

sam's club

GENERAL SCOPE OF WORK

SUSHI TENANT: INTERIOR LOW HEIGHT PARTITIONS, NEW REFRIGERATED CASES, NEW SUSHI BAR, NEW SINKS AND GREASE TRAP.

+ ALL QUESTIONS RELATED TO THE BIDDING AND CONSTRUCTION OF THIS PROJECT SHALL BE DIRECTED TO THE GENERAL CONTRACTOR.



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CONSULTANTS



SUSHI SPECIAL PROJECT
**FISHKILL,
N.Y.
CLUB #6356**

ISSUE BLOCK

CHECKED BY:	LM
DRAWN BY:	DC
PHOTO CYCLE:	03/25/22
DOCUMENT DATE:	5/3/22

IMPORTANT NOTICE:
THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS SEALED, SIGNED AND DATED BY THE LICENSEE IN RESPONSIBLE CHARGE (AOR/ORE).

NEW YORK ALTERATION WARNING
IT IS A VIOLATION OF NEW YORK REGULATION 69.5(b) FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY WITHOUT AFFIXING TO THE ITEM HIS SEAL AND THE NOTIFICATION "ALTERED BY," FOLLOWED BY A SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

COVER SHEET

NEW YORK ALTERATION WARNING
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COVER SHEET

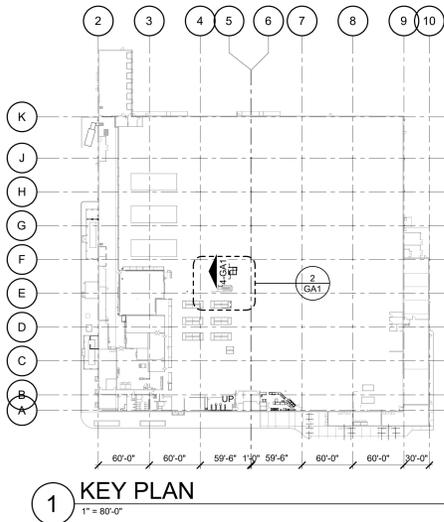
COVER SHEET

SHEET: C1

FISHKILL, N.Y.
CLUB NO.: 6356

DATE: 5/3/22
PROTO: 130

- GENERAL**
C1 COVER SHEET
N1 GENERAL INFORMATION
- ARCHITECTURAL**
GA1 GROCERY DETAIL PLANS AND SCHEDULES
GA2 GROCERY DETAILS
- ELECTRICAL**
E1 ELECTRICAL PLANS
E2 ELECTRICAL PLANS
- MECHANICAL**
FP1 FIRE PROTECTION PLAN
P1 PLUMBING PLAN
P2 ENLARGED GROCERY PLANS
P3 PLUMBING DETAILS AND SCHEDULES
BAS1 BUILDING AUTOMATION SYSTEMS
R1 REFRIGERATION PLAN
R2 REFRIGERATION SCHEDULES
- SPECIAL ELEMENTS**
OS1 OWNER SUPPLIED ITEMS



SYMBOLS LEGEND

- X-XX REF AT KEYNOTE INDICATOR
- 10.1 KEYNOTE INDICATOR
- SB01 EQUIPMENT INDICATOR
- P23 FINISH INDICATOR
- 1 SIM FULL AND PARTIAL SECTION INDICATOR
- 1 A101 EXTERIOR AND INTERIOR ELEVATION INDICATOR
- Room name ROOM NAME AND NUMBER
- XX 11 WALL TYPE INDICATOR
- 101 DOOR INDICATOR
- M WINDOW INDICATOR
- TV MONITOR VERIFY EXACT LOCATION WITH ASSET PROTECTION MANAGER.
- A COLUMN LINE INDICATOR
- 100'-0" FF EL HEIGHT ELEVATION INDICATOR
- 100.00 PLAN ELEVATION INDICATOR
- 1 A101 ENLARGED DETAIL INDICATOR
- 1 DETAIL INDICATOR
- ACCESSIBLE SIGNAGE
- INSECT CONTROL UNIT
- FIRE HOSE CONNECTION
- View Name
- 1 1/8" = 1'-0" VIEW SCALE
- VIEW NO.
- REFERENCING VIEW NO.

CODES

- 2020 NY State Bldg Code(2006 IBC)
- 2020 NYS Plumbing Code(2006 IPC)
- 2020 NYS Mechanical Code(2006 IMC)
- NFPA 70
- 2020 NYS Fire Code(2006 FIC)
- 2020 NYS Energy Conservation Code (2006 EICC)
- 2020 New York State ADA
- 2020 New York State Fuel Gas Code (2006 IFGC)

FIRE PROTECTION:

FULLY SPRINKLERED

TYPE OF CONSTRUCTION:

TYPE 5B

UNLIMITED FLOOR AREA COMPLETELY SPRINKLERED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM AND ENTIRELY SURROUNDED AND ADJACENT BY PUBLIC WAYS OR YARDS NOT LESS THAN 60'-0" IN WIDTH. (WALLS AND PERMANENT PARTITIONS SHALL BE OF NON-COMBUSTIBLE MATERIALS.)

ASSEMBLY OPENING

FIREPARTY WALLS	NA
OCCUPANCY SEPARATION WALL	NA
INTERIOR BEARING WALLS	0
INTERIOR NON-BEARING PARTITIONS	NR
COLUMNS	0
STRUCTURAL FRAMING	0
FLOORCEILING CONSTRUCTION	0
ROOFCEILING CONSTRUCTION	0
EXTERIOR BEARING WALLS	0
EXTERIOR NON-BEARING WALLS	0

NA = NOT APPLICABLE
NC = NON COMBUSTIBLE
NL = NO LIMIT
E1 = EXPANSION JOINT
NR = NO REQUIREMENTS FOR FIRE PROTECTION

OCCUPANCY:

M - MERCANTILE
S2 - STORAGE

OCCUPANCY REQUIREMENTS:

MAXIMUM DISTANCE OF TRAVEL TO AN EXIT (SPRINKLERED BUILDING): 250 FEET

OCCUPANT LOAD & REQUIRED EGRESS WIDTHS

OCCUPANT LOAD (PER 2020 CODE OF NEW YORK STATE - TABLE 1004.5)

