

ROCKLAND PSYCHIATRIC CENTER

140 OLD ORANGEBURG ROAD
 ORANGEBURG, NY 10962

BUILDING 1 RENOVATION AND HAZARDOUS MATERIALS ABATEMENT

100% DESIGN



DASNY

DORMITORY AUTHORITY OF THE STATE OF NEW YORK

515 BROADWAY
 ALBANY, NY 12207



Office of Mental Health

OFFICE OF MENTAL HEALTH

75 NEW SCOTLAND AVE, UNIT Q
 ALBANY, NY 12208



ARCHITECT

GOSHOW ARCHITECTS
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MEP ENGINEER / FIRE ALARM / FIRE PROTECTION

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HAZMAT CONSULTANT

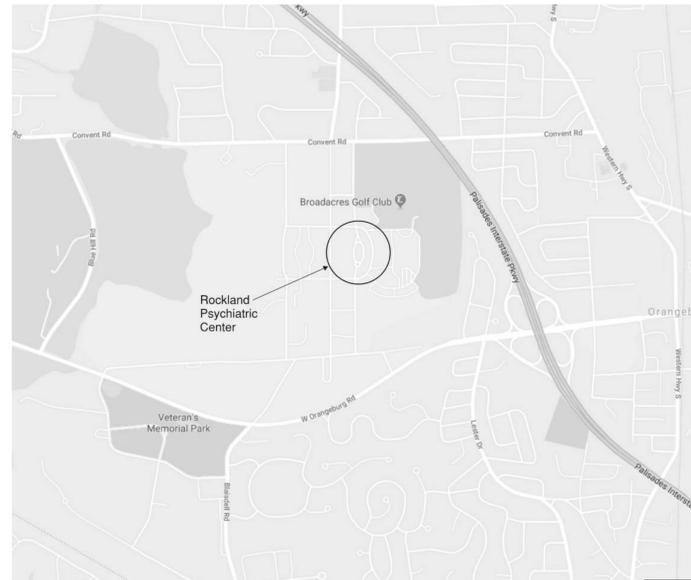
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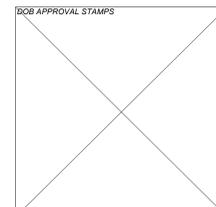
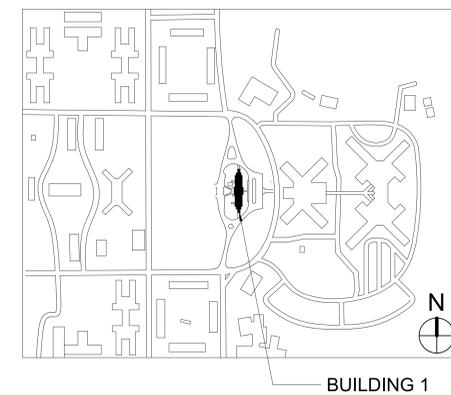
DRAWING LIST

1. GENERAL	
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G001	GENERAL NOTES, SYMBOLS & ABBREVIATIONS
G002	ADA DIAGRAMS & TYPICAL MOUNTING HEIGHTS
G003	CODE ANALYSIS
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A402	TRAIN, KITCHEN 101, OFFICE 204, STAFF CONF. 220 AND TREATMENT 201 PLANS AND ELEVATIONS
A403	EMPLOY. / COMPUTER RM 111, RECEPTION / CHARTS 214 & WAITING RM 212 PLANS AND ELEVATIONS
A404	ENLARGED LIVING MUSEUM ELEVATIONS
A405	CORRIDOR ELEVATIONS
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A421	ELEVATOR PLANS, SECTIONS AND DETAILS
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M404	HYDRONIC FLOW DIAGRAMS
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E062.00	ELECTRICAL SECOND FLOOR REMOVAL PLAN
E101.00	ELECTRICAL FIRST FLOOR LIGHTING PLAN
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E200.00	ELECTRICAL CELLAR FLOOR POWER PLAN
E201.00	ELECTRICAL FIRST FLOOR POWER PLAN
E202.00	ELECTRICAL SECOND FLOOR POWER PLAN
E301.00	ELECTRICAL FIRST FLOOR SYSTEMS PLAN
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FA201.00	FIRE ALARM SYSTEM RISER DIAGRAM
FA301.00	FIRE ALARM SYSTEM SEQUENCE OF OPERATIONS AND DETAILS

