

Number	Minimum Slope	Maximum Slope	Area	Color
1	0.00%	15.00%	182,850.33	
2	15.00%	25.00%	28,215.04	Yellow
3	25.00%	35.00%	7,295.43	Orange
4	35.00%	Vertical	1,698.58	Red

**LEGEND**

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING WETLAND BUFFER
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING TREE AND DESIGNATION
- EXISTING TREE LINE
- EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- BORING LOCATION AND DESIGNATION
- PROPOSED LIMIT OF DISTURBANCE
- NOT IN CONTRACT AREA

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A SURVEY TITLED "TOPOGRAPHIC AND UTILITY SURVEY," PREPARED BY JMC PLLC, DATED 01/28/2021, LAST REVISED 06/04/2021.
  - SUBSURFACE UTILITIES SHOWN ARE COMPILATION OF PHYSICAL EVIDENCE, RECORD PLANS AND PARTIAL UTILITY MARK OUTFITS PERFORMED BY ACS UNDERGROUND SOLUTIONS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED - VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.
  - TREE SYMBOLS ARE SHOWN TO REPRESENT THE RELATIVE SIZE OF TREE STEMS AND ARE NOT INTENDED TO REPRESENT THE ACTUAL SIZE OF THE TREE CANOPY.
  - EXISTING WETLAND INFORMATION DEPICTED IN THIS PLAN HAVE BEEN TAKEN FROM A REPORT TITLED "WETLAND REPORT CONFIRMATION OF WETLAND AREA," DATED 01/21/2020 AND A REPORT TITLED "WETLAND DELINEATION REVIEW - REGENERON - MOUNT PLEASANT NORTH CAMPUS," DATED 05/28/2021, PREPARED BY EVANS ASSOCIATES ENVIRONMENTAL CONSULTING, INC.
  - GEOTECHNICAL BORING/TEST PIT LOCATIONS AND TABLES DEPICTED ON THIS PLAN WERE TAKEN FROM THE FOLLOWING INFORMATION PREPARED BY CARLIN-SIMPSON & ASSOCIATES:
    - (A) "MASTER BORING LOCATION PLAN - NORTH CAMPUS," DATED 07/29/2021.
    - (B) "REGENERON CAMPUS EXPANSION NORTH CAMPUS - NEW LOGISTICS BUILDING, STORMWATER & TEMPORARY CONSTRUCTION PARKING," DATED 06/11/2021.
    - (C) "PROPOSED REGENERON TT EXPANSION BUILDING I AND ATTACHED PARKING GARAGE," DATED 03/27/2021.
    - (D) "REGENERON CAMPUS EXPANSION SOUTH CAMPUS-DAYCARE CENTER STORMWATER UPDATES," DATED 04/08/2021.
    - (E) "REPORT ON PRELIMINARY SUBSURFACE SOIL INVESTIGATION," DATED 06/15/2016.
    - (F) "REPORT ON SUBSURFACE SOIL AND FOUNDATION INVESTIGATION," DATED 07/14/2021, REVISED 04/20/2022.

**REGENERON**  
REAL ESTATE & FACILITIES MANAGEMENT

777 Old Saw Mill River Road  
Tarrytown, NY 10591-6707  
T: 914.847.7400  
F: 914.847.7991  
www.regeneron.com

BUILDING #17  
CAMPUS EXPANSION CHILD DAY-CARE CENTER

899 OLD SAW MILL RIVER ROAD  
MOUNT PLEASANT, NY 10591  
Civil Engineer:

JMC Site Development Consultants  
120 Bedford Road  
Armonk, NY 10504  
914-273-5225  
www.jmcpllc.com

Attorney:

DeBello Donnellan Weingarten Wise & Wiederkehr, LLP  
One North Lexington Avenue, 11th Floor  
White Plains, New York 10601  
Phone: (914) 681-0200

Geotechnical Engineer:

Carlin-Simpson & Associates  
61 Main Street  
Sayreville, NJ 08872  
Phone: (732) 432-5757

Architect:

Gensler  
1700 Broadway, Suite 400  
New York, New York 10019  
Phone: (212) 492-1400  
Fax: (212) 492-1472  
Landscape Architect (Playground):  
Langan  
21 Penn Plaza, 360 West 31st Street, 8th Floor  
New York, New York 10001  
Phone: (212) 479-5400  
Fax: (212) 479-5444  
MEP/IT/Security Engineer:  
Cosentini Associates  
498 Seventh Avenue  
New York, New York 10018  
Phone: (212) 615-3600  
Fax: (212) 615-3700  
No. Date Description

No.	Date	Description
0	05/20/2022	ISSUED FOR PERMIT
1	08/20/2022	100% CONSTRUCTION DOCUMENTS
2	07/01/2022	100% CONSTRUCTION DOCUMENTS - 1

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Professional Seal and Signature

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 2209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 2209, SUBSECTION 2.

Vendor Name: JMC, PLLC  
Vendor Project No.: 20090-3  
Discipline: Civil  
Drawing Title: EXISTING CONDITIONS MAP  
Scale: 1" = 30'

C-010



777 Old Saw Mill River Road  
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BUILDING #17  
CAMPUS EXPANSION CHILD  
DAY-CARE CENTER

899 OLD SAW MILL RIVER ROAD  
MOUNT PLEASANT, NY 10591

Civil Engineer:  
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Wiederkehr, LLP  
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White Plains, New York 10601  
Phone: (914) 681-0200

Geotechnical Engineer:  
**CS** Carlin-Simpson & Associates  
61 Main Street  
Sayreville, NJ 08872  
Phone: (732) 432-5757

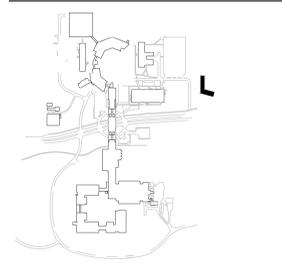
Architect:  
Gensler  
1700 Broadway, Suite 400  
New York, New York 10019  
Phone: (212) 492-1400  
Fax: (212) 492-1472

Landscape Architect (Playground):  
Langan  
21 Penn Plaza, 360 West 31st Street, 8th Floor  
New York, New York 10001  
Phone: (212) 479-5400  
Fax: (212) 479-5444

MEP/IT/Security Engineer:

Cosentini Associates  
498 Seventh Avenue  
New York, New York 10018  
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No. Date Description



No.	Date	Description
0	05/20/2022	ISSUED FOR PERMIT
1	06/20/2022	100% CONSTRUCTION DOCUMENTS
2	07/01/2022	100% CONSTRUCTION DOCUMENTS - 1

TOWN OF MOUNT PLEASANT, NY/PART II, GENERAL  
LEGISLATION  
CHAPTER 201 – TREES

TREE:  
ANY WOODY PLANT HAVING AT LEAST ONE  
WELL-DEFINED TRUNK AT LEAST FOUR INCHES IN  
DIAMETER MEASURED AT A HEIGHT OF FOUR FEET  
ABOVE THE NATURAL GRADE AND HAVING A  
CLEARLY DEFINED CROWN.

- SPECIMEN TREE:
- ANY TREE IN FAIR OR BETTER CONDITION WHICH EQUALS OR EXCEEDS THE FOLLOWING DIAMETER SIZES:
    - LARGE HARDWOODS, E.G., OAKS, HICKORIES, SWEETGUMS, ETC.; 30 INCHES DBH.
    - ALRGE SOFTWOODS, E.G., PINES, ETC.: 36 INCHES DBH
    - SMALL TREES, E.G., DOGWOODS, REDBUDS, SOURWOODS, ETC.: 12 INCHES DBH.
  - A TREE IN FAIR OR BETTER CONDITION MUST MEET THE FOLLOWING MINIMUM STANDARDS:
    - A LIFE EXPECTANCY OF GREATER THAN 15 YEARS.
    - A RELATIVELY SOUND AND SOLID TRUNK WITH NO EXTENSIVE DECAY OR HOLLOW AND LESS THAN 20% RADIAL TRUNK DIEBACK.
    - NO MORE THAN ONE MAJOR AND SEVERAL MINOR DEAD LIMBS (HARDWOODS ONLY).
    - NO MAJOR INSECT OR PATHOLOGICAL PROBLEM.
  - A LESSER-SIZE TREE CAN BE CONSIDERED A SPECIMEN IF IT IS A RARE OR UNUSUAL SPECIES, OF EXCEPTIONAL QUALITY OR OF HISTORICAL SIGNIFICANCE.
  - A LESSER-SIZE TREE CAN BE CONSIDERED A SPECIMEN IF IT IS SPECIFICALLY USED BY A BUILDER, DEVELOPER OR DESIGN PROFESSIONAL AS A FOCAL POINT IN A PROJECT OR LANDSCAPE.

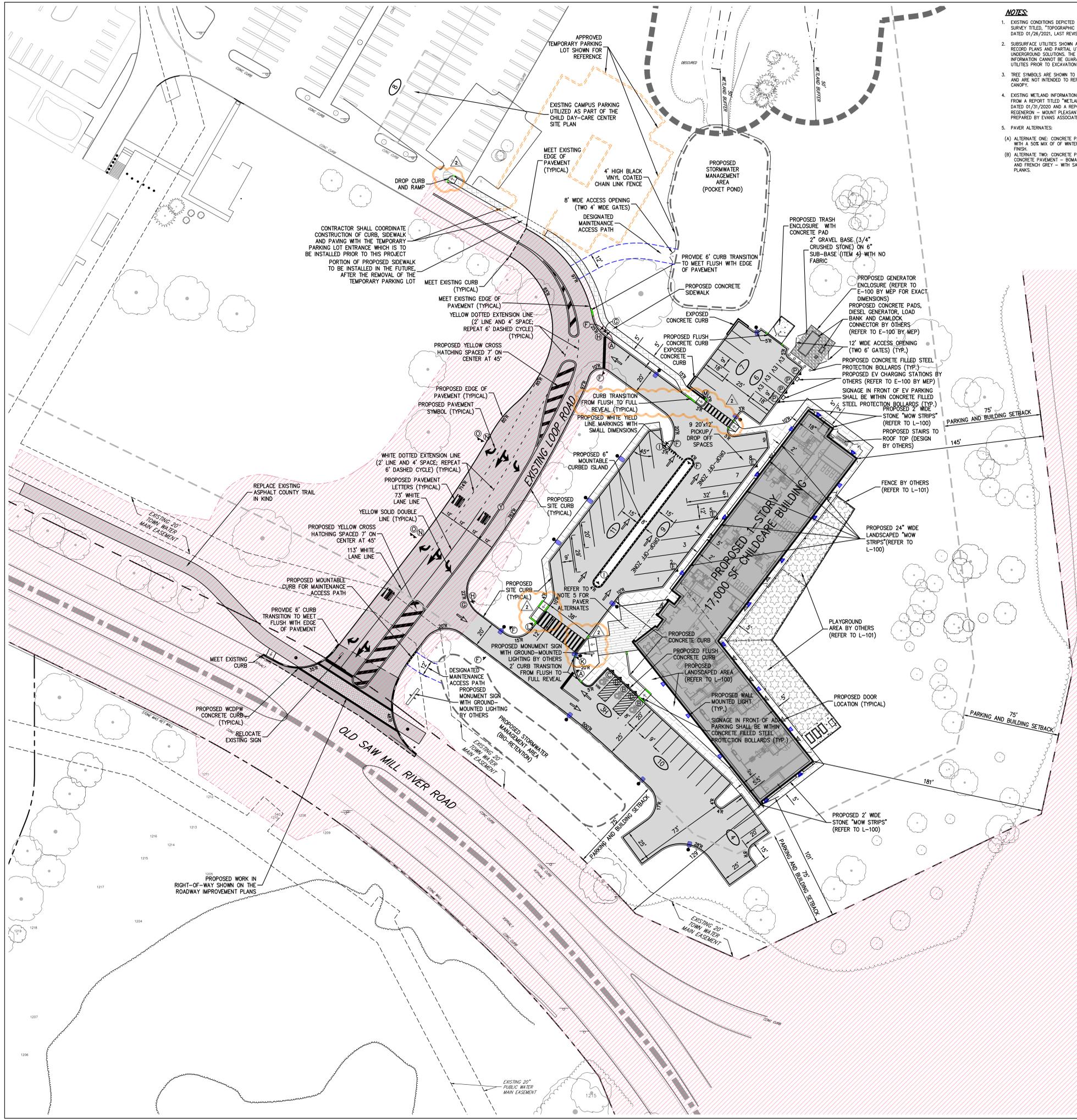
SPECIMEN TREES 191  
26 SPECIMEN TREES WERE IDENTIFIED. OUT OF THOSE, 10 ARE PROPOSED TO BE REMOVED.

TREE CHART			
ID	NAME	SIZE (INCHES)	STATUS
1	MAPLE	12	REMOVE
2	PINE	22	REMOVE
3	PINE	16	REMOVE
4	PINE	8	REMOVE
5	MAPLE	10 & 6	REMOVE
6	MAPLE	8 & 6	REMOVE
7	PINE	10	REMOVE
8	PINE	12	REMOVE
9	MAPLE	12	REMOVE
10	PINE	16	REMOVE
11	PINE	8	REMOVE
12	MAPLE	16	REMOVE
13	APPLE	8	REMOVE
14	MAPLE	20	REMOVE
15	PINE	18	REMOVE
16	PINE	18	REMOVE
17	PINE	10	REMOVE
18	PINE	24	REMOVE
19	PINE	18	REMOVE
20	BOX ELDER	26, 14 & 8	REMOVE
21	ASH	12	REMOVE
22	MAPLE	20	REMOVE
23	MAPLE	12	REMOVE
24	BOX ELDER	12	REMOVE
25	COTTONWOOD	26	REMOVE
26	BOX ELDER	12	REMOVE
27	BOX ELDER	20	REMOVE
28	BOX ELDER	10	REMOVE
29	BOX ELDER	16	REMOVE
30	BOX ELDER	36	REMOVE
31	BOX ELDER	24	REMOVE
32	BOX ELDER	12	REMOVE
33	BOX ELDER	12	REMOVE
34	COTTONWOOD	22	REMOVE
35	COTTONWOOD	24	REMOVE
36	SYCAMORE	14	REMOVE
37	COTTONWOOD	22	REMOVE
38	MAPLE	8	REMOVE
39	COTTONWOOD	28	REMOVE
40	BOX ELDER	8	REMOVE
41	SYCAMORE	14	REMOVE
42	COTTONWOOD	32	REMOVE
43	MAPLE	16	REMOVE
44	MAPLE	8	REMOVE
45	COTTONWOOD	16	REMOVE
46	APPLE	8	REMOVE
47	MAPLE	16	REMOVE
48	MAPLE	12	REMOVE
49	MAPLE	20	REMOVE
50	CHERRY	8	REMOVE
51	COTTONWOOD	16	REMOVE
52	APPLE	8 MU	REMOVE
53	COTTONWOOD	32	REMOVE
54	CHERRY	20	REMOVE
55	COTTONWOOD	12	REMOVE
56	COTTONWOOD	22	REMOVE
57	ASH	12	REMOVE
58	COTTONWOOD	28	REMOVE
59	BOX ELDER	8	REMOVE
60	COTTONWOOD	14	REMOVE
61	COTTONWOOD	12	REMOVE
62	COTTONWOOD	26	REMOVE
63	CHERRY	12	REMOVE
64	MAPLE	16	REMOVE
65	CHERRY	14	REMOVE
66	CHERRY	16	REMOVE
67	BOX ELDER	16	REMOVE
68	BOX ELDER	24	REMAIN
69	BUTTER NUT	20	REMAIN
70	DECIDUOUS	8	REMAIN
71	MAPLE	16	REMAIN
72	COTTONWOOD	10	REMAIN
73	MAPLE	12	REMAIN
74	COTTONWOOD	24 & 22	REMAIN
75	COTTONWOOD	20	REMAIN

TREE CHART			
ID	NAME	SIZE (INCHES)	STATUS
76	COTTONWOOD	36	REMOVE
77	COTTONWOOD	26	REMOVE
78	COTTONWOOD	24	REMOVE
79	COTTONWOOD	38	REMAIN
80	COTTONWOOD	22	REMAIN
81	MAPLE	10	REMOVE
82	MAPLE	10	REMOVE
83	MAPLE	8	REMOVE
84	PINE	16	REMOVE
85	MAPLE	14	REMOVE
86	MAPLE	12	REMOVE
87	MAPLE	8	REMOVE
88	MAPLE	10	REMOVE
89	MAPLE	12	REMOVE
90	ASH	8	REMOVE
91	MAPLE	10	REMOVE
92	PINE	10	REMOVE
93	MAPLE	10	REMOVE
94	MAPLE	22	REMOVE
95	MAPLE	8	REMOVE
96	MAPLE	10	REMOVE
97	MAPLE	12	REMOVE
98	MAPLE	10	REMOVE
99	MAPLE	8	REMOVE
100	PINE	8	REMOVE
101	MAPLE	8	REMOVE
102	MAPLE	10	REMOVE
103	MAPLE	8	REMOVE
104	MAPLE	14	REMOVE
105	MAPLE	16	REMOVE
106	APPLE	12	REMOVE
107	APPLE	8	REMOVE
108	BOX ELDER	12	REMOVE
109	COTTONWOOD	8	REMOVE
110	ELM	12	REMOVE
111	COTTONWOOD	12	REMOVE
112	COTTONWOOD	26	REMOVE
113	COTTONWOOD	34	REMOVE
114	MAPLE	16	REMOVE
115	COTTONWOOD	18	REMOVE
116	COTTONWOOD	20	REMOVE
117	COTTONWOOD	14	REMOVE
118	MAPLE	40 MU	REMOVE
119	MAPLE	24	REMAIN
120	MAPLE	16	REMAIN
121	MAPLE	16	REMAIN
122	MAPLE	14	REMAIN
123	MAPLE	20	REMAIN
124	MAPLE	22	REMAIN
125	MAPLE	28	REMAIN
126	DECIDUOUS	12	REMAIN
127	MAPLE	20	REMAIN
128	APPLE	10	REMAIN
129	MAPLE	24	REMOVE
130	DECIDUOUS	12	REMOVE
131	COTTONWOOD	26	REMOVE
132	COTTONWOOD	26	REMOVE
133	COTTONWOOD	28	REMOVE
134	COTTONWOOD	28	REMOVE
135	COTTONWOOD	24	REMOVE
136	MAPLE	18	REMOVE
137	MAPLE	14	REMOVE
138	MAPLE	18	REMAIN
139	MAPLE	10	REMAIN
140	CHERRY	14	REMAIN
141	CHERRY	18	REMAIN
142	CHERRY	8	REMAIN
143	MAPLE	10 & 10	REMAIN
144	MAPLE	24	REMAIN
145	MAPLE	16 & 10	REMAIN
146	MAPLE	12	REMAIN
147	MAPLE	14	REMAIN
148	MAPLE	10	REMAIN
149	CHERRY	8	REMAIN
150	MAPLE	22 & 10	REMAIN

