

PROJECT CODE ANALYSIS

A: BUILDING DATA	PROPOSED
USE GROUP (SECTION 106.2, 106.3, 106.3.1)	GROUP F - CHILD DAY-CARE CENTER
TYPE OF CONSTRUCTION:	TYPE V-B
RISK CATEGORY:	TBO
SEISMIC DESIGN CATEGORY:	B
MAXIMUM BUILDING HEIGHT: PROPOSED BUILDING HEIGHT:	60'-0" (TABLE 504.3, WITH SPRINKLER SYSTEM) 22'-1" (TO TOP OF WING TIP ROOF)
ALLOWABLE NUMBER OF STORIES: PROPOSED NUMBER OF STORIES:	2 STORIES ABOVE GRADE (TABLE 504.4) 1 STORY ABOVE GRADE
ALLOWABLE FLOOR AREA: PROPOSED FLOOR AREA:	38,000 SF (TABLE 506.2) 17,000 SF
HIGH RISE: COVERED MALL: FULLY SUPPRESSED:	NO NO YES (AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1)

B: BUILDING ENVELOPE DESIGN CRITERIA	REQUIRED	PROPOSED
ROOFS: (INSULATION ENTIRELY ABOVE ROOF DECK)	R-30 _{ci}	R-30 _{ci}
WALLS: (METAL FRAMED)	R-13 + R-7.5 _{ci}	R-13 + R-7.5 _{ci}
SLAB-ON-GRADE FLOORS: (UNHEATED SLABS)	R-10 PERIMETER INSULATION UP TO 24" BELOW GRADE OR TO TOP OF FOOTING	R-10 PERIMETER INSULATION UP TO 24" BELOW GRADE OR TO TOP OF FOOTING
SLAB-ON-GRADE FLOORS: (HEATED SLABS)	R-15 PERIMETER INSULATION UP TO 24" BELOW GRADE OR TO TOP OF FOOTING + R-6 FULL SLAB	R-15 PERIMETER INSULATION UP TO 24" BELOW GRADE OR TO TOP OF FOOTING + R-6 FULL SLAB
VERTICAL FENESTRATION (U-FACTOR)	0.38	0.38
FIXED FENESTRATION	0.43	0.43
OPERABLE FENESTRATION	0.45	0.45
ENTRANCE DOORS	0.77	0.77
VERTICAL FENESTRATION (SHGC)	0.36	0.36
PF < 0.2	0.43	0.43
0.2 < PF < 0.5	0.58	0.58
PF > 0.5	0.58	0.58

THE MAXIMUM AIR LEAKAGE RATE FOR ALL TYPES OF FENESTRATION ASSEMBLIES AND THEIR TEST PROCEDURE, FROM AN INDEPENDENT AND ACCREDITED LABORATORY, SHALL FOLLOW SECTION C402.5.2 AND TABLE 402.5.2 OF THE EBCOCS.

NOTE: ALL VALUES INDICATED ABOVE ARE MINIMUM REQUIREMENTS FOR OUR CLIMATE ZONE (4A) BASED ON TABLE C402.1.3 AND C402.4 (2022 EBCOCS). ALL BUILDING ENVELOPE COMPONENTS SHALL MEET OR EXCEED MINIMUM REQUIREMENTS.

C: FIRE-RESISTANCE RATINGS FOR BUILDING ELEMENTS (TABLE 601)	REQUIRED
TYPE V-B CONSTRUCTION	
PRIMARY STRUCTURAL FRAME	0 HR
BEARING WALLS EXTERIOR INTERIOR	0 HR 0 HR 0 HR
NONBEARING WALLS AND PARTITIONS EXTERIOR (TABLE 602) *ALL FIRE SEPARATION GREATER THAN OR EQUAL TO 30'-0"	0 HR
INTERIOR *NOT LESS THAN FIRE-RESISTANCE RATING REQUIRED BY OTHER AREAS OF THE CODE	0 HR
FLOOR CONSTRUCTION ASSEMBLY	0 HR
ROOF CONSTRUCTION ASSEMBLY	0 HR

D: MEANS OF EGRESS	REQUIRED
OCCUPANT LOAD (TABLE 1004.5)	
DAY-CARE	12,238 NSF
BUSINESS	3,008 GSF
STORAGE / MEP	1,280 GSF
TOTAL	16,522 SF
CALCULATED OCCUPANT LOAD = 376 OCCUPANTS	
PROPOSED OCCUPANT LOAD = 383 OCCUPANTS	

