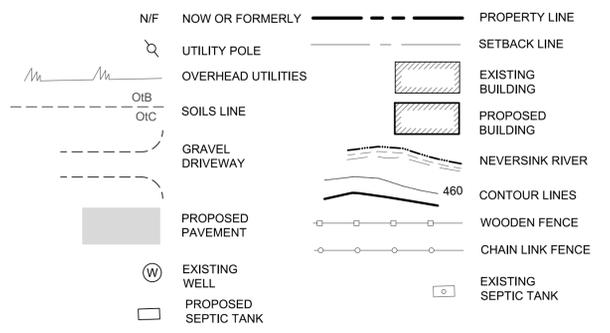
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BENCHMARK - SPIKE  
IN U.P. #41378  
ELEV=462.7  
(NGVD29 DATUM)



**LEGEND**



**GENERAL NOTES**

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- TAX MAP DESIGNATION: SECTION 53 BLOCK 1 LOT 4
- PARCEL ZONED: HM-U (HAMLET/MIXED USE DISTRICT)
- TOTAL AREA: 150,493 S.F. / 3.46± ACRES
- EXISTING USE: ANIMAL SHELTER; PROPOSED USE: ANIMAL SHELTER
- SITE IS SERVICED BY AN EXISTING WELL AND SEPTIC SYSTEM. A DYE TEST SHALL BE PERFORMED ON THE EXISTING SDS BY THE ENGINEER TO CONFIRM ITS CAPABILITY.
- SOIL TYPES SHOWN ON THIS PLAN WERE TAKEN FROM THE ORANGE COUNTY GEOLOGICAL INFORMATION SYSTEMS WEBSITE.
- CONTOURS SHOWN FROM ACTUAL FIELD SURVEY BY CONRAD, CLOSE & EWALD ON OCTOBER 18, 2019.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT DRIVEWAY ENTRANCES ON TOWN AND STATE ROADS.
- DURING THE COURSE OF CONSTRUCTION, WHENEVER THE TOWN HIGHWAY SUPERINTENDENT AND/OR TOWN ENGINEER DETERMINE THAT ADDITIONAL DRAINAGE FACILITIES ARE REQUIRED TO PROVIDE POSITIVE DRAINAGE WITHIN THE RIGHT-OF-WAY OR ADJACENT PROPERTY, THEY SHALL BE INSTALLED BY THE DEVELOPER AT NO COST TO THE TOWN.
- ALL EMBANKMENTS ARE TO BE GRADED AND SEEDED IMMEDIATELY UPON BEING LAID BACK.
- ALL EROSION CONTROL DEVICES ARE TO BE SET IN PLACE PRIOR TO ANY LAND DISTURBANCE. DURING THE COURSE OF CONSTRUCTION, WHENEVER THE TOWN BUILDING INSPECTOR AND/OR TOWN ENGINEER DETERMINE THAT ADDITIONAL EROSION CONTROL DEVICES ARE REQUIRED, THEY SHALL BE INSTALLED IMMEDIATELY BY THE DEVELOPER AT NO COST TO THE TOWN.
- THE PROJECT DOES NOT LIE WITHIN ANY FLOOD ZONES AS PER FLOOD INSURANCE RATE MAP 36071C0219E, EFFECTIVE 08/03/2009.
- THERE ARE NO NYSDEC REGULATED WETLANDS ON THE PROJECT SITE AS PER THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION RESOURCE MAPPER.
- SOLID WASTE FROM THE KENNELS IS COLLECTED, BAGGED AND DISPOSED OF IN THE DUMPSTER; LIQUID WASTE IS HOSED DOWN TO FLOOR DRAINS THAT CONNECT TO THE EXISTING SEPTIC SYSTEM.

**PARKING CALCULATIONS**

COMMERCIAL USES:  
1 SPACE PER 250 S.F.  
NEW BUILDING = 5,000 SF / 250 = 20

TOTAL NEW SPACES REQUIRED: 20  
TOTAL NEW SPACES PROVIDED: 21

EXISTING PARKING SPACES = 9

TOTAL PARKING SPACES PROVIDED = 30  
(EXCLUDES PARKING FOR DWELLINGS)

BLDG. REF.	EXISTING USE	PROPOSED USE
(A)	FELINE BUILDING	OFFICE BUILDING
(B)	OFFICE & KENNELS	FELINE BUILDING
(C)	ISOLATION KENNELS	ISOLATION KENNELS
(D)		KENNELS (NEW BUILDING)

\* THE NUMBER OF DOGS AND CATS / KENNELS WILL NOT INCREASE WITH THE NEW BUILDING. THE NUMBER OF EMPLOYEES WILL NOT INCREASE WITH THE NEW BUILDING. THEREFORE, THE EXISTING SEPTIC SYSTEM IS SUFFICIENT AND NO EXPANSION IS NECESSARY.

**BULK TABLE REQUIREMENTS:**

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FRONT YARD:	35 FEET	58.9± FEET
SIDE YARD:	35 FEET	6.7± FEET*
REAR YARD:	35 FEET	269.3± FEET
FLOOR AREA:	1,000 S.F.	> 1,000 S.F.