LOCATION PLAN



SITE PLAN



ROCKLAND PSYCHIATRIC CENTER - BUILDING 1
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Date: 05/13/2022

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DASNY Project No: 353630

TABLE 403.1 PLUMBING FIXTURE CALCULATIONS																				
FLOOR	WATER CLOSETS								LAVATORIES (SINKS)								DRINKING FOUNTAINS		SERVICE SINK	
	UNISEX		UNISEX (ADA)		MALE		FEMALE		UNISEX		UNISEX (ADA)		MALE		FEMALE		REQUIRED	PROVIDED	REQUIRED	PROVIDED
FIRST FLOOR OCCUPANTS: 60	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
	0	1	0	2	2	3	2	3	0	1	0	2	2	2	2	2	1	2	1	1
SECOND FLOOR OCCUPANTS: 58	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
	0	1	0	0	2	2	2	2	0	1	0	0	1	2	1	2	0	2	0	0

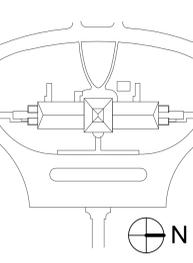
MINIMUM NUMBER OF FIXTURES FOR CLASSIFICATION 'BUSINESS' OCCUPANCY
 - WATER CLOSETS: 1 PER 25 FOR THE FIRST 50 OCCUPANTS, AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50
 - LAVATORIES: 1 PER 40 FOR THE FIRST 80, AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80
 - DRINKING FOUNTAIN: 1 PER 100
 - SERVICE SINK: 1

NOTE:
 (*) SECOND FLOOR MEN'S AND WOMEN'S TOILETS ARE ACCESSIBLE.