E CHILD DAY-CARE	REQUIRED
EGRESS COMPONENT SIZE (SECTION 1005.3.2)	383 OCCUPANTS @ 8.15' = 31.5' TOTAL (WITH SPRINKLER SYSTEM)
NUMBER OF EXITS (TABLE 1006.2.1)	ONE EXIT <= 48 MAX OCCUPANT LOAD OF SPACE TWO EXITS > 48 MAX OCCUPANT LOAD OF SPACE
COMMON PATH OF TRAVEL (TABLE 1006.2.1)	75'-0" (WITH SPRINKLER SYSTEM)
MINIMUM DISTANCE BETWEEN RATED EXITS OR EXIT ACCESS DOORWAYS (SECTION 1007.1.1)	GREATER THAN OR EQUAL TO 1/3 OF THE LENGTH OF THE OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURED IN A STRAIGHT LINE BETWEEN THEM (WITH SPRINKLER SYSTEM)
EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2)	250'-0" (WITH SPRINKLER SYSTEM)
CORRIDOR FIRE-RESISTANCE RATING (TABLE 1020.1)	0 HR (WITH SPRINKLER SYSTEM)
MINIMUM CORRIDOR WIDTH (TABLE 1020.2)	<100 OCCUPANTS = 44" MINIMUM WIDTH >= 100 OCCUPANTS OR MORE = 72" MINIMUM WIDTH
MAXIMUM DEAD END (SECTION 1020.4)	50'-0" (WITH SPRINKLER SYSTEM)

PROJECT INFORMATION

PROJECT:	REGENERON CAMPUS EXPANSION CHILD DAY-CARE CENTER MOUNT PLEASANT, NY 10591
OWNER:	REGENERON PHARMACEUTICALS 777 OLD SAW MILL ROAD TARRYTOWN, NY 10591
ARCHITECT:	GENSLER 1705 BROADWAY SUITE 400 NEW YORK, NY 10019
ZONING DATA:	TOWN OF MOUNT PLEASANT WESTCHESTER COUNTY ZONE: CB-5 OFFICE BUSINESS DISTRICT TAX MAP: SECTION 16.15 (BLOCK 1) / LOT 2.1 REFER TO PROJECT ZONING ANALYSIS AND CIVIL DRAWINGS FOR REMAINING ZONING INFORMATION

PROJECT SUMMARY

REGENERON PHARMACEUTICALS INTENDS TO DEVELOP A PARCEL OF PROPERTY LOCATED ON THEIR NORTH CAMPUS IN TARRYTOWN, NEW YORK. THE SITE IS ADJACENT TO STATE HIGHWAY 52 / ROUTE 9A.

THE PROPOSED PROJECT IS A NEW GROUND-UP SINGLE-STORY CHILD DAY-CARE CENTER OF APPROXIMATELY 17,000 GROSS SF, APPROXIMATELY 5,000 SF OUTDOOR PLAY AREAS, AND NEW PARKING LOT FOR APPROXIMATELY 50 CARS.

APPLICABLE CODES

THE BUILDING CONSTRUCTION CONFORMS TO ALL APPLICABLE BUILDING CODES IN THE STATE OF NEW YORK.

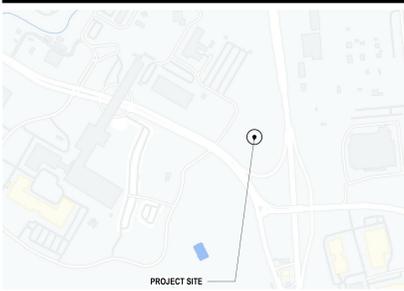
BUILDING CODE: 2020 BUILDING CODE OF NEW YORK STATE
PLUMBING CODE: 2020 PLUMBING CODE OF NEW YORK STATE
MECHANICAL CODE: 2020 MECHANICAL CODE OF NEW YORK STATE
FUEL GAS CODE: 2020 FUEL GAS CODE OF NEW YORK STATE
FIRE CODE: 2020 FIRE CODE OF NEW YORK STATE
ACCESSIBILITY CODE: ICC/ANSI A117.1 - 2009 ED & 2010 ADA
ENERGY CONSERVATION: 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE

TOWN OF MOUNT PLEASANT, NY CODES: 218-44, 218-99

VICINITY MAP (NTS)



AREA MAP (NTS)