LOCATION	AREA	LOAD FACTOR	OCCUPANT LOAD	REG'D EXITS	PROV'D EXITS	2" PER PERSON, 3" PER PERSON AT STAIRS	MIN EGRESS WIDTH REQ'D	EGRESS PROV'D
BREAKROOM / TRAINING	1,376 SF	15	91.8	2	3	18.4	96.0	
KITCHEN / FOOD PREP	5,238 SF	200	26.2	1	1	5.2	32.0	
OFFICE	3,482 SF	100	34.8	1	1	7.0	32.0	
SALES AREA	103,931 SF	60	1,732.2	4	8	346.4	544.0	
SNACK BAR SEATING	1,227 SF	15	81.8	1	1	16.4	32.0	
STORAGE	15,807 SF	300	52.0	2	3	10.4	128.0	
TIRE & BATTERY CENTER	2,130 SF	100	21.3	2	2	4.3	77.0	
TIRE DISPLAY	2,987 SF	60	49.8	1	2	10.0	64.0	
GROUND FLOOR TOTAL:	135,977 SF		2,089.8	14	21	418.0	1005.0	
STORAGE	136 SF	300	0.5	1	1	0.1	32.0	
MEZZANINE TOTAL:	136 SF		0.5	1	1	0.1	32.0	

NEW FIRE EXTINGUISHERS SHALL BE FURNISHED BY OWNER (UNLESS NOTED OTHERWISE) AND INSTALLED BY CONTRACTOR IN ACCORDANCE WITH NFPA 10. EXISTING FIRE EXTINGUISHERS WILL REMAIN UNLESS DIRECTED TO BE RELOCATED/REPLACED BY AHI. CLASS K EXTINGUISHERS SHALL BE PROVIDED WITHIN 30 FEET OF ALL COOKING AREAS. FIRE EXTINGUISHER LOCATIONS SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL PRIOR TO OCCUPANCY. FIRE EXTINGUISHERS ARE TO BE MOUNTED SUCH THAT THE BOTTOM OF UNIT IS 20" AFF MAX. REFER SPECIFICATION SECTION 01500 FOR TEMPORARY FIRE EXIT.

LOCAL CONTACTS

BUILDING OFFICIAL:
JOEL J. PETRUS, BUILDING INSPECTOR/ZONING ADMINISTRATOR/
FLOORPLAN ADMINISTRATOR
807 NY-52, Fishkill, NY 12524
Phone: (845) 831-7800 ext 3322

HEALTH DEPARTMENT:
NY STATE, DEPARTMENT OF AGRICULTURE AND MARKETS, DIVISION OF FOOD AND SAFETY INSPECTION
BRANDY VIDALIA, SANITARIAN
(845) 838 4801

PLANNING & ZONING:

NANCY FITZGERALD-LECKER, ZONING CLERK
807 NY-52, Fishkill, NY 12524
Phone: (845) 831-7800 ext. 3328

FIRE DEPARTMENT:

STEVE VANBUREN, FIRE INSPECTOR
807 NY-52, Fishkill, NY 12524
Phone: (845) 831-7800 EXT 3322

SAM'S CLUB #6356

65 W. Merritt Blvd
Fishkill, NY 12524

VICINITY MAP



ABBREVIATIONS LEGEND

ABBR	DEFINITION	ABBR	DEFINITION	ABBR	DEFINITION
AB	ANCHOR BOLT	FS	FAIR SIDE	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
ACC	ACCESSIBLE (HANDICAPPED)	FTG	FOOTING	PAF	POWDER ACTUATED FASTENER
ACI	AMERICAN CONCRETE INSTITUTE	FV	FIELD VERIFY	PCF	POUNDS PER CUBIC FOOT
AFC	ABOVE FINISHED FLOOR	GA	GAUGE	PLAM	PLASTIC LAMINATE
AFG	ABOVE FINISHED GRADE	GC	GENERAL CONTRACTOR	PL	PLATE
AHJ	AUTHORITY HAVING JURISDICTION	GM	GENERAL MERCHANDISE	PLF	POUNDS PER LINEAR FOOT
AHLU	AIR HANDLING UNIT	GR	GROCERY	PMEJ	PREMOUNTED EXPANSION JOINT
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	GYP BD	GYPSUM BOARD	PS	PROTECTIVE SURFACING
AP	ASSET PROTECTION	H	HEIGHT	PSF	POUNDS PER SQUARE FOOT
ALUM	ALUMINUM	HDPE	HIGH-DENSITY POLYETHYLENE	PSI	POUNDS PER SQUARE INCH
ARCH	ARCHITECTURAL	HM	HOLLOW METAL	PT	PRESSURE TREATED
ASTM	AMERICAN SOCIETY OF TESTING AND MATERIALS	HMR	HOME MEAL REPLACEMENT	PVC	POLYVINYL CHLORIDE
AWIS	AMERICAN WELDING SOCIETY	HORIZ	HORIZONTAL	QTY	QUANTITY
BD	BOARD	HSA	HEADED STUD ANCHOR	REF	REFER TO
BEF	BELOW FINISHED FLOOR	HSS	HOLLOW STRUCTURAL SECTION	REFRIG	REFRIGERATION
BL	BLOCK LINTEL	HW	HOT WATER	REINF	REINFORCING
BLDG	BUILDING	ICC	INTEGRAL COLORED CONCRETE	REQD	REQUIRED
BO	BOTTOM OF	INFO	INFORMATION	REV	REVERSE
BOS	BOTTOM OF STEEL OR BOTTOM OF STUD	ISO	ISOLATION	RI	REACH IN
BTM	BOTTOM BEARING	JBE	JOIST BEARING ELEVATION	RMC	REFRIGERATION MECHANICAL CENTER
BRS	BEARING	JST	JOIST	RO	ROUGH OPENING
CD	CASH DRAWER	JT	JOINT	RTU	ROOF TOP UNIT
CJ	CONTRACTION JOINT	KSI	KIPS PER SQUARE INCH	SCHED	SCHEDULE
CL	CENTERLINE	L	LENGTH	SDI	STEEL DECK INSTITUTE
CLFMI	CHAIN LINK FENCE MANUFACTURERS INSTITUTE	LB	POUNDS	SF	SQUARE FOOT (FEET)
CLO	CLOSET	LLH	LONG LEG HORIZONTAL	SIM	SIMILAR
CLR	CLEAR	LLV	LONG LEG VERTICAL	SJ	STEEL JOIST INSTITUTE
CMU	CONCRETE MASONRY UNIT	LONG	LONGITUDINAL	SP	SPACES
CON	CONCRETE	LT	LIGHT	SPCS	SPECIFICATIONS
CONC	CONCRETE	MAS	MASONRY	SS	STAINLESS STEEL
CONN	CONNECTION	MAU	MAKE-UP AIR UNIT	STRUC	STRUCTURAL
CONST	CONSTRUCTION	MAX	MAXIMUM	T&B	TOP AND BOTTOM
CONT	CONTINUOUS	MDF	MEDIUM DENSITY FIBERBOARD	THK	THICKNESS
COU	CONDENSING UNIT	ME	MASONRY ELEVATION	TOP OF	TOP OF
DIA	DIAMETER	MECH	MECHANICAL	TOC/TC	TOP OF CONCRETE
DEMO	DEMOLITION	MEZZ	MEZZANINE	TOF	TOP OF FOOTING
DS	DOWNSPROUT	MFR	MANUFACTURER	TOGB	TOP OF GRADE BEAM
DTM	DIRECT TO METAL	MIN	MINIMUM	TOM	TOP OF MASONRY
EAS	EMERGENCY ACCESS SYSTEM	MISC	MISCELLANEOUS	TOP/TP	TOP OF PAVING OR TOP OF PANEL
EDC	ELECTRICAL DISTRIBUTION CENTER	MO	MASONRY OPENING	TOS	TOP OF STEEL OR TOP OF STUD
EF	EXHAUST FAN	MTE	MATCH EXISTING	TRANS	TRANSVERSE
EFS	EXTERIOR INSULATION AND FINISH SYSTEM	MTL	METAL	TS	TUBE STEEL
EJC	EXPANSION JOINT	MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES	TYP	TYPICAL
EL	ELEVATION	NIC	NOT IN CONTRACT	UDO	UNLESS DIRECTED OTHERWISE
ELEC	ELECTRICAL	NO	NUMBER	UNO	UNLESS NOTED OTHERWISE
EO	EQUAL	NRP	NON-FIBERGLASS REINFORCED PLASTIC	VERT	VERTICAL
ES	EQUIPMENT SUPPLIER	NS	NEAR SIDE	VTR	VENT THROUGH ROOF
ETR	EXISTING TO REMAIN	NTS	NOT TO SCALE	W	WIDTH
EW	EACH WAY	OC	ON CENTER	WD	WOOD
EXIST	EXISTING	OCH	ON CENTER HORIZONTAL	WH	WATER HEATER
FDN	FOUNDATION	OCV	ON CENTER VERTICAL	XTRM	TRANSFORMER
FF	FINISHED FLOOR	OD	OUTSIDE DIAMETER		
FRP	FIBERGLASS REINFORCED PLASTIC	OH	OPPOSITE HAND		