CODE ANALYSIS

CODE REFERENCE	REQUIREMENT	PROVIDED
APPLICABLE CODES: 2015 EXISTING BUILDING CODE OF NEW YORK STATE ALTERATION LEVEL 2 (CAFE SEATING & ACCESSIBLE RAMP ENTRANCE) 2015 BUILDING CODE OF NEW YORK STATE WHERE APPLICABLE AND REFERENCED IN EXISTING BUILDING CODE 2015 ENERGY CONSERVATION CODE OF NEW YORK STATE 2017 UNIFORM CODE SUPPLEMENT 2016 SUPPLEMENT TO NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE 2015 INTERNATIONAL FIRE CODE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN 2009 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES		
USE AND OCCUPANCY CLASSIFICATION / CHAPTER 3		
OCCUPANCY CLASSIFICATION IBC-304		GROUP B - BUSINESS
GENERAL BUILDING HEIGHTS AND AREAS / CHAPTER 5		
ALLOWABLE HEIGHT ABOVE GRADE PLANE / IBC-TABLE 504.3	TYPE IB, NON-SPRINKLERED GROUP B: 55 FEET	TYPE IB, NON-SPRINKLERED 33' - 4"
ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE / IBC-TABLE 504.3	TYPE IB, NON-SPRINKLERED GROUP B: 3 STORIES	TYPE IB, NON-SPRINKLERED 3 STORIES
ALLOWABLE AREA FACTOR / IBC-TABLE 506.2	TYPE IB, NON-SPRINKLERED GROUP B: 23,000 SF	TYPE IB, NON-SPRINKLERED 7,800 SF
TYPES OF CONSTRUCTION / CHAPTER 6		
FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS / IBC-TABLE 601	TYPE IB - NONCOMBUSTIBLE FIRE RESISTANCE (0) HOURS	TYPE IB - NONCOMBUSTIBLE FIRE RESISTANCE (0) HOURS
PRIMARY STRUCTURAL FRAME	(0) HOURS	(0) HOURS
BEARING WALLS	(0) HOURS	(0) HOURS
EXTERIOR	(0) HOURS	(0) HOURS
INTERIOR	(0) HOURS	(0) HOURS
NONBEARING WALLS AND PARTITIONS	(0) HOURS	(0) HOURS
EXTERIOR	(0) HOURS	(0) HOURS
INTERIOR	(0) HOURS	(0) HOURS
FLOOR CONSTRUCTION	(0) HOURS	(0) HOURS
ROOF CONSTRUCTION	(0) HOURS	(0) HOURS
INTERIOR FINISHES / CHAPTER 8		
INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY / IBC TABLE 803.11	NON-SPRINKLERED	NON-SPRINKLERED
INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS	GROUP B: CLASS A	CLASS A
CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS	GROUP B: CLASS B	CLASS B
ROOMS AND ENCLOSED SPACES	GROUP B: CLASS C	CLASS C
FIRE PROTECTION SYSTEMS / CHAPTER 9		
AUTOMATIC SPRINKLER SYSTEMS / IBC 903.2	(GROUP B - NOT REQUIRED)	SPRINKLER IN BASEMENT AND LIVING MUSEUM (1ST FL)
MEANS OF EGRESS / CHAPTER 10		
OCCUPANT LOAD / IBC TABLE 1004.1.2	CALCULATED OCCUPANT LOAD SEE EGRESS PLANS	ACTUAL OCCUPANT LOAD SEE EGRESS PLANS
MEANS OF EGRESS SIZING / IBC-SECTION 1005		
STAIRWAYS	0.3 INCHES PER OCCUPANT 36" MINIMUM	3' - 6" WIDTH
OTHER EGRESS COMPONENTS	0.2 INCHES PER OCCUPANT DOORS - 32" MIN. CLEAR (IBC 1010.1.1) CORRIDORS - 44" MIN. (IBC TABLE 1020.2)	32" MIN. CLEAR 48" MIN.
COMMON PATH OF EGRESS TRAVEL FOR SPACES WITH ONE EXIT OR EXIT ACCESS / IBC TABLE 1006.2.1 OCCUPANCY GROUP B: WITHOUT SPRINKLER SYSTEM	MAXIMUM OCCUPANT LOAD OF SPACE WITH SINGLE EXIT: 49 OCCUPANTS MAX. COMMON PATH: 100 FT. (OCC. LOAD ≤ 30) MAX. COMMON PATH: 75 FT. (OCC. LOAD ≥ 30)	MAXIMUM OCCUPANT LOAD OF SPACE WITH SINGLE EXIT: 25 OCCUPANTS
EXIT ACCESS TRAVEL DISTANCE / IBC TABLE 1017.2	TRAVEL DISTANCE WITHOUT SPRINKLER SYSTEM: 200 FEET MAXIMUM (OCCUPANCY GROUP B)	TRAVEL DISTANCE: 109 FEET (SEE EGRESS PLAN)
ACCESSIBLE MEANS OF EGRESS REQUIRED / IBC SECTION 705	ALTERATION SHALL PROVIDE ACCESSIBLE ACCESS TO THE MAXIMUM EXTENT THAT IS TECHNICALLY FEASIBLE.	(1) ACCESSIBLE MEANS OF EGRESS PROVIDED FOR FIRST FLOOR (SEE EGRESS PLAN)
MAXIMUM SLOPE AND RISE ALLOWED FOR EXISTING BUILDINGS / IBC TABLE 705.1.4	SLOPE STEEPER THAN 1:10 BUT NOT STEEPER THAN 1:8, WITH MAXIMUM RISE OF 3 INCHES ALLOWED SLOPE STEEPER THAN 1:12 BUT NOT STEEPER THAN 1:10, MAXIMUM RISE OF 6 INCHES ALLOWED	ACCESSIBLE RAMP PROVIDED WITH SLOPE OF 1:12 FOR RISE OF 3'-4"
MINIMUM NUMBER OF EXITS / IBC-SECTION 1006		
TABLE 1006.3.1: OCCUPANT LOAD PER STORY 1-500: 2 EXITS MIN. 1006.3.2: SINGLE EXIT SHALL BE PERMITTED FROM ANY STORY WHERE THE OCCUPANT LOAD AND COMMON PATH OF EGRESS DOES NOT EXCEED THE VALUES IN TABLE 1006.3.2(2)	TABLE 1006.3.1 FIRST STORY: 49 OCC. MAX SECOND STORY: 29 OCC. MAX	FIRST STORY (60 OCC.) - 4 EXITS SECOND STORY (58 OCC.) - 3 EXITS