TREE CHART			
ID	NAME	SIZE (INCHES)	STATUS
151	MAPLE	18	REMAIN
152	MAPLE	18	REMAIN
153	MAPLE	22	REMAIN
154	MAPLE	18	REMAIN
155	MAPLE	24	REMAIN
156	MAPLE	18	REMAIN
157	MAPLE	24	REMAIN
158	MAPLE	30	REMAIN
159	BEECH	30	REMAIN
160	BEECH	36	REMAIN
161	OAK	48	REMAIN
162	OAK	42	REMOVE
163	MAPLE	28	REMOVE
164	MAPLE	24	REMOVE
165	MAPLE	22	REMAIN
166	MAPLE	24	REMAIN
167	MAPLE	28	REMAIN
168	BEECH	38	REMAIN
169	BEECH	30	REMAIN
170	SYCAMORE	56	REMAIN
171	SYCAMORE	42	REMAIN
172	SYCAMORE	32	REMAIN
173	SYCAMORE	26	REMAIN
174	SYCAMORE	36	REMAIN
175	SYCAMORE	24	REMAIN
176	SYCAMORE	28	REMAIN
177	SYCAMORE	24	REMAIN
178	SYCAMORE	32	REMOVE
179	MAPLE	16	REMOVE
180	MAPLE	10	REMOVE
181	MAPLE	24	REMOVE
182	BOX ELDER	10	REMOVE
183	BOX ELDER	12 & 10	REMOVE
184	BOX ELDER	12	REMOVE
185	MAPLE	24	REMOVE
186	MAPLE	10	REMOVE
187	MAPLE	18	REMOVE
188	CHERRY	12 & 12	REMOVE
189	MAPLE	14	REMOVE
190	MAPLE	14	REMOVE
191	MAPLE	16	REMAIN
192	MAPLE	8 & 8	REMAIN
193	MAPLE	10	REMOVE
194	MAPLE	8	REMOVE
195	MAPLE	28	REMOVE
196	MAPLE	18	REMOVE
197	MAPLE	12	REMOVE
198	MAPLE	16	REMOVE
199	MAPLE	28	REMOVE
200	MAPLE	8	REMOVE
201	MAPLE	12	REMOVE
202	MAPLE	10	REMAIN
203	MAPLE	10	REMAIN
204	CHERRY	14	REMAIN
205	MAPLE	20	REMAIN
206	MAPLE	18	REMAIN
207	MAPLE	12	REMAIN
208	MAPLE	16	REMAIN
209	MAPLE	22	REMAIN
210	CHERRY	8	REMAIN
211	MAPLE	16	REMAIN
212	CHERRY	16	REMAIN
213	MAPLE	24	REMAIN
214	DECIDUOUS	10 & 8	REMAIN
215	TREE OF HEAVEN	8	REMAIN
216	MAPLE	8	REMAIN
217	CHERRY	16	REMAIN
218	DECIDUOUS	10 & 8	REMAIN
219	MAPLE	10	REMOVE
220	MAPLE	8 & 8	REMAIN
221	MAPLE	10 & 10	REMAIN
222	CHERRY	12	REMAIN
223	MAPLE	8	REMAIN
224	MAPLE	8	REMAIN
225	MAPLE	10	REMAIN

TREE CHART			
ID	NAME	SIZE (INCHES)	STATUS
226	MAPLE	32	REMAIN
227	ELM	10	REMAIN
228	MAPLE	12	REMOVE
229	MAPLE	32	REMAIN
230	MAPLE	24	REMAIN
231	MAPLE	34	REMOVE
232	MAPLE	26	REMOVE
233	APPLE	12	REMOVE
234	APPLE	8	REMOVE
235	MAPLE	40	REMAIN
236	MAPLE	14	REMAIN
237	MAPLE	8	REMAIN
238	MAPLE	30	REMOVE
239	MAPLE	16, 14 & 14	REMOVE
240	MAPLE	30	REMOVE
241	MAPLE	8	REMOVE
242	MAPLE	40 & 10	REMOVE
243	COTTONWOOD	22	REMOVE
244	COTTONWOOD	16	REMOVE
245	COTTONWOOD	18	REMOVE
246	COTTONWOOD	24	REMOVE
247	COTTONWOOD	28	REMOVE
248	COTTONWOOD	18	REMOVE
249	COTTONWOOD	26	REMAIN
250	MAPLE	8	REMAIN
251	MAPLE	18	REMAIN
252	MAPLE	18 & 14	REMAIN
253	MAPLE	14	REMAIN
254	MAPLE	10	REMAIN
255	MAPLE	24	REMAIN
256	MAPLE	22 & 16	REMAIN
257	MAPLE	16	REMAIN
258	MAPLE	32	REMAIN
259	MAPLE	12	REMAIN
260	MAPLE	14	REMAIN
261	MAPLE	12 & 6	REMAIN
262	TREE OF HEAVEN	38	REMAIN
263	MAPLE	18	REMOVE
264	MAPLE	22	REMOVE
265	SYCAMORE	10	REMOVE
266	SYCAMORE	26	REMOVE
267	MAPLE	16	REMOVE
268	MAPLE	18	REMOVE
269	MAPLE	12	REMOVE
270	PINE	24	REMOVE
271	MAPLE	12	REMOVE
272	ELM	8	REMOVE
273	BOX ELDER	14	REMOVE
274	PINE	30	REMOVE
275	MAPLE	16	REMOVE
276	PINE	16	REMOVE
277	MAPLE	14, 12 & 10	REMOVE
278	SYCAMORE	16	REMOVE
279	CHERRY	20	REMOVE
280	PINE	30	REMOVE
281	MAPLE	12 & 10	REMOVE
282	PINE	24	REMOVE
283	MAPLE	18	REMOVE
284	PINE	20	REMOVE
285	PINE	24	REMOVE
286	PINE	22	REMOVE
287	PINE	26	REMOVE
288	APPLE	8 & 8	REMOVE
289	MAPLE	16	REMOVE
290	PINE	12	REMAIN
291	PINE	22	REMAIN
292	PINE	16	REMAIN
293	PINE	18	REMAIN
294	PINE	20	REMAIN
295	PINE	20	REMOVE
296	PINE	26	REMOVE
297	CHERRY	12	REMOVE
298	CHERRY	14	REMOVE
299	APPLE</		



- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A SURVEY TITLED, "TOPOGRAPHIC AND UTILITY SURVEY," PREPARED BY JMC PLLC, DATED 01/28/2021, LAST REVISED 06/04/2021.
  - SUBSURFACE UTILITIES SHOWN ARE COMPILED FROM PHYSICAL EVIDENCE, RECORD PLANS AND PARTIAL UTILITY MARK OUTS PERFORMED BY ACS UNDERGROUND SOLUTIONS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.
  - TREE SYMBOLS ARE SHOWN TO REPRESENT THE RELATIVE SIZE OF TREE STEMS AND ARE NOT INTENDED TO REPRESENT THE ACTUAL SIZE OF THE TREE CANOPY.
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  - PAVER ALTERNATES:
    - ALTERNATE ONE: CONCRETE PAVERS SHALL BE UNLOCK ARTLINE PAVERS, WITH A 50% MIX OF WINTER MARVEL AND FRENCH GREY IN UMBRIANO FINISH.
    - ALTERNATE TWO: CONCRETE PAVEMENT SHALL BE POURED CONCRETE PAVEMENT - BOMANITE SANDSCAPE FINISH, MIX OF NICKEL GREY AND FRENCH GREY - WITH SAWCUT SCORING IN 3-FT WIDE BY 8-FT LONG PLANKS.

**LEGEND**

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING EASEMENT LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING TREE AND DESIGNATION
	EXISTING DIRECTIONAL ARROWS
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED SITE CONCRETE CURB
	PROPOSED FLUSH CONCRETE CURB
	PROPOSED MOUNTABLE CURB
	PROPOSED DROP CURB & RAMP
	PROPOSED SAWCUT LINE
	PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED ELECTRIC VEHICLE CHARGING PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED CONCRETE SIDEWALK
	PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
	PROPOSED SITE PAVEMENT
	PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	PROPOSED WALL MOUNTED LIGHT (DESIGN BY OTHERS)
	TRAFFIC SIGN LOCATION & DESIGNATION
	PEDESTRIAN CROSSING
	NOT IN CONTRACT AREA
	VINYL COATED CHAIN LINK FENCE

**SIGN TABLE**

DESIGNATION NUMBER	SIGN	SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REGULATORY	SELECTED
A	STOP	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X
B	RESERVED PARKING	12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8	X
C	RESERVED PARKING	12"x18" 12"x6"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8 R7-8A	X
D	NO PARKING ANY TIME	12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYP1-2	X
E	NO PARKING ANY TIME	12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYP1-11 (MODIFIED)	X
F	NO PARKING ANY TIME	30"x30"	RED ON WHITE	STEEL CHANNEL	7'-0"	R5-1	X
G	ONE WAY	36"x12"	WHITE ARROW ON BLACK	STEEL CHANNEL	7'-0"	R6-1R	X
H	ONE WAY	36"x12"	WHITE ARROW ON BLACK	STEEL CHANNEL	7'-0"	R6-1L	X
I	TRUCK HEAD ON	36"x36"x36"	RED ON WHITE	STEEL CHANNEL	7'-0"	R1-2	X
J	TRUCK HEAD ON	30"x30"	BLACK ON YELLOW	STEEL CHANNEL	5'-0"	W12-1	X
K	TRUCK HEAD ON	30"x30" 24"x12"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W1-2 W6-7FL	X
L	TRUCK HEAD ON	30"x30" 24"x12"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W1-2 W16-7PR	X
M	RIGHT TURN ONLY	24"x30"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	NYR3-20	X
N	RIGHT TURN ONLY	24"x8" 24"x30"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	NYR7-7P (MODIFIED) R3-5L	X
O	RIGHT TURN ONLY	36"x8" 36"x30"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	NYR7-7P (MODIFIED) NYR3-62	X
P	RESERVED PARKING	12"x18"	WHITE ON GREEN	STEEL CHANNEL	7'-0"		X

**REGENERON**  
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BUILDING #17  
CAMPUS EXPANSION CHILD DAY-CARE CENTER

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Civil Engineer:

Site Development Consultants  
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One North Lexington Avenue, 11th Floor  
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Phone: (914) 681-0200

Geotechnical Engineer:

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61 Main Street  
Sayreville, NJ 08872  
Phone: (732) 432-5757

Architect:

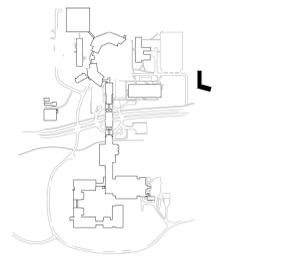
Gensler  
1700 Broadway, Suite 400  
New York, New York 10019  
Phone: (212) 492-1400  
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Landscape Architect (Playground):

Langan  
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MEP/IT/Security Engineer:

Cosentini Associates  
498 Seventh Avenue  
New York, New York 10018  
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Fax: (212) 615-3700

No. Date Description



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Vendor Name: JMC, PLLC  
Vendor Project No.: 20090-3  
Discipline: Civil  
Drawing Title: LAYOUT PLAN

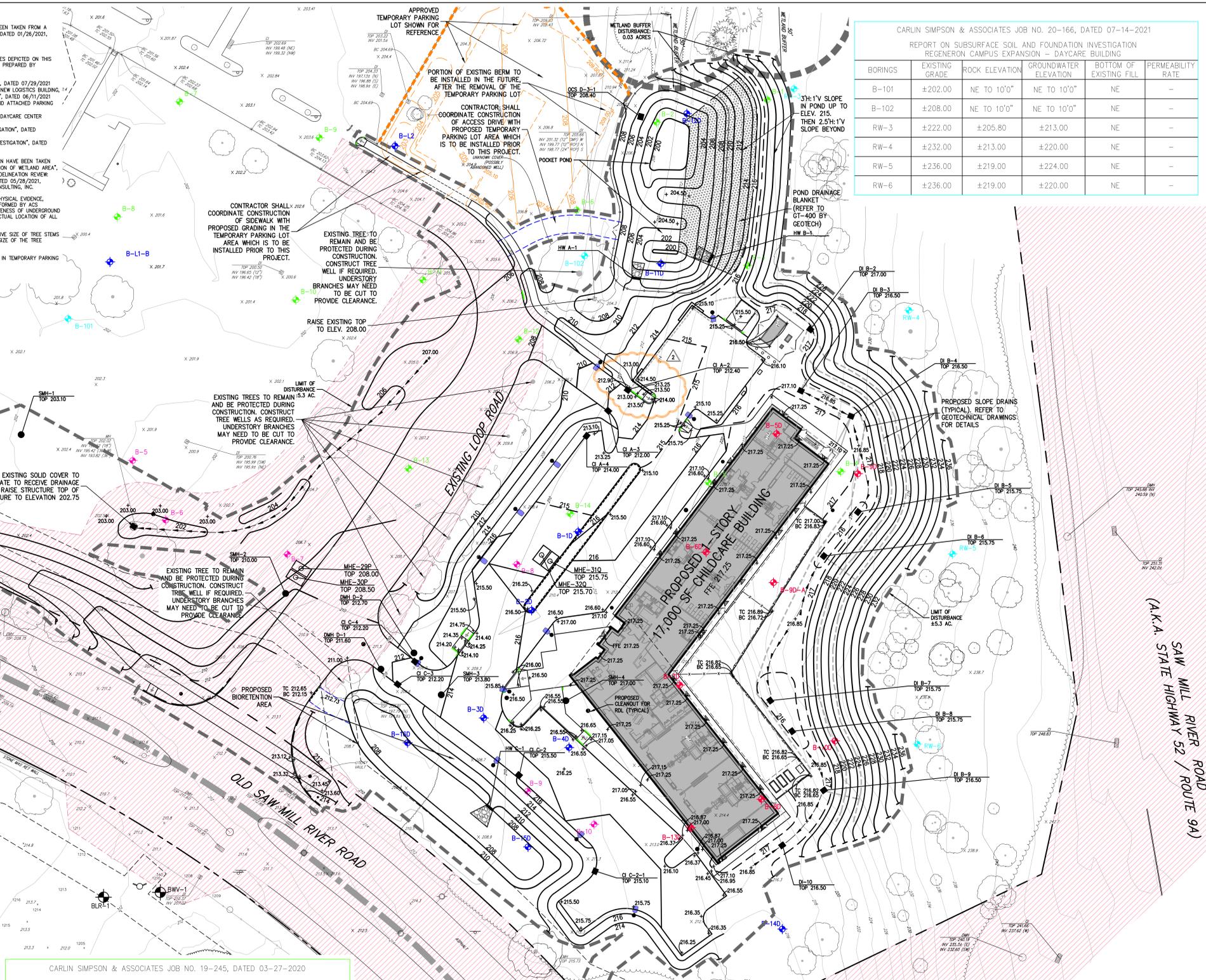
Scale: 1" = 30'

**C-100**

**LEGEND**

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING WETLAND BUFFER
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DROP CURB AND RAMP
- PROPOSED FINISHED GRADE
- PROPOSED SPOT GRADE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED TYPE CI DRAIN INLET
- PROPOSED TYPE DI DRAIN INLET
- PROPOSED HEADWALL
- PROPOSED RIP-RAP
- PROPOSED SWALE
- PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
- BORING LOCATION AND DESIGNATION
- PROPOSED LIMIT OF DISTURBANCE

- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A SURVEY TITLED, "TOPOGRAPHIC AND UTILITY SURVEY, DATED 01/26/2021, LAST REVISED 06/04/2021, PREPARED BY JMC PLLC.
  - GEOTECHNICAL BORING/TEST PIT LOCATIONS AND TABLES DEPICTED ON THIS PLAN WERE TAKEN FROM THE FOLLOWING INFORMATION PREPARED BY CARLIN-SIMPSON & ASSOCIATES:
    - "MASTER BORING LOCATION PLAN - NORTH CAMPUS", DATED 07/29/2021
    - "REGENERON CAMPUS EXPANSION NORTH CAMPUS - NEW LOGISTICS BUILDING, STORMWATER & TEMPORARY CONSTRUCTION PARKING", DATED 06/11/2021
    - "PROPOSED REGENERON TT EXPANSION BUILDING 1 AND ATTACHED PARKING GARAGE", DATED 03/27/2021
    - "REGENERON CAMPUS EXPANSION SOUTH CAMPUS - DAYCARE CENTER STORMWATER UPDATE", DATED 04/08/2021
    - "REPORT ON PRELIMINARY SUBSURFACE SOIL INVESTIGATION", DATED 06/15/2016
    - "REPORT ON SUBSURFACE SOIL AND FOUNDATION INVESTIGATION", DATED 07/14/2021, REVISED 04/20/2022.
  - EXISTING WETLAND INFORMATION DEPICTED IN THIS PLAN HAVE BEEN TAKEN FROM A REPORT TITLED "WETLAND REPORT CONFIRMATION OF WETLAND AREA", DATED 01/31/2020 AND A REPORT TITLED "WETLAND DELINEATION REVIEW: REGENERON - MOUNT PLEASANT NORTH CAMPUS", DATED 05/29/2021, PREPARED BY EVANS ASSOCIATES ENVIRONMENTAL CONSULTING, INC.
  - SUBSURFACE UTILITIES SHOWN ARE COMPILATION OF PHYSICAL EVIDENCE, RECORD PLANS AND PARTIAL UTILITY MARK OUTS PERFORMED BY ACS UNDERGROUND SOLUTIONS. THE LOCATION OF COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.
  - TREE SYMBOLS ARE SHOWN TO REPRESENT THE RELATIVE SIZE OF TREE STEMS AND ARE NOT INTENDED TO REPRESENT THE ACTUAL SIZE OF THE TREE CANOPY.
  - ADJUST RIM ELEVATIONS OF ALL CASTINGS TO REMAIN IN TEMPORARY PARKING LOT CONSTRUCTION AREAS AS REQUIRED.



