

4			
3			
2	7/27/22	Addendum #2	dh
1	7/13/22	Issue for the Bid	dh
No.	Date	Revision	By

Drawn By: dh  
 Checked By: dh  
 BDS Proj. #: 21-01  
 Date: June 3, 2022

Sheet Title

**GENERAL NOTES, LEGEND, AND SITE PLAN**

Sheet No.

**G001**

**PLAN GRAPHICS LEGEND**

	EXISTING CONSTRUCTION TO REMAIN		STOREFRONT/GLAZING TYPE
	REMOVE EXISTING PARTITION		SUMPED ROOF DRAIN
	REMOVE EXISTING MASONRY PARTITION	FINISHED DOOR OPENINGS SHALL BE LOCATED AS INDICATED BELOW UNO. DIMENSIONS SHOWN ARE CLEAR DIMENSIONS FROM INSIDE OF FRAME TO WALL FINISH.	
	NEW CONCRETE MASONRY WALL		
	NEW BRICK VENEER		
	NEW METAL STUD WALL		
	WALL TYPE		
	EXISTING DOOR/FRAME TO REMAIN		
	EXISTING DOOR/FRAME TO BE REMOVED		
	NEW DOOR/FRAME WITH TAG		
	WEIGHT		
	TYPE		
	FIRE EXTINGUISHER CABINET		

**DEMOLITION KEY NOTES**

- 01 REMOVE WINDOW AND SILL
- 02 REMOVE OVERHEAD DOOR, TRACK, MOTOR, AND ASSOCIATED COMPONENTS
- 03 REMOVE BUMPER
- 04 REMOVE SHOWER BASE, CURB, AND WALL TILE
- 05 REMOVE CONCRETE LANDING AND FOOTING
- 06 REMOVE CONCRETE BASE
- 07 REMOVE COPING FLASHING AND BLOCKING
- 08 REMOVE ROOF SYSTEM
- 09 REMOVE EQUIPMENT PEDESTAL AND BASE
- 10 REMOVE FLOOR FINISH
- 11 REMOVE CONCRETE STEPS

**CONSTRUCTION KEY NOTES**

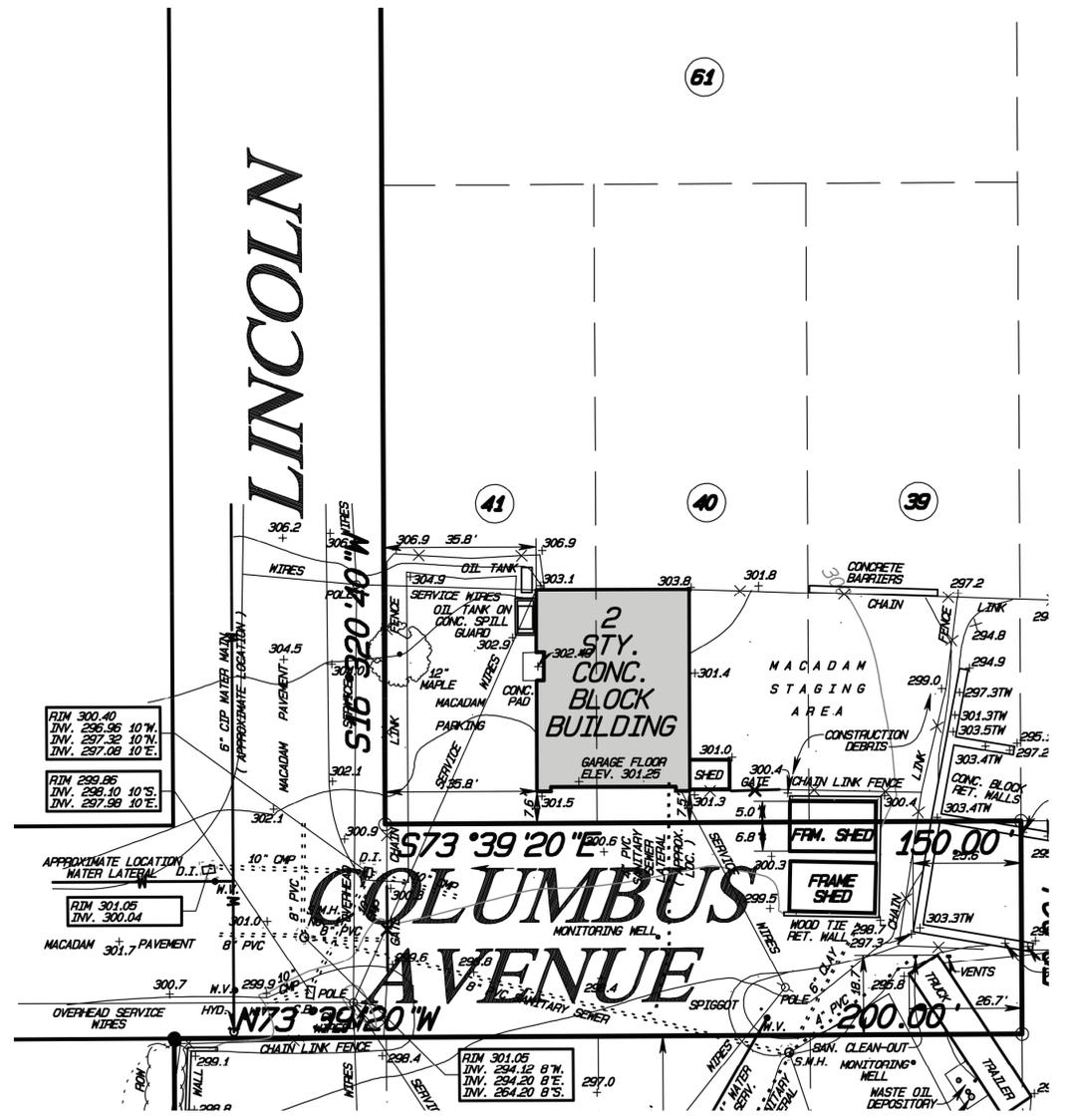
- 01 4" THICK CONCRETE PAD FOR WASHER/DRYER (FURNISHED BY OWNER)
- 02 PAINTED STEEL RAILING
- 03 CONCRETE SLAB INFILL
- 04 1-1/2" THICK HARDWOOD BENCH WITH RAKKS SURFACE MOUNT EH-1212 BRACKETS (BLACK POWDER COAT FINISH)
- 05 LOCKERS FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
- 06 COUNTER FLASHING AT EXISTING CHIMNEY
- 07 ROOF VENT
- 08 SINGLE-PLY ROOF SYSTEM
- 09 ALUMINUM LADDER

