



**CPL | Architecture Engineering Planning**  
 50 Front St. Suite 202  
 Newburgh, NY 12550  
 CPLteam.com

**GENERAL ABATEMENT NOTES:**

- ALL DRAWINGS ARE GRAPHIC REPRESENTATION OF APPROXIMATE LOCATIONS OF EXISTING AND NEW MATERIALS TO BE ABATED. IF THERE ARE ANY DISCREPANCIES WITH WHAT EXISTS TO WHAT IS INDICATED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPORT SAID INTENT OF THIS PROJECT IS TO COMPLETELY REMOVE ASBESTOS CONTAINING MATERIALS INDICATED AND TO PROVIDE A CLEAN, ACM-FREE WORK AREA POST ABATEMENT.
- ALL ABATEMENT PROCEDURES TO BE IN ACCORDANCE WITH STANDARDS SET FORTH BY NEW YORK STATE DEPARTMENT OF LABOR INDUSTRIAL CODE RULE 56 AND ALL APPLICABLE REGULATIONS.
- THE CONTRACTOR SHALL PATCH TO MATCH ANY DISTURBED AREAS AND FINISHES AS A RESULT OF THEIR ABATEMENT WORK. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S AND ARCHITECT'S SATISFACTION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ASBESTOS DUMPSTER WITH THE OWNER.
- THE CONTRACTOR MAY APPLY FOR PROJECT SPECIFIC VARIANCES. USE OF SUCH VARIANCES ARE SUBJECT TO APPROVAL BY THE OWNER AND ARCHITECT.

**ABATEMENT LEGEND:**

- REMOVE VAT FLOOR TILE, MASTIC AND RUBBER WALL BASE, IN ITS ENTIRETY. PREP SUBSTRATE FOR NEW CONSTRUCTION
- REMOVE ROOFING SYSTEM DOWN TO STRUCTURAL DECK AS ACM IN LOCATION SHOWN. COORD. W/MC FOR EXACT LOCATION AND QTY.
- AREA OF ROOF CONSIDERED HAZARDOUS MATERIAL. SEE SPECIFICATION SECTION 003126.

**ABATEMENT KEYNOTES:**

- A1** REMOVE ASBESTOS CONTAINING CAULK AT LOUVER BY ABATEMENT
- A2** REMOVE CURB AS ASBESTOS CONTAINING MATERIAL.

**PROJECT INFORMATION**

Project Number  
15131.07

Client Name

**PLEASANTVILLE UFSD**

Project Name

**MIDDLE SCHOOL HVAC REPLACEMENT**

Project Address

40 ROMER AVE. PLEASANTVILLE, NY 10570

**PLEASANTVILLE MIDDLE SCHOOL**

08-08-2018-03-03-025

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	10/31/22	BID ADDENDUM 1

**PROFESSIONAL STAMPS**

**NEW YORK STATE EDUCATION DEPARTMENT**

THIS IS A REPRESENTATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS AND ANY PERSON, IN SO DOING, UNDER THE DIRECTION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, SHALL BE RESPONSIBLE FOR ANY AND ALL REVISIONS BEING MADE TO THIS DRAWING. THE SEAL OF AN ARCHITECT, ENGINEER OR LAND SURVEYOR IS NOT VALID UNLESS IT IS USED IN CONNECTION WITH THE SIGNATURE AND THE DATE OF SUCH SIGNATURE, AND A SPECIFIC DESCRIPTION OF THE ABATEMENT.

**SHEET INFORMATION**

Issued 10/21/22 Scale AS SHOWN

Project Status

BID SUBMISSION

Drawn By RA

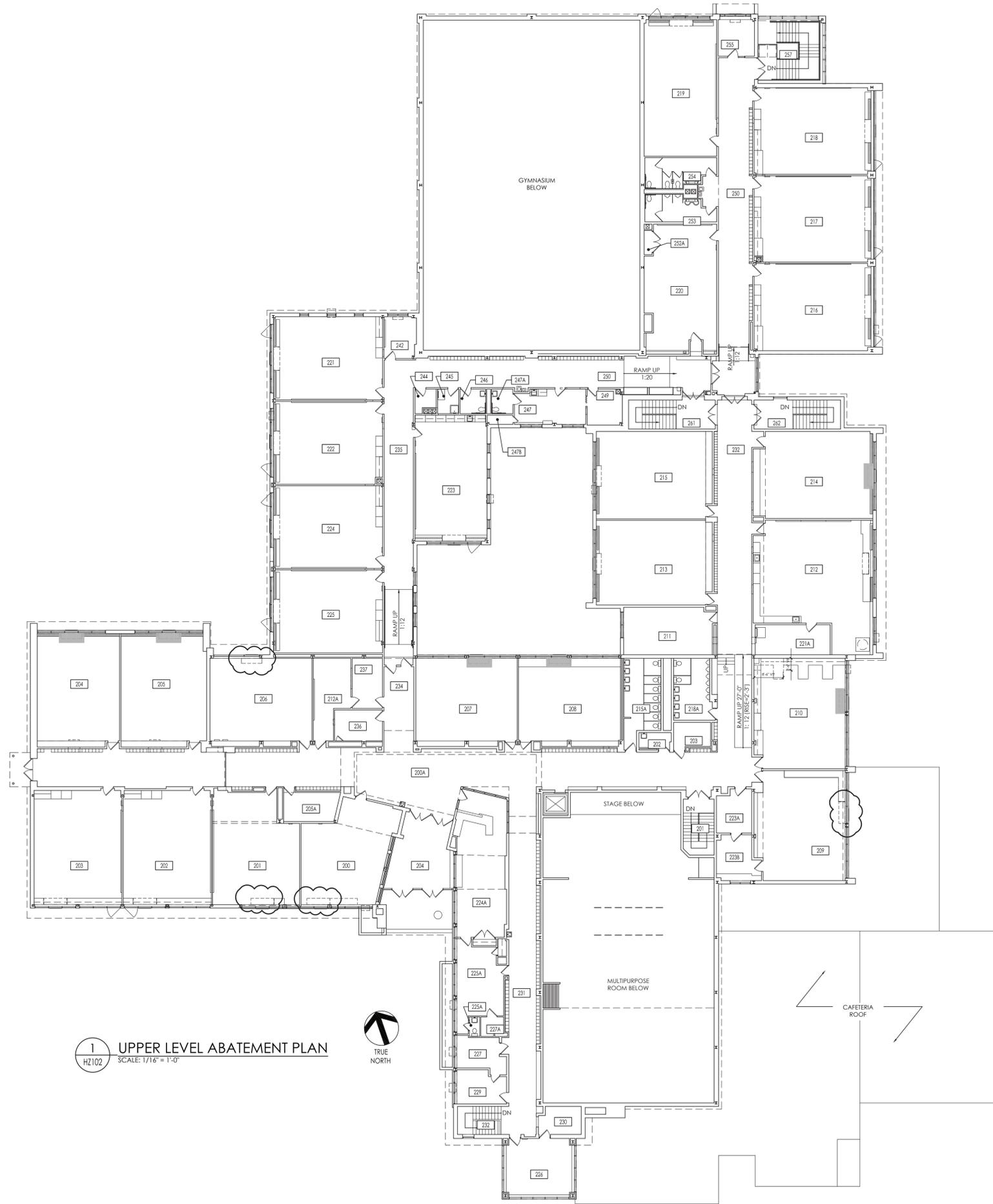
Checked By LT

Drawing Title

UPPER LEVEL ABATEMENT PLAN

Drawing Number

**PMS HZ102**



**1 UPPER LEVEL ABATEMENT PLAN**  
 HZ102 SCALE: 1/16" = 1'-0"



Plotted By: Allison Sawyer

Date last plotted: 10/28/2022 3:49 PM

Date last accessed: 10/28/2022 3:48 PM

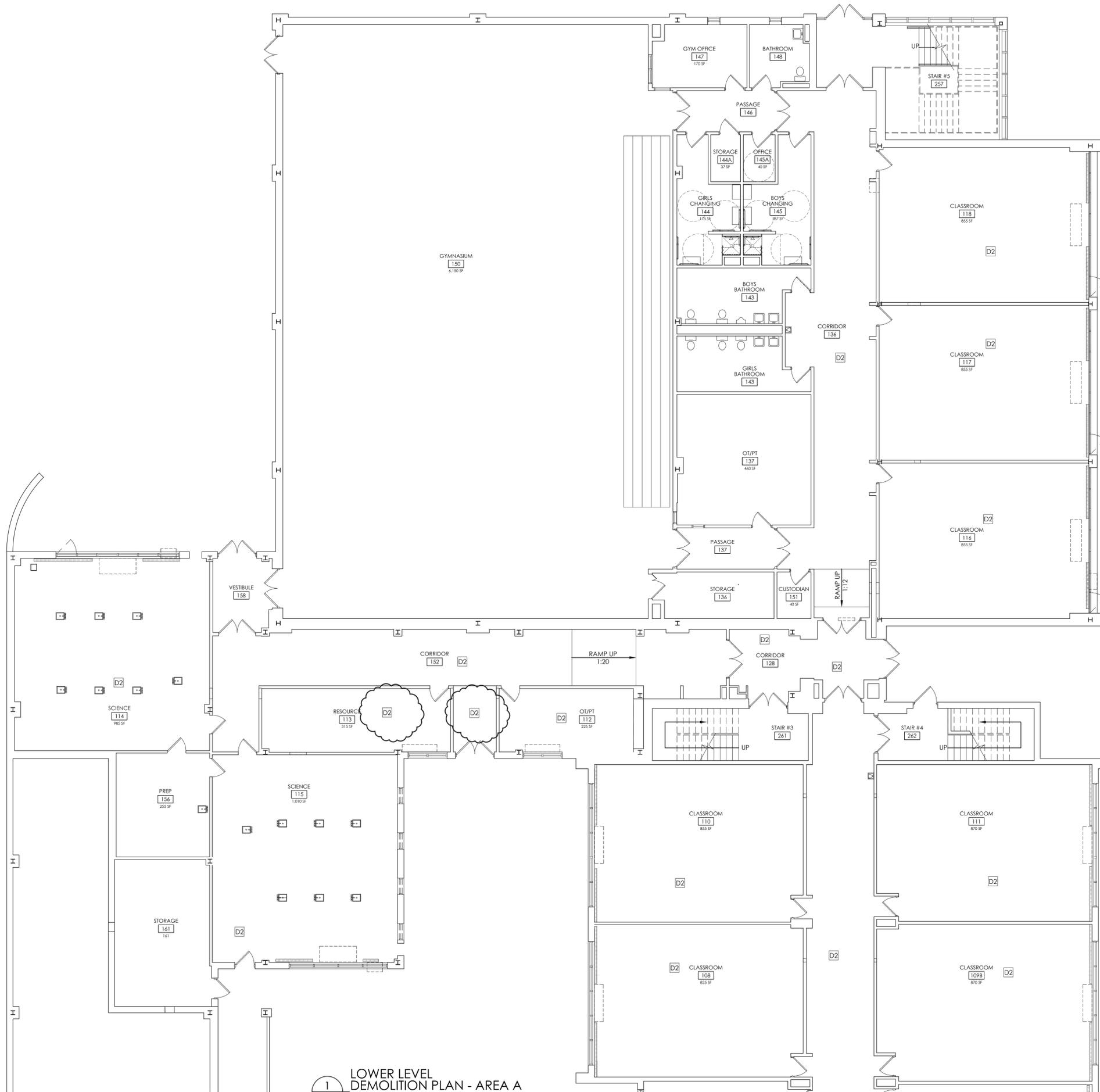
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Plotted By: Allison Sawyer