CARLIN SIMPSON & ASSOCIATES JOB NO. 20-166, DATED 07-14-2021

REPORT ON SUBSURFACE SOIL AND FOUNDATION INVESTIGATION  
REGENERON CAMPUS EXPANSION - DAYCARE BUILDING

BORINGS	EXISTING GRADE	ROCK ELEVATION	GROUNDWATER ELEVATION	BOTTOM OF EXISTING FILL	PERMEABILITY RATE
B-101	±202.00	NE TO 10'0"	NE TO 10'0"	NE	-
B-102	±208.00	NE TO 10'0"	NE TO 10'0"	NE	-
RW-3	±222.00	±205.80	±213.00	NE	-
RW-4	±232.00	±213.00	±220.00	NE	-
RW-5	±236.00	±219.00	±224.00	NE	-
RW-6	±236.00	±219.00	±220.00	NE	-

CARLIN SIMPSON & ASSOCIATES JOB NO. 20-166, DATED 04-08-2021

REGENERON CAMPUS EXPANSION NORTH CAMPUS - DAYCARE CENTER STORMWATER UPDATE

BORINGS	EXISTING GRADE	ROCK ELEVATION	GROUNDWATER ELEVATION	BOTTOM OF EXISTING FILL	PERMEABILITY RATE
B-1D	±211.20	AR @ ±204.20	±210.70	NONE ENCOUNTERED	-
B-2D	±209.70	NE TO 9'0"	±209.20	NONE ENCOUNTERED	-
B-3D	±208.80	NE TO 9'0"	±206.30	NONE ENCOUNTERED	-
B-4D	±212.00	NE TO 9'0"	±207.00	NONE ENCOUNTERED	0.125 IN/HR
B-11D	±211.80	NE TO 12'0"	±205.80	NONE ENCOUNTERED	-
B-12D	±211.60	NE TO 12'0"	±205.60	NONE ENCOUNTERED	-
B-14D	±216.00	NE TO 9'0"	±211.00	NONE ENCOUNTERED	8.0 IN/HR
B-15D	±210.00	NE TO 9'0"	±205.50	NONE ENCOUNTERED	0.25 IN/HR
B-16D	±208.00	NE TO 9'0"	±205.80	NONE ENCOUNTERED	-

CARLIN SIMPSON & ASSOCIATES JOB NO. 15-83, DATED 06-15-2016

REPORT ON PRELIMINARY SUBSURFACE SOIL INVESTIGATION  
THE LANDMARK AT EASTVIEW REDEVELOPMENT NEW STORM WATER SYSTEM

BORINGS	EXISTING GRADE	ROCK ELEVATION	GROUNDWATER ELEVATION	BOTTOM OF EXISTING FILL	PERMEABILITY RATE
B-1	±202.00	NONE ENCOUNTERED	N/E TO 8'0"	6'0" (±196.00)	0.0 IN/HR
B-2	±202.00	NONE ENCOUNTERED	N/E TO 8'0"	NONE ENCOUNTERED	1.0 IN/HR
B-3	±202.00	NONE ENCOUNTERED	N/E TO 8'0"	NONE ENCOUNTERED	12.0 IN/HR
B-4	±202.00	NONE ENCOUNTERED	N/E TO 8'0"	NONE ENCOUNTERED	2.0 IN/HR
B-5	±202.00	NONE ENCOUNTERED	N/E TO 8'0"	NONE ENCOUNTERED	14.0 IN/HR
B-6	±202.00	NONE ENCOUNTERED	5'6" (±196.5)	NONE ENCOUNTERED	2.0 IN/HR
B-7	±206.00	NONE ENCOUNTERED	7'0" (±199.00)	5'0" (±201.00)	1.0 IN/HR
B-8	±208.00	NONE ENCOUNTERED	N/E TO 7'0"	NONE ENCOUNTERED	0.5 IN/HR
B-9	±210.00	NONE ENCOUNTERED	9'0" (±201.00)	NONE ENCOUNTERED	0.0 IN/HR
B-10	±210.00	NONE ENCOUNTERED	9'0" (±201.00)	5'0" (±205.00)	0.25 IN/HR
B-11	±202.00	NONE ENCOUNTERED	N/E TO 5'0"	3'6" (±198.50)	1.0 IN/HR
B-12	±202.00	NONE ENCOUNTERED	N/E TO 4'0"	3'6" (±198.50)	0.5 IN/HR
B-13	±200.00	NONE ENCOUNTERED	8'1" (±192.00)	8'0" (±192.00)	1.5 IN/HR
B-14	±200.00	NONE ENCOUNTERED	N/E TO 8'0"	2'6" (±197.50)	9.0 IN/HR

CARLIN SIMPSON & ASSOCIATES JOB NO. 19-245, DATED 03-27-2020

REGENERON TT CAMPUS EXPANSION BUILDING 1 AND ATTACHED PARKING GARAGE

BORINGS	EXISTING GRADE	ROCK ELEVATION	GROUNDWATER ELEVATION	BOTTOM OF EXISTING FILL	PERMEABILITY RATE
B-1	±224.00	AR @ ±195.50	10'0" (±214.00)	NONE ENCOUNTERED	-
B-2	±210.00	AR @ ±183.75	6'6" (±203.50)	NONE ENCOUNTERED	-
B-3	±222.00	AR @ ±200.50 AR @ ±201.50	10'0" (±212.00)	NONE ENCOUNTERED	-
B-4	±230.00	AR @ ±214.00	13'0" (±217.00)	NONE ENCOUNTERED	-
B-5	±221.00	C @ ±218.00	NWR	NONE ENCOUNTERED	-
B-6	±207.00	AR @ ±186.00	8'0" (±199.00)	2'6" (±204.50)	-
B-7	±202.00	CWR @ ±177.00	8'6" (±193.50)	2'0" (±200.00)	-
B-8	±201.50	CWR @ ±176.00	7'6" (±194.00)	1'6" (±200.00)	-
B-9	±203.50	AR @ ±172.75	8'6" (±195.00)	NONE ENCOUNTERED	-
B-10	±201.50	AR @ ±179.50	5'0" (±196.50)	NONE ENCOUNTERED	-
B-11	±204.50	NE TO 27'0"	6'0" (±198.50)	NONE ENCOUNTERED	-
B-12	±207.00	AR @ ±180.75	5'6" (±201.50)	2'6" (±204.50)	-
B-13	±207.00	NE TO 22'0"	9'0" (±198.00)	3'0" (±204.00)	-
B-14	±212.00	CWR @ ±205.00 C @ ±204.00	6'0" (±210.00)	2'0" (±210.00)	-

CARLIN SIMPSON & ASSOCIATES JOB NO. 20-166, DATED 06-11-2021

REGENERON CAMPUS EXPANSION NORTH CAMPUS - NEW LOGISTICS BUILDING, STORMWATER & TEMPORARY CONSTRUCTION PARKING

BORINGS	EXISTING GRADE	ROCK ELEVATION	GROUNDWATER ELEVATION	BOTTOM OF EXISTING FILL	PERMEABILITY RATE
B-L1-A	±199.00	CWR @ ±184.00 AR @ ±183.00	±189.50	3'6" (±189.50)	-
B-L1-B	±201.00	CWR @ ±185.50 AR @ ±185.00	±191.00	NONE ENCOUNTERED	-
B-L5-A	±195.00	NONE ENCOUNTERED	±188.00	5'6" (±189.50)	-
B-L5-B	±197.00	CWR @ ±188.00 AR @ ±185.50	NONE ENCOUNTERED	5'0" (±192.00)	-
B-LG-A	±203.00	NONE ENCOUNTERED	NONE ENCOUNTERED	NONE ENCOUNTERED	-
B-LG-B	±204.00	NONE ENCOUNTERED	NONE ENCOUNTERED	NONE ENCOUNTERED	-
B-LG-C	±203.00	NONE ENCOUNTERED	NONE ENCOUNTERED	NONE ENCOUNTERED	-
B-LG-D	±203.00	NONE ENCOUNTERED	NONE ENCOUNTERED	NONE ENCOUNTERED	0.81 IN/HR
B-LG-E	±201.00	NONE ENCOUNTERED	±184.50	NONE ENCOUNTERED	5.04 IN/HR
B-769-A	±209.00	CWR @ ±200.50 AR @ ±199.00	±200.50	2'6" (±206.50)	-
B-769-B	±207.00	CWR @ ±190.50 AR @ ±190.10	±196.00	10'0" (±197.00)	-
B-769-C	±207.00	NONE ENCOUNTERED	±195.50	3'6" (±203.50)	-

CARLIN SIMPSON & ASSOCIATES JOB NO. 20-166, DATED 07-14-2021

REPORT ON SUBSURFACE SOIL AND FOUNDATION INVESTIGATION  
REGENERON CAMPUS EXPANSION - DAYCARE BUILDING

BORINGS	EXISTING GRADE	ROCK ELEVATION	GROUNDWATER ELEVATION	BOTTOM OF EXISTING FILL	PERMEABILITY RATE
B-5D	±224.00	±199.00	±219.00	NONE ENCOUNTERED	-
B-6D	±219.50	±203.50	±213.00	±210.00	-
B-7D	±214.00	±204.00	NE TO 10'0"	±209.00	-
B-8D	±217.00	CWR @ ±204.50 AR @ ±201.00	±213.00	NONE ENCOUNTERED	-
B-9D	±229.80	±213.30	±220.80	NONE ENCOUNTERED	-
B-9D-A	±226.00	NE TO 9'0"	±218.50	NONE ENCOUNTERED	-
B-10D	±230.00	CWR @ ±214.00 AR @ ±212.00	±227.50	NONE ENCOUNTERED	-
B-13D	±214.00	NE TO 10'0"	±211.50	±211.50	-

BORING TABLES SHOWN ARE FOR REFERENCE ONLY. REFER TO THE GEOTECHNICAL REPORTS LISTED ABOVE FOR ALL GEOTECHNICAL INFORMATION.

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Vendor Name: JMC, PLLC  
Vendor Project No.: 20090-3  
Discipline: Civil  
Drawing Title: Grading Plan

Scale: 1" = 30'





**Temporary Erosion and Sediment Control Inspection and Maintenance Checklist (Cont'd)**

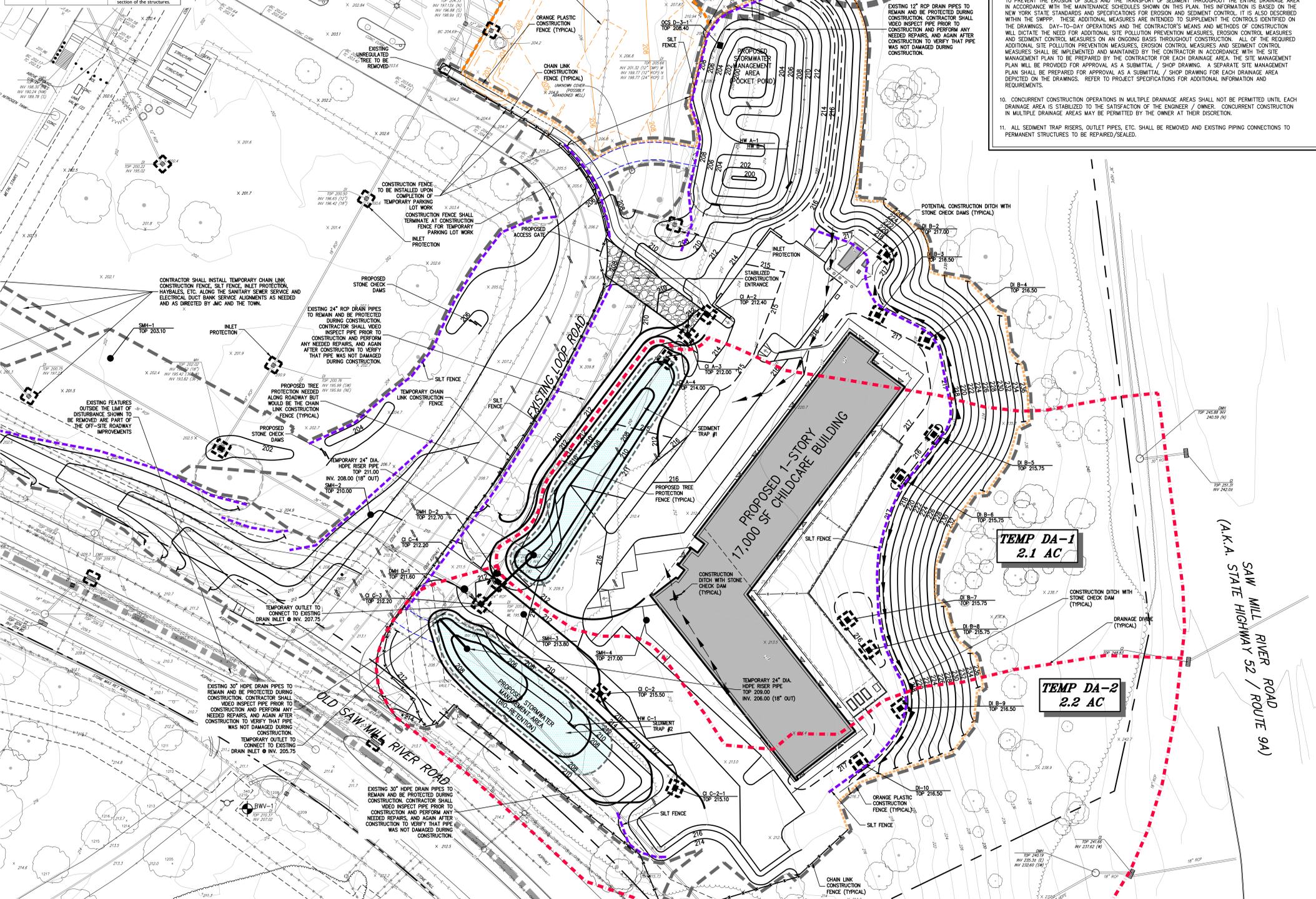
Erosion and Sediment Control Measure	Inspection/Maintenance Intervals	Inspection/Maintenance Requirements
Temporary Stabilized Construction Entrances	Daily	• Periodic top dressing with additional aggregate as required. • Clean sediment in public right-of-ways immediately.
Temporary Silt Fence	Weekly + After Each Rain	• Remove & redistribute sediment when bulges develop in the silt fence. • Refer to the Standard and Specifications for Silt Fence, Drain Inlet Protection within the NYSDOT New York State Standards and Specifications for Erosion and Sediment Control, latest edition.
Temporary Inlet Protection	Weekly + After Each Rain	• Inspect entire swale and surrounding area for filling and repair as required with the placement of additional topsoil, then seeding and mulching, as outlined in the project specifications.
Temporary Stone Check Dam	Weekly + After Each Rain	• Inspect entire swale and surrounding area for filling and repair as required with the placement of additional topsoil, then seeding and mulching, as outlined in the project specifications.

**Temporary Erosion and Sediment Control Inspection and Maintenance Checklist (Cont'd)**

Erosion and Sediment Control Measure	Inspection/Maintenance Intervals	Inspection/Maintenance Requirements
Temporary Swale	Weekly + After Each Rain	• Immediately remove any sediment and reestablish vegetative cover as required.
Temporary Construction Ditch	Weekly + After Each Rain	• Immediately remove any sediment and reestablish vegetative cover as required to maintain cross section of the swale.

**Temporary Erosion and Sediment Control Inspection and Maintenance Checklist (Cont'd)**

Erosion and Sediment Control Measure	Inspection/Maintenance Intervals	Inspection/Maintenance Requirements
Temporary Sediment Trap	Weekly + After Each Rain	• Remove and redistribute sediment when it reaches the designated elevation/number indicated on the construction documents. • Check for filling within and around the sediment basin and repair as required. • Remove all sediment and debris from the outlet control structure as required.