KEY PLAN



REVISIONS

REV NO	DESCRIPTION	DATE

Client
 DORMITORY AUTHORITY STATE OF NEW YORK
 515 BROADWAY
 ALBANY, NY 12207

Project Title
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Drawing Title

CODE ANALYSIS

Phase
 100% DESIGN

Drawn By: JH Checked By: SB Date: 05 / 13 / 22

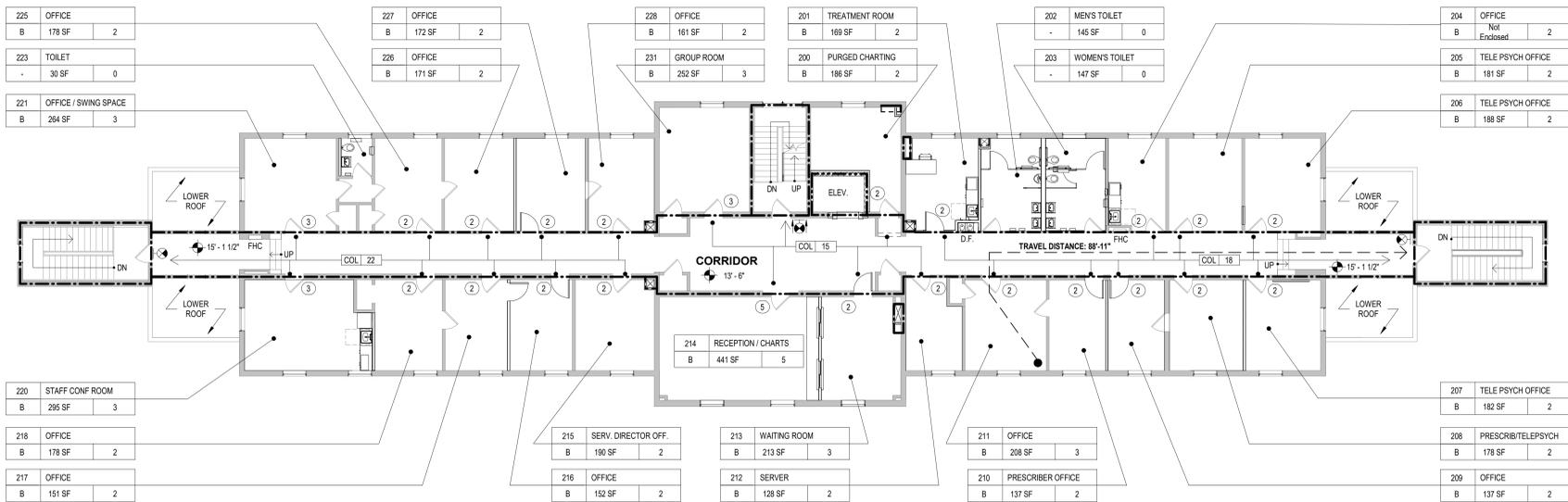
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 353630 DASNY Project No:
 Drawing Number

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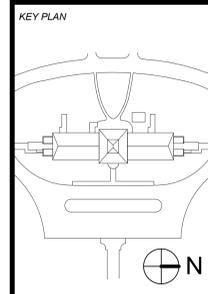
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OCCUPANCY CHART - 2ND FLOOR

ROOM NUMBER	ROOM NAME	OCC. GROUP	AREA	OCC. LOAD FACTOR	NO. OF OCCUPANTS
-	STAIR A	-	187 SF	-	0
-	STAIR C	-	191 SF	-	0
-	STAIR B	-	149 SF	-	0
200	PURGED CHARTING	B	186 SF	100 GROSS	2
201	TREATMENT ROOM	B	169 SF	100 GROSS	2
202	MEN'S TOILET	-	145 SF	-	0
203	WOMEN'S TOILET	-	147 SF	-	0
205	TELE PSYCH OFFICE	B	181 SF	100 GROSS	2
206	TELE PSYCH OFFICE	B	188 SF	100 GROSS	2
207	TELE PSYCH OFFICE	B	192 SF	100 GROSS	2
208	PRESCRIB/TELEPSYCH	B	178 SF	100 GROSS	2
209	OFFICE	B	137 SF	100 GROSS	2
210	PRESCRIBER OFFICE	B	137 SF	100 GROSS	2
211	OFFICE	B	208 SF	100 GROSS	3
212	SERVER	B	128 SF	100 GROSS	2
213	WAITING ROOM	B	213 SF	100 GROSS	3
214	RECEPTION / CHARTS	B	441 SF	100 GROSS	5
215	SERV. DIRECTOR OFF.	B	190 SF	100 GROSS	2
216	OFFICE	B	152 SF	100 GROSS	2
217	OFFICE	B	151 SF	100 GROSS	2
218	OFFICE	B	178 SF	100 GROSS	2
220	STAFF CONF ROOM	B	295 SF	100 GROSS	3
221	OFFICE / SWING SPACE	B	264 SF	100 GROSS	3
223	TOILET	-	30 SF	-	0
225	OFFICE	B	178 SF	100 GROSS	2
226	OFFICE	B	171 SF	100 GROSS	2
227	OFFICE	B	172 SF	100 GROSS	2
228	OFFICE	B	161 SF	100 GROSS	2
231	GROUP ROOM	B	252 SF	100 GROSS	3
2ND FLOOR OCCUPANT TOTAL					60