MAXIMUM PERMITTED  
BUILDING HEIGHT: 35 FEET < 35 FEET  
BUILDING COVERAGE: 20% < 20%

\*PRE-EXISTING CONDITION



**SITE PLAN**  
SCALE: 1" = 20'

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Signature of John D. Fuller

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202 U.S. ROUTE 209  
SECTION 53 BLOCK 1 LOT 4  
TOWN OF DEERPARK, NY

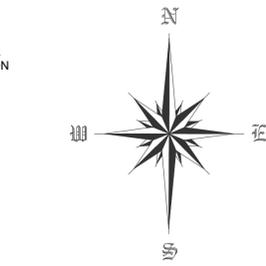
DWG TITLE: **SITE PLAN** DWG NO.: S-2

SCALE: AS NOTED JOB NO.: 2235.001

**T.M. 53-1-4**  
**3.46± ACRES**

**REFERENCE MAP:**

SURVEY MAP ENTITLED, "SURVEY MAP OF LAND, PREPARED HUMANE SOCIETY OF PORT JERVIS - DEERPARK, INC.", PREPARED BY CONRAD, CLOSE & EWALD, DATED OCTOBER 13, 2015, LATEST REVISION DATE 10-18-19, AS DRAWING NUMBER 10969-A.



BENCHMARK - SPIKE  
IN U.P. #41378  
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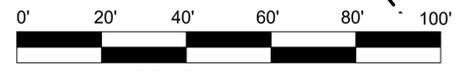


**LEGEND**

- N/F NOW OR FORMERLY
- UTILITY POLE
- OVERHEAD UTILITIES
- SOILS LINE
- GRAVEL DRIVEWAY
- PROPOSED PAVEMENT
- EXISTING WELL
- PROPOSED SEPTIC TANK
- PROPERTY LINE
- SETBACK LINE
- EXISTING BUILDING
- PROPOSED BUILDING
- NEVERSINK RIVER
- CONTOUR LINES
- WOODEN FENCE
- CHAIN LINK FENCE
- EXISTING SEPTIC TANK
- LOCATION OF INFILTRATION TEST

**T.M. 53-1-4**  
**3.46± ACRES**

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SCALE: 1" = 20'

**GRADING PLAN**

SCALE: 1" = 20'

1  
S-3

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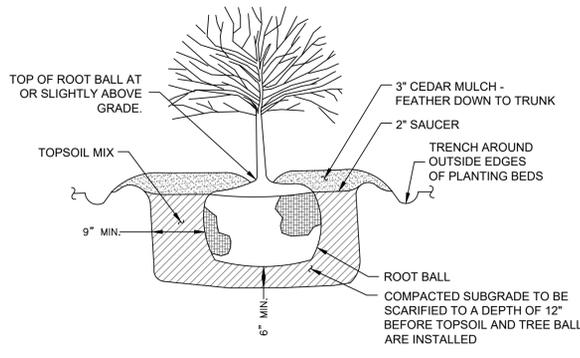
TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

**JOHN D. FULLER, P.E., P.C.** 4 SOUTH STREET  
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202 U.S. ROUTE 209  
SECTION 53 BLOCK 1 LOT 4  
TOWN OF DEERPARK, NY

DWG TITLE: **GRADING PLAN** DWG NO.: **S-3**

SCALE: AS NOTED JOB NO.: 2235.001

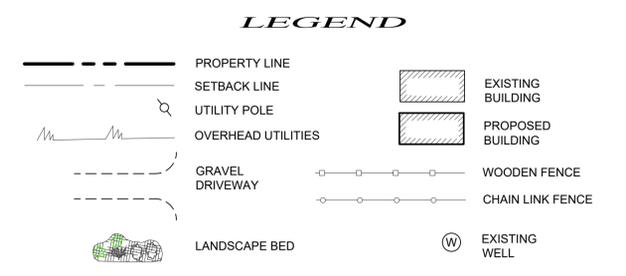


**SHRUB PLANTING DETAIL 3**  
SCALE: N. T. S.

**PLANTING LIST**

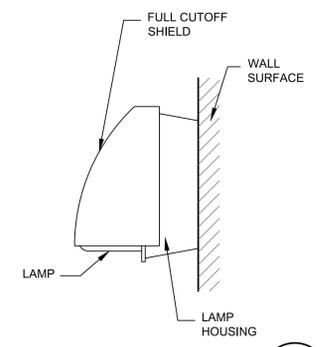
SYM.	QTY.	SIZE	SPACING	HARDINESS ZONE	BOTANICAL NAME	COMMON NAME
	3	1 GAL.	1'-1.5'	4-11	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE
	3	1 GAL.	24"	3-9	RUDBECKIA FULGIDA GOLDSTURM	BLACK EYED SUSAN
	5	3 GAL.	5'	5-8	BUXUS SEMPERVIRENS 'NEWPORT BLUE'	COMMON BOXWOOD
	8	1 GAL.	8'	4-6	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY

NOTE: ALL PLANTS SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE MISSING, MORE THAN 25% DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSIGHTLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES. ANY TREE THAT LOSES THE MAIN LEADER SHALL BE REPLACED.