**SEDIMENT TRAP INFORMATION**

TRAP NUMBER	TRAP TYPE	DRAINAGE AREA (ACRES)	STORAGE CAPACITY (CUBIC FEET)	STORAGE DEPTH BELOW RISER/OUTLET ELEVATION (FEET)	RISER/OUTLET ELEVATION	EMBANKMENT HEIGHT AND ELEVATION
1.	PIPE OUTLET	2.1	7,860	10,356 @ ELEV. 211.00	24" DIA RISER, 18" DIA BARREL	4', 212.00
2.	PIPE OUTLET	2.2	7,920	9,275 @ ELEV. 209.00	24" DIA RISER, 18" DIA BARREL	4.5', 210.50

**SEQUENCE OF CONSTRUCTION RELATED TO WORK WITHIN SPECIFIED DRAINAGE AREAS**

- THE FOLLOWING IS A GENERAL SEQUENCE OF CONSTRUCTION FOR THE CONSTRUCTION AREA DESIGNATED ON THE EROSION & SEDIMENT CONTROL PLAN.
- INSTALL STABILIZED CONSTRUCTION ENTRANCES AS NEEDED.
  - INSTALL PROTECTION AROUND ALL FUTURE STORMWATER PRACTICES TO BE PROTECTED. NO CONSTRUCTION MATERIAL, FILL MATERIAL, OR ANY HEAVY OBJECTS SHALL BE PLACED WITHIN THESE DESIGNATED AREAS.
  - INSTALL AND MAINTAIN TREE PROTECTION MEASURES FOR TREES TO REMAIN.
  - REMOVE EXISTING TREES AS NEEDED FOR THE CONSTRUCTION OF SEDIMENT AND EROSION CONTROL MEASURES.
  - INSTALL TEMPORARY SEDIMENT TRAP OUTLET PIPES, REMOVE EXISTING TREES AS NEEDED FOR SEDIMENT TRAP OUTLET PIPES, TEMPORARY SEDIMENT TRAPS ARE LIMITED TO A 5 ACRE DRAINAGE AREA AND MUST BE CLEANED WHEN HALF SEDIMENT STORAGE VOLUME IS REACHED.
  - INSTALL PERIMETER CONTROLS INCLUDING SILT SACKS, SILT FENCE, INLET PROTECTIONS, TEMPORARY CONSTRUCTION DITCHES, TEMPORARY SEDIMENT TRAP AND OUTLET CONTROLS, COMPLETE SEDIMENT TRAP OUTLET SYSTEM AND OTHER ITEMS DEPICTED ON THE DRAWINGS FOR EACH SPECIFIC DRAINAGE AREA. STABILIZE ALL DISTURBED AREAS ASSOCIATED WITH ALL PERIMETER CONTROLS.
  - ONCE PERIMETER CONTROLS ARE INSTALLED, COMPLETE AND STABILIZE TO THE SATISFACTION OF THE SITE ENGINEER AND / OR OWNER, TREE CLEARING CAN BEGIN.
  - TREE CLEARING AND REMOVAL OF TOPSOIL MAY OCCUR ONLY WITHIN THE DESIGNATED DRAINAGE AREA ASSOCIATED WITH THE PERIMETER CONTROLS INSTALLED, STABILIZED, AND ACCEPTED IN STEPS 4, 5 AND 6 ABOVE.
  - CONTRACTOR SHALL INSTALL AND MAINTAIN ADDITIONAL SITE POLLUTION PREVENTION MEASURES, EROSION CONTROL MEASURES AND SEDIMENT CONTROL MEASURES THROUGHOUT THE ENTIRE DRAINAGE AREA AS REQUIRED TO PREVENT THE EROSION OF SOILS AND THE TRANSPORT OF SEDIMENT THROUGHOUT THE ENTIRE DRAINAGE AREA IN ACCORDANCE WITH THE MAINTENANCE SCHEDULES SHOWN ON THIS PLAN. THIS INFORMATION IS BASED ON THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL. IT IS ALSO DESCRIBED WITHIN THE SWPPP. THESE ADDITIONAL MEASURES ARE INTENDED TO SUPPLEMENT THE CONTROLS IDENTIFIED ON THE DRAWINGS. DAY-TO-DAY OPERATIONS AND THE CONTRACTOR'S MEANS AND METHODS OF CONSTRUCTION WILL DICTATE THE NEED FOR ADDITIONAL SITE POLLUTION PREVENTION MEASURES, EROSION CONTROL MEASURES AND SEDIMENT CONTROL MEASURES ON AN ONGOING BASIS THROUGHOUT CONSTRUCTION. ALL OF THE REQUIRED ADDITIONAL SITE POLLUTION PREVENTION MEASURES, EROSION CONTROL MEASURES AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE SITE MANAGEMENT PLAN TO BE PREPARED BY THE CONTRACTOR FOR EACH DRAINAGE AREA. THE SITE MANAGEMENT PLAN WILL BE PROVIDED FOR APPROVAL AS A SUBMITTAL / SHOP DRAWING. A SEPARATE SITE MANAGEMENT PLAN SHALL BE PREPARED FOR APPROVAL AS A SUBMITTAL / SHOP DRAWING FOR EACH DRAINAGE AREA DEPICTED ON THE DRAWINGS. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
  - CONCURRENT CONSTRUCTION OPERATIONS IN MULTIPLE DRAINAGE AREAS SHALL NOT BE PERMITTED UNTIL EACH DRAINAGE AREA IS STABILIZED TO THE SATISFACTION OF THE ENGINEER / OWNER. CONCURRENT CONSTRUCTION IN MULTIPLE DRAINAGE AREAS MAY BE PERMITTED BY THE OWNER AT HIS DISCRETION.
  - ALL SEDIMENT TRAP RISERS, OUTLET PIPES, ETC. SHALL BE REMOVED AND EXISTING PIPING CONNECTIONS TO MATERIAL STRUCTURES TO BE REPAIRED/SEALED.

**LEGEND**

- PROPOSED INLET PROTECTION
- PROPOSED PLASTIC CONSTRUCTION FENCE
- PROPOSED CHAIN LINK CONSTRUCTION FENCE
- PROPOSED TREE PROTECTION FENCE
- PROPOSED STONE CHECK DAM
- DRAINAGE DITCH
- PROPOSED SILT FENCE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED SEDIMENT TRAP
- PROPOSED SEDIMENT TRAP RISER & OUTLET PIPE
- PROPOSED CONSTRUCTION DITCH

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC AND UTILITY SURVEY," PREPARED BY JMC PLLC, DATED 01/26/2021, LAST REVISED 06/04/2021.
  - THIS PLAN IS FOR TEMPORARY EROSION AND SEDIMENT CONTROL INFORMATION ONLY. THE CONTRACTOR SHALL INSTALL TEMPORARY CHAIN LINK CONSTRUCTION FENCE, SILT FENCE, INLET PROTECTION, HAYBALES, ETC. ALONG THE SANITARY SEWER SERVICE AND ELECTRICAL DUCT BANK SERVICE ALIGNMENTS AS NEEDED AND AS DIRECTED BY JMC AND THE TOWN.
  - PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE PLANS AND SPECIFICATIONS. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN.
  - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIERS. ALL SEDIMENT COLLECTED SHALL BE SPREAD ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE. THE CONTRACTOR WILL BE REQUIRED TO KEEP THE SITE ORDERLY AND MAINTAIN THE SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SPDES GENERAL PERMIT, AND THE PROJECT'S EROSION & SEDIMENT CONTROL PLANS. SILT FENCING MUST BE INSPECTED AFTER EVERY RAINFALL AND ON A CONTINUOUS BASIS, PROMPTLY REPAIRED AND KEPT FREE OF ACCUMULATED SEDIMENT.
  - THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF CONSTRUCTION ON A WEEKLY BASIS, BEFORE AND AFTER EACH RAINFALL, AND AS MAY BE REQUIRED OR DIRECTED BY ALL APPLICABLE APPROVALS AND PERMITS. THE CONTRACTOR SHALL IMMEDIATELY REPORT A WRITTEN REPORT ON FINDINGS OF SEDIMENT IN DOWNSTREAM AREAS TO ALL AUTHORITIES HAVING JURISDICTION AND MAKE REPAIRS AS REQUIRED OR DIRECTED.
  - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED/MANDATED BY FIELD CONDITIONS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE, JMC, AND/OR ANY AUTHORITY HAVING JURISDICTION AT NO ADDITIONAL COST TO THE OWNER. THIS PLAN DOES NOT EXHAUST ALL OF THE EROSION AND SEDIMENT MEASURES THAT MAY BE NEEDED SINCE THEY CAN VARY THROUGHOUT THE PROJECT.
  - STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED ON THIS PLAN AS APPROVED BY THE OWNER'S REPRESENTATIVE. STOCKPILED EXCAVATED MATERIAL SHALL HAVE TWO ROWS OF SILT FENCE LOCATED AROUND ITS PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPEDIC ON PEDESTRIAN AND/OR VEHICULAR TRAFFIC CIRCULATION ROUTES.
  - DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
  - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE, THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
  - ALL EXPOSED SLOPES AND GRADED/DISTURBED AREAS, THAT WILL NOT BE FURTHER DISTURBED WITHIN 14 CALENDAR DAYS (7 DAYS FOR CONSTRUCTION SITES THAT EITHER DIRECTLY DISCHARGE TO OR ARE THE 300' SEWERSHEDS LISTED IN APPENDIX E OF THE GENERAL PERMIT OR ARE LOCATED WITHIN ONE OF THE WATERSHEDS LISTED IN APPENDIX C OF THE GENERAL PERMIT), SHALL BE TEMPORARILY SEEDED WITHIN 14 HOURS OF DISTURBANCE. IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) "EROSION AND SEDIMENT CONTROL GUIDELINES" AND THE ANSI A300 "BEST MANAGEMENT PRACTICES FOR TOWN AND SUBURBAN PLANNING, TRANSPLANTING, MAINTENANCE AND CARE," PREPARED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA), LATEST EDITIONS, AS FOLLOWS:
    - SEED MIXTURE AND RATE OF APPLICATION.
    - IN SPRING, SUMMER OR EARLY FALL, SEED THE AREA WITH RYEGRASS (ANNUAL OR PERENNIAL) AT 30 POUNDS PER ACRE (APPROXIMATELY 0.7 POUNDS/1000 SQUARE FEET OR USE 1 POUND/1000 SQUARE FEET).
    - IN LATE FALL OR EARLY WINTER, SEED THE AREA WITH SEED MIXTURE "ARDOOSTOK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE (2.5 POUNDS/1000 SQUARE FEET).
  - APPLICATION SHALL BE UNIFORM BY MECHANICAL OR HYDROSEED METHODS.
  - MULCH ALL SEEDING AREAS WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 POUNDS PER 1,000 SQUARE FEET) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
  - ALL SEEDING AREAS SHALL BE FERTILIZED, RESEDED, AND MULCHED AS NECESSARY TO MAINTAIN HOODS, DENSE VEGETATIVE COVER. SEEDING AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 LBS PER 1,000 SQ FT) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET. REFER TO THE STORMWATER BASINS SEED MIXES SET FOR ADDITIONAL REQUIREMENTS WITHIN STORMWATER BASINS. ALL OTHER DISTURBED AREAS SHALL BE SEEDING FOR STABILIZATION IN ACCORDANCE WITH THE SPECIFICATIONS.
  - TEMPORARY SEED MIXTURES SHALL NOT BE PLACED ON AREAS WHERE FINAL GRAZE HAS BEEN ESTABLISHED AND TOPSOIL HAS BEEN PLACED UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
  - THE LIMITS OF THE WETLAND BUFFER SHALL BE STAKED AND DELINEATED PRIOR TO CONSTRUCTION TO ENSURE NO ENCROACHMENT INTO THE WETLAND BUFFER OTHER THAN THE MINOR AMOUNT SHOWN ON THESE PLANS.
  - GRASS SEED MIX FOR EROSION AND SEDIMENT CONTROL MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
  - CUT AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.
  - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
  - AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED.
  - THE CONTRACTOR SHALL COMPLY WITH ALL INDUSTRY STANDARDS AND REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. IF REQUIREMENTS SPECIFIED CONFLICT WITH THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION APPLIES.
  - THE CONTRACTOR MUST ADHERE TO ALL REQUIREMENTS CONTAINED IN THE PROJECT'S EROSION & SEDIMENT CONTROL PLANS, SPECIFICATION, SCHEDULE, AND DETAILS.
  - IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (SUSC 8000).
  - NYSDOT STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY (02-C-20-001).

**GENERAL NOTES:**

- CONTRACTOR RESPONSIBLE FOR ALL REMOVAL OF ROCK TO ESTABLISH BUILDING AND UTILITY FUNDING SUBGRADE WITHIN AND OUTSIDE THE BUILDING LIMITS. REGENERON HAS CONFIRMED THE USE OF CHEMICAL SPLITTING IS ALLOWED PER THE TOWN BUILDING DEPARTMENT.
- CONTRACTOR RESPONSIBLE FOR ALL INTERIM GRADING AND REQUIRED TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO COMPLETE ALL PHASES OF WORK.
- CONTRACTOR RESPONSIBLE FOR GRADING TO SUBBASE ELEVATIONS WITHIN PAVED AREAS AND TOPSOIL AS SHOWN ON THE CONSTRUCTION DETAILS FOR SPECIFIC FEATURES.
- CONTRACTOR RESPONSIBLE FOR PERMANENT LANDSCAPING FOR AREAS REQUIRING PERMANENT HYDROSEEDING OR PLANTING ASSOCIATED WITH THIS WORK.
- CONTRACTOR RESPONSIBLE FOR ALL CLEANUP/TOPSOIL FROM THE IMMEDIATE CONSTRUCTION AREA AND ON ANY SHARED OWNER ACCESS ROADWAYS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE OWNER ALL ACTIVITIES OF THE SITE LOGISTICS, INCLUDING TRUCK TRAFFIC, DELIVERIES, CONSTRUCTION PARKING, NOISE, DUST, VIBRATION, UTILITY SHUTDOWN, OR OTHERWISE DISTURBING TO EXISTING SITE OPERATIONS.
- CONTRACTOR TO PERFORM ALL WORK WITHIN THE MONITORED SOUND AND VIBRATION ALLOWANCES AND WILL BE DIRECTED TO STOP WORK WHEN NOTIFIED BY OWNER'S INDEPENDENT MONITORING AGENCY WHEN THRESHOLDS ARE EXCEEDED.

**REGENERON**  
REAL ESTATE & FACILITIES MANAGEMENT

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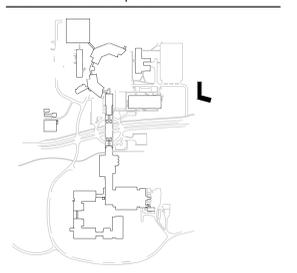
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Professional Seal and Signature

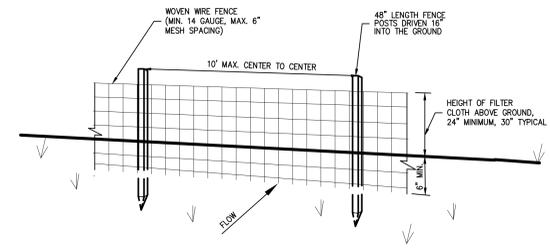
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Vendor Project No.: 20090-3  
Discipline: Civil  
Drawing Title: EROSION AND SEDIMENT CONTROL PLAN

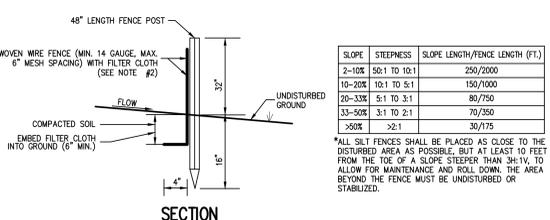
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**C-400**





PERSPECTIVE VIEW

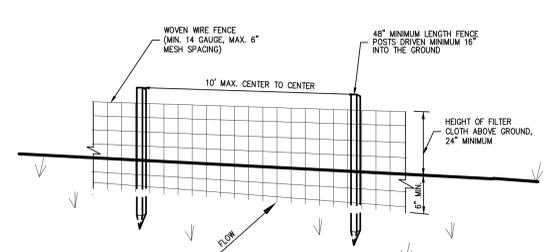


SECTION

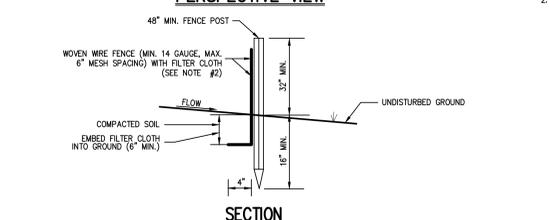
SLOPE	STEEPNESS	SLOPE LENGTH/FENCE LENGTH (F.T.)
2:1-10K	50:1 TO 10:1	250/2000
10:1-20K	10:1 TO 5:1	150/1000
20:1-33K	5:1 TO 3:1	80/750
33:1-50K	3:1 TO 2:1	70/750
>50K	>2:1	30/775

\*ALL SILT FENCES SHALL BE PLACED AS CLOSE TO THE DISTURBED AREA AS POSSIBLE, BUT AT LEAST TO FEET FROM THE TOE OF A SLOPE STEEPER THAN 3H:1V, TO ALLOW FOR MAINTENANCE AND ROLL DOWN. THE AREA BEYOND THE FENCE MUST BE UNDISTURBED OR STABILIZED.

- NOTES:
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
  - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL.
  - PREFABRICATED UNITS SHALL BE GEOFAB, ENVROFENCE, OR APPROVED EQUAL.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

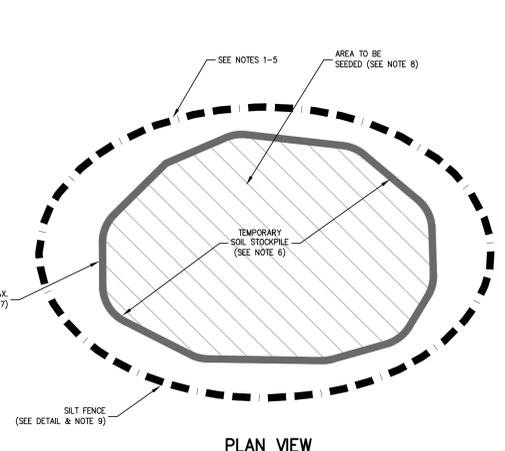


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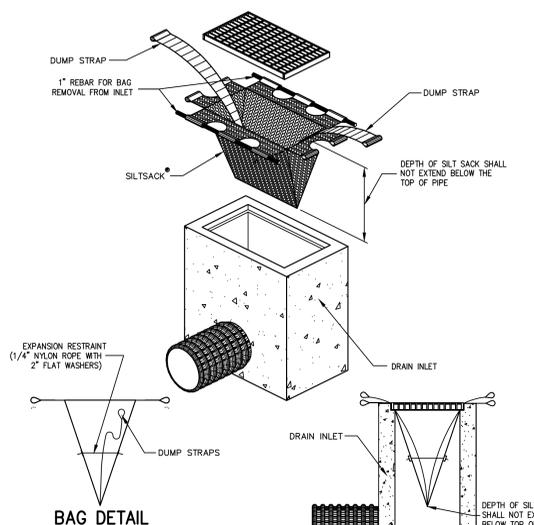
SECTION

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PLAN VIEW

- THE AREA CHOSEN FOR ALL TEMPORARY SOIL STOCKPILES SHALL BE DRY AND STABLE.
- ALL STOCKPILED SOIL SHALL NOT CONTAIN SLOPES GREATER THAN 2:1.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SEEDED WITHIN 24 HOURS. PERENNIAL OR ANNUAL RYEGRASS SHALL BE PLANTED DURING SPRING, SUMMER OR EARLY FALL. WINTER RYE (CEREAL RYE) SHALL BE PLANTED DURING LATE FALL OR EARLY WINTER.
- ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED AROUND THE PERIMETER.



HI-FLOW SILT SACK AS MANUFACTURED BY ACF ENVIRONMENTAL OR APPROVED EQUAL (FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
FRUCTURE	ASTM D-4633	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SEIVE
FLOW RATE	ASTM D-4491	200 GAL./MIN./SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

NOTE: CURB INLETS SHALL BE TYPE B WITH CURB DEFLECTOR.