**EQUIPMENT TAG**

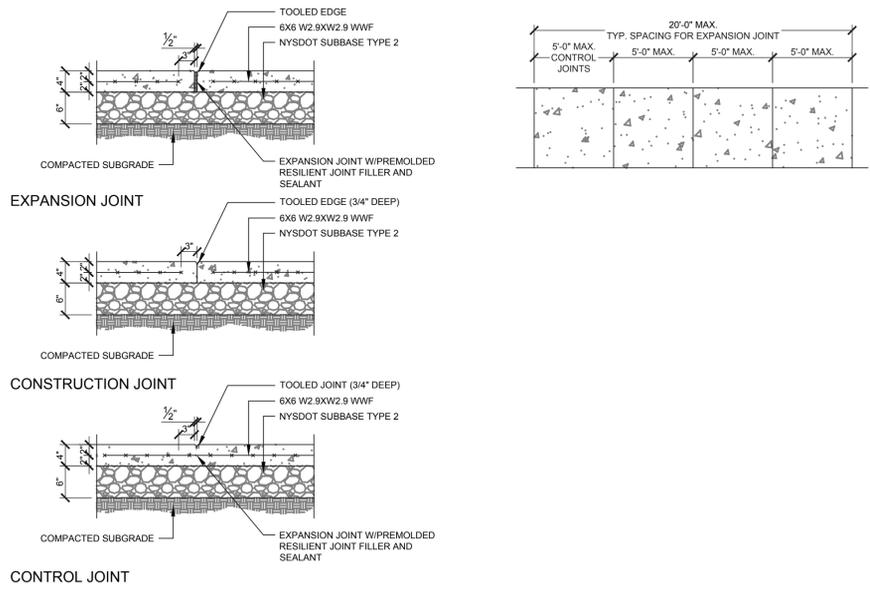
- 01 EXPANSION JOINT LOCATION - PROVIDE AT FLOOR, WALLS, AND CEILING AS SPECIFIED
- 02 STORAGE SHELVING WITH DRAWERS; BASIS-OF-DESIGN EMPIRE TECH SOLUTIONS, INC. 'ROUSSEAU SPIDER SHELVING' (ID: RM-C666-504E)
- 02A STORAGE SHELVING WITH DRAWERS; BASIS-OF-DESIGN EMPIRE TECH SOLUTIONS, INC. 'ROUSSEAU SPIDER SHELVING' (ID: RM-6E5F-1856)
- 03 STORAGE SHELVING; BASIS-OF-DESIGN EMPIRE TECH SOLUTIONS, INC. 'ROUSSEAU SPIDER SHELVING' (ID: RM-2D16-D458)
- 03A STORAGE SHELVING; BASIS-OF-DESIGN EMPIRE TECH SOLUTIONS, INC. 'ROUSSEAU SPIDER SHELVING' (ID: RM-EA2F-C6E2)
- 04 WORKBENCH W/WOOD TOP; BASIS-OF-DESIGN EMPIRE TECH SOLUTIONS, INC. 'ROUSSEAU WSA2906'
- 05 STANDARD DUTY I-BEAM CANTILEVER RACK SYSTEM, 144" HIGH W8X18 COLUMNS WITH (4) 24" ARM PER UPRIGHT. PROVIDE CROSS AND X-BRACING AS REQUIRED. BASIS-OF-DESIGN 'STEEL KING'
- 06 EXISTING MONITORING WELL; EXTEND TO ELEVATION OF NEW SLAB AND PROVIDE BRASS WATERTIGHT CLEANOUT COVER
- RD-1 ROOF DRAIN RD-1; BASIS-OF-DESIGN FROET, 14"Ø '100C-C-E-ER2-R'
- RD-2 ROOF DRAIN RD-2; BASIS-OF-DESIGN ZURN; 'Z100-NH-ZC-C-E-EA-R-SC'