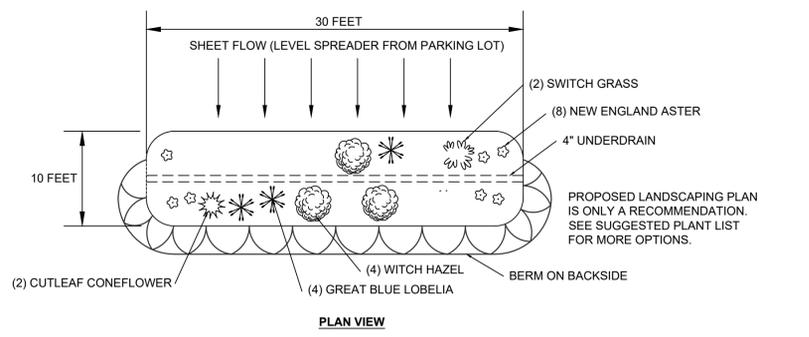
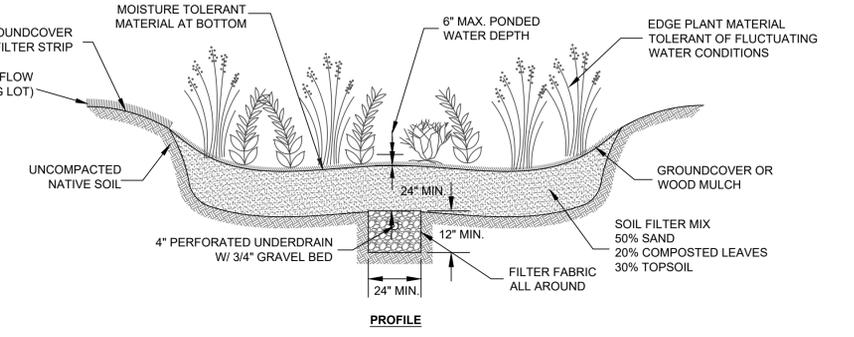


**LIGHTING SCHEDULE**

SYMBOL	QTY	DESCRIPTION	LAMP	MOUNTING HEIGHT
	4	RAB LIGHTING SLIMFC62	62W LED	12'
	1	COOPER LUMARK "RV RIDGEVIEW" LED LUMINAIRE POLE MOUNTED 4 LED LIGHT SQUARES	LED ARRAY	25'