SILT FENCE

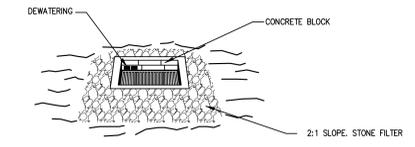
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TEMPORARY SOIL STOCKPILE WITH SILT FENCE

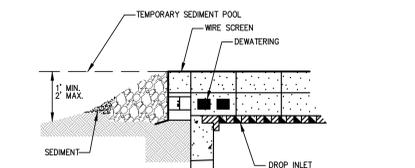
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MANUFACTURED INSERT INLET PROTECTION

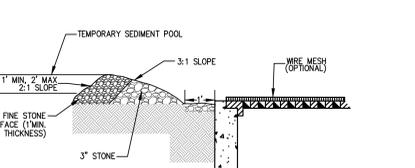
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STONE & BLOCK DETAIL

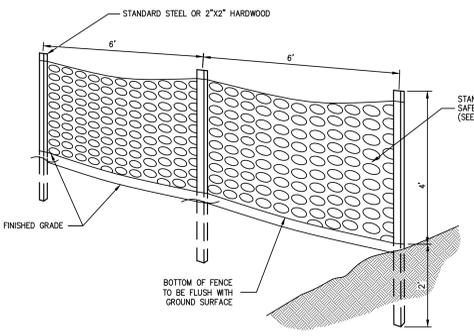


TEMPORARY SEDIMENT POOL

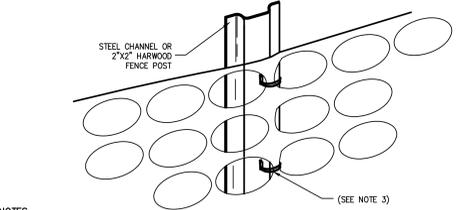


DOUGHNUT DETAIL

- NOTES:
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
  - HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
  - USE CLEAN STONE 1/2" TO 3/4" IN DIAMETER PLACED 2" BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
  - FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3" STONE AS SHOWN ON THE DRAWINGS.

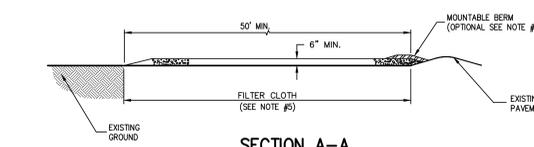


TEMPORARY PLASTIC CONSTRUCTION FENCE

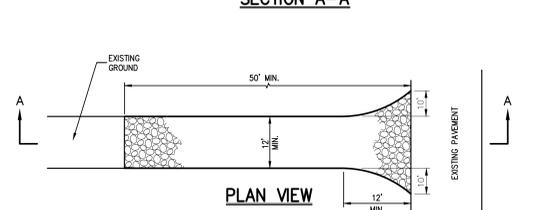


STABILIZED CONSTRUCTION ENTRANCE

- NOTES:
- SPACE SUPPORT FENCE POSTS AT 6 FOOT INTERVALS.
  - DRIVE SUPPORT POSTS 2 FEET INTO GROUND.
  - FIRMLY FASTEN FENCE MATERIAL IN PLACE BY WRING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WRING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
  - PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
  - PLASTIC FENCE SHALL BE INTERNATIONAL ORANGE COLOR, AS MANUFACTURED BY ADI ENTERPRISES, INC. OR APPROVED EQUAL.
  - REMOVE CONSTRUCTION FENCE AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.

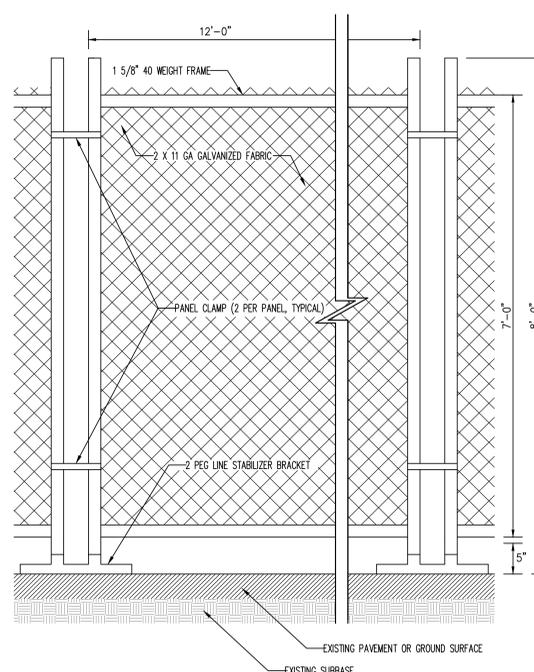


SECTION A-A



PLAN VIEW

- NOTES:
- STONE SIZE - USE 1" TO 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
  - THICKNESS - NOT LESS THAN SIX (6) INCHES.
  - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
  - FILTER CLOTH TO BE PLACED OVER THE ENTIRE WIDTH AND LENGTH OF AREA PRIOR TO PLACING OF STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



TEMPORARY CHAIN LINK CONSTRUCTION FENCE

- NOTE: STABILIZED BRACKET TO BE HOT DIPPED GALVANIZED STEEL PIPE.

STONE & BLOCK DROP INLET PROTECTION

4

TEMPORARY PLASTIC CONSTRUCTION FENCE

5

STABILIZED CONSTRUCTION ENTRANCE

6

TEMPORARY CHAIN LINK CONSTRUCTION FENCE

7

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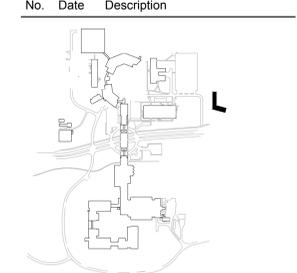
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Geotechnical Engineer:  
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Landscape Architect (Playground):  
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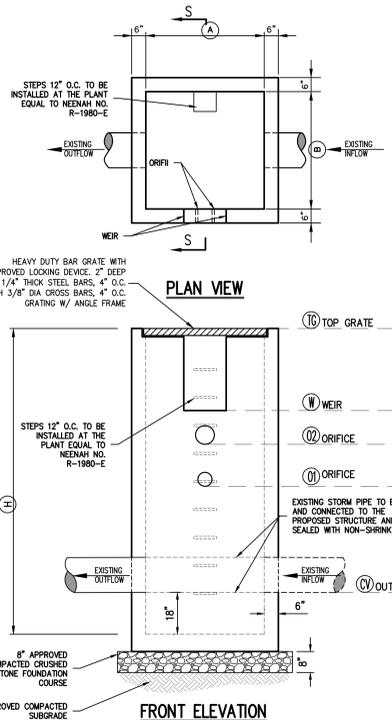
Vendor Name: JMC, PLLC  
Vendor Project No.: 20090-3  
Discipline: Civil  
Drawing Title:  
Drawn By: TC

CONSTRUCTION DETAILS

Scale: N.T.S.

C-900

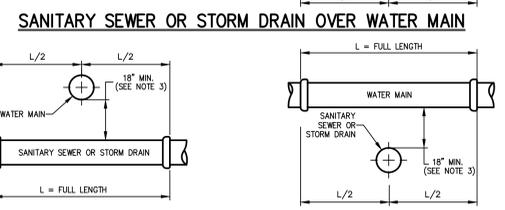
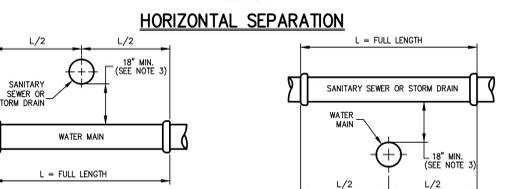
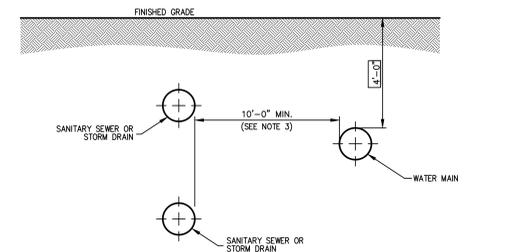




**STRUCTURE CHART**

STRUCTURE No.	STRUCTURE		RECT. WEIR	CIRCULAR ORIFICE		OUTLET CULVERT	
	A x B	H		DIA.	INVERT ELEV.	DIA.	INVERT ELEV.
005 D-3-1	4.00'x4.00'	8.40'	208.40	4'	207.55	5'	204

**NOTES:**  
1. PRECAST CONCRETE STRUCTURE SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.

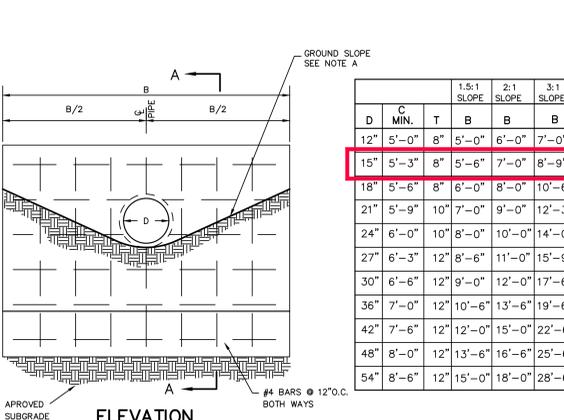
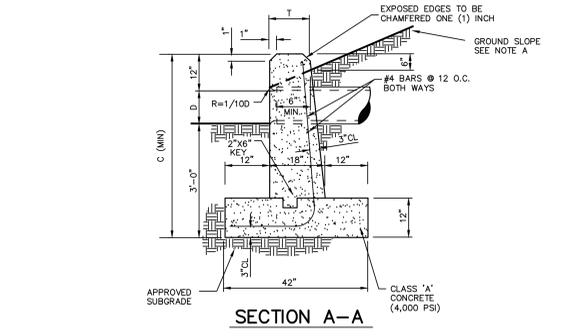


**WATER MAIN OVER SANITARY SEWER OR STORM DRAIN**

**VERTICAL SEPARATION**

**NOTES:**

- NORMAL CONDITIONS:
  - WHENEVER A WATER MAIN MUST CROSS OVER OR UNDER A SANITARY SEWER OR STORM DRAIN, THE PIPES SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION BETWEEN THEM OF AT LEAST 18 INCHES, AS MEASURED FROM THE BOTTOM OF THE HIGHER PIPE TO THE CROWN OF THE LOWER PIPE.
  - FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
- WATER MAIN CROSSING UNDER SANITARY SEWERS:
  - VERTICAL SEPARATION OF 18 INCHES MUST BE PROVIDED.
  - ADEQUATE STRUCTURAL SUPPORT MUST BE PROVIDED FOR THE SANITARY SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING.
  - FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
- IF DURING CONSTRUCTION IT IS FOUND THAT THE REQUIRED SEPARATION OF WATER MAINS, SANITARY SEWERS, STORM SEWERS AND BUILDING SANITARY SEWERS CANNOT BE MET, THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL IN WRITING ADVISE THE ENGINEER AND THE TOWN OF MOUNT PLEASANT OF THE SPECIFIC CONDITIONS ENCOUNTERED. APPROVAL OF ALTERNATIVE SEPARATION CRITERIA SHALL BE OBTAINED FROM THE TOWN OF MOUNT PLEASANT AND COUNTY DEPARTMENT OF HEALTH PRIOR TO INSTALLATION.



**NOTE A:**  
GROUND SLOPE TO BE 3 HORIZONTAL TO 1 VERTICAL UNLESS OTHERWISE SPECIFIED (SEE CHART)

**OUTLET CONTROL STRUCTURE**  
(005 D-3-1)

14

**SEPARATION OF WATER & SANITARY SEWER/STORM DRAIN LINES**

15

**PRECAST CONCRETE HEADWALL (TYPE B)**

16

**NOTES PERTAINING TO DRAIN INLETS**

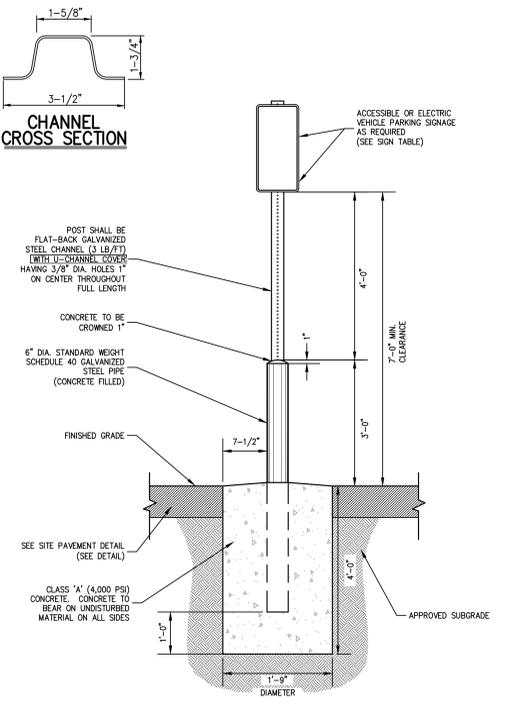
- STEPS WILL NOT BE REQUIRED IN INLETS LESS THAN FOUR (4) FEET IN DEPTH. STEPS WILL BE REQUIRED IN INLETS FOUR (4) FEET OR GREATER IN DEPTH. DEPTHS FOR DRAIN INLETS SHALL BE MEASURED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING SUMP AS APPLICABLE).
- WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 13 ENTITLED "MANHOLE STEPS & LADDERS".
- FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE HAS SET. CONCRETE FOUNDATION SHALL BE CLASS "A"(4000 PSI) CONCRETE, TWELVE (12) INCHES THICK AND SHALL EXTEND SIX (6) INCHES BEYOND THE OUTSIDE FACE OF THE STRUCTURE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
- ALL NECESSARY PATCHING FOR DRAIN STRUCTURES SHALL BE ACCOMPLISHED WITH NON-SHRINKING CEMENT MORTAR GROUT, APPROVED EQUAL TO SIKKA-SET AS MANUFACTURED BY THE SIKKA CHEMICAL CORP.
- FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED CRUSHED STONE HAVING A MINIMUM COMPACTED THICKNESS OF EIGHT (8) INCHES.
- ALL PIPES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.
- PROVIDE REINFORCED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRATE.
- FOR MASONRY STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO TWELVE (12) INCHES.
- FOR ALL STRUCTURES GREATER THAN 10 FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.

**NOTES PERTAINING TO MANHOLES**

- PRECAST CONCRETE MANHOLES SHALL COMPLY WITH ASTM STANDARD C-478. MANHOLE JOINTS SHALL COMPLY WITH ASTM STANDARD C-443.
- FOR PRECAST CONCRETE MANHOLES FIVE (5) FEET OR LESS IN HEIGHT, TOP CONE SECTION SHALL BE REPLACED WITH PRECAST REINFORCED CONCRETE SLAB (6" MIN. THICKNESS) WITH OPENING OF SUFFICIENT SIZE TO ACCOMMODATE MANHOLE CASTING.
- FOR MANHOLES 10 FEET OR MORE IN DEPTH, MANHOLE DIAMETER SHALL BE FIVE (5) FEET.
- TERMINAL MANHOLE FLOORS SHALL BE SLOPED TOWARD OUTFALL PIPE.
- INVERT CHANNELS FOR PRECAST CONCRETE MANHOLES SHALL BE CONSTRUCTED OF CONCRETE.
- NOTES A-1, A-2, A-4, A-5, A-6 & A-7 UNDER "NOTES PERTAINING TO DRAIN INLETS" ABOVE SHALL APPLY TO MANHOLES.

**NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR STORM DRAINS, SANITARY SEWERS AND WATER LINES**

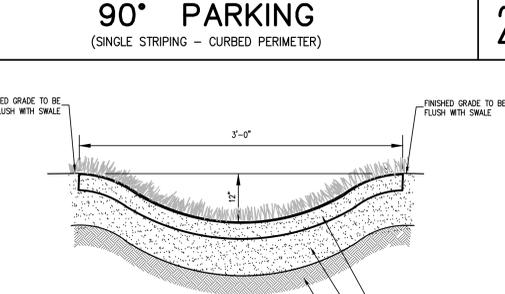
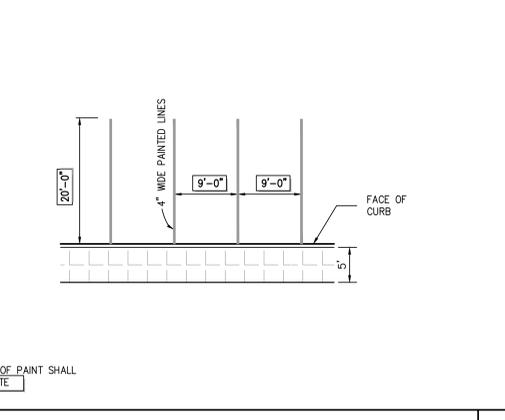
- ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
- STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.



- NOTES:**
- GALVANIZED STEEL CHANNEL SHALL BE EMBEDDED A MIN. OF 3 FT. INTO THE CONCRETE
  - STEEL PIPES FOR HANDICAP PARKING STALLS AND ACCESS AISLES SHALL BE PAINTED BLUE, AND STEEL PIPES FOR EV PARKING STALLS SHALL BE PAINTED GREEN AS FOLLOWS:
    - SOLVENT CLEAN TO REMOVE OIL, GREASE AND OTHER CONTAMINANTS.
    - APPLY METAL PRIMER FOR GALVANIZED SURFACES.
    - APPLY TWO (2) FINISH COATS OF APPROVED EXTERIOR PAINT FOR METAL SURFACES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF THE PARKING SIGNS, BOLLARDS AND FOUNDATIONS WITH THE DESIGN AND INSTALLATION OF THE SITE SIDEWALKS, CURBING, PAVEMENT AND ANY OTHER SITE FEATURES SHOWN ON THE PLANS.
  - FASTEN SIGN TO POSTS WITH GALVANIZED STEEL BOLTS, LOCK WASHERS, AND NUTS (5/16" DIA.)
  - U-CHANNEL COVERS FOR POSTS SHALL BE BLUE WITH WHITE STRIPE FOR HANDICAP PARKING STALLS AND HANDICAP ACCESS AISLES.
  - U-CHANNEL COVERS FOR POSTS SHALL BE GREEN WITH WHITE STRIPE FOR EV PARKING STALLS.