Date last plotted: 10/25/2022 11:19 AM

Date last accessed: 10/24/2022 4:06 PM

Sheet size: 24x36  
Drawing Name: S:\Projects\Pleasantville UFSD\PMAS HVAC\0 Design\06\_CAD\ACAD\ARCH\A1\A100.dwg



1  
A100A  
LOWER LEVEL  
DEMOLITION PLAN - AREA A  
SCALE: 1/8" = 1'-0"

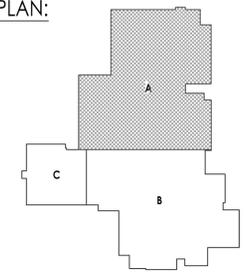
**GENERAL DEMOLITION NOTES:**

- COORDINATE ALL DEMO WORK WITH ASBESTOS DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE THE DEMOLITION WORK WITH THE OVERALL PROJECT SCHEDULE.
- THE BUILDING SHALL BE MAINTAINED WEATHER TIGHT DURING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS AND DETAILS INVOLVED IN THE DEMOLITION WORK.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK.
- THE OWNER SHALL PROVIDE THE CONTRACTOR WITH A LIST OF ALL ITEMS TO BE SALVAGED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT ADJACENT SURFACES AND FINISHES NOT SCHEDULED FOR DEMOLITION WORK AND SHALL REPAIR ANY DAMAGED AREAS AS A RESULT OF CONTRACTED WORK AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN AND CONTINUE SAFE ACCESS TO ALL EXITS FOR THE BUILDING OCCUPANTS DURING CONSTRUCTION.

**DEMOLITION KEYNOTES:**

- D1 NOT USED.
- D2 REMOVE ACOUSTIC CEILING IN ITS ENTIRETY.
- D3 REMOVE GYPSUM CEILING IN ITS ENTIRETY.
- D4 REMOVE CASEWORK AND SOFFIT AS REQUIRED FOR FLOOR SLAB DEMOLITION AS NOTED. COORDINATE REMOVALS WITH MC.
- D5 REMOVE CASEWORK AND SOFFIT AS REQUIRED FOR NEW HVAC EQUIPMENT SHAFT. COORDINATE REMOVALS WITH MC.
- D6 REMOVE EXISTING WALL IN ITS ENTIRETY.

**KEY PLAN:**



**PROJECT INFORMATION**  
 Project Number: 15131.07  
 Client Name: PLEASANTVILLE UFSD  
 Project Name: MIDDLE SCHOOL HVAC REPLACEMENT  
 Project Address: 40 ROMER AVE, PLEASANTVILLE, NY 10570  
 PLEASANTVILLE MIDDLE SCHOOL  
 88-08-0203-001-017

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	10/25/22	BID ADDENDUM 1

**PROFESSIONAL STAMPS**

NEW YORK STATE EDUCATION DEPARTMENT  
 REG. ARCHITECT FOR THE STATE OF NEW YORK  
 ARCHITECT'S SEAL AND SIGNATURE REQUIRED UNDER THE SUPERVISION OF A LICENSED ARCHITECT  
 ARCHITECT'S SEAL AND SIGNATURE REQUIRED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT  
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**SHEET INFORMATION**  
 Issued: 06/24/22  
 Scale: AS SHOWN  
 Project Status: SED SUBMISSION  
 Drawn By: TLB  
 Checked By: LT  
 Drawing Title: LOWER LEVEL DEMOLITION PLAN - AREA A

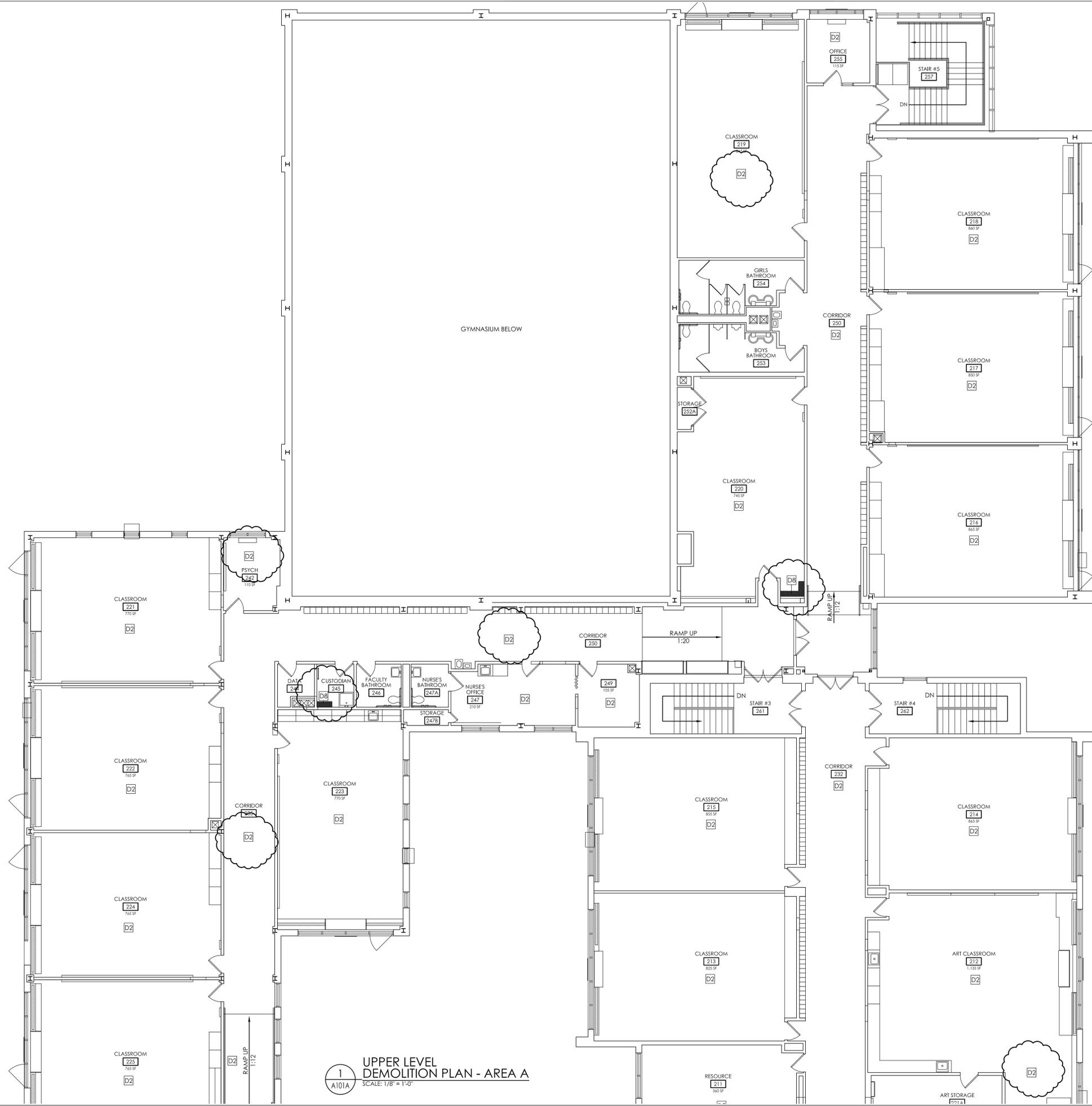
Drawing Number: PMS A100A

Plotted By: Allison Sawyer

Date last plotted: 10/26/2022 3:39 PM

Date last accessed: 10/26/2022 3:37 PM

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1  
A101A  
UPPER LEVEL  
DEMOLITION PLAN - AREA A  
SCALE: 1/8" = 1'-0"

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**PROJECT INFORMATION**

Project Number: #####  
Client Name: #####

**MIDDLE SCHOOL HVAC REPLACEMENT**

Project Address: #####

**PLEASANTVILLE MIDDLE SCHOOL**

**PROJECT ISSUE & REVISION SCHEDULE**

NO.	DATE	DESCRIPTION
1	10/25/2022	BD ADDENDUM 1

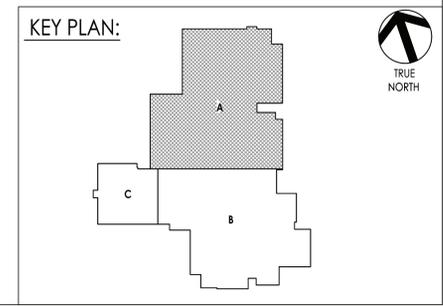
**PROFESSIONAL STAMPS**

NEW YORK STATE EDUCATION STATUTE  
§ 14-01(1)(b) OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS OF THE NEW YORK STATE EDUCATION DEPARTMENT REQUIRE THAT AN ARCHITECT, ENGINEER OR LAND SURVEYOR SHALL REGISTER WITH THE STATE ARCHITECTS ENGINEERS AND LAND SURVEYORS TO USE ANY OF THE ABOVE TITLES OR ANY OF THE ABOVE TITLES IN CONNECTION WITH ANY PROFESSIONAL SERVICE PROVIDED BY SUCH PERSON AND THE DATE OF SUCH REGISTRATION AND A SPECIFIC DESCRIPTION OF THE REGISTRATION.