ARCHITECT PERRY M. PETRILLO ARCHITECTS, PC PERRY M. PETRILLO, AIA - ARCHITECT OF RECORD 9 PARK AVE PARK RIDGE, NJ 07656 201-307-6153	FIRE PROTECTION ENGINEER MPW ENGINEERING MICHAEL MCKAIN, PE - ENGINEER OF RECORD 110 W. 7TH STREET, SUITE 600 TULSA, OK 74119 918-582-4088	MECHANICAL ENGINEER MPW ENGINEERING MICHAEL MCKAIN, PE - ENGINEER OF RECORD 110 W. 7TH STREET, SUITE 600 TULSA, OK 74119 918-582-4088	ELECTRICAL ENGINEER MPW ENGINEERING AARON MORSE, PE - ENGINEER OF RECORD 110 W. 7TH STREET, SUITE 600 TULSA, OK 74119 918-582-4088
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GENERAL PROJECT NOTES
 (REFER TO SPECIFICATION SECTION 01700 FOR ADDITIONAL REQUIREMENT.)

- GENERAL REQUIREMENTS:**
- COMPLY WITH SAM'S CLUB CONSTRUCTION MANAGER AND SAM'S CLUB MANAGER REGULATIONS FOR WORK WITHIN THE BUILDING. SPECIFIC REQUIREMENTS WILL BE DISCUSSED BY THE SAM'S CONSTRUCTION MANAGER AT THE PRE-CONSTRUCTION CONFERENCE.
 - MAINTAIN ALL REQUIRED VEHICULAR, PEDESTRIAN AND EMERGENCY ACCESS/EGRESS TO AND FROM THE SITE, BUILDING, AND ADJACENT BUILDINGS/PROPERTIES AT ALL TIMES. ALL ADJACENT BUILDINGS (WHERE APPLICABLE) SHALL REMAIN IN SERVICE DURING DEMOLITION CONSTRUCTION. COORDINATE PORTIONS OF THE WORK WHICH MAY IMPACT ADJACENT BUILDINGS OR SITES WITH APPROPRIATE RESPONSIBLE PARTIES.
 - MUD AND DEBRIS SHALL NOT BE TRACKED ONTO OWNER PAVING OR CITY STREETS. SHOULD SUCH AN INCIDENT OCCUR, CLEAN IMMEDIATELY USING APPROPRIATE METHODS AND FORCES.
 - PROVIDE METHODS FOR RELEASE OF WATER AT ALL SITEWORK OR BUILDING ELEMENTS AS REQUIRED TO PREVENT PONDING.
 - BUILDING COMPONENTS ABANDONED BY THE SCOPE OF WORK SHALL BE SECURED TO PREVENT FALLING, LOOSENING, OR CREATING DAMAGE OF ANY KIND IN THE FUTURE.
 - ALL WORK SHALL BE DONE IN A SAFE AND WORKMANLIKE MANNER AND IN STRICT ACCORDANCE WITH ALL ADOPTED CODES AND ALL APPLICABLE REGULATIONS AND ORDINANCES HAVING JURISDICTION.
 - THE CONTRACTOR SHALL THOROUGHLY EXAMINE ALL FACTORS REASONABLY AVAILABLE TO HIM, INCLUDING BUT NOT LIMITED TO THE DRAWINGS, PROJECT MANUAL, INCLUDING SPECIFICATIONS, AND ACTUAL SITE CONDITIONS, LOCAL INFORMATION REGARDING SITE HISTORY AND SEASONAL WEATHER CONDITIONS. SOIL REPORT DATA MAY NOT BE ALL CONCLUSIVE AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURTHER INVESTIGATE SITE CONDITIONS AS HE DETERMINES NECESSARY. ANY CONSTRUCTION PERFORMED BY THE CONTRACTOR ON AN EXISTING BUILDING WILL CONSTITUTE ACCEPTANCE OF THE EXISTING CONDITIONS.
 - EACH SUB-CONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT THEMSELVES WITH THIS KNOWLEDGE DOES NOT RELIEVE THE SUB-CONTRACTOR OF ANY RESPONSIBILITY FOR PERFORMING THEIR WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.
 - SAM'S CLUB SHALL OCCUPY THE BUILDING DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH SAM'S CLUB MANAGER AND THE SAM'S CLUB CONSTRUCTION MANAGER ALL CONSTRUCTION PROCEDURES WHICH WILL INTERFERE WITH THE NORMAL DAILY OPERATIONS OF THE CLUB. THE CONTRACTOR SHALL OBTAIN PERMISSION FROM BOTH FOR ALL INTERRUPTIONS OF UTILITY SERVICES TO THE EXISTING BUILDING PRIOR TO THE INTERRUPTION. ACCIDENTAL INTERRUPTIONS SHALL BE REMEDIATED IMMEDIATELY WITH APPROPRIATE FORCES.
 - THE EXISTING BUILDING SHALL BE PROTECTED AT ALL TIMES FROM MOISTURE, DUST AND DEBRIS. INSTALL DUST PARTITIONS AS REQUIRED TO KEEP THE EXISTING PREMISES FREE FROM DUST AND DEBRIS. PROVIDE BARRICADES SEPARATING THE PUBLIC FROM CONSTRUCTION ACTIVITY.
 - ANY DAMAGE TO SAM'S PROPERTY CAUSED BY THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AT NO ADDITIONAL COST TO SAM'S. THIS INCLUDES ALL MERCHANDISE. THE CONTRACTOR SHALL PAY SAM'S THE REPLACEMENT COST OF ALL DAMAGED MERCHANDISE.
 - THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE EXISTING BUILDING SECURITY AT ALL TIMES. THIS INCLUDES KEEPING THE BUILDING SECURE FROM PERSONS, ENVIRONMENTAL ELEMENTS, OR HAZARDS.
- THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION AREA FREE AND CLEAR OF DEBRIS. REMOVE TRASH AND DEBRIS FROM CONSTRUCTION AREA AND DO NOT ALLOW TO ACCUMULATE. NO FLAMMABLE MATERIALS/LIQUIDS MAY BE STORED IN THE EXISTING BUILDING OR THE ADDITION. DURING CONSTRUCTION, PROVIDE UL LISTED 2A/20BC DRY ACCESSIBLE AT ALL TIMES WITHIN ALL CONSTRUCTION AREAS.
 - MAINTAIN THE REQUIRED NUMBER OF EXITS FROM THE CLUB. EXIT SIGNS AND EMERGENCY LIGHTING AT ALL TIMES AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION. COORDINATE TEMPORARY EXITING DURING THE CONSTRUCTION PROCESS.
 - REMOVE EXISTING ITEMS, SERVICES, FINISHES OR SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW CONSTRUCTION.
 - PROVIDE FURRING FOR CONDUITS AND PIPING, SHOWN OR NOT, AND FINISH OUT FURRING TO MATCH ADJACENT EXISTING SURFACES.
 - REPAIR, REROUTE, AND EXTEND ALL SERVICES, PIPING, CONDUIT OF EXISTING ITEMS AND EQUIPMENT AS REQUIRED DURING THE CONSTRUCTION PROCESS FOR THE COMPLETE INSTALLATION AND OPERATION OF ALL EQUIPMENT. THIS INCLUDES ALL ITEMS SHOWN OR NOT SHOWN ON THE DRAWINGS. RESET EXISTING EQUIPMENT OR RELATED ITEMS AS REQUIRED FOR PROPER OPERATION.
 - WHEN EQUIPMENT, FIXTURES, FURNISHINGS, ACCESSORIES, SERVICES, FINISHES OR SURFACES ARE TEMPORARILY REMOVED OR RELOCATED IN ORDER TO PERFORM WORK, THE CONTRACTOR IS RESPONSIBLE FOR RETURNING THEM TO THEIR ORIGINAL POSITION, RECONNECTION OF SERVICES AND APPROPRIATE MEANS OF ATTACHMENT UNLESS SPECIFICALLY DIRECTED TO DO OTHERWISE.
 - WHERE EXISTING FINISHES ARE TO REMAIN, CLEAN, REPAIR, PATCH AND REPAINT TO BLEND INTO THE WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ORDERING OF MATERIALS TO PROHIBIT DELAYS OF THE CONSTRUCTION SCHEDULE OF THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE DELIVERY OF MATERIALS IN A TIMELY MANNER.
 - EXISTING CIRCUITS, WHERE DEMOLITION OR NEW CONSTRUCTION INTERRUPTS EXISTING ELECTRICAL CIRCUITS FEEDING EXISTING EQUIPMENT, DEVICES, OR LIGHTING TO REMAIN BUT NOT SHOWN ON DRAWINGS, PROVIDE LABOR AND MATERIALS TO REWORK CIRCUITRY AS REQUIRED TO MAINTAIN OPERATION.
 - VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO FABRICATION OF STRUCTURAL ITEMS. IF ANY DISCREPANCIES ARE FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT EXISTS IN THE FIELD, CONTACT THE SAM'S CLUB CONSTRUCTION MANAGER TO DETERMINE WHAT SHOULD BE DONE TO MATCH EXISTING CONDITIONS AS REQUIRED. BEGINNING OF FABRICATION MEANS ACCEPTANCE OF EXISTING CONDITIONS.
 - COORDINATE CONSTRUCTION SEQUENCING WITH SAM'S CLUB CONSTRUCTION MANAGER AND PHASING SCHEDULE. DEVELOP A SCHEDULE OF WORK INDICATING THE STARTING AND COMPLETION DATES OF THE DIFFERENT PHASES OF THIS PROJECT. SUBMIT THE SCHEDULE TO SAM'S CLUB FOR APPROVAL WITHIN TEN (10) DAYS AFTER THE SIGNING OF THE CONTRACT. SAM'S CLUB RESERVES THE RIGHT TO REVISE THIS SCHEDULE TO BEST MEET THEIR NEEDS FOR CLUB OPERATIONS AT NO ADDITIONAL COST TO SAM'S CLUB. AS THE CONSTRUCTION PROGRESSES, UPDATE WORK SCHEDULE IN WRITING TO THE CLUB MANAGER AND CONSTRUCTION MANAGER EVERY WEEK (OR AS NEEDED) TO MAINTAIN CLUB OPERATIONS).
 - THE GENERAL CONTRACTOR SHALL RESPOND TO ALL REQUIREMENTS OF THE ARCHITECT/ENGINEERS OR VERIFICATIONS, RESPONSES AND SUBMISSIONS.
 - ALL QUESTIONS RELATING TO THE CONSTRUCTION OF THIS PROJECT SHALL BE PRESENTED IN ELECTRONIC FORM USING THE "REQUEST FOR INFORMATION" PROCESS, INCLUDED IN THE SPECIFICATIONS, THROUGH THE GENERAL CONTRACTOR ONLY. FOLLOW INSTRUCTIONS WHEN COMPLETING AND SENDING.