**TOILET ROOM TAGS**

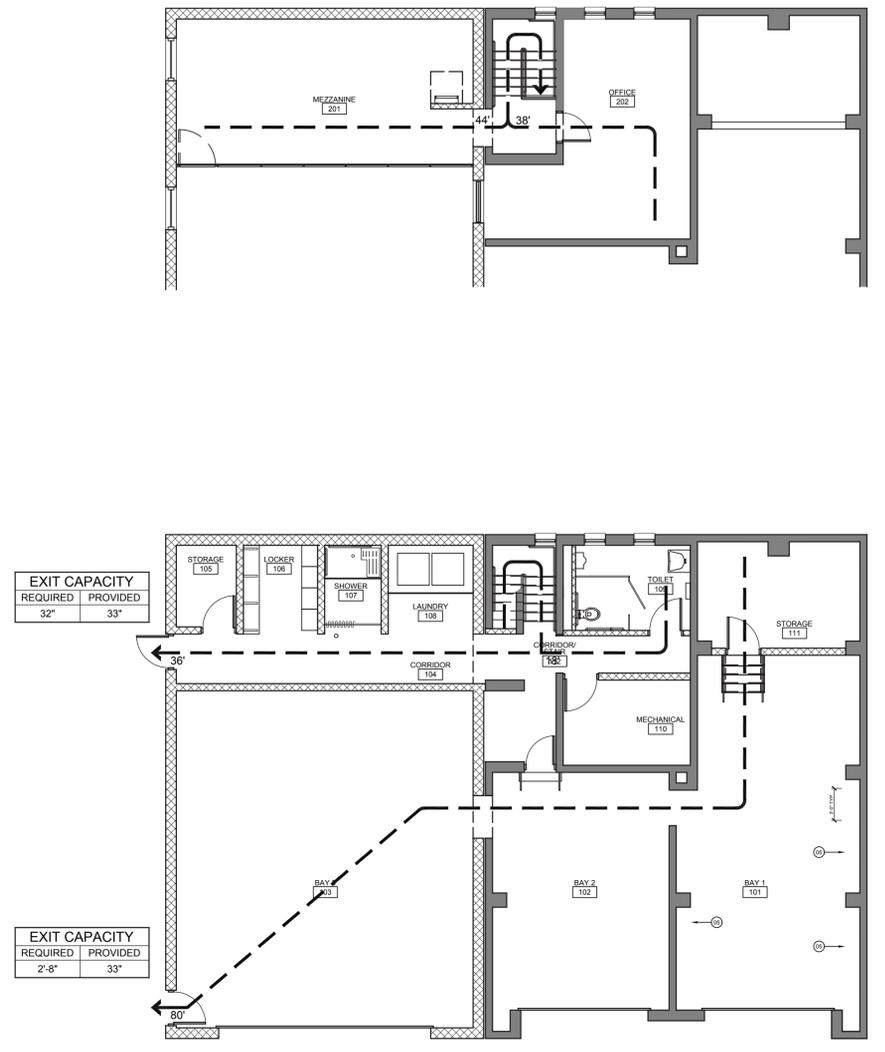
- GRAB BAR X LENGTH
- LAVATORY
- URINAL
- WATER CLOSET
- MIRROR
- PAPER TOWEL/WASTE DISPENSER
- TOILET TISSUE DISPENSER
- SOAP DISPENSER
- SHOWER SEAT
- ROLL-IN SHOWER BASE
- SHOWER ROD/CURTAIN
- TOILET PARTITION
- COAT HOOK