**SHEET INFORMATION**

Revised: 10/21/22  
Project Status: #####  
Drawn By: LT  
Checked By: LT  
Drawing Title: UPPER LEVEL DEMOLITION PLAN - AREA A

Drawing Number: PMS A101A





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- D8 CORE DRILL THROUGH EXISTING SLAB FOR MECHANICAL PIPING. FIRESTOP AS REQUIRED TO MAINTAIN EXISTING RATING. COORDINATE WITH MECHANICAL.
- D9 REMOVE CEILING MOUNTED FOLDING PARTITION COMPLETE. NOTE OTHER FOLDING PARTITIONS IN THIS ROOM TO REMAIN. PATCH AND REPAIR FLOORING AND PARTITION AFTER REMOVAL TO MATCH EXISTING ADJACENT. TURN OVER PARTITION TO OWNER.
- D10 REMOVE CASEWORK COMPLETE TO MAKE WAY FOR NEW UNIT VENTILATOR.
- D11 REMOVE PORTION OF ACCT CEILING FOR NEW GYPSUM SOFFIT. MODIFY EXISTING CEILING TO TERMINATE AT NEW SOFFIT.

**PROJECT INFORMATION**

Project Number  
15131.07  
Client Name  
**PLEASANTVILLE UFSD**

Project Name  
**MIDDLE SCHOOL HVAC REPLACEMENT**

Project Address  
40 ROMER AVE. PLEASANTVILLE, NY 10570

**PLEASANTVILLE MIDDLE SCHOOL**

10/28/22-03/02/23

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	10/25/22	BID ADDENDUM 1

**PROFESSIONAL STAMPS**

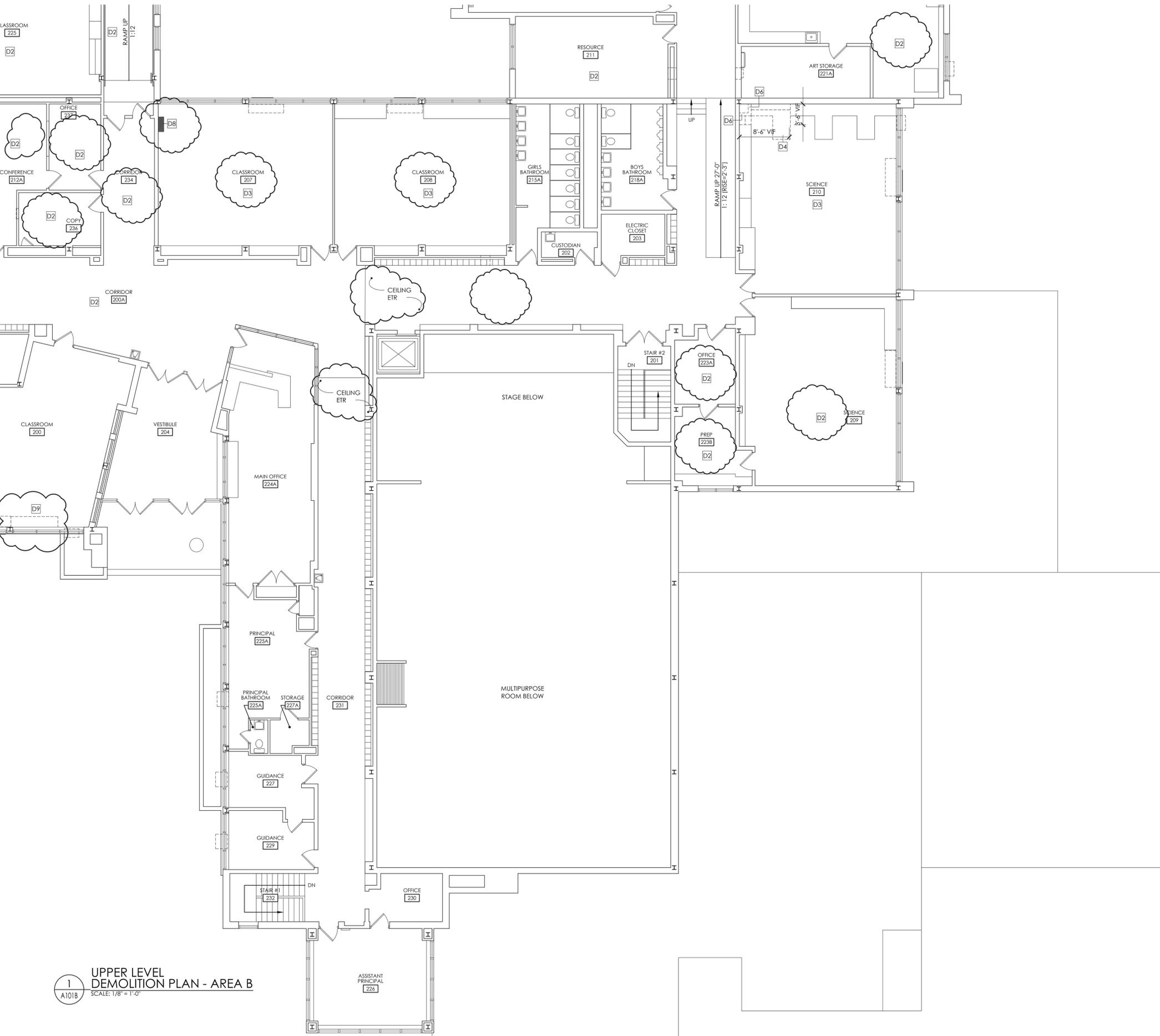
NEW YORK STATE EDUCATION DEPARTMENT  
 IS A DIVISION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONERS  
 REGULATE THE QUALITY OF EDUCATION IN THE STATE AND THE QUALITY OF THE TEACHING  
 PROFESSION. THE QUALITY OF THE TEACHING PROFESSION IS A KEY TO THE  
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**SHEET INFORMATION**

Issue Date  
10/21/22  
Scale  
DRAWING SCALE  
Project Status  
BID SUBMISSION  
Drawn By  
RA  
Checked By  
LT  
Drawing Title  
UPPER LEVEL DEMOLITION PLAN - AREA B

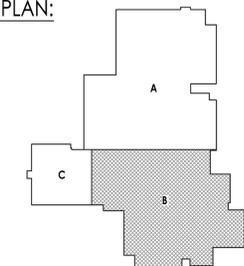
Drawing Number

**PMS  
A101B**



**1**  
A101B  
UPPER LEVEL  
DEMOLITION PLAN - AREA B  
SCALE: 1/8" = 1'-0"

**KEY PLAN:**



Sheet Size: 24x36  
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 Date last accessed: 10/31/2022 11:56 AM  
 Date last plotted: 10/31/2022 11:57 AM  
 Plotted By: Allison Sawyer



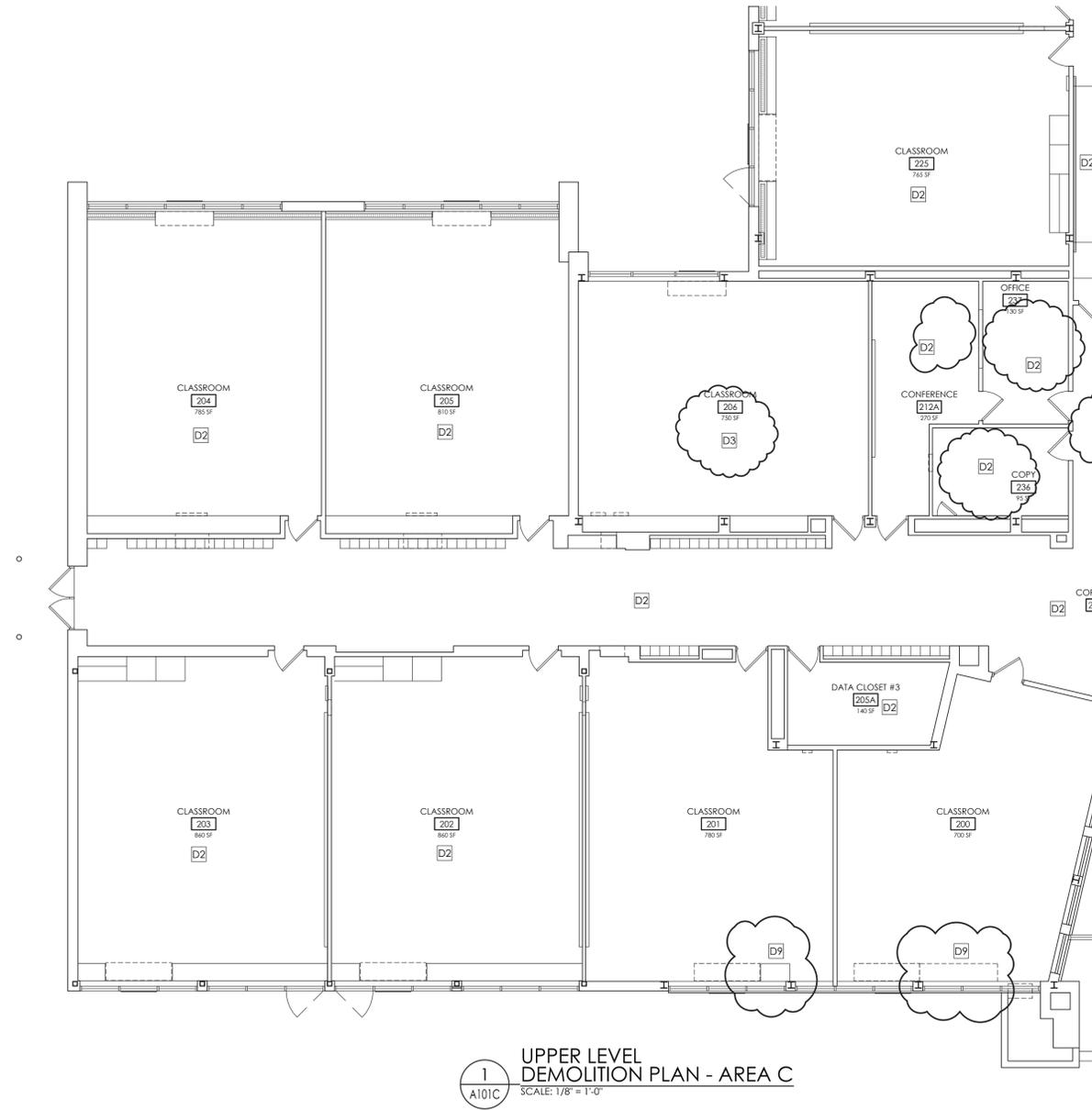
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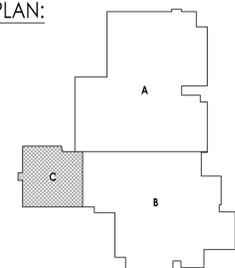
**DEMOLITION KEYNOTES:**