**LUMINAIRE DETAILS 2**  
SCALE: NONE

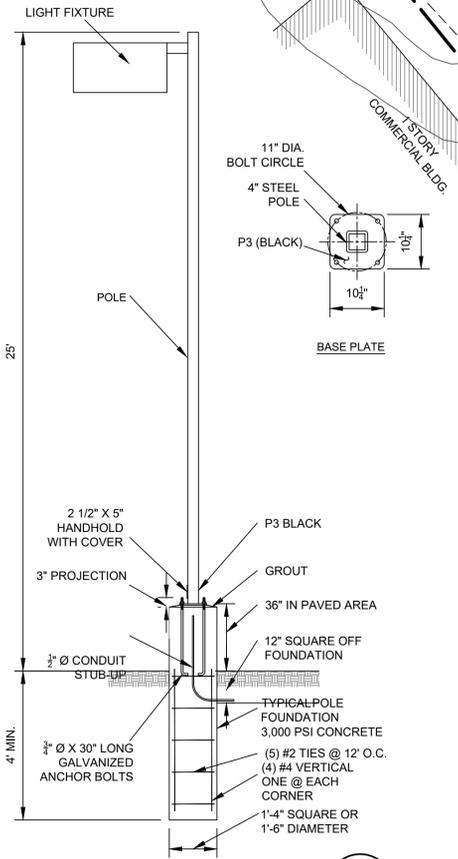


**TYPICAL RAIN GARDEN DETAIL 4**  
SCALE: N. T. S.

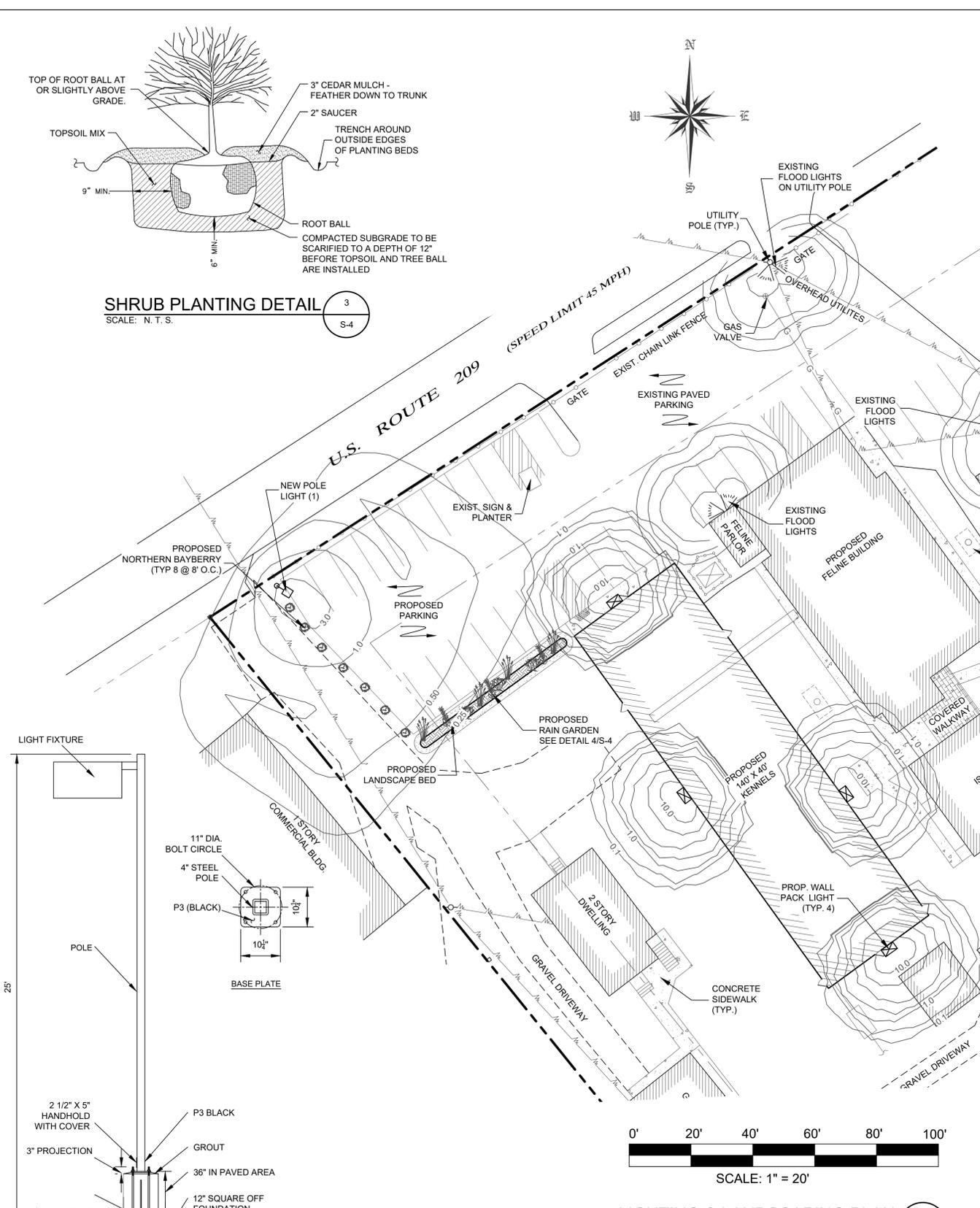
**RAINGARDEN MAINTENANCE NOTE:**  
MAINTENANCE OF THE RAIN GARDEN IS THE RESPONSIBILITY OF THE OWNER. THIS ELEMENT OF THE LANDSCAPE SHOULD BE WEEDED AS NEEDED; ANY DEAD OR DYING PLANTS SHOULD BE REMOVED AND REPLACED. NEW MULCH SHOULD BE PLACED IN THE RAIN GARDEN IN THE BEGINNING OF THE GROWING SEASON AND REPLACED AS NEEDED. THE DESIGN ENGINEER IS RESPONSIBLE TO EDUCATE THE OWNER AND LANDSCAPER REGARDING THE PURPOSE OF THE RAIN GARDEN, SO THE DESIRABLE ASPECTS OF PONDED WATER ARE RECOGNIZED AND MAINTAINED.

**PLANTING NOTES**

- PLANTS TO BE LOCATED AS PER THE APPROVED LANDSCAPE PLAN.
  - EDGE ALL PLANTING BEDS BY DIGGING TRENCH AROUND OUTSIDE EDGES.
  - TOPSOIL AND SEED ALL DISTURBED AREAS AS A RESULT OF ANY AND ALL CONSTRUCTION OR STORAGE OF EQUIPMENT. CONTRACTOR TO FIELD VERIFY ALL AREAS OF SEED.
  - TOPSOIL SHALL BE SANDY LOAM, FREE FROM SUBSOIL, STONES LARGER THAN 3/4" OR ANY UNDESIRABLE MATERIAL. 4% ORGANIC MATTER - PH 6.0 TO 6.8. SCARIFY OR DIG ALL PROPOSED PLANTING AREAS TO A DEPTH OF 12".
- | NAME OF GRASS      | PROPORTION BY WT. | MIN. GERM. | MIN. PURITY |
|--------------------|-------------------|------------|-------------|
| PENNLAWN FESCUE    | 60%               | 85%        | 95%         |
| FYIKING BLUEGRASS  | 30%               | 85%        | 90%         |
| PERENNIAL RYEGRASS | 10%               | 95%        | 95%         |
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAWN THROUGH THE SECOND CUTTING. WATER ALL LAWNS AND PLANTINGS UNTIL FINAL ACCEPTANCE BY THE OWNER.
  - ALL PLANTS SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK AND SHALL BE INSPECTED UPON DELIVERY TO SITE PRIOR TO PLANTING.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN CONSENT FROM THE DESIGN PROFESSIONAL.
  - LANDSCAPE MATERIALS SHALL BE INSTALLED BY LOCAL COMPANIES FAMILIAR WITH THE CONDITIONS IN THIS AREA THAT EMPLOY NYS CERTIFIED NURSERY PROFESSIONALS.
  - PLANTS SHALL BE PLANTED DURING THE FOLLOWING GROWING SEASONS: WITH IRRIGATION OR A COMPREHENSIVE WATER SCHEDULE IN PLACE, UPON COMPLETION OF CONSTRUCTION, FROM MARCH 1 TO NOVEMBER 15. WITHOUT IRRIGATION OR A COMPREHENSIVE WATERING SCHEDULE, DO NOT PLANT JUNE 15 TO AUGUST 15.



