

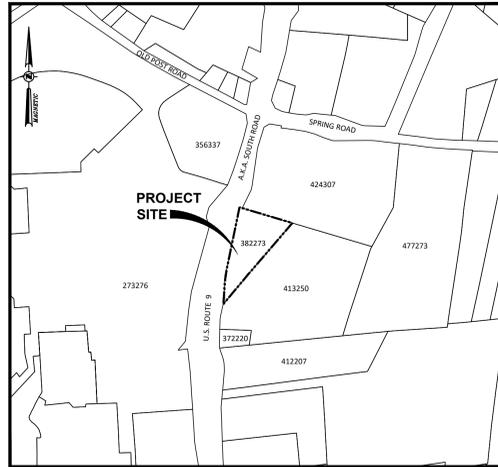
SITE PLAN

PREPARED FOR

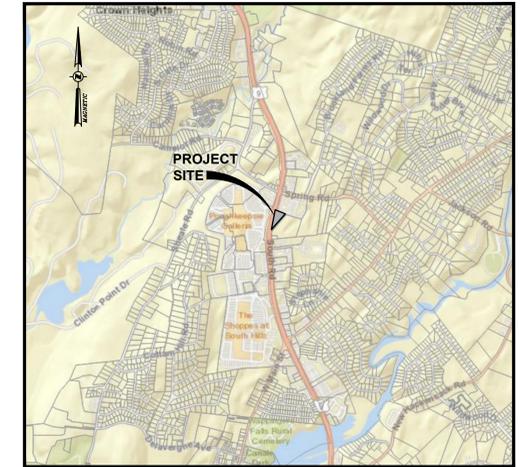
DIAMOND POINT DEVELOPMENT CLIMATE CONTROL STORAGE FACILITY

LOCATED AT
1998 SOUTH ROAD
TOWN OF POUGHKEEPSIE
DUTCHESS COUNTY, NEW YORK

NOVEMBER 22, 2021
LAST REVISED: MARCH 28, 2022



SOURCE: DUTCHESS COUNTY PARCEL ACCESS 11-11-2021
LOCATION MAP
SCALE: 1"=400'



AREA MAP
SCALE: 1"=2000'

**OWNER'S CERTIFICATION NOTE
OWNER / APPLICANT SIGNATURE**

THE UNDERSIGNED APPLICANT(S) FOR THE PROPERTY AND THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREIN CERTIFY THAT THEY ARE FAMILIAR WITH THIS MAP AND ITS NOTES AND ITS CONTENTS AS STATED HEREON INCLUDING ALL CONDITIONS OF APPROVAL. THE APPLICANT AND THE OWNER UNDERSTAND THEIR OBLIGATION TO THE TOWN TO KEEP THE PREMISES AS PER PLAN APPROVAL BY THE PLANNING BOARD UNTIL A NEW OR REVISED PLAN FOR DEVELOPMENT OR USE OF THE SITE IS APPROVED BY THE PLANNING BOARD. THE APPLICANT AND THE OWNER UNDERSTAND THEIR OBLIGATION TO THE TOWN NOT TO OCCUPY THE PREMISES BEFORE A CERTIFICATE OF OCCUPANCY (CO) IS ISSUED BY THE TOWN FOR THE OCCUPANCY AS APPROVED HEREON.

OWNER _____ DATE _____
APPLICANT _____ DATE _____

**TOWN OF POUGHKEEPSIE PLANNING BOARD
PLAN APPROVAL**

THE PLAN OF DEVELOPMENT FOR THE PROPERTY AS DEPICTED HEREON WAS APPROVED BY A MAJORITY OF THE MEMBERS OF THE TOWN OF POUGHKEEPSIE PLANNING BOARD AT A MEETING HELD ON _____, AND THE CONDITIONS OF SITE PLAN APPROVAL HAVE BEEN SATISFIED OR ARRANGEMENTS HAVE BEEN MADE TO ENSURE THE COMPLETION OF ANY OUTSTANDING OR INCOMPLETE CONDITIONS.

CHAIRMAN _____
DATE _____

**TOWN OF POUGHKEEPSIE DEPARTMENTAL SIGNATURES
(REQUIRED BEFORE CHAIRMAN'S SIGNATURE)**

PLANNING DEPARTMENT _____ DATE _____
BUILDING DEPARTMENT _____ DATE _____
FIRE DEPARTMENT _____ DATE _____
WATER DEPARTMENT _____ DATE _____
SEWER DEPARTMENT _____ DATE _____
ZONING ADMINISTRATOR _____ DATE _____
ENGINEERING DEPARTMENT _____ DATE _____

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2	1	G002	03/28/22	NOTES & LEGENDS
3	0	1 OF 2	11/07/21	PROPERTY SURVEY (BY OTHERS)*
4	0	2 OF 2	11/07/21	TOPOGRAPHIC SURVEY (BY OTHERS)*
5	1	C120	03/28/22	DEMOLITION PLAN
6	4	C130	05/23/22	SITE PLAN
7	1	C131	03/28/22	TRUCK MANEUVERING PLAN
8	1	C132	03/28/22	TRUCK MANEUVERING PLAN
9	2	C140	05/23/22	GRADING, DRAINAGE, & UTILITY PLAN
10	1	C150	03/28/22	EROSION & SEDIMENT CONTROL PLAN
11	2	C180	05/23/22	LANDSCAPE PLAN
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14	2	C530	05/23/22	SITE DETAILS
15	2	C540	05/23/22	STORM SEWER DETAILS
16	1	C541	03/28/22	WATER SYSTEM DETAILS
17	1	C542	03/28/22	SANITARY SEWER SYSTEM DETAILS
18	1	C550	03/28/22	EROSION & SEDIMENT CONTROL DETAILS AND NOTES
19	1	C580	03/28/22	LANDSCAPE DETAILS & NOTES