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- D8 CORE DRILL THROUGH EXISTING SLAB FOR MECHANICAL PIPING. FIRESTOP AS REQUIRED TO MAINTAIN EXISTING RATING. COORDINATE WITH MECHANICAL.
- D9 REMOVE CEILING MOUNTED FOLDING PARTITION COMPLETE. NOTE OTHER FOLDING PARTITIONS IN THIS ROOM TO REMAIN. PATCH AND REPAIR FLOORING AND PARTITION AFTER REMOVAL TO MATCH EXISTING ADJACENT. TURN OVER PARTITION TO OWNER.
- D10 REMOVE CASEWORK COMPLETE TO MAKE WAY FOR NEW UNIT VENTILATOR.
- D11 REMOVE PORTION OF ACT CEILING FOR NEW GYPSUM SOFFIT. MODIFY EXISTING CEILING TO TERMINATE AT NEW SOFFIT.



1  
A101C  
**UPPER LEVEL DEMOLITION PLAN - AREA C**  
 SCALE: 1/8" = 1'-0"

**KEY PLAN:**



**PROJECT INFORMATION**

Project Number  
15131.07  
 Client Name  
**PLEASANTVILLE UFSD**

Project Name  
**MIDDLE SCHOOL HVAC REPLACEMENT**

Project Address  
40 ROMER AVE, PLEASANTVILLE, NY 10570

**PLEASANTVILLE MIDDLE SCHOOL**

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	10/31/22	BID ADDENDUM 1

**PROFESSIONAL STAMPS**

NEW YORK STATE EDUCATION DEPARTMENT  
 IS A MEMBER OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONERS  
 REGIONS FOR ANY PERSON, UNDER ANY TITLE, TO BE A LICENSED  
 ARCHITECT, ENGINEER OR SURVEYOR IN ALBANY, THE ALBANY  
 COUNTY SHALL FILE TO THE GREAT HUBBARD, AND THE RECORDS MUST BE FILED BY  
 THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE  
 ALTERATION.

**SHEET INFORMATION**

Issued  
10/21/22  
 Project Status  
BID SUBMISSION  
 Drawn By  
TLB  
 Drawing Title  
UPPER LEVEL DEMOLITION PLAN - AREA C

Drawing Number  
**PMS A101C**

Plotted By: Allison Sawyer

Date last plotted: 10/31/2022 12:01 PM

Date last accessed: 10/31/2022 12:00 PM

Sheet Size: 24x36  
 Drawing Name: S:\Projects\Pleasantville UFSD\PM5 HVAC\0 Design\06-CAD\ACAD\_ARCH\A1\A101.dwg



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Newburgh, NY 12550  
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**PROJECT INFORMATION**

Project Number  
15131.07

Client Name

**PLEASANTVILLE UFSD**

Project Name

**MIDDLE SCHOOL HVAC REPLACEMENT**

Project Address

40 ROMER AVE. PLEASANTVILLE, NY 10570

**PLEASANTVILLE MIDDLE SCHOOL**

10/18/09-03/01/07

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	10/31/22	BID ADDENDUM 1

**PROFESSIONAL STAMPS**

NEW YORK STATE EDUCATION DEPARTMENT  
I, the undersigned, being a duly licensed Architect under the laws of the State of New York, do hereby certify that I am the author of the design and description of the building herein described, and that I am a duly licensed Architect under the laws of the State of New York, and that I am the author of the design and description of the building herein described, and that I am a duly licensed Architect under the laws of the State of New York, and that I am the author of the design and description of the building herein described.

**SHEET INFORMATION**

Scale  
10/21/22  
Project Status  
BID SUBMISSION  
Drawn By  
##  
Checked By  
LT  
Drawing Title  
**LOWER LEVEL RECONSTRUCTION PLAN - AREA A**

Drawing Number

**PMS  
A200A**

**GENERAL CONSTRUCTION NOTES:**

- ALL DRAWINGS ARE GRAPHIC REPRESENTATION OF APPROXIMATE LOCATIONS OF EXISTING AND NEW MATERIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING FINISHES AND EQUIPMENT NOT REMOVED UNDER THE SCOPE OF WORK. ANY DAMAGE WILL BE REPAIRED TO THE OWNER/ARCHITECT'S SATISFACTION AT NO COST TO THE OWNER.
- WORK AREAS SHALL BE MAINTAINED AND ALL WORK AREAS SHALL BE LEFT BROOMED CLEAN AT END OF EACH DAY.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL BARRIERS AT ALL AREAS OF CONSTRUCTION.
- THE CONTRACTOR SHALL PATCH ALL SURFACES WHERE EXISTING MATERIALS HAVE BEEN DISTURBED TO MATCH AND BE FLUSH WITH ADJACENT CONSTRUCTION AT ALL FLOOR, WALL, AND CEILING LOCATIONS.
- CONTRACTOR SHALL COORDINATE WITH OTHER TRADES FOR SEQUENCING OF WORK.

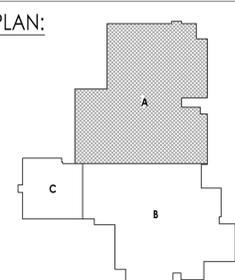
**RECONSTRUCTION KEYNOTES:**

- NEW UV TO BE INSTALLED BY MC.
- PREP, PRIME AND PAINT WALL AT LOCATION OF SPLIT SYSTEM REMOVAL.
- PREP, PRIME AND PAINT WALL AT LOCATION OF TEMPERATURE CONTROL REMOVAL.
- INFILL WALL PENETRATION WITH 1-HOUR RATED WALL CONSTRUCTION.
- EXTERIOR WALL PENETRATION TO BE INFILLED MASONRY CONSTRUCTION.
- INFILL WALL PENETRATION.
- INFILL WALL OPENING PER DETAIL 6/A700 AT UV GRILLE
- RECOVER EXPOSED WALL WITH 3/8" LAMINATING GYPSUM BOARD.
- REFINISH EXPOSED ENDS OF EXISTING CASEWORK, INCLUDING NEW BASE.
- PAINT AND RE-INSTALL EXISTING VENT COVER.
- PATCH WALL WITH GYPSUM BOARD AND PAINT TO MATCH EXISTING.
- ENCLOSE FRONT OF GAP AT END OF CASEWORK WITH MATCHING PANEL. PROVIDE FINISHED EDGE WHERE SOLID COUNTER WAS CUT; EASE COUNTER AGAINST NEW WALL.
- INFILL WALL OPENING PER DETAIL 3/A700 AT UV GRILLE
- PAINT NEW WALL TO MATCH EXISTING ADJACENT. PROVIDE NEW WALL BASE TO MATCH EXISTING ADJACENT.
- PROVIDE 2'x2' WALL MOUNTED ACCESS DOOR. BASIS-OF-DESIGN: ACUDOR ED-2002.

**RECONSTRUCTION LEGEND:**

- PATCH VCT FLOORING AND WALL BASE TO MATCH EXISTING. WHERE VAT TILE WAS REMOVED, PATCH WITH VCT BEST MATCH.
- INFILL WALL PENETRATION WITH LIKE CONSTRUCTION.