**SINGLE HEAD AREA LIGHT 5**  
SCALE: NONE



**LIGHTING & LANDSCAPING PLAN 1**  
SCALE: 1" = 20'

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TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

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**JOHN D. FULLER, P.E., P.C.**

HUMANE SOCIETY OF PORT JERVIS / DEERPARK  
202 U.S. ROUTE 209  
SECTION 53 BLOCK 1 LOT 4  
TOWN OF DEERPARK, NY

DWG TITLE: **LIGHTING & LANDSCAPING PLAN**  
SCALE: AS NOTED

DWG NO.: **S-4**  
JOB NO.: 2235.001

JOHN D. FULLER  
REG. NO. 077703

## EROSION & SEDIMENTATION CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE IN ACCORDANCE WITH ANY AND ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND. THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, HAY BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILT FENCE AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2 TO 1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- THE TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO SITE AND REGRADED ONTO OPEN AREAS.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.

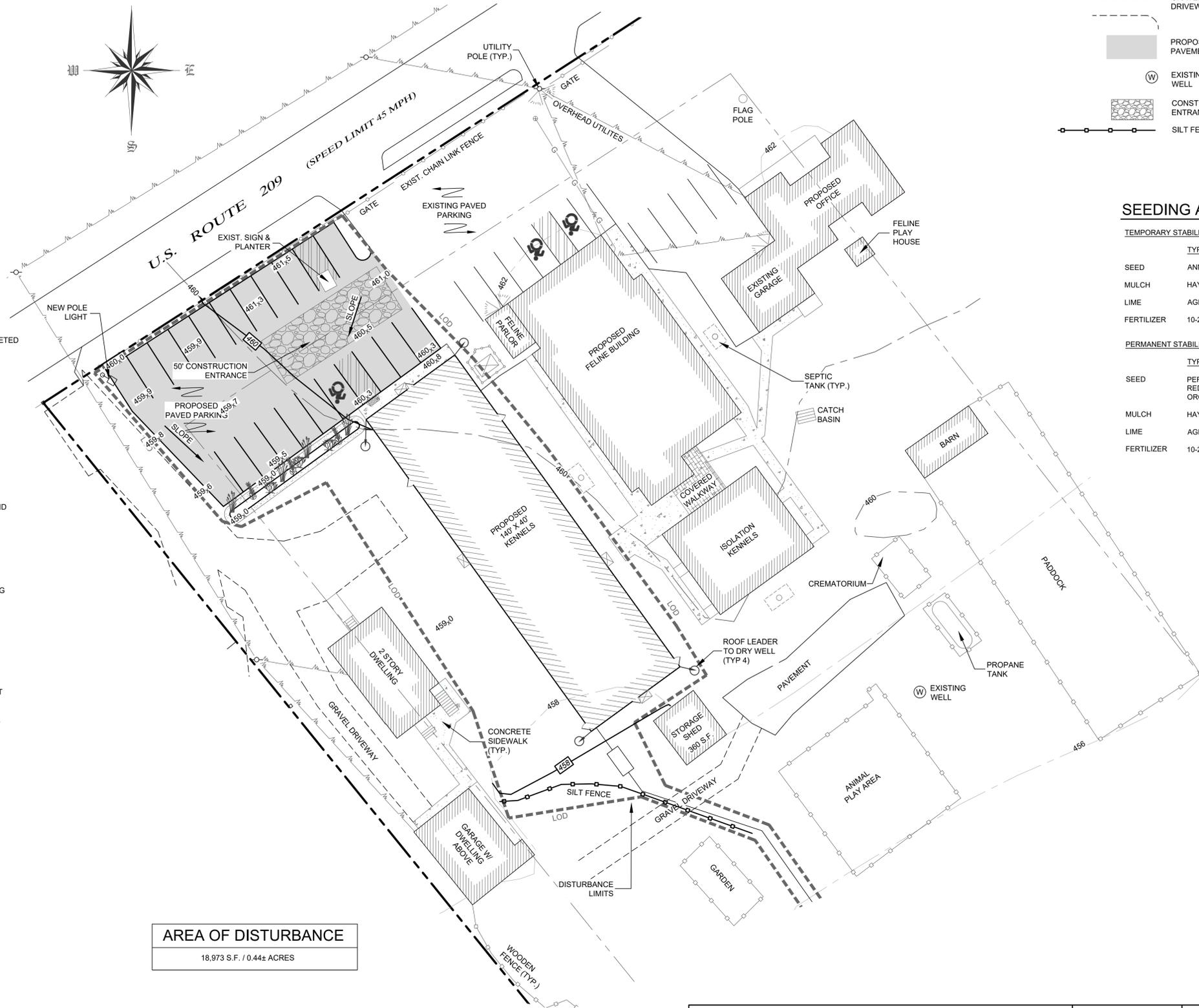
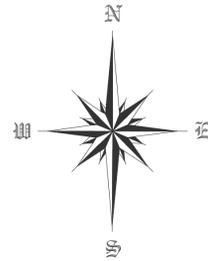
## CONSTRUCTION SEQUENCE