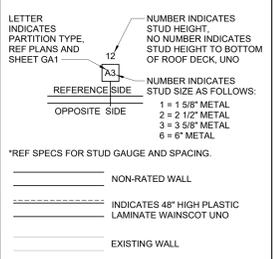
DEMOLITION REQUIREMENTS:

 - REFER TO THE SAM'S CLUB CONSTRUCTION MANAGER FOR PHASING AND SCHEDULING OF DEMOLITION AND NEW CONSTRUCTION.
 - DURING DEMOLITION AND RECONSTRUCTION, COORDINATE WITH THE SAM'S CLUB CONSTRUCTION MANAGER LOCATIONS OF ANY NECESSARY TRAFFIC SAFETY BARRIERS OR BARRICADES. TEMPORARY DUST PARTITIONS, SECURITY ENCLOSURES, AND/OR DUST DRAPES WITH THE SCOPE AND PHASING OF THE WORK AND THE SAM'S CLUB CONSTRUCTION MANAGER. REFER TO DETAILS ON DEMOLITION SHEETS.
 - SEAL PERIMETER OF DUST PARTITIONS AND DOORS TO PREVENT PASSAGE OF DUST. TAPE FASTEN DEPRESSIONS, JOINTS BETWEEN PANELS AND JOINTS BETWEEN PANELS AND FLOORS, CEILING AND COLUMNS WITH 2 IN. WIDE PRESSURE SENSITIVE TAPE.
 - ALL DUST PARTITIONS SHALL HAVE SINGLE ACTING DOORS WITH CLOSURES CLOSING AGAINST GASKETED STOPS ON FRAMES TO REDUCE PASSAGE OF AIR DUST AND MOISTURE. PROVIDE MATS AT DOORS TO REDUCE TRACKING OF DUST. REPLACE OR CLEAN MATS DAILY.
 - PROVIDE PANIC HARDWARE AT DOORS IN DUSTWALLS AS REQUIRED TO MAINTAIN ALL REQUIRED EXITS. ALL EXISTING EXTERIOR EXIT DOORS WITH PANIC HARDWARE SHALL BE ASSUMED TO BE REQUIRED. COORDINATE TEMPORARY EXITING WITH SAM'S CLUB CONSTRUCTION MANAGER AND LOCAL FIRE DEPARTMENT BUILDING OFFICIAL.
 - REFER TO PLUMBING DRAWINGS FOR ADDITIONAL SLAB DEMOLITION FOR REQUIRED PLUMBING WHICH IS NOT SHOWN ON THE DEMOLITION PLAN.
 - NOTES INDICATING DEMOLITION WORK ARE NOT CONFINED SOLELY TO THE DEMOLITION PLANS. THE GENERAL CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS, INCLUSIVE OF SCHEDULES AND SPECIFICATIONS, TO DETERMINE FULL EXTENT OF DEMOLITION WORK.
 - ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER AND IN STRICT ACCORDANCE WITH APPLICABLE OSHA REGULATIONS.
 - THE CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION. THE WORK INCLUDES, BUT IS NOT LIMITED TO, THE DEMOLITION AND REMOVAL OF FIXTURES, PLUMBING, MECHANICAL, ELECTRICAL, AND FIRE SPRINKLER ITEMS AS SHOWN ON THE DRAWINGS OR AS REQUIRED FOR THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB. REPLACE ANY/ALL WALL, WALL OR CEILING FINISHES DAMAGED AS A RESULT OF DEMOLITION. MATCH ADJACENT FINAL FINISHES.
 - WHEN UTILITIES ARE REMOVED, CAP AND SEAL A MINIMUM OF 8" BELOW THE FINISH FLOOR. IF THERE IS AN EXISTING CEILING, CAP A MINIMUM OF 6" ABOVE THAT CEILING.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE SHORING, BRACING AND SUPPORT SYSTEMS AND TO KEEP THE EXISTING STRUCTURE INTACT AND IN A SAFE CONDITION DURING THE REMOVAL OF STRUCTURAL ITEMS AND NEW CONSTRUCTION. THE CONTRACTOR SHALL RETAIN A REGISTERED PROFESSIONAL ENGINEER TO DESIGN THE SHORING OR BRACING AND SPECIFY DEMOLITION PROCEDURES. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR MEANS AND METHODS OF DEMOLITION AND NEW CONSTRUCTION.
 - COORDINATE DEMOLITION WITH NEW CONSTRUCTION IN ORDER THAT THE CLUB WILL HAVE UNINTERRUPTED WATER, SEWER, ELECTRICAL, GAS AND FIRE PROTECTION SERVICE.
 - THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXISTING CONCRETE FLOOR CONSTRUCTION BEFORE ANY SAW-CUTTING OR CORE DRILLING INTO THE SLAB. NOTIFY THE ARCHITECT IMMEDIATELY IF SLAB IS REINFORCED WITH POST TENSIONED STEEL. WHERE SAW-CUTTING IS THEN GIVEN APPROVAL BY THE ARCHITECT THE CONTRACTOR SHALL GIVE FULL ATTENTION IN MAINTAINING ALL REINFORCING STEEL INTACT AND TO FOLLOWING ALL ADDITIONAL INSTRUCTIONS FROM THE ARCHITECT.
 - ALL DEMO MATERIALS NOT SALVAGED BY SAM'S CLUB SHALL BE REMOVED BY THE CONTRACTOR. COORDINATE WITH SAM'S CLUB CONSTRUCTION MANAGER REGARDING MATERIALS TO BE SALVAGED BY SAM'S CLUB.
 - THE CONTRACTOR SHALL USE A WET SAW FOR SLAB SAWING. NO JACK HAMMERS WILL BE ALLOWED WITHOUT PRIOR APPROVAL FROM SAM'S CLUB CONSTRUCTION MANAGER.
 - PROTECT ALL WATER PIPING AT AREAS OF DEMOLITION. EXPANSION AND REMODEL, WHERE EXISTING PIPING IS SUBJECT TO FREEZING. PROTECT PIPING SO AS NOT TO FREEZE.
 - REMOVE EXISTING CERAMIC TILE, QUARRY TILE, OR EPOXY RESINOUS FLOORING AT AREAS TO RECEIVE NEW FLOOR FINISH IF SAWING. PREPARE CONCRETE SUBSTRATE FOR NEW FLOOR FINISH AS NOTED IN DRAWINGS AND SPECIFICATIONS.
 - CONDUCT ALL DEMOLITION AND REMOVAL OF DEBRIS AS REQUIRED TO INSURE MINIMUM INTERFERENCE AND DISRUPTION WITH BUILDING/SITE FACILITIES AND OPERATIONS. REMOVE DEMOLISHED MATERIALS FROM SITE AND LEGALLY DISPOSE OF ALL DEBRIS.