**KEY PLAN:**



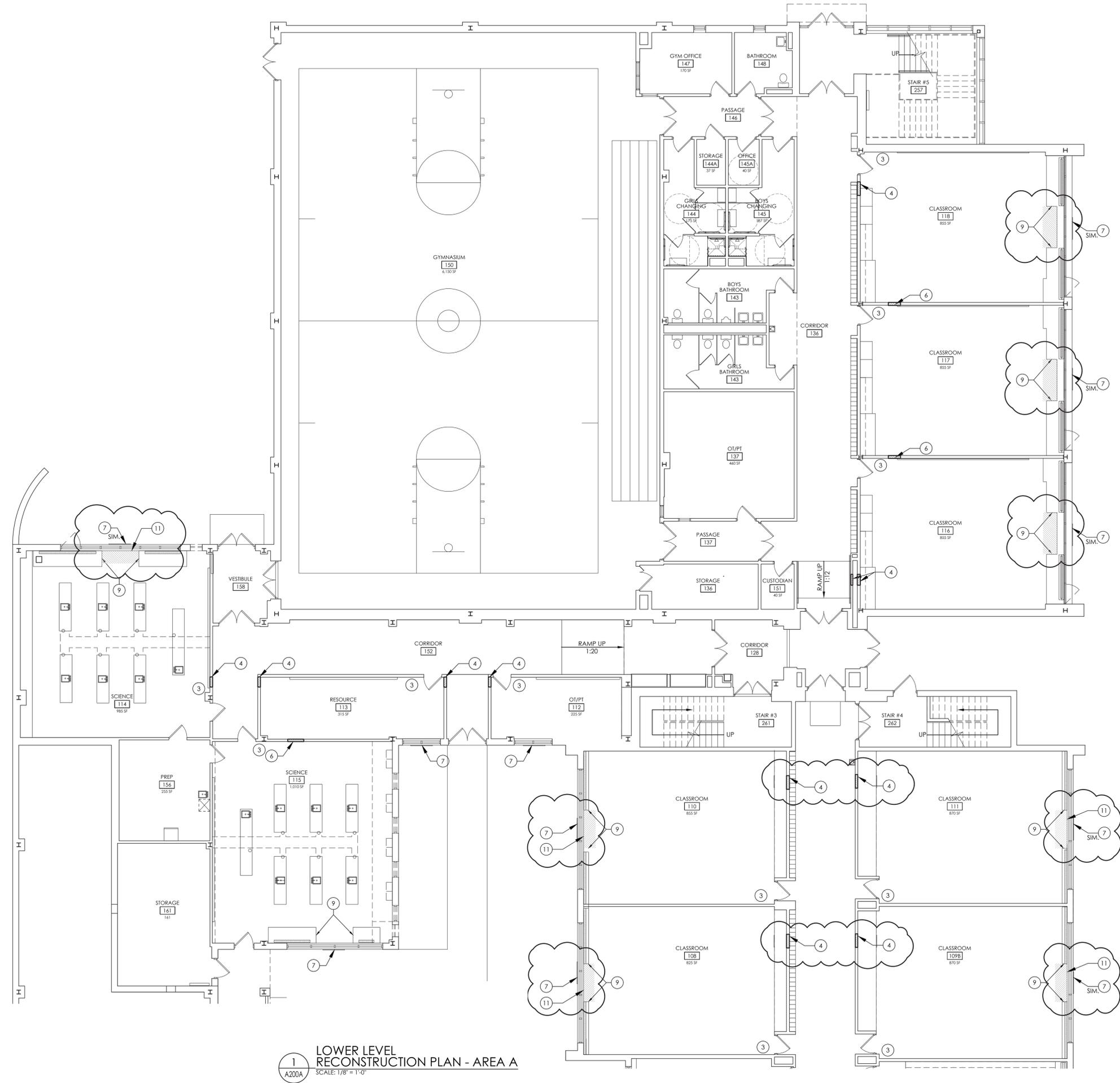
Plotted By: Allison Sawyer

Date last plotted: 10/31/2022 2:14 PM

Date last accessed: 10/27/2022 3:20 PM

10/27/2022 3:20 PM

Sheet Size: 24x36  
Drawing Name: S:\Projects\Pleasantville UFSD\FMS HVAC\0 Design\06-CAD\ACAD\_ARCH\HVAC\_A200.dwg



**1**  
A200A  
**LOWER LEVEL RECONSTRUCTION PLAN - AREA A**  
SCALE: 1/8" = 1'-0"





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- WORK AREAS SHALL BE MAINTAINED AND ALL WORK AREAS SHALL BE LEFT BROOMED CLEAN AT END OF EACH DAY.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL BARRIERS AT ALL AREAS OF CONSTRUCTION.
- THE CONTRACTOR SHALL PATCH ALL SURFACES WHERE EXISTING MATERIALS HAVE BEEN DISTURBED TO MATCH AND BE FLUSH WITH ADJACENT CONSTRUCTION AT ALL FLOOR, WALL, AND CEILING LOCATIONS.
- CONTRACTOR SHALL COORDINATE WITH OTHER TRADES FOR SEQUENCING OF WORK.

**RECONSTRUCTION KEYNOTES:**

- NEW UV TO BE INSTALLED BY MC.
- PREP, PRIME AND PAINT WALL AT LOCATION OF SPLIT SYSTEM REMOVAL.
- PREP, PRIME AND PAINT WALL AT LOCATION OF TEMPERATURE CONTROL REMOVAL.
- INFILL WALL PENETRATION WITH 1-HOUR RATED WALL CONSTRUCTION.
- EXTERIOR WALL PENETRATION TO BE INFILLED MASONRY CONSTRUCTION.
- INFILL WALL PENETRATION.
- INFILL WALL OPENING PER DETAIL 6/A700 AT UV GRILLE
- RECOVER EXPOSED WALL WITH 3/8" LAMINATING GYPSUM BOARD.
- REFINISH EXPOSED ENDS OF EXISTING CASEWORK, INCLUDING NEW BASE.
- PAINT AND RE-INSTALL EXISTING VENT COVER.
- PATCH WALL WITH GYPSUM BOARD AND PAINT TO MATCH EXISTING.
- ENCLOSE FRONT OF GAP AT END OF CASEWORK WITH MATCHING PANEL. PROVIDE FINISHED EDGE WHERE SOLID COUNTER WAS CUT; EASE COUNTER AGAINST NEW WALL.
- INFILL WALL OPENING PER DETAIL 3/A700 AT UV GRILLE
- PAINT NEW WALL TO MATCH EXISTING ADJACENT. PROVIDE NEW WALL BASE TO MATCH EXISTING ADJACENT.
- PROVIDE 2'x2' WALL MOUNTED ACCESS DOOR. BASIS-OF-DESIGN: ACUDOR ED-2002.

**RECONSTRUCTION LEGEND:**

- PATCH VCT FLOORING AND WALL BASE TO MATCH EXISTING. WHERE VAT TILE WAS REMOVED, PATCH WITH VCT BEST MATCH.
- INFILL WALL PENETRATION WITH LIKE CONSTRUCTION.

**PROJECT INFORMATION**

Project Number  
15131.07

Client Name

**PLEASANTVILLE UFSD**

Project Name

**MIDDLE SCHOOL HVAC REPLACEMENT**

Project Address

40 ROMER AVE. PLEASANTVILLE, NY 10570

**PLEASANTVILLE MIDDLE SCHOOL**

10/18/09-03/01/07

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	10/31/22	BID ADDENDUM 1

**PROFESSIONAL STAMPS**

**NEW YORK STATE EDUCATION DEPARTMENT**

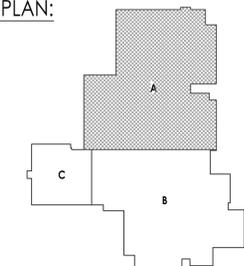
IT IS A REQUIREMENT OF THE NEW YORK STATE EDUCATION DEPARTMENT AND THE COMMISSIONERS OF EDUCATION FOR ANY PERSON, UNDER PENALTY OF REVOCATION OF A LICENSE, TO REGISTER AS AN ARCHITECT, ENGINEER OR SURVEYOR TO BE ALIGNED. THE ALIGNING PARTY SHALL FURNISH TO THE DEPARTMENT AND THE COMMISSIONERS OF EDUCATION THE DATE OF SUCH ALIGNMENT AND A SPECIFIC DESCRIPTION OF THE ALIGNMENT.

**SHEET INFORMATION**

Issue Date  
10/21/22  
Scale  
DRAWING SCALE  
Project Status  
BID SUBMISSION  
Checked By  
LT  
Drawing Title  
UPPER LEVEL RECONSTRUCTION PLAN - AREA A

Drawing Number  
**PMS A201A**

**KEY PLAN:**



**1 UPPER LEVEL RECONSTRUCTION PLAN - AREA A**  
SCALE: 1/8" = 1'-0"

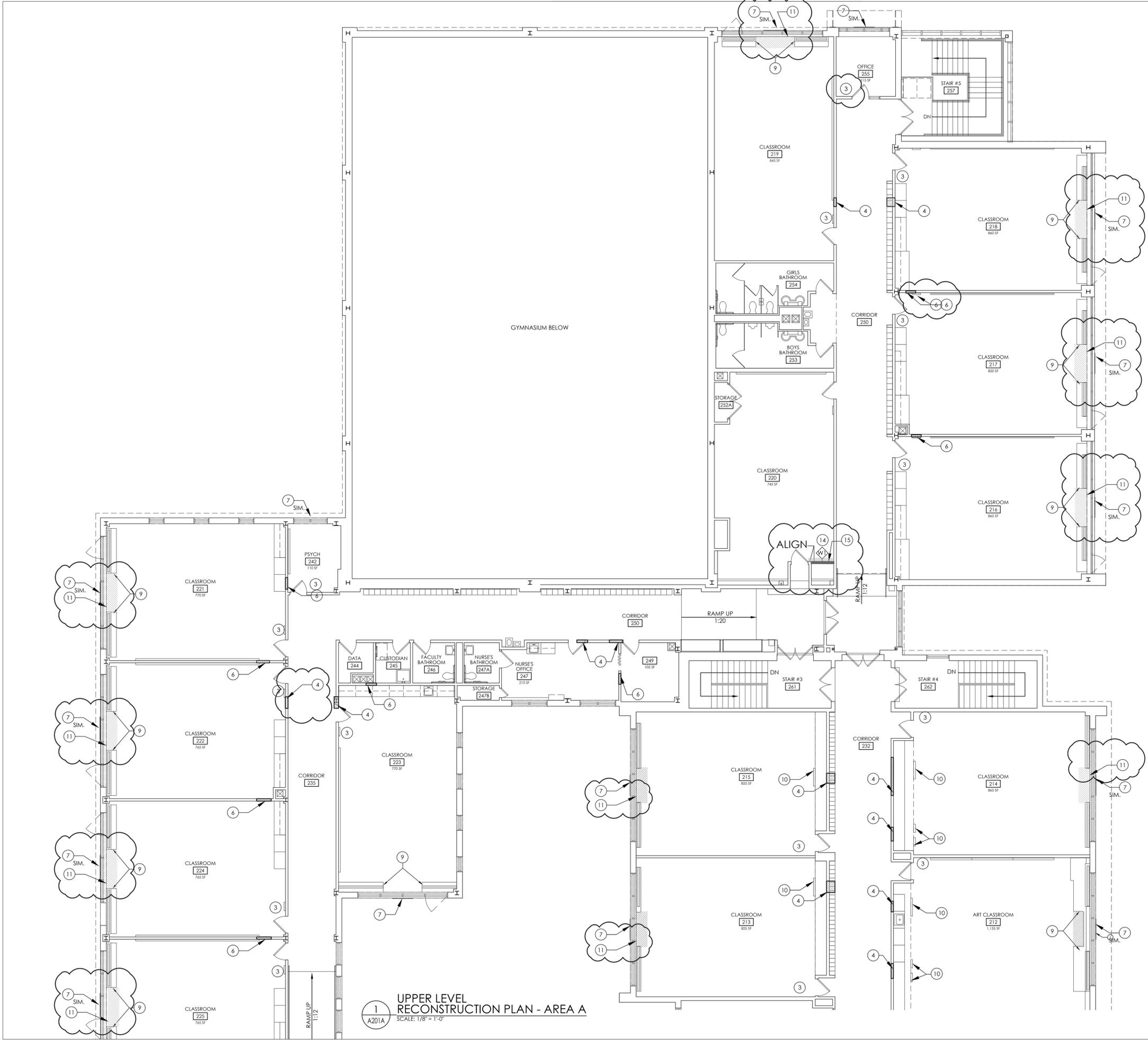
Plotted By: Allison Sawyer

Date last plotted: 10/31/2022 2:13 PM

Date last accessed: 10/31/2022 2:08 PM

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Sheet Size: 24x36  
Drawing Name: S:\Projects\Pleasantville UFSD\FMS HVAC\0 Design\06-CAD\ACAD\ARCH\VP\_A201.dwg