### STAGE 1 (SITE PREPARATION)

- SCHEDULE ON-SITE PRE-CONSTRUCTION MEETING WITH ENGINEER, CONTRACTOR, LANDOWNER, AND TOWNSHIP AT LEAST ONE WEEK PRIOR TO THE START OF CONSTRUCTION.
- INSTALL CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE.
- EROSION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE NEW SITE DISTURBANCE BEGINS.
- CLEAR AND GRUB SITE. STRIP TOPSOIL AND STOCKPILE AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN AND STABILIZE IN ACCORDANCE WITH THE SEEDING AND MULCHING SPECIFICATIONS.
- INITIATE EARTH MOVING ACTIVITIES FOR SITE DEVELOPMENT. UNSUITABLE MATERIAL IS TO BE REMOVED FROM THE PROJECT SITE. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EROSION AND SEDIMENTATION CONTROL MEASURES AT ANY OFF-SITE SPOIL AREAS. PLACE AND COMPACT MATERIAL IN AREAS OF FILL TO OBTAIN NECESSARY GRADES.
- ROUGH GRADE SITE, STABILIZE AND SEED EXCESS STOCKPILE MATERIAL AS NECESSARY. INSTALL SILT FENCE AROUND THE STOCKPILE IMMEDIATELY AFTER THE SOIL IS STOCKPILED.
- THE SITE GRADING ACTIVITIES SHALL BE INITIATED AND PROCEED IN SUCH A MANNER AS TO DIRECT ALL STORM WATER FROM DISTURBED AREAS TO THE SEDIMENT CONTROL STRUCTURES.
- STABILIZE ALL GRASS AREAS IN ACCORDANCE WITH THE SEEDING AND MULCHING SPECIFICATIONS.

### STAGE 2 (CONSTRUCTION)

- INITIATE CONSTRUCTION OF BUILDING FOUNDATION AND SUPER STRUCTURE.
- INSTALL WASTEWATER AND WATER SUPPLY SYSTEMS INCLUDING PIPING AND TRENCHING AS SHOWN ON THE SITE PLAN.
- ROUGH GRADE SITE, WORKING GRADE TOWARDS "ROUGH" FINAL GRADE ELEVATIONS OF PARKING LOT.
- PLACE AND COMPACT SUB-BASE IN AREAS TO BE PAVED AND PLACE THE GRAVEL / ITEM #4 COURSE AS SOON AS IT IS PRACTICAL.
- RESEED, RE-MULCH AND RE-STABILIZE WHERE NECESSARY.
- REMOVE SILT FENCING ONLY AFTER ENTIRE SITE HAS BEEN STABILIZED. VEGETATED AREAS SHALL BE CONSIDERED PERMANENTLY STABILIZED WHEN A UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIFIED HAS BEEN ACHIEVED, OR THE DISTURBED AREA IS COVERED WITH AN ACCEPTABLE BMP WHICH PERMANENTLY MINIMIZE ACCELERATED EROSION AND SEDIMENTATION. UNTIL SUCH TIME AS THIS STANDARD IS ACHIEVED, INTERIM STABILIZATION MEASURES AND TEMPORARY EROSION AND SEDIMENT CONTROL BMPs THAT ARE USED TO TREAT PROJECT RUNOFF MAY NOT BE REMOVED. DURING PERIODS OF DROUGHT, IRRIGATION SHOULD BE UTILIZED UNTIL STABILIZATION HAS OCCURRED.



**AREA OF DISTURBANCE**  
18,973 S.F. / 0.44± ACRES



SCALE: 1" = 20'

**EROSION & SEDIMENTATION CONTROL PLAN** 1  
SCALE: 1" = 20' S-5

THIS PLAN CONTAINS 7 SHEETS. THIS SHEET SHALL NOT BE CONSIDERED VALID UNLESS ACCOMPANIED BY THE REMAINING SHEETS.

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REVISIONS				
DWN BY	REV	DESCRIPTION	DATE	APPROVED
DL	0	FOR APPROVAL	06/09/21	
DL	1	REVISED PER TOWN COMMENT	09/28/21	
DL	1	REVISED PER TOWN COMMENT	10/29/21	

*John D. Fuller*  
JOHN D. FULLER  
REG. NO. 077703

TOWN OF DEERPARK  
PLANNING BOARD APPROVAL

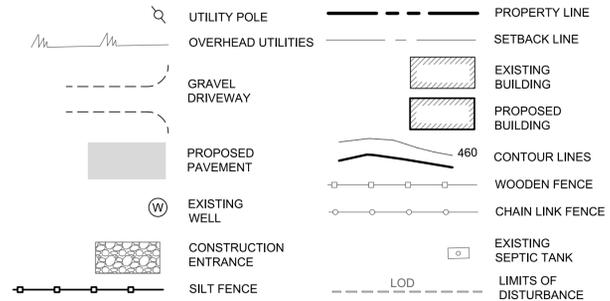
**JOHN D. FULLER, P.E., P.C.** 4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