* SUBMITTED SEPARATELY

BULK TABLE:
HIGHWAY BUSINESS ZONING DISTRICT: (B-H)

ZONING REQUIREMENTS:	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	2 ACRES	2.033 ACRES	2.033 ACRES (88,545 SF)
MINIMUM REQUIRED FRONTAGE	200 FT	559 FT	559 FT
MINIMUM WIDTH	400 FT	509 FT	509 FT
MINIMUM DEPTH	400 FT	158.9 FT	158.9 FT (EXISTING NON-COMFORMITY)
MINIMUM YARDS			
FRONT (ALONG U.S. ROUTE 9)	40 FT	50.8 FT	41.3 FT
SIDES	40 FT	191.1 FT	40.9 FT
REAR	40 FT	37.2 FT	48.0 FT
MAXIMUM LOT COVERAGE	25%	5.0%	29.0% (1)
MAXIMUM IMPERVIOUS SURFACE	75%	59.1%	59.0%
MAXIMUM HEIGHT	45 FT/3 STORIES	1 STORIES	VARIES, 3 & 4 STORIES (1)
BUILDING FOOTPRINT (SF)	--	--	25,272 SF

(1) VARIANCES WERE SOUGHT GRANTED BY THE TOWN OF POUGHKEEPSIE ZONING BOARD TO PERMIT THE CONSTRUCTION OF A SELF STORAGE FACILITY HAVING A HEIGHT OF 55 FEET WHERE 45 FEET IS PERMITTED, REQUIRING A VARIANCE OF 10 FEET; CONSISTING OF FOUR STORIES WHERE THREE ARE PERMITTED, REQUIRING A VARIANCE OF ONE STORY; AND TO PERMIT LOT COVERAGE OF 29% WHERE 25% IS PERMITTED, REQUIRING A VARIANCE OF 4%.

PARKING SPACES

	REQUIRED	EXISTING	PROPOSED
	1 SPACES PER 2,000 SF (48 SPACES REQUIRED)	79 SPACES	9 SPACES** (1)

** PROPOSED SPACES INCLUDE ONE ACCESSIBLE PARKING SPACE. IN ADDITION, THERE IS ONE TRUCK LOADING SPACE, NOT INCLUDED IN OVERALL PARKING.

(1) VARIANCE WAS SOUGHT FOR 39 PARKING SPACES AND GRANTED BY THE TOWN OF POUGHKEEPSIE ZONING BOARD ON MAY 9, 2022.

GENERAL NOTES:

1) THE ANTICIPATED REDEVELOPMENT STYLE FOR THIS SITE IS WAREHOUSE/STORAGE FACILITY SHALL REQUIRE A SPECIAL USE PERMIT IN THE B-H ZONING DISTRICT.

TAX MAP INFORMATION:
TOWN OF POUGHKEEPSIE, DUTCHESS COUNTY, NY SECTION 6159, BLOCK 03, LOT 382273

SITE CIVIL ENGINEER:
CHAZEN ENGINEERING, LAND SURVEYING & LANDSCAPE ARCHITECTURE CO., D.P.C.
21 FOX STREET, POUGHKEEPSIE, NY 12601
PHONE: (845) 454-3980

AREA:
TOTAL PROJECT ACREAGE : 2.033 ACRES

ZONING DISTRICT:
HIGHWAY BUSINESS (B-H) ZONING DISTRICT

SITE DATA
ARLINGTON SEWER
TOWNWIDE DRAINAGE IMPROVEMENT
ARLINGTON FIRE DISTRICT
CONSOLIDATED LIGHT
POK LIB DISTRICT
SOUTH ROAD SEWER DIST.
TOWN WIDE WAT IMP
WAPPINGERS CENTRAL SCHOOL DISTRICT

RECORD OWNER:
ENG, RAYMOND TRUSTEE
ENG, BING TRUSTEE
MA, DANNY TRUSTEE
CHOU, NANCY TRUSTEE
MA, PEGGY TRUSTEE
CHOU, RICK TRUSTEE
9929 E JUNE ST
MESA, AZ 85207

DEVELOPER / APPLICANT:
DIAMOND POINT DEVELOPMENT LLC
C/O JASON AND AARON SOMMER
880 MARIETTA HIGHWAY
SUITE 830-243
ROSWELL, GA 30075
PHONE: (404)-421-6646

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21 Fox Street
Poughkeepsie, New York 12601

rev.	date	description
2	05/23/22	REVISED PER TOWN COMMENTS
1	03/28/22	REVISED PER TOWN COMMENTS

1998 SOUTH ROAD - STORAGE FACILITY

TITLE SHEET

TOWN OF POUGHKEEPSIE, DUTCHESS COUNTY, NEW YORK

designer	checked
LTN	CPL
date	scale
11/22/21	
project no.	
82133.00	
sheet no.	
G001	

ISSUED FOR SITE PLAN APPROVAL