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50 Front St. Suite 202  
Newburgh, NY 12550  
CPLteam.com

**PROJECT INFORMATION**

Project Number  
15131.07  
Client Name

**PLEASANTVILLE UFSD**

**MIDDLE SCHOOL HVAC REPLACEMENT**

Project Address  
40 ROMER AVE. PLEASANTVILLE, NY 10570

**PLEASANTVILLE MIDDLE SCHOOL**

88-08-29-03-001-017

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	10/31/22	BID ADDENDUM 1

**PROFESSIONAL STAMPS**

NEW YORK STATE EDUCATION DEPARTMENT  
THIS IS A REVISION OF THE NEW YORK STATE EDUCATION LAW AND THE COMPLETION OF THE  
REVISIONS IS THE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT'S DESIGN SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT'S DESIGN SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT'S DESIGN SHALL BE THE RESPONSIBILITY OF THE ARCHITECT.

**SHEET INFORMATION**

Issued  
10/21/22  
Scale  
AS SHOWN  
Project Status  
BID SUBMISSION  
Drawn By  
TLB  
Checked By  
LT  
Drawing Title  
UPPER LEVEL  
RECONSTRUCTION PLAN -  
AREA B  
Drawing Number

PMS  
A201B

**GENERAL CONSTRUCTION NOTES:**

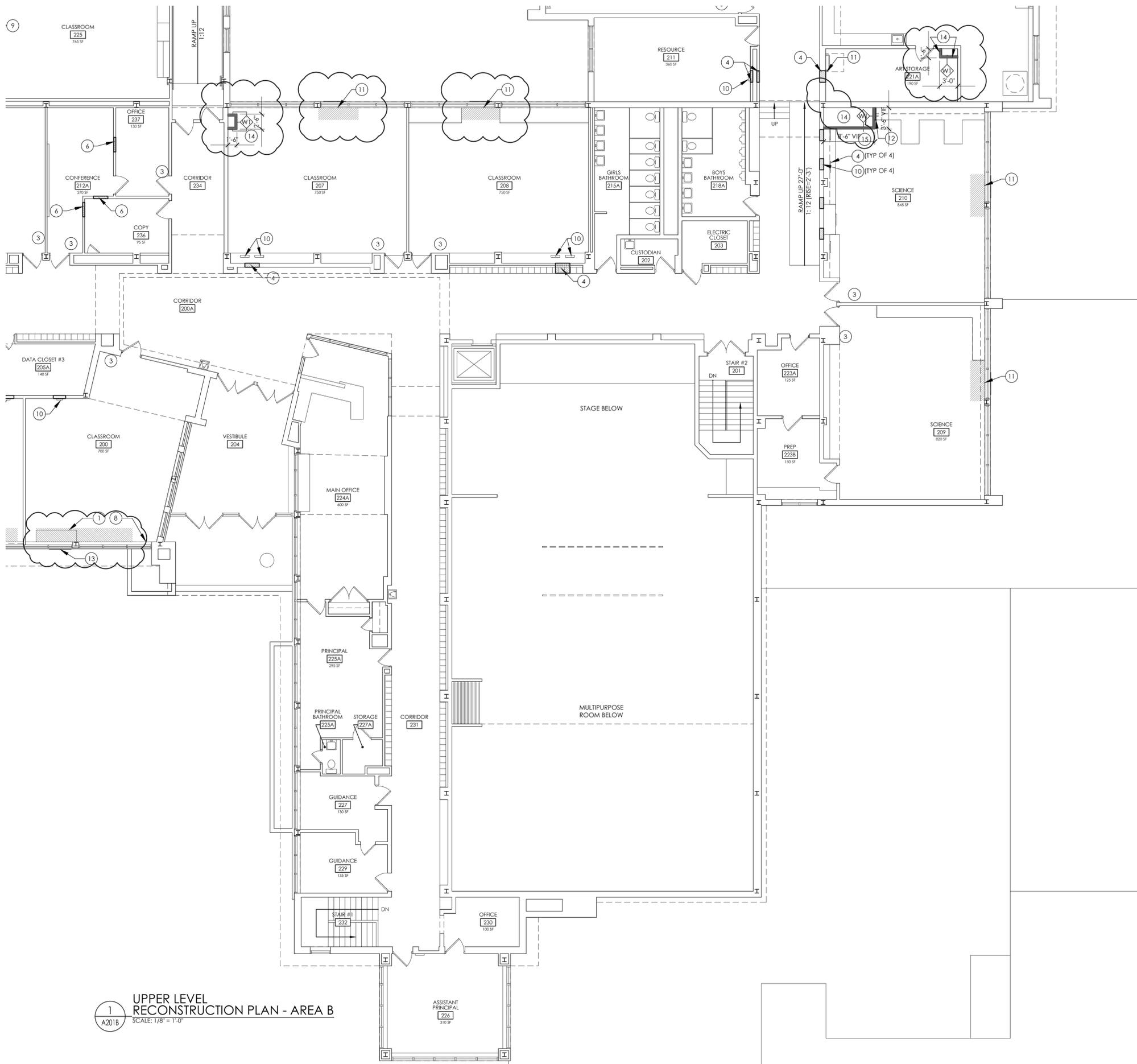
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**RECONSTRUCTION KEYNOTES:**

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- PREP, PRIME AND PAINT WALL AT LOCATION OF TEMPERATURE CONTROL REMOVAL.
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- INFILL WALL OPENING PER DETAIL 3/A700 AT UV GRILLE
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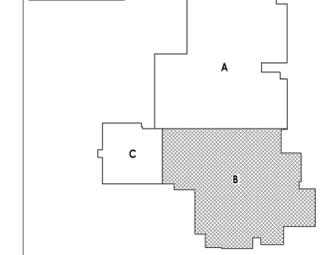
**RECONSTRUCTION LEGEND:**

- PATCH VCT FLOORING AND WALL BASE TO MATCH EXISTING. WHERE VAT TILE WAS REMOVED, PATCH WITH VCT BEST MATCH.
- INFILL WALL PENETRATION WITH LIKE CONSTRUCTION.



**1**  
A201B  
**UPPER LEVEL  
RECONSTRUCTION PLAN - AREA B**  
SCALE: 1/8" = 1'-0"

**KEY PLAN:**



Sheet size: 24x36  
 Drawing Name: S:\Projects\ Pleasantville UFSD\ PMS HVAC\ 0 Design\ 06 CAD\ ACAD\ ARCH\ A201.dwg  
 Date last accessed: 10/31/2022 2:08 PM  
 Date last plotted: 10/31/2022 2:12 PM  
 Plotted By: Allison Sawyer



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 Newburgh, NY 12550  
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**PROJECT INFORMATION**

Project Number  
15131.07  
 Client Name  
PLEASANTVILLE UFSD

**PROJECT NAME**

MIDDLE SCHOOL HVAC  
 REPLACEMENT

Project Address  
40 ROMER AVE. PLEASANTVILLE, NY 10570

**PLEASANTVILLE MIDDLE SCHOOL**

88-028-29-023-001-017

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description

**PROFESSIONAL STAMPS**

**NEW YORK STATE EDUCATION STATEMENT**

THIS IS A REPRESENTATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONERS' REGULATIONS FOR ANY PERSON, IN EXERCISE UNDER THE DIRECTION OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, TO AUTHORIZE ANY WORK BY A PROFESSIONAL ENGINEER OR ARCHITECT, ENGINEER OR LAND SURVEYOR, TO BE PERFORMED BY THE ARCHITECT, ENGINEER OR LAND SURVEYOR, AS SET FORTH IN THE CONTRACT DOCUMENTS, AND TO BE BOUND BY THE SIGNATURE AND THE DATE OF SUCH AUTHORIZATION, AND A SPECIFIC DESCRIPTION OF THE AUTHORIZATION.