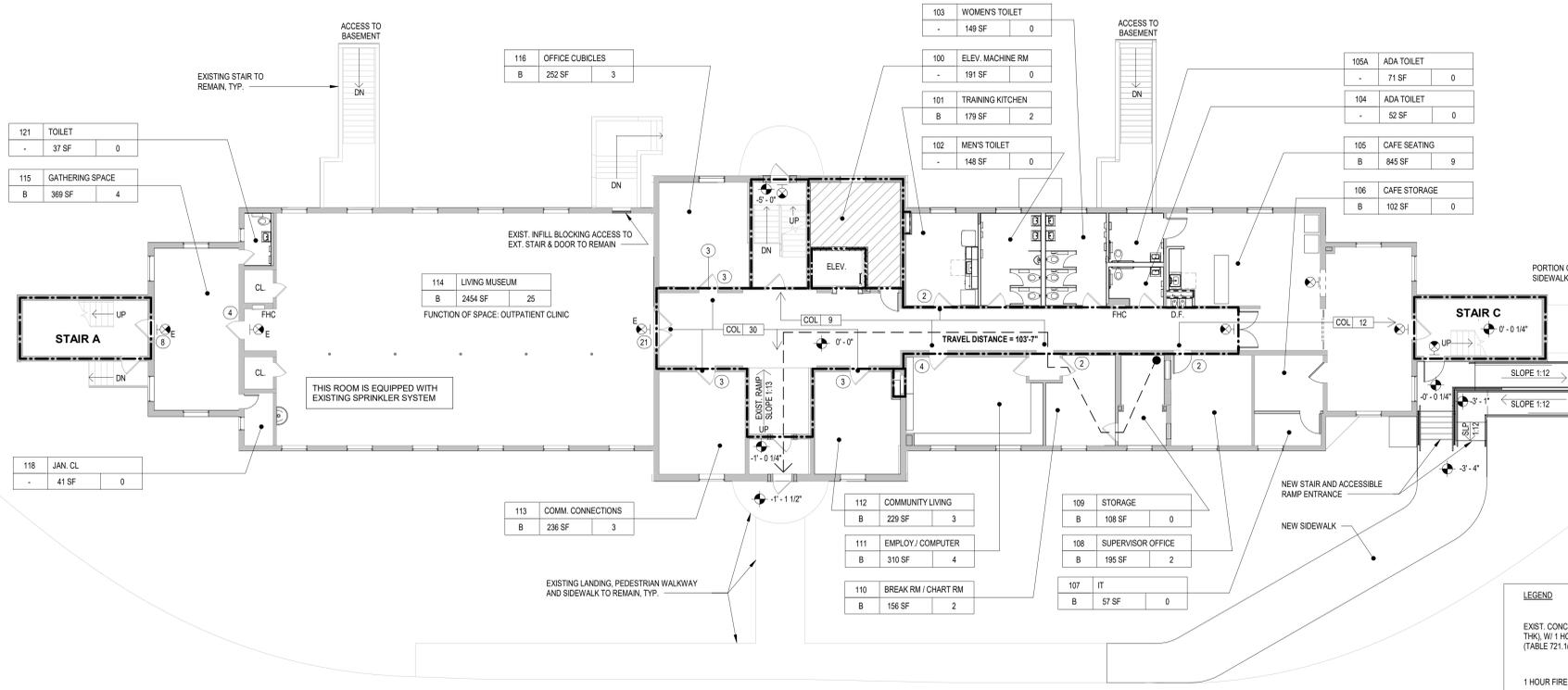


2 SECOND FLOOR EGRESS
 G004 SCALE: 3/32" = 1'-0"



OCCUPANCY CHART - 1ST FLOOR

ROOM NUMBER	ROOM NAME	OCC. GROUP	AREA	OCC. LOAD FACTOR	NO. OF OCCUPANTS
100	ELEV. MACHINE RM	-	191 SF	0	0
101	TRAINING KITCHEN	B	179 SF	100 GROSS	2
102	MEN'S TOILET	-	148 SF	0	0
103	WOMEN'S TOILET	-	149 SF	0	0
104	ADA TOILET	-	52 SF	0	0
105	CAFE SEATING	B	845 SF	100 GROSS	9
105A	ADA TOILET	-	71 SF	0	0
106	CAFE STORAGE	B	102 SF	300 GROSS	0
107	IT	B	57 SF	100 GROSS	0
108	SUPERVISOR OFFICE	B	195 SF	100 GROSS	2
109	STORAGE	B	108 SF	300 GROSS	0
110	BREAK RM / CHART RM	B	156 SF	100 GROSS	2
111	EMPLOY / COMPUTER	B	310 SF	100 GROSS	4
112	COMMUNITY LIVING	B	229 SF	100 GROSS	3
113	COMM. CONNECTIONS	B	236 SF	100 GROSS	3