HUMANE SOCIETY OF PORT JERVIS / DEERPARK  
202 U.S. ROUTE 209  
SECTION 53 BLOCK 1 LOT 4  
TOWN OF DEERPARK, NY

DWG TITLE: **EROSION & SEDIMENTATION CONTROL PLAN** DWG NO.: **S-5**

SCALE: AS NOTED JOB NO.: 2235.001

## LEGEND



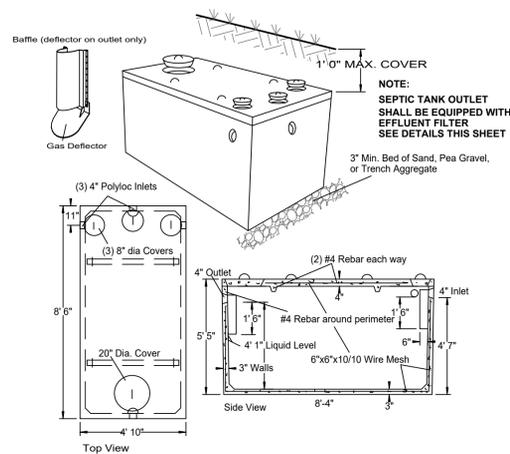
## SEEDING AND MULCHING SPECIFICATIONS

### TEMPORARY STABILIZATION:

	TYPE	RATE
SEED	ANNUAL RYE GRASS	1 LB/1,000 SQ FT
MULCH	HAY	3.0 TONS/ACRE
LIME	AGRICULTURAL GRADE LIMESTONE	1.0 TONS/ACRE
FERTILIZER	10-20-10	50 LBS./ACRE

### PERMANENT STABILIZATION:

	TYPE	RATE
SEED	PERENNIAL RYE GRASS (20%)	0.45 LBS/1,000 SQ FT
	RETOP (50%)	0.35 LBS/1,000 SQ FT
	ORCHARD GRASS (30%)	1.4 LBS/1,000 SQ FT
MULCH	HAY	3.0 TONS/ACRE
LIME	AGRICULTURAL GRADE LIMESTONE	6.0 TONS/ACRE
FERTILIZER	10-20-10	1,000 LBS./ACRE



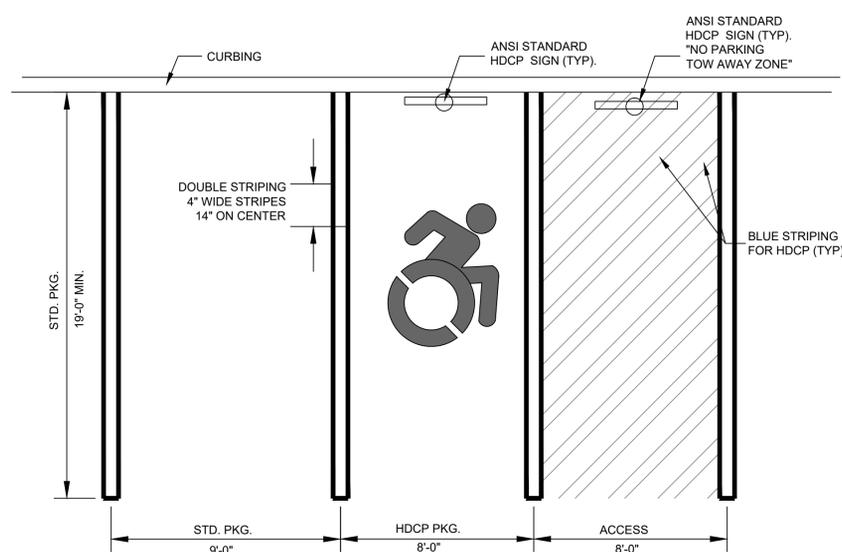
SPECIFICATIONS	
Concrete Min. Strength: 4,000 psi at 28 days	REINFORCEMENT: #4 REBAR, 6x6x10GA. WWM
Reinforcement: #4 Rebar, 6x6x10ga. WWM	CONSTRUCTION JOINT: BUTYL RUBBER SEALANT
Air Entrainment: 5%	PIPE CONNECTION: POLYLOK SEAL (PATENTED)
Construction Joint: Butyl Rubber Sealant	WEIGHT: 9,500 LBS
Weight: 9,500 lbs	LOAD RATING: 300 PSF
Load Rating: 300 psf	

**PRECAST SEPTIC TANKS**  
MODEL ST-1000 / 1000 GALLONS

Woodard's Concrete Products, Inc.  
629 Lybolt Road, Bulville,  
(845) 361-3471 / Fax 361-1050

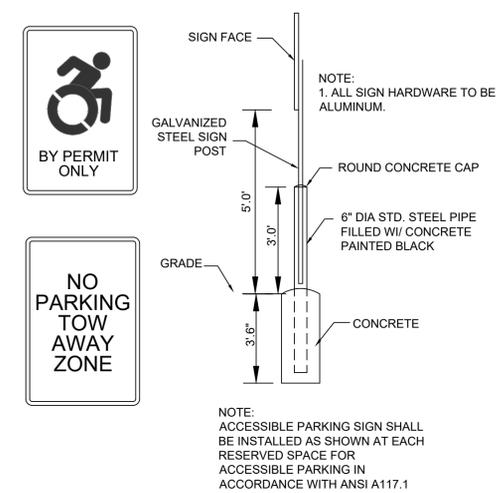
**TYPICAL CONCRETE SEPTIC TANK**

SCALE: N.T.S.