**SHEET INFORMATION**

Issued	Scale
10/21/22	#####
Project Status	#####
BID SUBMISSION	#####
Drawn By	Checked By
###	LT
Drawing Title	

UPPER LEVEL  
 RECONSTRUCTION PLAN -  
 AREA C

Drawing Number  
**PMS  
 A201C**

**GENERAL CONSTRUCTION NOTES:**

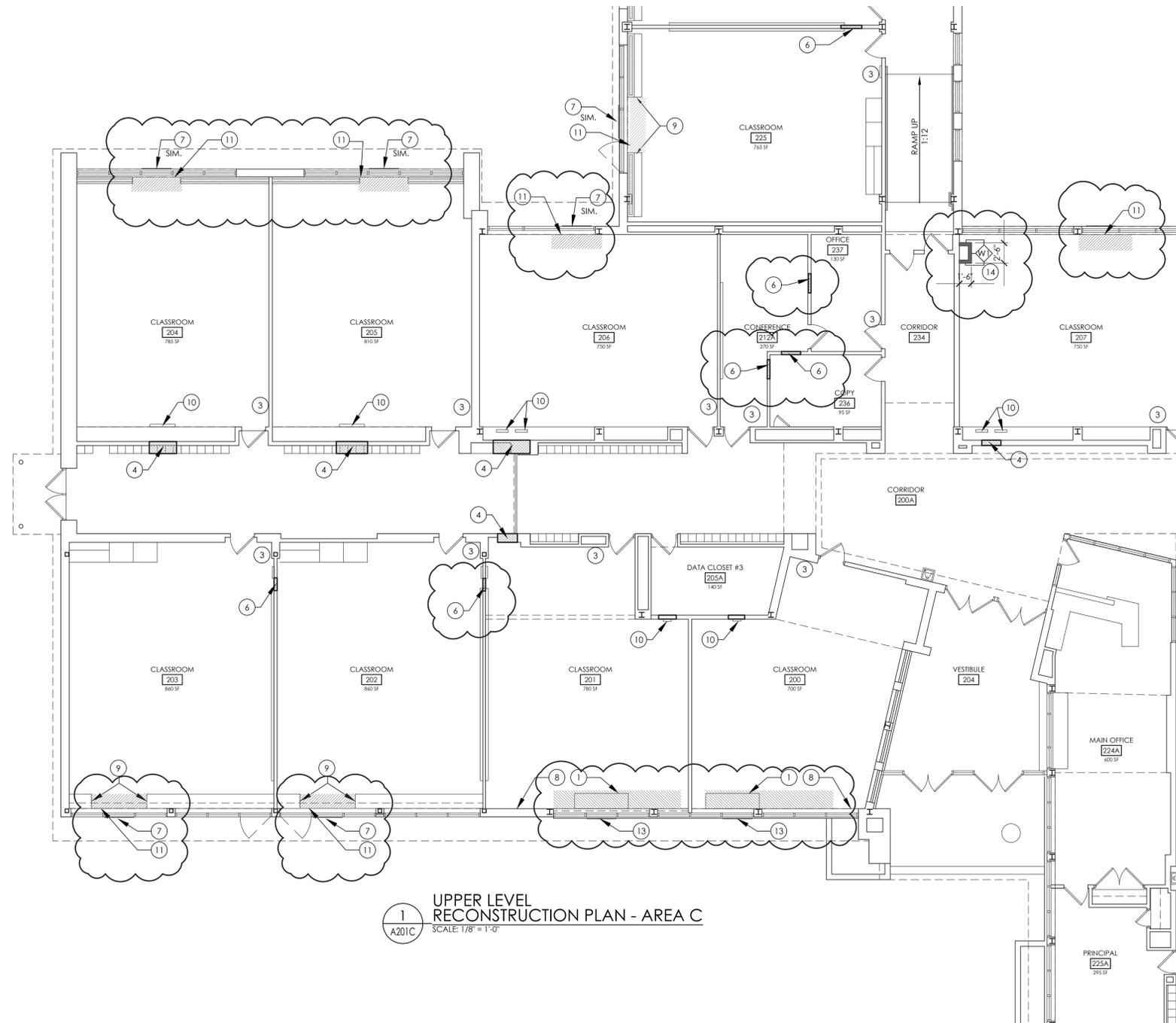
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- PROVIDE 2x2" WALL MOUNTED ACCESS DOOR. BASIS-OF-DESIGN: ACUDOR ED-2002.

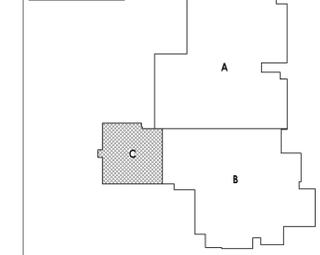
**RECONSTRUCTION LEGEND:**

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- INFILL WALL PENETRATION WITH LIKE CONSTRUCTION.



**1**  
 A201C  
 UPPER LEVEL  
 RECONSTRUCTION PLAN - AREA C  
 SCALE: 1/8" = 1'-0"

**KEY PLAN:**



Plotted By: Allison Sawyer

Date last plotted: 10/31/2022 2:13 PM

Date last accessed: 10/31/2022 2:08 PM

Sheet size: 24x36  
 Drawing Name: S:\Projects\ Pleasantville UFSD\ PMS HVAC\ 0 Design\ 06 CAD\ ACAD\ ARCH\ A201.dwg



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 Newburgh, NY 12550  
 CPLteam.com

**PROJECT INFORMATION**

Project Number  
15131.07  
 Client Name

**PLEASANTVILLE UFSD**

Project Name  
**MIDDLE SCHOOL HVAC REPLACEMENT**

Project Address  
 40 ROMER AVE. PLEASANTVILLE, NY 10570

**PLEASANTVILLE MIDDLE SCHOOL**  
 ■ 88-08-0203-001-017

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	10/31/22	BID ADDENDUM 1

**PROFESSIONAL STAMPS**

NEW YORK STATE EDUCATION STATUTE  
 § 81-2.1(4)(b) OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONERS' REGS. AND/OR ANY PRECEDENT, IN SO FAR AS THEY APPLY TO THE DESIGN OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, SHALL APPLY TO ANY DESIGN PROFESSIONAL BY A FIRM BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR & ALSO TO THE ARCHITECT, ENGINEER OR LAND SURVEYOR AS THE FIRM'S REPRESENTATIVE AND THE DESIGN, AS SET FORTH IN THEIR SIGNATURE AND THE DATE OF SUCH SIGNATURE, AND A SPECIFIC DESCRIPTION OF THE ACTIVATION.

**SHEET INFORMATION**

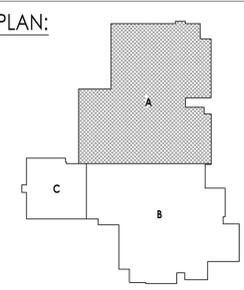
Issued 10/21/22 Scale AS SHOWN  
 Project Status BID SUBMISSION  
 Drawn By TLB Checked By LT  
 Drawing Title LOWER LEVEL CEILING PLAN - AREA A

Drawing Number  
**PMS A600A**

**CEILING LEGEND:**

- GYPSUM BOARD CEILING SYSTEM
- SUSPENDED ACOUSTIC CEILING SYSTEM (ACT) NEW 2' X 2'
- SUSPENDED ACOUSTIC CEILING SYSTEM (ACT) NEW 2' X 4'
- SUPPLY DIFFUSER BY M.C.
- RETURN DIFFUSER BY M.C.
- 2x4 RECESSED LIGHT BY E.C.
- 2x4 RECESSED PARABOLIC LIGHT BY E.C.
- 2x4 SURFACE MOUNTED LIGHT BY E.C.
- MODIFY EXISTING CEILING GRID TO ACCOMMODATE NEW CEILING DIFFUSER

KEY PLAN:



**1**  
 A600A  
**LOWER LEVEL CEILING PLAN - AREA A**  
 SCALE: 1/8" = 1'-0"

Sheet Size: 24x36  
 Drawing Name: S:\Projects\Pleasantville UFSD\PM5 HVAC\0 Design\06 CAD\ACAD\ARCH\A6\A600.dwg  
 Date last accessed: 10/31/2022 10:54 AM  
 Date last plotted: 10/31/2022 10:54 AM  
 Plotted By: Allison Sawyer