114	LIVING MUSEUM	B	2454 SF	100 GROSS	25
115	GATHERING SPACE	B	369 SF	100 GROSS	4
116	OFFICE CUBICLES	B	252 SF	100 GROSS	3
118	JAN. CL.	-	41 SF	0	0
121	TOILET	-	37 SF	0	0
121	TOILET	-	37 SF	0	0
1ST FLOOR OCCUPANT TOTAL					57



NOTE:
 ATTIC AND CELLAR FLOORS ARE UNOCCUPIED SPACES

1 FIRST FLOOR EGRESS
 G004 SCALE: 3/32" = 1'-0"

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 515 BROADWAY
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Drawing Title
FIRST AND SECOND FLOOR EGRESS PLANS

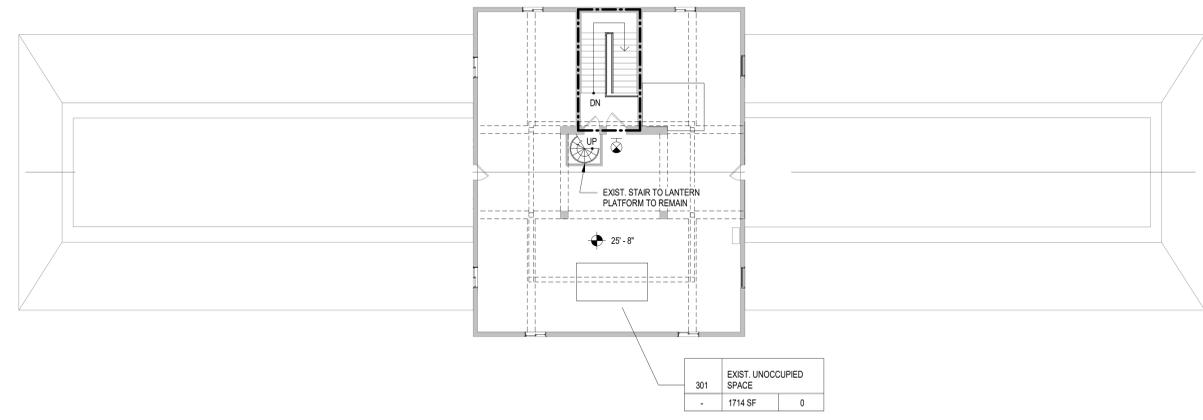
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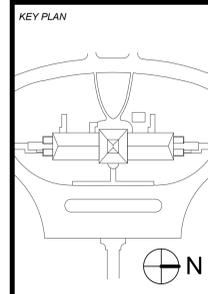
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OCCUPANCY CHART - ATTIC LEVEL