**1 SITE SURVEY**  
 SCALE: 1" = 20'



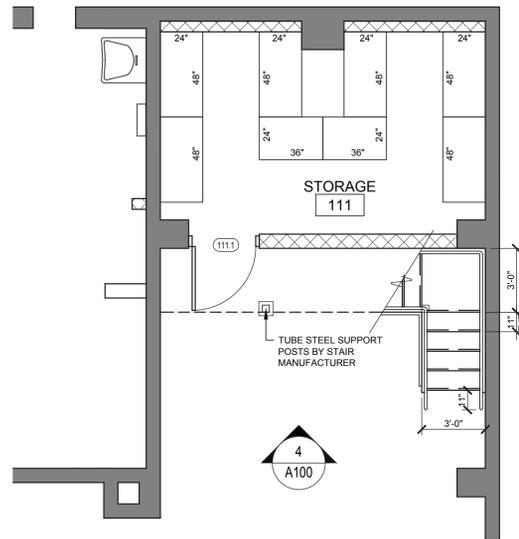
**2 SIDEWALK DETAILS**  
 SCALE: N.T.S.



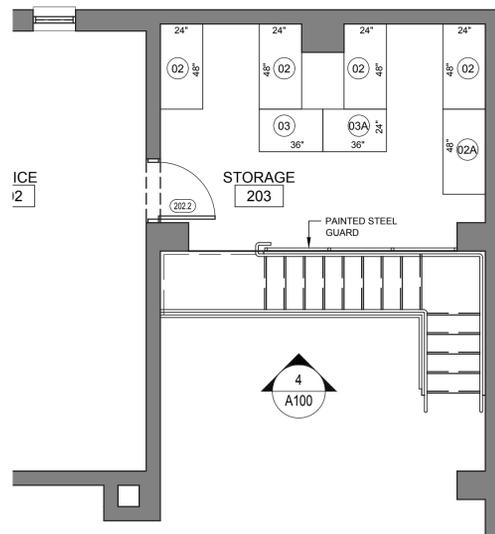
**3 EGRESS PLAN**  
 SCALE: N.T.S.

<b>CONSTRUCTION TYPE</b>		
Existing		IIIB
Addition		IIIB
<b>OCCUPANCY CLASSIFICATION</b>		
Office		B (Business)
Bays		S-1 (Storage, moderate hazard)
<b>AREA BUILDING AREA CALC. A<sub>1</sub> =  A<sub>1</sub> + INS x H . FRONTAGE FACTOR f = F/P = 0.25W/30</b>		
	ALLOWED (sf)	PROVIDED (sf)
Office	33250	1150
Bays (Storage)	30625	2370
<b>BUILDING CAPACITY per BCNY Table 1024.5</b>		
	Occupant Load Factor	Occupancy
Accessory storage areas	300 gross	8
Business areas	150 gross	2
<b>PLUMBING FIXTURES</b>		
	REQUIRED	PROVIDED
Business		
1 WC per 25 for the first 50 and 1 per 50 for the remainder exceeding 50	1	1
1 lavatory per 40 for the first 80 and 1 per 80 for the remainder exceeding 80	1	1
1 drinking fountain per 100 (not required for occupancy less than 15 per 410.2 Small occupancies)	0	0
1 service sink	1	1
Bays (Storage)		
1 WC per 100	1	1
1 lavatory per 100	1	1
1 drinking fountain per 100 (not required for occupancy less than 15 per 410.2 Small occupancies)	0	0
1 service sink	1	1
<b>EXIT ACCESS TRAVEL DISTANCE per Table 1017.2</b>		
Occupancy		Distance without/Sprinkler System (feet)
B (Business)		200
S-1 (Storage, moderate hazard)		200

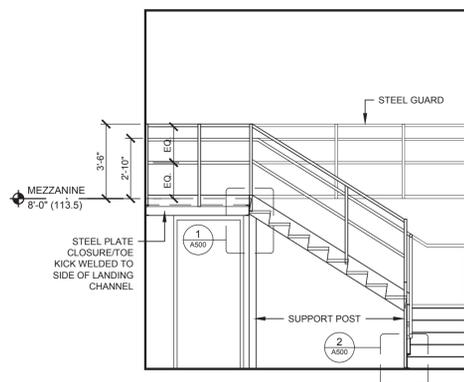
**4 CODE TABLE**  
 SCALE: N.T.S.