DRAWING INDEX

SHEET NUMBER	SHEET NAME	06/20/2022 ISSUED FOR PERMIT	06/20/2022 100% CONSTRUCTION DOCUMENTS	07/01/2022 100% CONSTRUCTION DOCUMENTS-1	COMMENTS
0-GENERAL					
G-000	SHEET INDEX AND PROJECT INFORMATION	■	■	■	
G-001	GENERAL NOTES, ABBREVIATIONS, AND TYP MOUNTING HEIGHTS	■	■	■	
G-002	GRAPHIC SYMBOLS	○	○	○	
2-LIFE SAFETY					
LS-101	LIFE SAFETY PLAN - 1ST FLOOR	■	■	■	
7-ARCHITECTURE					
A-001	BUILDING PERSPECTIVES	■	■	■	
A-002	BUILDING PERSPECTIVES	■	■	■	
A-010	PARTITION TYPES AND SCHEDULES	■	■	■	
A-011	HEAD OF WALL DETAILS	■	■	■	
A-012	HEAD OF WALL DETAILS	■	■	■	
A-013	BOTTOM OF WALL DETAILS	■	■	■	
A-020	DOOR SCHEDULE AND DOOR TYPES	■	■	■	
A-051	SITE PLAN	■	■	■	
A-101	CONSTRUCTION PLAN - 1ST FLOOR	■	■	■	
A-102	CONSTRUCTION PLAN - ROOF (NORTH WING)	■	■	■	
A-103	CONSTRUCTION PLAN - ROOF (EAST WING)	■	■	■	
A-151	REFLECTED CEILING PLAN - 1ST FLOOR	■	■	■	
A-190	OVERALL BUILDING AXONOMETRICS	■	■	■	
A-200	OVERALL BUILDING ELEVATIONS	■	■	■	
A-300	OVERALL BUILDING SECTIONS	■	■	■	
A-310	WALL TYPES, ELEV AND SECTIONS - MAIN ENTRANCE	■	■	■	
A-311	WALL TYPES, ELEV AND SECTIONS - MAIN ENTRANCE	■	■	■	
A-312	WALL TYPES, ELEV AND SECTIONS - MAIN ENTRANCE	■	■	■	
A-320	WALL TYPES, ELEV AND SECTIONS - EAST WING	■	■	■	
A-321	WALL TYPES, ELEV AND SECTIONS - EAST WING	■	■	■	
A-322	WALL TYPES, ELEV AND SECTIONS - EAST WING	■	■	■	
A-323	WALL TYPES, ELEV AND SECTIONS - EAST WING	■	■	■	
A-330	WALL TYPES, ELEV AND SECTIONS - NORTH WING	■	■	■	
A-331	WALL TYPES, ELEV AND SECTIONS - NORTH WING	■	■	■	
A-340	EXTERIOR WALL DETAILS - MAIN ENTRANCE	■	■	■	
A-350	EXTERIOR WALL DETAILS - EAST WING	■	■	■	
A-351	EXTERIOR WALL DETAILS - EAST WING	■	■	■	
A-360	EXTERIOR WALL DETAILS - NORTH WING	■	■	■	
A-400	ENLARGED PLANS AND ELEV - LOBBY / RECEPTION	■	■	■	
A-401	ENLARGED PLANS AND ELEV - LOBBY / RECEPTION	■	■	■	
A-402	ENLARGED PLANS AND ELEV - INFANT / TODDLER CORRIDOR	■	■	■	
A-403	ENLARGED PLANS AND ELEV - INFANTS CLASSROOMS	■	■	■	
A-404	ENLARGED PLANS AND ELEV - TODDLER CLASSROOMS	■	■	■	
A-405	ENLARGED PLANS AND ELEV - PRESCHOOL CLASSROOMS	■	■	■	
A-406	ENLARGED PLANS AND ELEV - K-PREP CLASSROOMS	■	■	■	
A-407	ENLARGED PLANS AND ELEV - MOVEMENT MATTERS ZONE / INNOVATION STUDIO	■	■	■	
A-408	ENLARGED PLANS AND ELEV - STAFF LOUNGE / LRC / WARMING KITCHEN	■	■	■	
A-409	ENLARGED PLANS AND ELEV - PRESCHOOL / K-PREP CORRIDOR	■	■	■	
A-410	ENLARGED PLANS AND ELEV - BATHROOMS	■	■	■	
A-411	ENLARGED PLANS AND ELEV - EXTERIOR STAIRS	■	■	■	
A-412	ENLARGED PLAN - ROOF EQUIPMENT	■	■	■	
A-500	INTERIOR DETAILS - BASES AND TRANSITIONS	■	■	■	
A-510	INTERIOR DETAILS - CEILINGS	■	■	■	
A-520	INTERIOR DETAILS - MILLWORK	■	■	■	
A-521	INTERIOR DETAILS - MILLWORK	■	■	■	
A-590	INTERIOR DETAILS - MISC AND SPECIALTIES	■	■	■	
A-600	EXTERIOR FINISH AND WALL TYPE SCHEDULES	■	■	■	
A-601	INTERIOR FINISH SCHEDULE	■	■	■	
A-602	PLUMBING FIXTURES, TOILET ACCESSORIES, AND EQUIPMENT SCHEDULES	■	■	■	
A-701	AREA PLAN - 1ST FLOOR	■	■	■	
A-711	FINISH AND MILLWORK PLAN - 1ST FLOOR	■	■	■	



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Building #17
Campus Expansion Child Day-care Center

899 Old Saw Mill River Road
Mount Pleasant, NY 10591

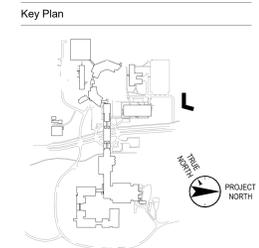
Project No. B17-DAYCARE
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No.	Date	Description
0	06.20.2022	ISSUED FOR PERMIT
1	06.20.2022	100% CONSTRUCTION DOCUMENTS
2	07.01.2022	100% CONSTRUCTION DOCUMENTS-1

Plot Date: 07.01.2022
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Professional Seal and Signature

Vendor Name: GENSLER
Vendor Project No.: 006.3608.000
Discipline: ARCHITECTURE Drawn By: GENSLER
SHEET INDEX AND PROJECT INFORMATION

Scale: 1/8" = 1'-0" Floor:

G-000