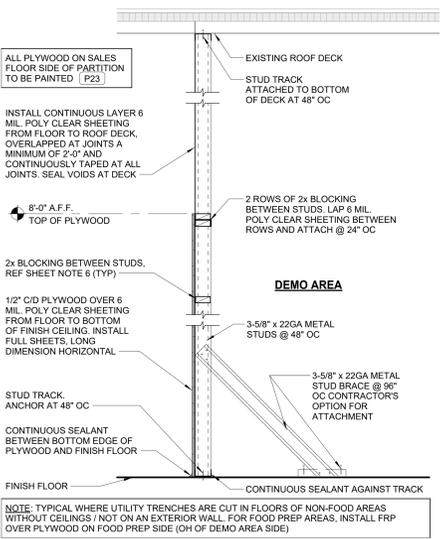
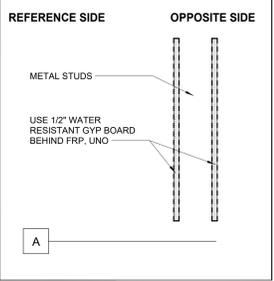
PARTITION NOTES

- CONTINUE FINISH MATERIAL ON CHASE TO UNDERSIDE OF BOTTOM CHORD OF BARR JOISTS ABOVE. REF 10-GA2
- REF PARTITION KEY SYMBOL FOR STUD WIDTHS.
- USE 1/2" WATER RESISTANT GYP BOARD BEHIND FRP AT SUSHI AREA.

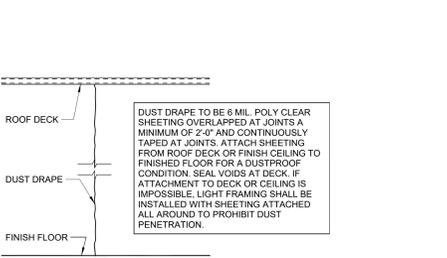
PARTITION LEGEND



PARTITION TYPES



4 TEMP TRENCH BARRIER/DUST DRAPE
 3/4" = 1'-0"



3 DUST DRAPE
 1/2" = 1'-0"

SUSHI RESPONSIBILITIES MATRIX (ALL SCOPES MAY NOT BE USED)	
SCOPE OF WORK	REFERENCE
REMOVE PRODUCT	OW
PROVIDE TEMP REFRIGERATED STORAGE AS NECESSARY	OW
TEMP CASE LINEUP	GC
REMOVE RACKING, REINSTALL RACKING	OW
REMOVE UTILITIES AND RACK ANCHORS AS NECESSARY (CONDENSATE PIPING, CONDUIT, J-BOX)	GC
PROVIDE RICE COOKER	OW
ANCHOR RACKING	GC
INSTALL/MODIFY UTILITIES FOR FINAL COORDINATION	NA

ROOM FINISH SCHEDULE												
RM #	ROOM NAME	FLOOR FINISH	WALL			CEILINGS			NOTES			
			BASE	MAT	FINISH	BASE	MAT	FINISH				
921	NEW SUSHI TENANT	ETR,ECT	SCB5	T	FRP1	SCB5	T	FRP1	---	---	---	1 THROUGH 8

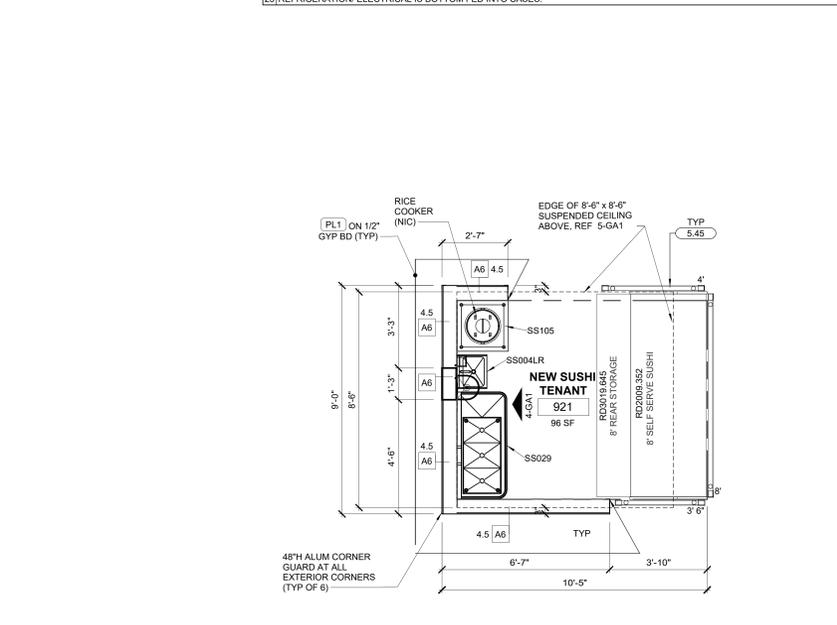
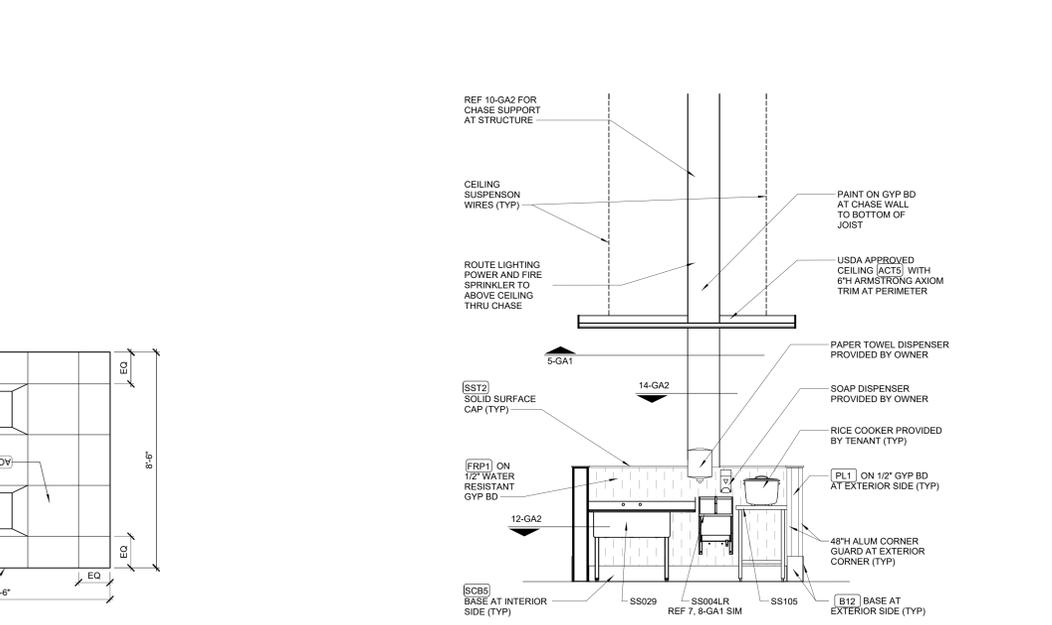
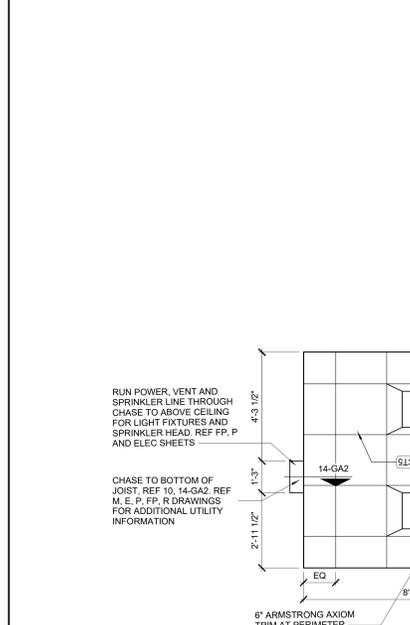
FLOOR FINISH LEGEND	
NEW EXPOSED CONCRETE FLOOR SLABS NOT SCHEDULED TO RECEIVE ANOTHER FINISH (CARPET, TILE, EPOXY RESIN, ETC.) FINISH AS SPECIFIED PER SPEC SECTION 03302. AREA TO BE POLISHED WITH OWNER'S "DIY PROGRAM" PRIOR TO SUSHI ISLAND INSTALLATION. APPROX. 267 SF	