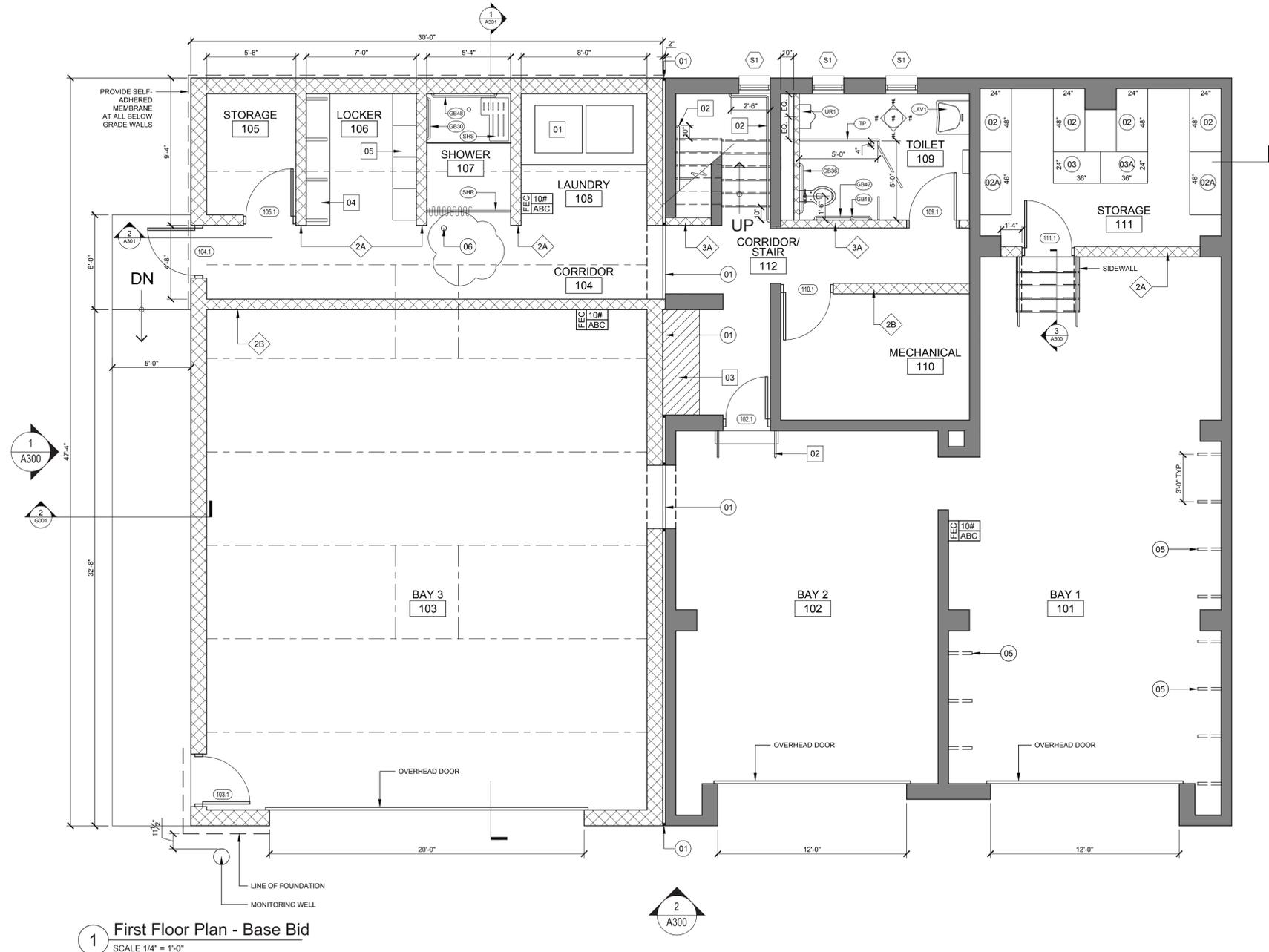
2 First Floor Plan - Alternate  
SCALE 1/4" = 1'-0"



3 Mezzanine Plan - Alternate  
SCALE 1/4" = 1'-0"



4 Interior Elevation - Alternate  
SCALE 1/4" = 1'-0"



1 First Floor Plan - Base Bid  
SCALE 1/4" = 1'-0"

Project Title

No.	Date	Revision	By
4			
3			
2	7/27/22	Addendum #2	dh
1	7/13/22	Issue for Pre-Bid	dh

Drawn By: dh  
Checked By: dh  
BDS Proj. #: 21-01  
Date: June 3, 2022

Sheet Title  
**FIRST FLOOR  
CONSTRUCTION  
PLAN AND  
ALTERNATE**

Sheet No.

**A100**