**90° PARKING (SINGLE STRIPING - CURBED PERIMETER)**

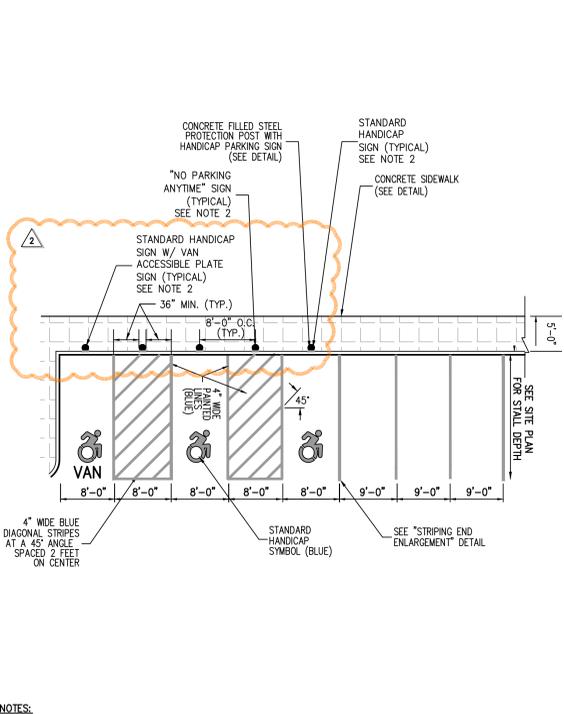
20



- NOTES:**
- IMMEDIATELY AFTER GRADING OPERATIONS, THE GRASS SWALE SHALL BE STABILIZED WITH SOG CONTAINING A MIXTURE OF 50% KENTUCKY BLUEGRASS, 20% CREeping RED FESCUE AND 20% PERENNIAL RYEGRASS. SOG SHALL BE CUT IN UNIFORM WIDTH STRIPS OF LINE GRASS.
  - FOR SWALE SLOPES EXCEEDING 6%, JUTE MESH SHALL BE UTILIZED TO STABILIZE THE SWALE BASE.
  - AREA ADJACENT TO SWALE TO BE BROUGHT TO FINISHED GRADE IMMEDIATELY AS REQUIRED, TOPSOILED, SEEDED AND MAINTAINED FOR EROSION CONTROL.

**HANDICAP PARKING**

21



- NOTES:**
- RAMPS AND SIDE RAMPS SHALL HAVE DETECTABLE WARNINGS CONSISTING OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
  - THEY SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 429.2, FEDERAL REGISTER, VOLUME 56, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 36 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), DATED JULY 26, 1991 AND SUBSEQUENT REVISIONS.
  - SLOPES IN HANDICAP PARKING AREAS SHALL NOT EXCEED 1.5%.
  - SEE SITE PLANS/SIGN TABLE FOR SIGN DESIGNATIONS, LOCATIONS AND SPECIFICATIONS.

**UTILITY NOTES**

17

**ACCESSIBLE/EV PARKING SIGN**

18

**GRASS SWALE**

19

**HANDICAP PARKING**

21

777 Old Saw Mill River Road  
Tarrytown, NY 10591-6707  
T: 914.847.7400  
F: 914.847.9991  
www.regeneron.com

BUILDING #17  
CAMPUS EXPANSION CHILD DAY-CARE CENTER

899 OLD SAW MILL RIVER ROAD  
MOUNT PLEASANT, NY 10591  
Civil Engineer:

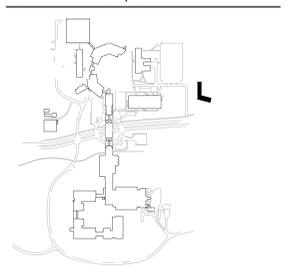
Site Development Consultants  
120 Bedford Road  
Armonk, NY 10504  
914-273-5225  
www.jmccplc.com

Attorney:  
DeBello Donnellan Weingarten Wise & Wiederkehr, LLP  
One North Lexington Avenue, 11th Floor  
White Plains, New York 10601  
Phone: (914) 681-0200

Geotechnical Engineer:  
Carlin-Simpson & Associates  
61 Main Street  
Sayreville, NJ 08872  
Phone: (732) 432-5757

Architect:  
Gensler  
1700 Broadway, Suite 400  
New York, New York 10019  
Phone: (212) 492-1400  
Fax: (212) 492-1472  
Landscape Architect (Playground):  
Langan  
21 Penn Plaza, 360 West 31st Street, 8th Floor  
New York, New York 10001  
Phone: (212) 479-5400  
Fax: (212) 479-5444

MEP/IT/Security Engineer:  
Cosentini Associates  
498 Seventh Avenue  
New York, New York 10018  
Phone: (212) 615-3600  
Fax: (212) 615-3700



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Vendor Project No.: 20090-3  
Discipline: Civil  
Drawing Title:  
Drawn By: TC

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Scale: N.T.S.

**C-902**



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F: 914.847.7991  
www.regeneron.com

BUILDING #17  
CAMPUS EXPANSION CHILD DAY-CARE CENTER

899 OLD SAW MILL RIVER ROAD  
MOUNT PLEASANT, NY 10591

Civil Engineer:  
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120 Bedford Road  
Armonk, NY 10504  
914-273-5225  
www.jmccplc.com

Attorney:  
DeBello Donnellan Weingarten Wise & Wiederkehr, LLP  
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White Plains, New York 10601  
Phone: (914) 681-0200

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61 Main Street  
Sayreville, NJ 08872  
Phone: (732) 432-5757

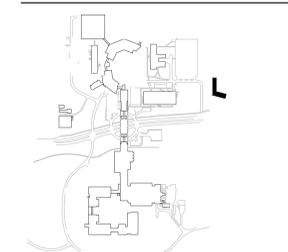
Architect:  
Gensler  
1700 Broadway, Suite 400  
New York, New York 10019  
Phone: (212) 492-1400  
Fax: (212) 492-1472

Landscape Architect (Playground):  
Langan  
21 Penn Plaza, 360 West 31st Street, 8th Floor  
New York, New York 10001  
Phone: (212) 479-5400  
Fax: (212) 479-5444

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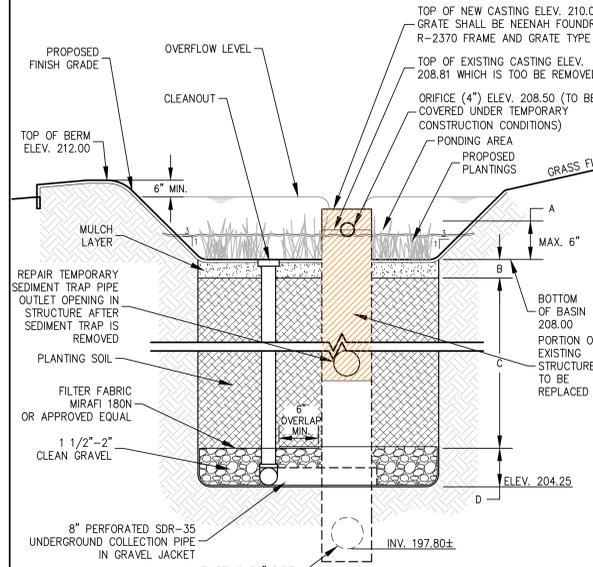
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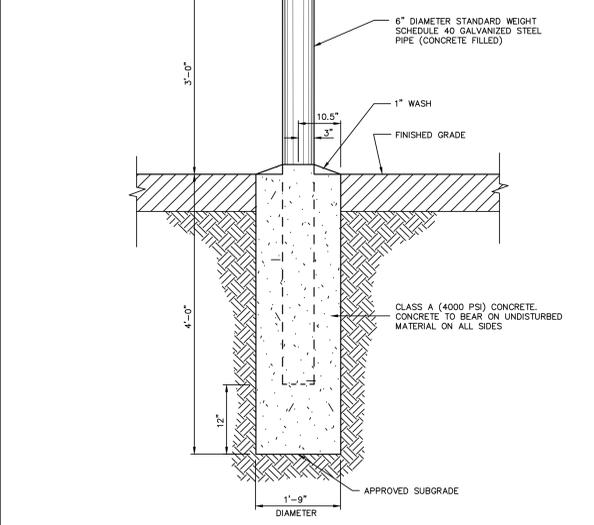
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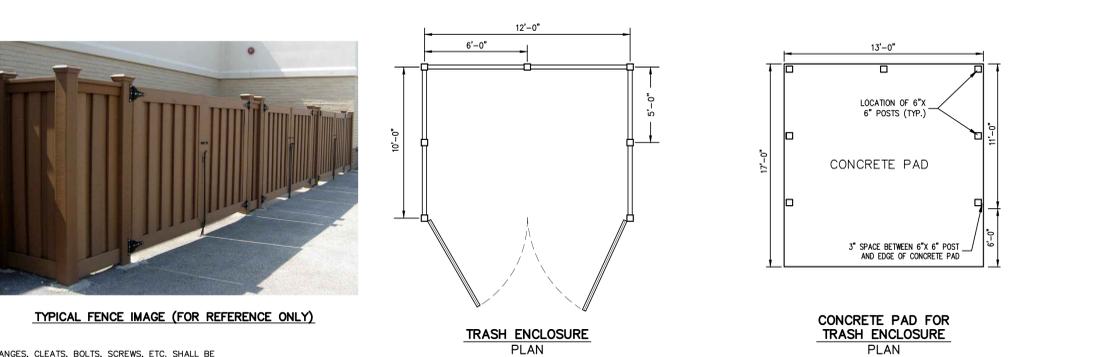
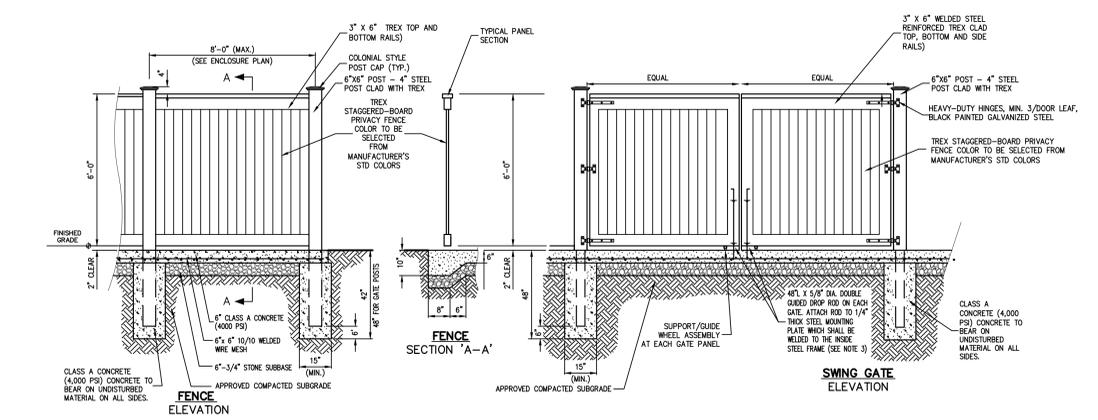
BOTTOM OF BASIN ELEVATION	ORIFICE ELEVATION	OVERFLOW RISER TOP ELEVATION	SURFACE AREA REQ'D S.F.	SURFACE AREA PROVIDED S.F.	TOP BERM ELEV.	PONDING A IN.	MULCH B IN.	PLANTING SOIL C IN.	GRAVEL D IN.
208.00	208.50 (4")	210.00	2,700	2,854	212.00	6"	3"	30"	12"



- NOTE:
- SEE PLAN FOR ELEVATIONS OF BIORETENTION AREA.
  - PRIOR TO CONSTRUCTION REMOVE EXISTING CASTING AND CONFIRM TOP ELEVATION OF EXISTING STRUCTURE.
  - A NEW CONCRETE COLLAR IS TO BE FABRICATED WITH ORIFICE AND NEW GRATE TO BE PLACED ON TOP.



- NOTES:
- WHEN PROTECTION POSTS ARE TO BE USED FOR PROTECTION OF HANDICAP PARKING SIGNS OR OTHER TRAFFIC SIGNS, SIGN SUPPORTING POSTS SHALL BE IMBEDDED A MINIMUM OF THREE (3) FEET INTO THE CONCRETE.
  - POST FOR HANDICAP PARKING STALLS SHALL BE PAINTED BLUE AS FOLLOWS:  
A. SOLVENT CLEAN TO REMOVE OIL, GREASE AND OTHER CONTAMINANTS.  
B. APPLY METAL PRIMER FOR GALVANIZED SURFACES.  
C. APPLY TWO (2) FINISH COATS OF APPROVED EXTERIOR PAINT FOR METAL SURFACES.

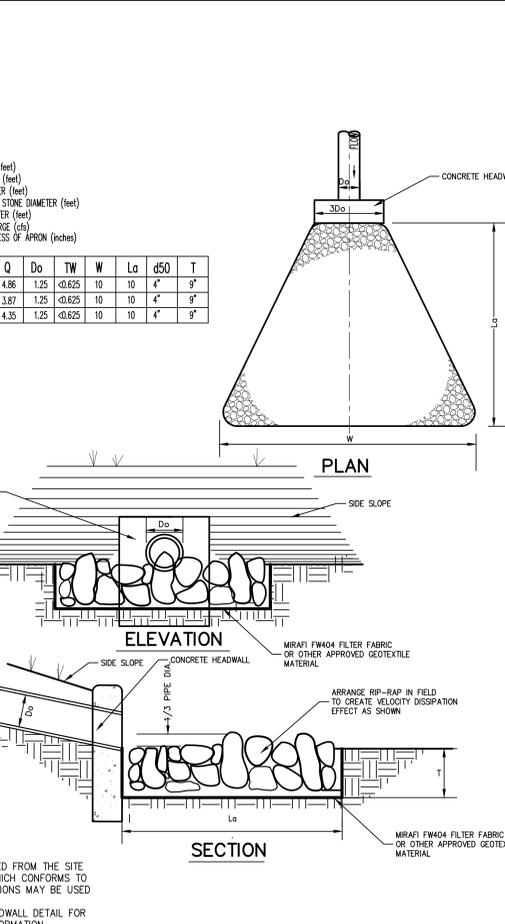


- NOTES:
- METAL FLANGES, CLEATS, BOLTS, SCREWS, ETC. SHALL BE STAINLESS STEEL OR GALVANIZED STEEL.
  - SEE SITE LAYOUT PLANS FOR LOCATION. REFER TO ELECTRICAL PLANS FOR EXACT DIMENSIONS OF GENERATOR ENCLOSURE. CONCRETE PADS FOR GENERATOR BY OTHERS.
  - CONTRACTOR SHALL DRILL TWO (2) HOLES IN THE CONCRETE TO ALLOW FOR DROP RODS TO HOLD GATES IN THE OPEN AND CLOSED POSITION.

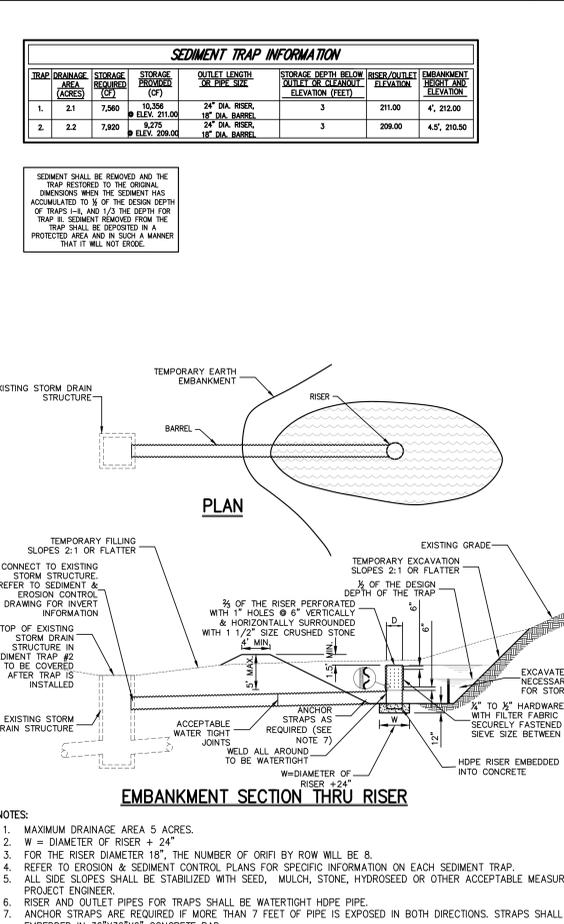
GENERATOR ENCLOSURE / TRASH ENCLOSURE WITH CONCRETE PAD 30

BIORETENTION BASIN 31

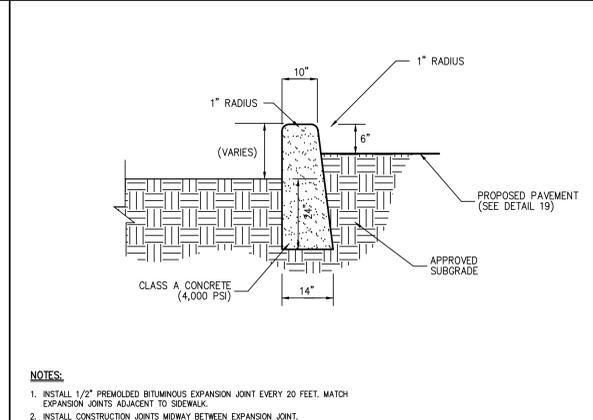
STEEL PIPE PROTECTION POST 32



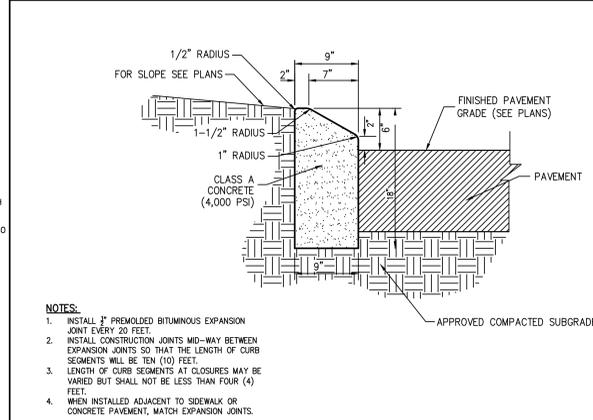
RIP-RAP APRON/ENERGY DISSIPATOR HEADWALL 33