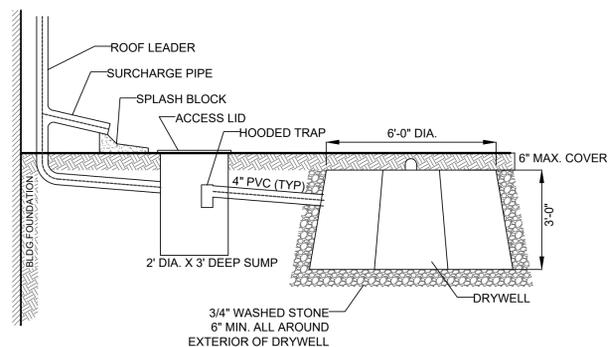
**TYPICAL HANDICAP PARKING SPACE DETAIL**

SCALE: N.T.S.



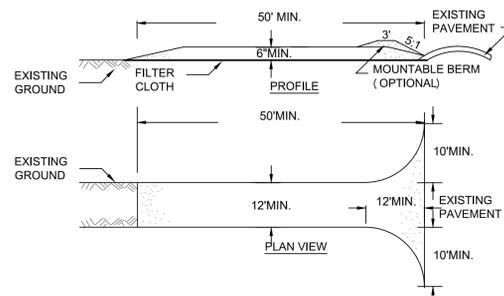
**TYPICAL ACCESSIBLE PARKING SIGN**

SCALE: N.T.S.



**TYPICAL DRYWELL DETAIL**

SCALE: N.T.S.



**CONSTRUCTION ENTRANCE**

- STONE SIZE = USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH = NOT LESS THAN FIFTY (50) FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS = NOT LESS THAN SIX (6) INCHES.
- WIDTH = TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR. TWENTY-FOUR (24) FEET IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**CONSTRUCTION ENTRANCE**

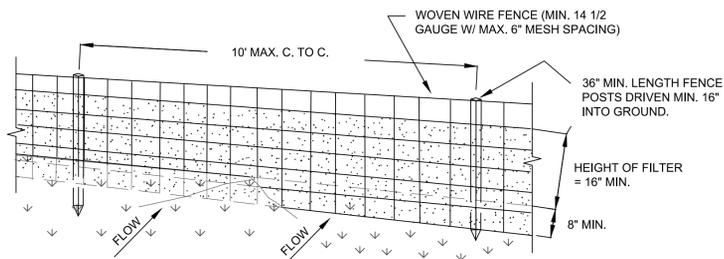
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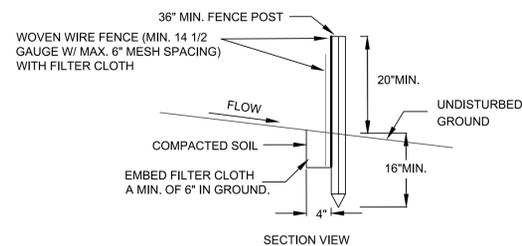
**CONSTRUCTION SPECIFICATIONS**

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

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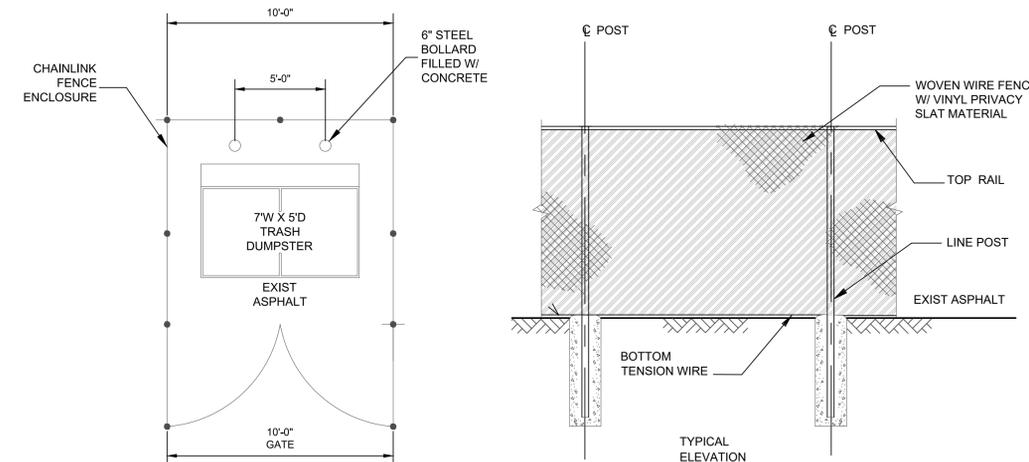


**PERSPECTIVE VIEW**



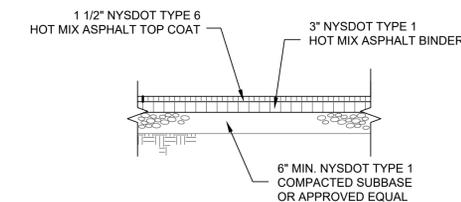
**SILT FENCE DETAIL**

SCALE: N.T.S.



**DUMPSTER FENCE DETAIL**

SCALE: N.T.S.



**SITE PAVING DETAIL**

SCALE: N.T.S.



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DWG TITLE: **SITE DETAILS**

DWG NO.: **S-6**

SCALE: AS NOTED

JOB NO.: 2235.001

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