REFRIGERATED AND HOT DISPLAY CASES LEGEND						
NO	QTY	CASE LENGTH-DOOR NO	DESCRIPTION	MANUFACTURER	MODEL NUMBER	NOTES
RD2009.352	1	8FT	SUSHI SELF-SERVICE	HUSSMANN	G2-SPN	18.19.25
RD3019.645	1	8FT	SUSHI SERVICE REAR STORAGE	HUSSMANN	G3-SP-RRS	18.19.25

SHEET NOTES	
1.	INTERIOR PLAN DIMENSIONS ARE TO THE FACE OF THE STUD UNO. COORDINATE LAYOUT WITH OWNER'S CM PRIOR TO STARTING CONSTRUCTION.
2.	REFRIGERATED CASES ARE TO THE OUTERMOST POINTS OF THE CASES. ENDCAPS AND BUMPERS ARE CONSIDERED PART OF THE CASE, WHERE THEY OCCUR. DIMENSIONS ON THE FIXTURE PLANS ARE FOR LAYOUT OF OWNERS FINISHED ITEMS ONLY AND ARE NOT TO BE USED FOR LOCATION OF WALLS AND OTHER CONTRACTOR-BUILT ITEMS. THE FINAL MERCHANDISE PLAN WILL SUPERSEDE LOCATIONS SHOWN FOR REFRIGERATION CASES. LOCATIONS ON THE FIXTURE PLANS ARE FOR BIDDING PURPOSES ONLY.
3.	PAIN EXISTING CEILING, JOISTS, JOIST REINFORCING AND ROOF STRUCTURE AT AREA OF WORK TO MATCH EXISTING. REFER TO SPECS FOR ADDITIONAL INFORMATION.
4.	GC TO SILICONE CAULK ALL SINKS AND STATIONARY EQUIPMENT TIGHT TO FLOORS AND WALLS WITH SEALANT APPROVED PER LOCAL HEALTH CODES. NO EXPOSED PIPING OR CONDUIT ON PREP AREA, WALLS, OR ON BACKS OF REFRIGERATED DISPLAY CASES. RUN PLUMBING OR CONDUIT IN WALLS OR CHASE WHEREVER POSSIBLE. IF NECESSARY TO RUN CONDUIT OR PIPING ON WALL SURFACE, GC IS TO COVER PIPING WITH 20 GAUGE SS COVER PLATES. SECURE COVER PLATES TO WALL AND PROVIDE CONTINUOUS SILICONE CAULK AT EDGES AND JOINTS.
5.	ROUTE ALL UTILITY SERVICE LINES (PIPES AND CONDUIT) WITHIN STUD CHASE WALL. IN FOOD PREP AREAS USE ONLY NON-CORROSIVE MATERIALS FOR SPACERS AND ANCHORS.
6.	REFER TO DETAILS ON SHEET D1 FOR TEMPORARY DUST PARTITION, DUST DRAPE, AND SECURITY ENCLOSURE DETAILS. CONTRACTOR SHALL COORDINATE LOCATIONS, TYPES, AND PHASING OF INSTALLATION WITH SCOPE AND PHASING OF THE WORK AND WITH THE SAMS CONSTRUCTION MANAGER.
7.	COORDINATE TRENCHING OF SLAB FOR INSTALLATION OF NEW WORK WITH OWNER'S CM AND STORE MANAGER. REFER TO SHEET GA1 AND FINISH SCHEDULE FOR SLAB FINISH AND LOCATION.
8.	REFER TO FIRE PROTECTION DRAWINGS FOR SCOPE OF WORK FOR EXISTING SPRINKLER PIPING.
9.	REMOVE EXISTING PROTECTION RAILS AND FLANGES AT REFRIGERATED CASES TO BE REMOVED FOR NEW WORK. REPAIR FLOOR PER SPEC SECTION 03065.
10.	REFERENCE OWNER PROVIDED MERCHANDISE PLAN FOR ANY NEW/RELOCATED FIXTURES. REF ELECTRICAL FOR FIXTURES REQUIRING POWER.