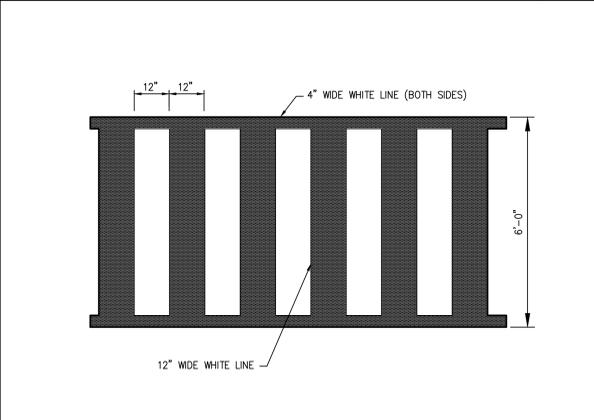
PIPE OUTLET SEDIMENT TRAP: ST-I 34



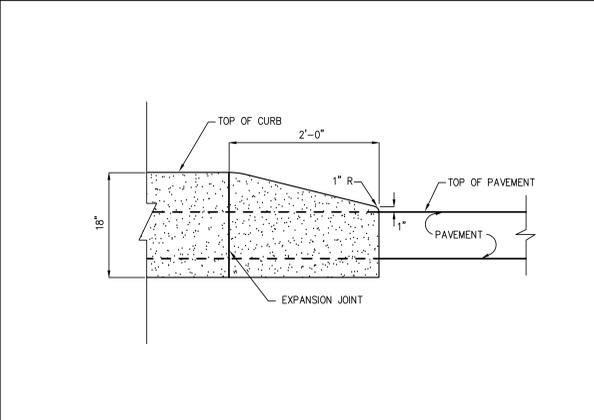
EXPOSED CONCRETE CURB 35



MOUNTABLE CONCRETE CURB (NYS DOT TYPE M150 PROFILE) 36

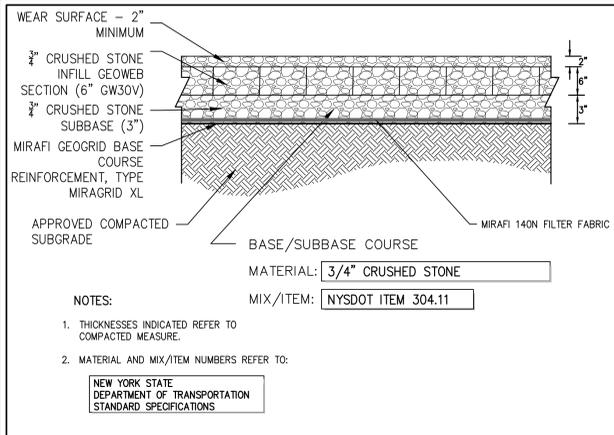


PEDESTRIAN CROSSING 37

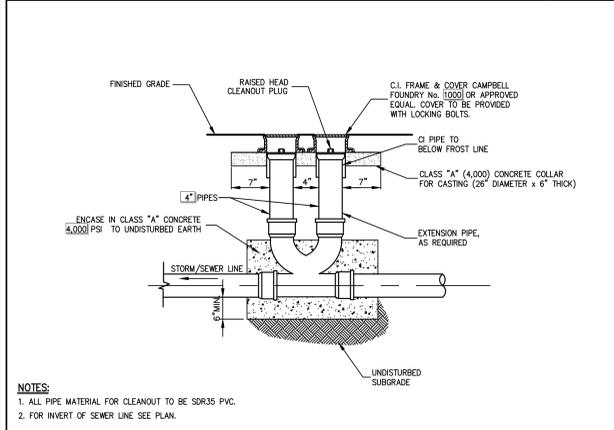


CONCRETE CURB ENDING 38

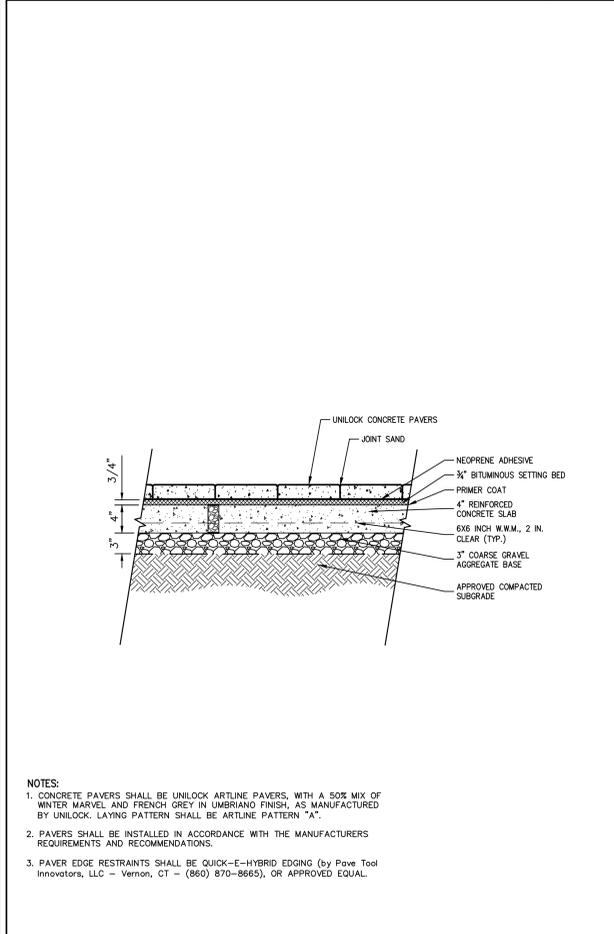




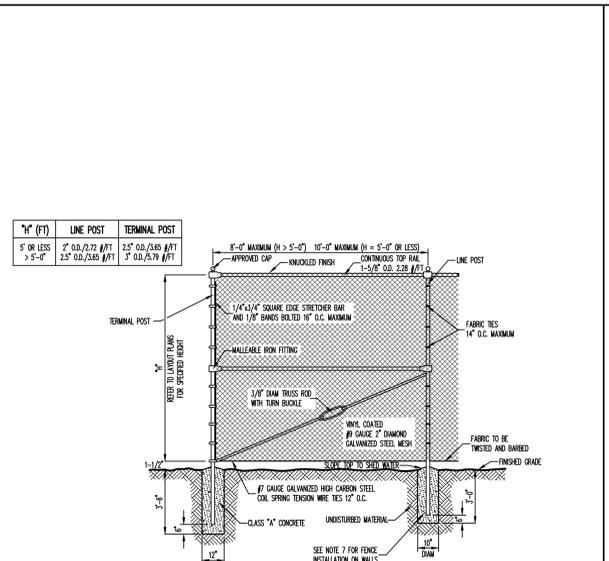
**PROPOSED MAINTENANCE ACCESS PATH 47**



**DOUBLE HANDHOLE CLEANOUT (STORM AND SANITARY) 48**

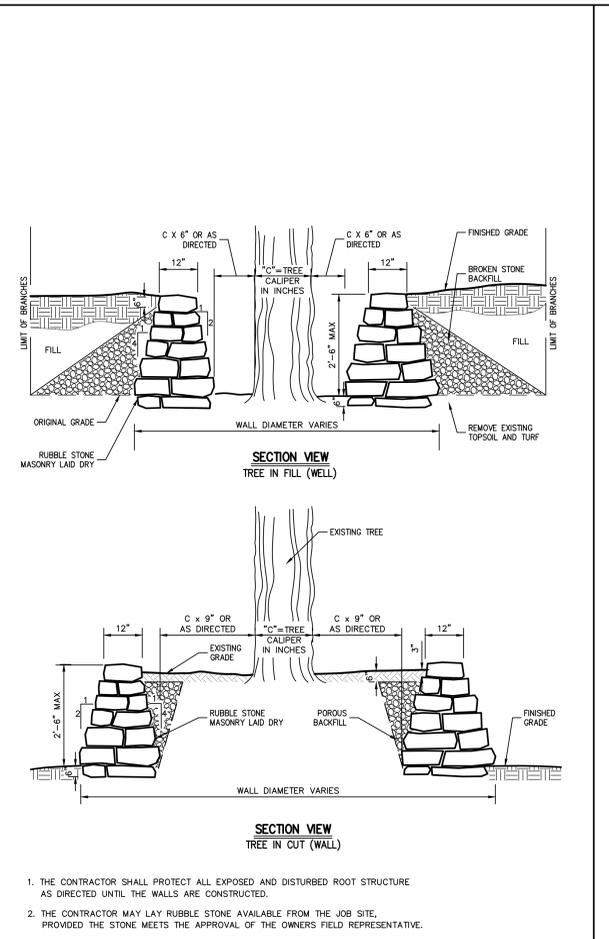


**CONCRETE PAVERS (PAVER ALTERNATE ONE) 52**



- NOTES:**
- ALL POSTS, RAILS, FABRIC AND ACCESSORIES SHALL BE VINYL COATED. COLOR OF VINYL COATING SHALL BE BLACK.
  - POST AND RAILS SHALL BE STANDARD FULL WEIGHT VINYL COATED GALVANIZED SCHEDULE 40 PIPE MANUFACTURED AND GALVANIZED IN ACCORDANCE WITH ASTM A-120. ALL MATERIALS SHALL BE NEW AND FIRST CLASS AND SHALL NOT INCLUDE RECONDITIONED OR REROLLED PIPE.
  - FITTINGS SHALL BE VINYL COATED MALLEABLE IRON FITTINGS CONFORMING TO THE REQUIREMENTS OF ASTM A-47 GALVANIZED IN ACCORDANCE WITH ASTM A-153.
  - FABRIC SHALL BE 9 GAUGE GALVANIZED 2\"/>

**CHAIN LINK FENCE (VINYL COATED) 49**



**TREE WELL AND WALL 50**

**Owner's Manual & Installation Guide**

JuiceBar Gen 3  
Level 2  
Electric Vehicle Supply Equipment (EVSE)

**INSTALLATION REQUIREMENTS**

**MOUNTING INSTRUCTIONS (continued)**

**Precast Foundation**

For simplicity of installation, JuiceBar can provide a standard precast foundation (sold separately) that can be shipped within certain regions. The casting specifications can also be provided to your local foundry.

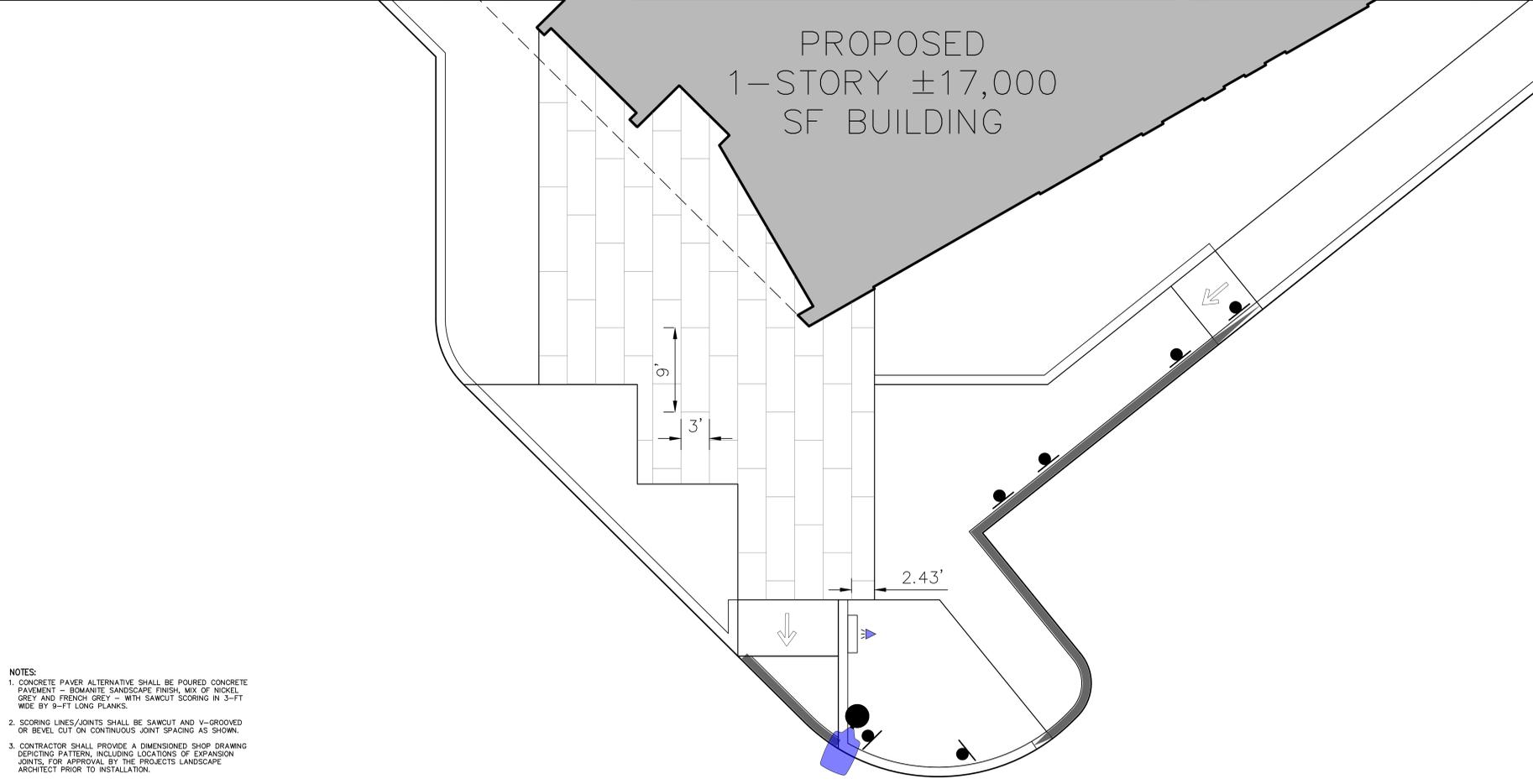
- The JuiceBar precast foundation measures 1' round by 4' tall.
- The data & power conduits are included and exit the foundation at a depth of 18 inches.
- Check local code for required conduit depth.
- The stainless steel anchor bolts are pre installed.
- The package will include washers and nuts to secure the JuiceBar unit.
- The foundation weighs 400lbs.

REFER TO MANUFACTURER'S SPECIFICATIONS AND INSTALLATION GUIDELINES FOR DETAILS ON THE ANCHOR BOLTS, CONDUIT, ETC.

EV CHARGER MODEL # IS J83.0-402 DUAL CONNECTOR CHARGER.

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**EV CHARGER FOUNDATION 51**



**POURED CONCRETE PAVEMENT (PAVER ALTERNATE TWO) 53**

**REGENERON**  
REAL ESTATE & FACILITIES MANAGEMENT

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Tarrytown, NY 10591-6707  
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F: 914.847.7991  
www.regeneron.com

BUILDING #17  
CAMPUS EXPANSION CHILD DAY-CARE CENTER

899 OLD SAW MILL RIVER ROAD  
MOUNT PLEASANT, NY 10591  
Civil Engineer:

Site Development Consultants  
120 Bedford Road  
Armonk, NY 10504  
914-273-5225  
www.jmcplc.com

Attorney:

DeiBello Donnellan Weingarten Wise & Wiederkehr, LLP  
One North Lexington Avenue, 11th Floor  
White Plains, New York 10601  
Phone: (914) 681-0200

Geotechnical Engineer:

Carlin-Simpson & Associates  
61 Main Street  
Sayreville, NJ 08872  
Phone: (732) 432-5757

Architect:

Gensler  
1700 Broadway, Suite 400  
New York, New York 10019  
Phone: (212) 492-1400  
Fax: (212) 492-1472  
Landscape Architect (Playground):

Langan  
21 Penn Plaza, 360 West 31st Street, 8th Floor  
New York, New York 10001  
Phone: (212) 479-5400  
Fax: (212) 479-5444

MEP/IT/Security Engineer:

Cosentini Associates  
498 Seventh Avenue  
New York, New York 10018  
Phone: (212) 615-3600  
Fax: (212) 615-3700

No.	Date	Description
0	05/20/2022	ISSUED FOR PERMIT
1	06/20/2022	100% CONSTRUCTION DOCUMENTS
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Vendor Name: JMC, PLLC  
Vendor Project No.: 20090-3  
Discipline: Civil  
Drawn By: TC  
Drawing Title:

**CONSTRUCTION DETAILS**

Scale: N.T.S.

**C-906**

**CONSTRUCTION DETAILS**

Scale: N.T.S.