PROJECT INFORMATION

Project Number  
15131.07

Client Name

PLEASANTVILLE UFSD

Project Name

MIDDLE SCHOOL HVAC  
REPLACEMENT

Project Address

40 ROMER AVE. PLEASANTVILLE, NY 10570

PLEASANTVILLE MIDDLE SCHOOL

08-08-09-03-001-017

PROJECT ISSUE & REVISION SCHEDULE

No.	Date	Description
1	10/31/22	BID ADDENDUM 1

PROFESSIONAL STAMPS

NEW YORK STATE EDUCATION DEPARTMENT

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SHEET INFORMATION

Issue Date 10/21/22 Scale AS SHOWN

Project Status BID SUBMISSION

Drawn By TLB Checked By LT

Drawing Title LOWER LEVEL CEILING PLAN

-AREA B

Drawing Number

PMS

A600B

10/21/22

AS SHOWN

BID SUBMISSION

Checked By

LT

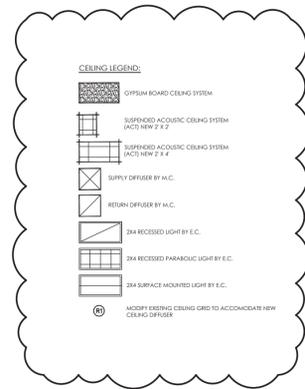
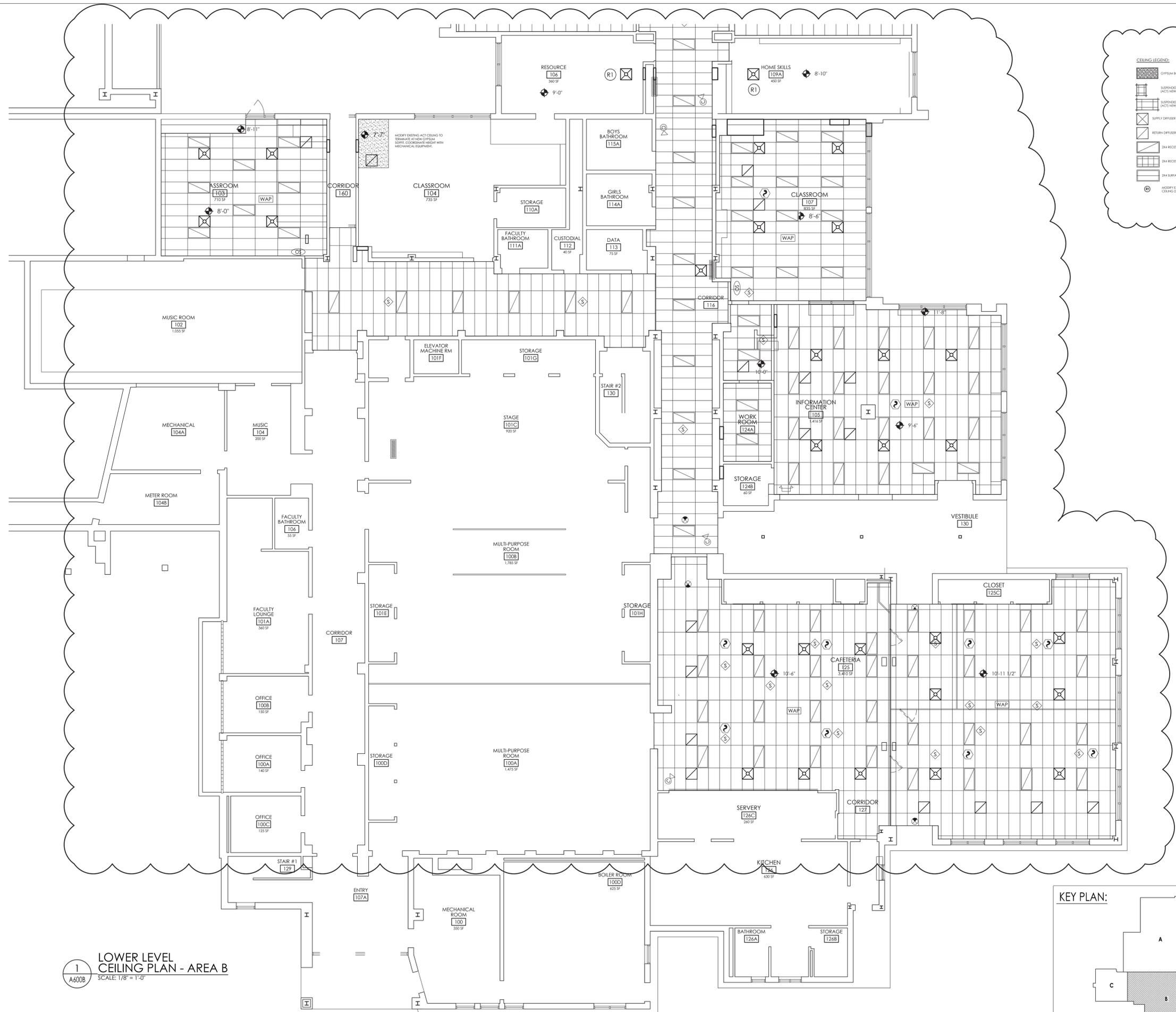
LOWER LEVEL CEILING PLAN

-AREA B

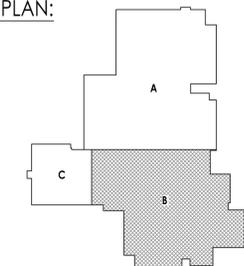
Drawing Number

PMS

A600B



KEY PLAN:



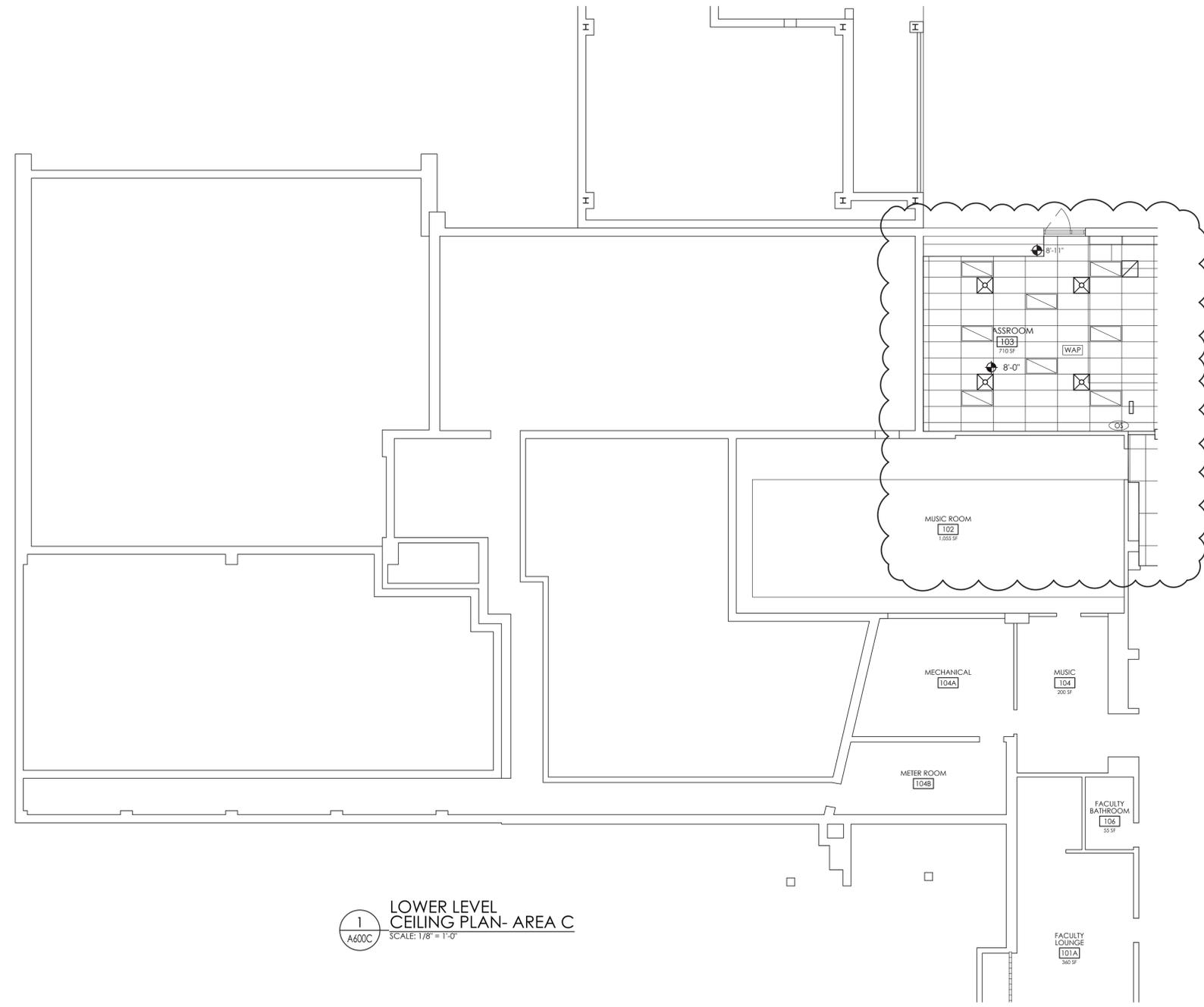
1  
A600B  
LOWER LEVEL  
CEILING PLAN - AREA B  
SCALE: 1/8" = 1'-0"

Sheet Size: 24x36  
 Drawing Name: S:\Projects\Pleasantville UFSD\FMS HVAC\0 Design\06 CAD\ACAD\_ARCH\A600.dwg  
 Date last accessed: 10/31/2022 10:55 AM  
 Date last plotted: 10/31/2022 10:55 AM  
 Plotted By: Allison Sawyer



**CEILING LEGEND:**

- GYPSUM BOARD CEILING SYSTEM
- SUSPENDED ACOUSTIC CEILING SYSTEM (ACT) NEW 2' X 2'
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- 2x4 RECESSED LIGHT BY E.C.
- 2x4 RECESSED PARABOLIC LIGHT BY E.C.
- 2x4 SURFACE MOUNTED LIGHT BY E.C.
- MODIFY EXISTING CEILING GRID TO ACCOMMODATE NEW CEILING DIFFUSER



1  
A600C  
LOWER LEVEL  
CEILING PLAN- AREA C  
SCALE: 1/8" = 1'-0"

**KEY PLAN:**

TRUE NORTH

**PROJECT INFORMATION**

Project Number  
15131.07

Client Name  
**PLEASANTVILLE UFSD**

Project Name  
**MIDDLE SCHOOL HVAC REPLACEMENT**

Project Address  
40 ROMER AVE. PLEASANTVILLE, NY 10570

**PLEASANTVILLE MIDDLE SCHOOL**  
 05-08-09-03-0201-017

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	10/31/22	BID ADDENDUM 1

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**SHEET INFORMATION**

Issued  
10/21/22

Scale  
AS SHOWN

Project Status  
BID SUBMISSION

Drawn By  
TLB

Checked By  
LT

Drawing Title  
**LOWER LEVEL CEILING PLAN -AREA C**

Drawing Number  
**PMS A600C**





**PROJECT INFORMATION**

Project Number  
15131.07  
 Client Name  
PLEASANTVILLE UFSD

**PROJECT NAME**

MIDDLE SCHOOL HVAC  
REPLACEMENT

Project Address  
40 ROMER AVE, PLEASANTVILLE, NY 10570

**PLEASANTVILLE MIDDLE SCHOOL**

10/08/09-03/01/07

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	10/31/22	BID ADDENDUM 1

**PROFESSIONAL STAMPS**

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**SHEET INFORMATION**

Issue Date  
10/21/22

Scale  
AS SHOWN

Project Status  
BID SUBMISSION

Drawn By  
TLB

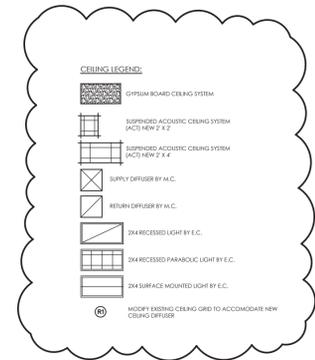
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LT

Drawing Title  
UPPER LEVEL CEILING PLANS

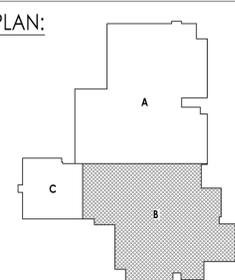
- AREA 2

Drawing Number

PMS  
A601B



**KEY PLAN:**



**1**  
A6008  
UPPER LEVEL  
CEILING PLANS - AREA b  
SCALE: 1/8" = 1'-0"

Plotted By: Allison Sawyer

Date last plotted: 10/31/2022 11:40 AM

Date last accessed: 10/31/2022 11:39 AM

Sheet Size: 24x36  
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