ROOM NUMBER	ROOM NAME	OCC. GROUP	AREA	OCC. LOAD FACTOR	NO. OF OCCUPANTS
301	EXIST. UNOCCUPIED SPACE	-	1714 SF		0



2 ATTIC FLOOR EGRESS
 G005 SCALE: 3/32" = 1'-0"



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REV NO	DESCRIPTION	DATE

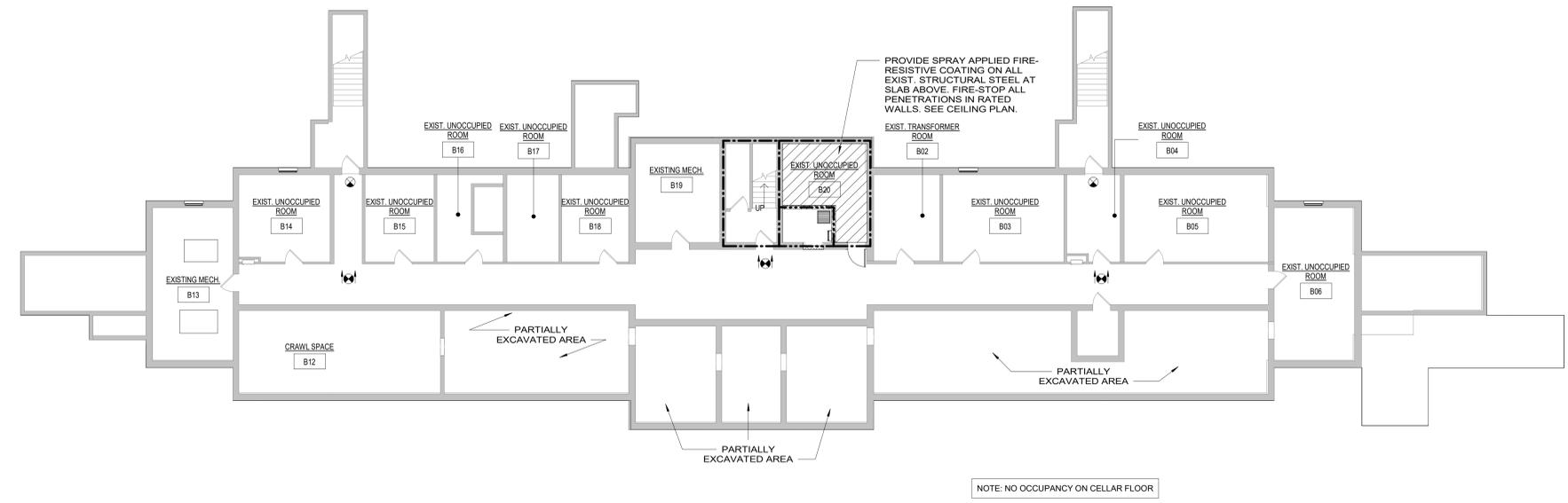
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 Phase
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 Drawing Number: G005 00
 Drawing: 01 of 07

OCCUPANCY CHART - BASEMENT

ROOM NUMBER	ROOM NAME	OCC. GROUP	AREA	OCC. LOAD FACTOR	NO. OF OCCUPANTS
B02	EXIST. TRANSFORMER ROOM		167 SF	0	0
B03	EXIST. UNOCCUPIED ROOM		309 SF	0	0
B04	EXIST. UNOCCUPIED ROOM		131 SF	0	0
B05	EXIST. UNOCCUPIED ROOM		368 SF	0	0
B06	EXIST. UNOCCUPIED ROOM		360 SF	0	0
B07	CRAWL SPACE		714 SF	0	0
B07A	EXISTING VAULT		55 SF		
B08	CRAWL SPACE		228 SF	0	0
B08B	CRAWL SPACE		168 SF		
B09	CRAWL SPACE		167 SF	0	0
B10	CRAWL SPACE		228 SF	0	0
B11	CRAWL SPACE		449 SF	0	0
B12	CRAWL SPACE		491 SF	0	0
B13	EXISTING MECH.		360 SF	0	0
B14	EXIST. UNOCCUPIED ROOM		229 SF	0	0
B15	EXIST. UNOCCUPIED ROOM		176 SF	0	0
B16	EXIST. UNOCCUPIED ROOM		121 SF	0	0
B17	EXIST. UNOCCUPIED ROOM		132 SF	0	0
B18	EXIST. UNOCCUPIED ROOM		171 SF	0	0
B19	EXISTING MECH.		244 SF	0	0



1 CELLAR FLOOR EGRESS
 G005 SCALE: 3/32" = 1'-0"

LEGEND

EXIST. CONCRETE WALL (8"-14" THK), W/ 1 HOUR+ FIRE RATING (TABLE 721.1(2) OF 2015 IBC)	---
1 HOUR FIRE RATING CEILING	▨
1 HOUR FIRE RATING (NEW PARTITIONS)	---
30 MIN. FIRE RATING	---