**C-906**

777 Old Saw Mill River Road  
Tarrytown, NY 10591-6707  
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No.	Date	Description
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**LANDSCAPING PLAN**

Scale: 1" = 30'

**L-100**

**LEGEND**

- PROPOSED DECIDUOUS TREE
- PROPOSED ORNAMENTAL/FLOWERING TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUBS
- PROPOSED PERENNIAL AND ORNAMENTAL GRASS PLANTS 1 GAL. EACH
- PRAIRIE MOON DETENTION BASIN SEED MIX WITH SEED ENHANCEMENT FOR WETTER SOILS (PMOM)
- PROPOSED HM-3 MIX
- AREA OF DRIP IRRIGATION

**TREE REPLACEMENT CALCULATIONS**

DENSITY FACTOR FOR SITE: DPF = 5.10 AC \* 15 = 76.50

EXISTING DENSITY FACTOR: EDF = (TWELVE 10" TREES \* 0.8) + (EIGHT 12" TREES \* 0.8) + (SEVEN 14" TREES \* 1.1) + (TEN 18" TREES \* 1.4) + (TEN 18" TREES \* 1.8) + (SIX 20" TREES \* 2.2) + (EIGHT 22" TREES \* 2.6) + (NINE 24" TREES \* 3.1) + (TWO 26" TREES \* 3.7) + (THREE 28" TREES \* 4.3) + (THREE 30" TREES \* 4.8) + (THREE 32" TREES \* 5.5) + (THREE 36" TREES \* 7.0) + (THREE 38" TREES \* 7.5) + (THREE 40" TREES \* 8.0) = 234.20

REQUIRED REPLACEMENT DENSITY FACTOR: RDF = 76.50 - 234.20 = -157.70

PROPOSED REPLACEMENT DENSITY FACTOR: PRDF = (6 PA \* 0.7) + (10 PG \* 0.7) + (7 AR \* 0.7) + (9 AR \* 0.5) + (6 BN \* 0.7) + (15 CF \* 0.7) + (8 OR \* 0.5) = 39.3

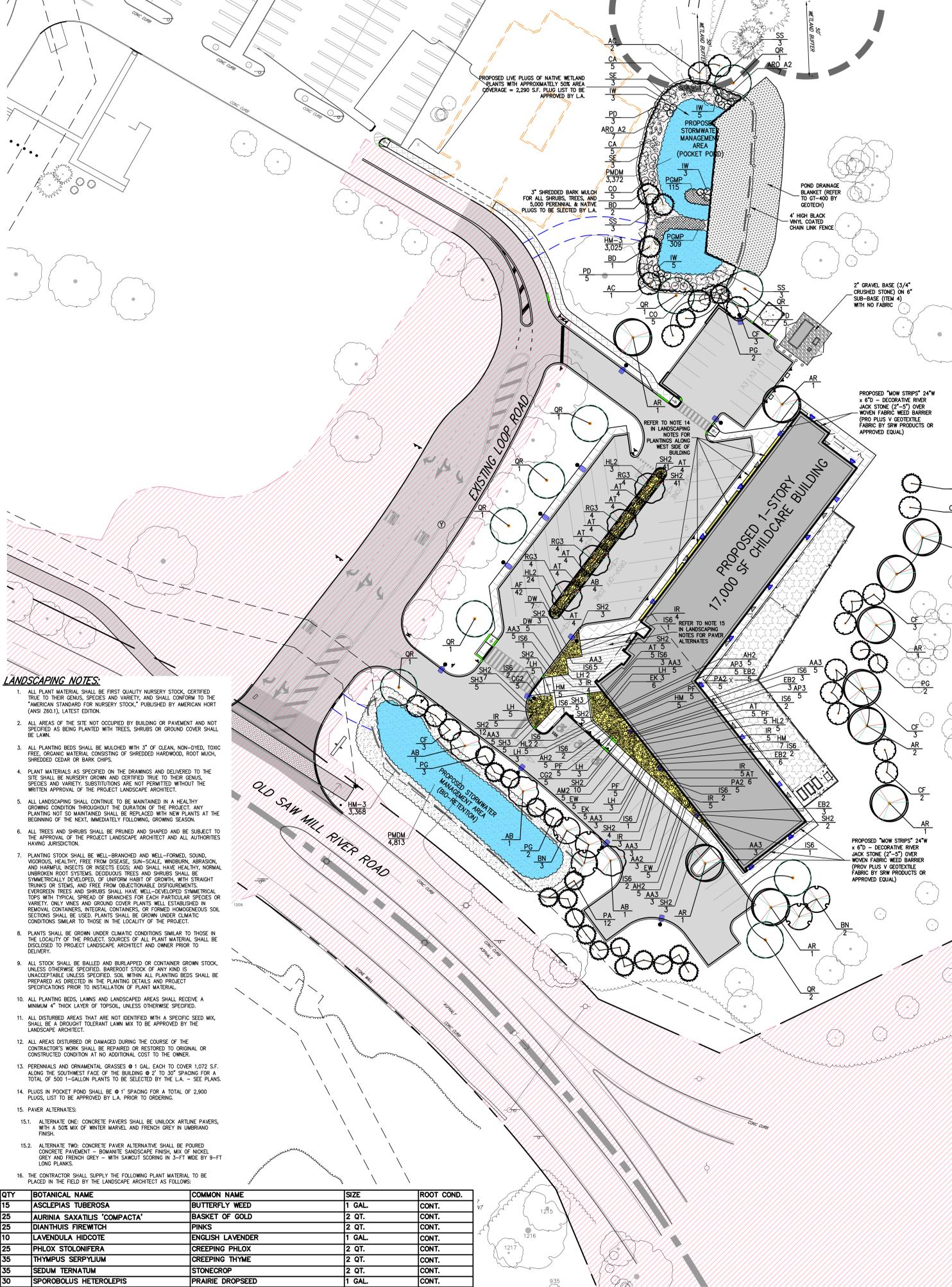
**SEED MIX NOTES:**

PMOM DETENTION BASIN SEED MIX (80% - 9.39 LBS/AC) WITH SEED MIX ENHANCEMENT FOR WETTER SOILS (20% - 2.03 LBS/AC) BY PRAIRIE MOON NURSERY, WINONA, MN (866) 417-8156. FOR A COVER CROP USE ONE OF THE FOLLOWING:  
- GRASS RYE (SEP-APR; 30 LBS/AC),  
- JAPANESE MILLET (MAY-AUG; 10 LBS/AC), OR  
- BARNYARD GRASS (MAY-AUG; 10 LBS/AC),  
AND/OR AS PER MANUFACTURER'S RECOMMENDATION FOR AN APPROPRIATE COVER CROP.

HM-3 NYSDEC STORMWATER BASIN MIX #3 [HERBACEOUS] (20-40 LBS/AC) OR 1 LB PER 1,000 SF)  
ELYMUS RIPARIUS (OVERBANK WILD RICE)(20%)  
ELYMUS VIRGINICUS (VIRGINIA WILD RYE)(20%)  
POA PALUSTRIS (FOWL BLUEGRASS)(20%)  
Panicum CANADENSE (OAK TONGUE)(10%)  
Panicum VIRGATUM (SWITCHGRASS)(10%)  
Senna HERCERPES (WILD SENNA)(10%)  
ANDROPOGON GERARDII (BIG BLUESTEM)(10%)  
DESCHAMPSIA CAESPITOSA (TUFTED HAIRGRASS)(2%)  
GLYCERIA STRIATA (FOWL MANNAGRASS)(2%)  
LOBELIA CARDINALIS (CARDINAL FLOWER)(2%)  
JUNCUS EFFUSUS (SOFT RUSH)(1%)  
POLYGONUM SPP. (SMARTWEED)(1%)

**WETLAND BUFFER/MEDIAN NOTES:**

- INSTALL EROSION CONTROL MEASURES.
- REMOVE ALL TRASH, DEBRIS, AND DEAD/OVERGROWN VEGETATION.
- EVANS ASSOCIATES WILL IDENTIFY AND TAG INVASIVE PLANTS TO BE REMOVED FROM WITHIN BUFFER AREA.
- REMOVE INVASIVE PLANTS. REMOVAL TO INCLUDE ENTIRE PLANT AND ROOT SYSTEM.
- ALL INVASIVE PLANTS SHALL BE A CUT STUMP APPLICATION OF NYSDEC APPROVED ORGANIC HERBICIDE IMMEDIATELY AFTER CUTTING. CUT STUMP TREATMENTS SHOULD BE CONDUCTED DURING THE GROWING SEASON AFTER FULL LEAF EXPANSION WHEN NUTRIENTS ARE ACTIVELY BEING TRANSPORTED TO THE ROOTS. DELAY IN APPLICATION AFTER CUTTING MAY RESULT IN REDUCED EFFECTIVENESS. SPECIAL AQUATIC FORMULATIONS ARE REQUIRED FOR ALL WETLAND ZONES. THE CONTRACTOR SHALL BE REQUIRED TO HAVE A STATE ISSUED PESTICIDE APPLICATOR LICENSE WHEN APPLYING THE ORGANIC CHEMICAL AND PERMITS AS REQUIRED.
- IF INVASIVE VINES ARE TRIMMING AROUND POST SHRUBS OR TREES, AVOID APPLYING HERBICIDE TO THE PLANT.
- DISPOSE: REMOVE ALL PLANT PARTS FROM SITE IN COVERED TRUCK PER NYSDEC APPROVED DISPOSAL METHODS. DISPOSE OF IN APPROVED LANDFILL OR INCINERATE WITH APPROPRIATE PERMITS.
- SANITATION: CLEAN ALL CLOTHING, BOOTS, AND EQUIPMENT TO PREVENT SPREAD OF SEED.
- INVASIVE PLANT MATERIALS TO BE DISCARDED OFF SITE.
- INSTALL PLANT MATERIALS AS PER APPROVED PLAN AND PLANT SCHEDULE.
- CONTRACTOR TO REMOVE ALL EXISTING INVASIVE VEGETATION FROM WITHIN THE DISTURBED BUFFER AREAS. SURFACE AREA TO BE ROUGH-GRADED AS PER PLAN. REMOVE ALL ROOTS WITHIN 6-12 INCHES OF SURFACE. ENTIRE SURFACE AREA TO BE POWER RAKED AND FIRST (6) INCHES OF SOIL FILLED AND ANY WEEDY MATERIAL OF ROOTS TO BE REMOVED.
- ENGINEER OR ENVIRONMENTAL CONSULTANT TO REVIEW AND APPROVE ROUGH GRADES PRIOR TO HERBICIDE TREATMENT AND PLANTING.
- ONCE ROUGH GRADES ARE APPROVED, THE ENTIRE SURFACE AREA WILL BE SPRAYED WITH AN APPROVED GLYPHOSATE HERBICIDE FOR WETLAND PLANTINGS FOR SEEDING.
- SEED AREA AS PER PLANS AND RATES AFTER TWO WEEKS MINIMUM FROM INITIAL SPRAYING OF HERBICIDE.
- HAND BROADCAST SEED METHODS AS FOLLOWS: WILDFLOWER AND GRASS SEED MIXES AS NOTED ON PLANS (APPLIED AT A RATE OF 40 LBS/AC) TO INCLUDE A NURSE CROP OF ANNUAL RYE GRASS AT A RATE OF 1 LB PER 5,000 SQ.FT. MIX ALL SEED WITH A CARRIER TO CONSIST OF SLIGHTLY DAMPENED SAND/ST OR VERMICULITE (APPROXIMATELY TWO BUSHEL BASKETS OF SAND/ST PER 1,000 SQ.FT.).
- THE SEED CARRIER MIXTURE TO BE DAMPENED WITH WATER, JUST UNTIL IT IS SLIGHTLY DAMP TO THE TOUCH. THE WATER IS NECESSARY SO THE SEED ADHERES TO THE CARRIER, WHICH AIDS IN EVEN DISTRIBUTION OF THE SEED.
- AFTER MIXING YOUR SEED INTO THE CARRIER, DIVIDE THIS MIXTURE INTO TWO EQUAL PARTS.
- HAND BROADCAST ONE HALF OF THE SEED MIXTURE OVER THE ENTIRE SITE (I.E. IN A NORTH TO SOUTH DIRECTION).
- HAND BROADCAST THE SECOND HALF OF THE SEED OVER THE SITE, WALKING PERPENDICULAR TO THE DIRECTION YOU SEED IN THE FIRST HALF. THIS "CROSS PATTERN" SEEDING ENSURES EVEN SEED DISTRIBUTION.
- RAKE OR DRAG THE AREA WITH 1/4"-1/2" OF SOIL, (DO NOT BRING IN TOPSOIL TO ACHIEVE THIS, AS THIS WILL POTENTIALLY INTRODUCES MORE WEED SEED ON SITE).
- FIRM THE SEEDING AREA BY ROLLING THE SITE WITH A HAND ROLLER. WILDFLOWER SEED AND GRASSES REQUIRES FIRM SEED TO SOIL CONTACT FOR GOOD GERMINATION.
- MULCH THE PLANTING AREA WITH APPROXIMATELY 1" OF WEEF FREE STRAW MULCH CAN BE LAID BY HAND OR BLOWN INTO THE SITE, MECHANICALLY.



**LANDSCAPING NOTES:**

- ALL PLANT MATERIAL SHALL BE FIRST QUALITY NURSERY STOCK, CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY, AND SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," PUBLISHED BY AMERICAN HORT (AND 2003), LATEST EDITION.
- ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF CLEAN, NON-DYED, TOXIC FREE, ORGANIC MATERIAL CONSISTING OF SHREDED HARDWOOD, ROTTEN MULCH, SHREDED CEDAR OR BARK CHIPS.
- PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT.
- ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING, GROWING SEASON.
- ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND ALL AUTHORITIES HAVING JURISDICTION.
- PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, MATURE, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBORN, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS, AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBSERVABLE DEFICIENCIES. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY VINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
- PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SOURCES OF ALL PLANT MATERIAL SHALL BE DISCLOSED TO PROJECT LANDSCAPE ARCHITECT AND OWNER PRIOR TO DELIVERY.
- ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, UNLESS OTHERWISE SPECIFIED. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED. SOIL WITHIN ALL PLANTING BEDS SHALL BE PREPARED AS DIRECTED IN THE PLANTING DETAILS AND PROJECT SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIAL.
- ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.
- ALL DISTURBED AREAS THAT ARE NOT IDENTIFIED WITH A SPECIFIC SEED MIX, SHALL BE A DROUGHT TOLERANT LAWN MIX TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- ALL AREAS DISTURBED OR DAMAGED DURING THE COURSE OF THE CONTRACTOR'S WORK SHALL BE REPAIRED OR RESTORED TO ORIGINAL OR CONSTRUCTED CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PERENNIALS AND ORNAMENTAL GRASSES @ 1 GAL. EACH TO COVER 1,072 S.F. ALONG THE SOUTHWEST FACE OF THE BUILDING @ 2" TO 3" SPACING FOR A TOTAL OF 500 1-GALLON PLANTS TO BE SELECTED BY THE L.A. - SEE PLANS.
- PAVER ALTERNATIVES:  
15.1. ALTERNATE ONE: CONCRETE PAVERS SHALL BE UNLOCK ARTLINE PAVERS, WITH A 50% MIX OF WINTER MARBLE AND FRENCH GREY IN LAMBRING FINISH.  
15.2. ALTERNATE TWO: CONCRETE PAVES ALTERNATIVE SHALL BE Poured CONCRETE PAVEMENT - ROMANIAN SANDSCAPE FINISH, MIX OF NIDDEL GREY AND FRENCH GREY - WITH SANDST SCORING IN 3-1/2" WIDE BY 9-1/2" LONG PLANKS.
- THE CONTRACTOR SHALL SUPPLY THE FOLLOWING PLANT MATERIAL TO BE PLACED IN THE FIELD BY THE LANDSCAPE ARCHITECT AS FOLLOWS:

QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.
15	ASCLEPIAS TUBEROSA	BUTTERFLY WEED	1 GAL.	CONT.
25	DIURNIA SAXATILIS 'COMPACTA'	BASKET OF GOLD	2 QT.	CONT.
25	DIANTHUS FIREWITCH	PINKS	2 QT.	CONT.
10	LAVENDULA HIDCOTE	ENGLISH LAVENDER	1 GAL.	CONT.
25	PHLOX STOLONIFERA	CREeping PHLOX	2 QT.	CONT.
35	THYMUS SERPYLLUM	CREeping THYME	2 QT.	CONT.
35	SEDUM TERNATUM	STONECROP	2 QT.	CONT.
30	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	1 GAL.	CONT.

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
BD	4	Betula Nigra	Dura Heat River Birch	8' - 10' HT.	B & B	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
PA	12	Picea Abies	Norway Spruce	8'-10' HT	B & B	
PG	10	Picea Glauca	White Spruce	8'-10' HT	B & B	
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
AB	7	Acer rubrum 'Bowhall'	Bowhall Red Maple	6'-8' HT.	B & B	
AR	10	Acer Rubrum 'Red Sunset'	Red Maple	3" - 3 1/2" Cal.	B & B	
AC	4	Amelanchier Canadensis	Shadblow Serviceberry	8' - 10' HT.	B & B	
BN	5	Betula Nigra 'Heritage'	Heritage River Birch	7'-8' HT.	B & B	
CF	11	Cornus Florida	Flowering Dogwood	6'-8' HT.	B & B	
QR	15	Quercus Rubra	Red Oak	2.5-3'	B & B	
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
AA2	3	Alchemilla mollis	Lady's Mantle	1 gal.	CONT.	
AM2	5	Allium x 'Millenium'	Millenium Ornamental Onion	1 gal.	CONT.	
AH2	15	Amaonia hutchittii	Arkansas Bluestar	1 gal.	CONT.	
AA3	37	Aronia melanocarpa 'Moundscape'	Dwarf Chokeberry	2 gal.	CONT.	
AT	48	Asclepias tuberosa	Butterfly Milkweed	1 gal.	CONT.	
AP3	18	Aster 'Purple Dome'	Fall Blooming Aster	1 gal.	CONT.	
CO	21	Cephalanthus occidentalis	Buttonbush	5 GAL.	CONT.	
CG2	10	Coreopsis grandiflora	Tickseed	5 gal.	CONT.	
CA	15	Cornus Amomum	Silky Dogwood	3 GAL.	CONT.	
DW	12	Dianthus gratianopolitanus 'Firewitch'	Firewitch Pink	1 gal.	CONT.	
EW	10	Echinacea purpurea 'White Swan'	White Swan Coneflower	1 gal.	CONT.	
EB2	17	Eupatorium dubium 'Baby Joe'	Baby Joe Joe-Pye Weed	2 gal.	CONT.	
HM	17	Heuchera americana	Coral Bells	1 gal.	CONT.	
HL2	37	Hydrangea paniculata 'Little Lamb'	Little Lamb Hydrangea	5 gal	CONT.	
IS6	27	Ilex crenata 'Soft Touch'	Soft Touch Japanese Holly	5 gal	CONT.	
IR	31	Itea virginica 'Fizzy Mizzy'	Dwarf Sweetspire	3 gal	CONT.	
LH	25	Lavandula angustifolia 'Hidcote'	English Lavender	1 gal.	CONT.	
PF	20	Pennisetum alopecuroides 'Foxrot'	Foxrot Fountain Grass	1 gal.	CONT.	
PA2	10	Perovskia abrotanoides	Russian Sage	5 gal	CONT.	
PD	21	Physocarpus Opulifolius 'Diablo'	Diablo Ninebark	5 GAL.	CONT.	
SS	9	Salix Sericea	Silky Willow	5 GAL.	CONT.	
SE	14	Sambucus Canadensis	Elderberry	5 GAL.	CONT.	
SH2	143	Sporobolus heterolepis	Prairie Dropseed	1 gal.	CONT.	
SH3	15	Stachys byzantina 'Helen von Stein'	Lamb's Ear	1 gal.	CONT.	
EK	11	Echinacea purpurea 'Kim's Knee High' TM	Purple Coneflower	1 gal.	CONT.	
AF	42	Agastache x 'Blue Fortune'	Blue Fortune Anise Hyssop	1 gal.	CONT.	
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
ARO A2	33	Aronia Arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry/Red Chokeberry	3 GAL.	CONT.	
IW	16	Ilex Verticillata 'Winter Red'	Winter Red Holly	5 GAL.	CONT.	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
HM-3	7,721	NYSDEC Stormwater Basin Mix #3	Highest Zone	seed		
PGMP	424	Perennial and Grass Mix Plugs		Plug	2" PLUG	
PMOM	9,394	Prairie Moon Detention Basin Seed Mix	Lowest Zone	seed		