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PROJECT NO: 2023-01
 SHEET NO: GA1
 DATE: 03/25/22

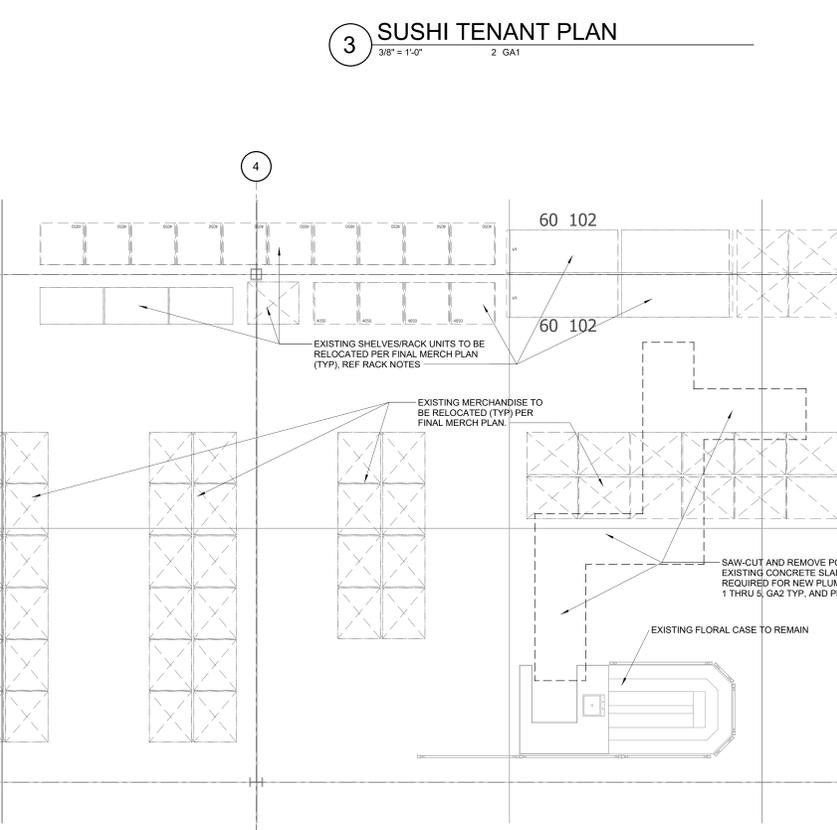
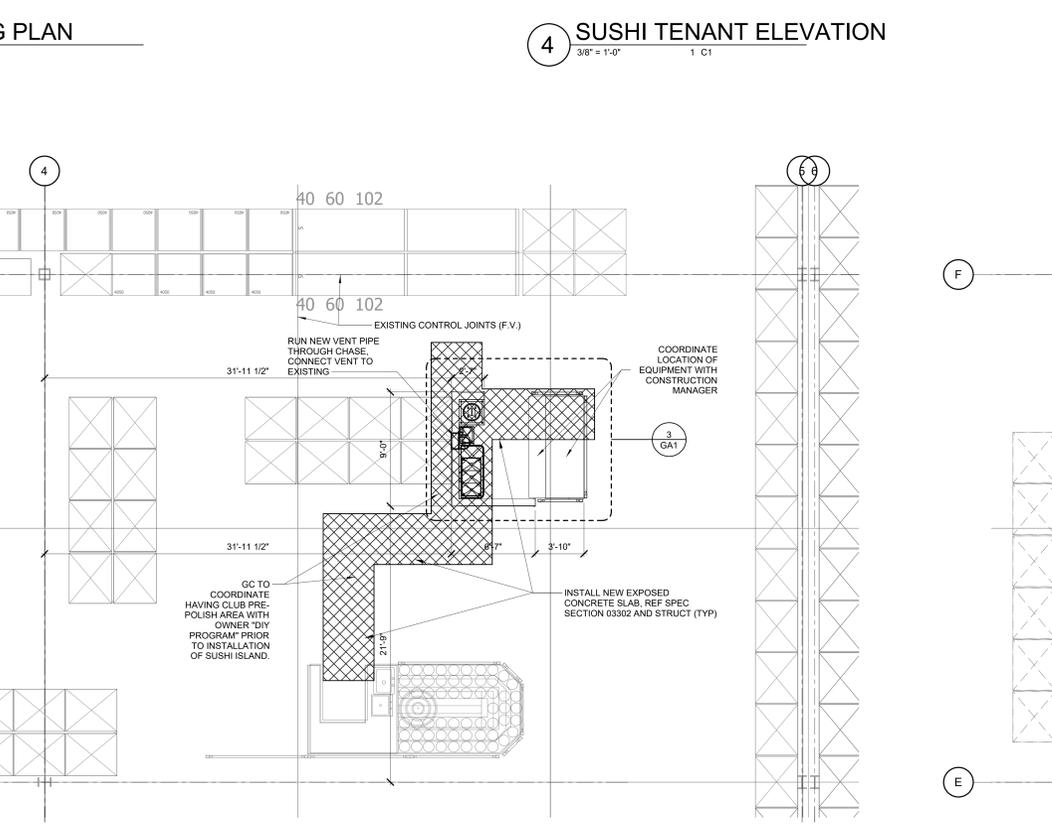
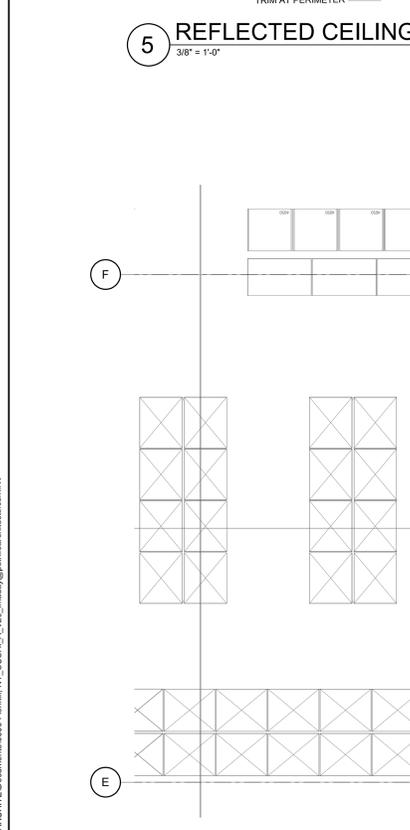


RACK NOTES	
1.	RELOCATE/REMOVE/REPLACE STEEL RACKS ANCHORED TO THE SLAB THROUGHOUT THE CLUB AS INDICATED ON THE FINAL MERCHANDISE PLAN.
2.	RELOCATE/REMOVE/REPLACE MERCHANDISE, SHELVING AND RACKING NOT ANCHORED TO THE SLAB AS INDICATED ON THE FINAL MERCHANDISE PLAN.
3.	TEMPORARY RELOCATION OF ALL MERCHANDISE, SHELVING, AND RACKING (BOTH LOW AND HIGH) REQUIRED FOR INSTALLATION OF NEW WORK.
4.	GC TO REMOVE ANCHOR STRAPS AND BOLTS FROM RACKS TO BE REMOVED/RELOCATED.
5.	GC TO PROVIDE ANCHOR BOLTS AND STRAPS. REFER TO FXS RACK ANCHORAGE SHEETS.

sams club

FISHKILL, N.Y. CLUB #6356

22-1201 PHOTO. 1:3/21



DEMOLITION LEGEND	
---	EXISTING CONSTRUCTION TO REMAIN
---	DEMOLISH/REMOVE/RELOCATE
---	AREA OF EXTERIOR FLATWORK/PAVING TO BE DEMOLISHED
---	AREA OF CONC SLAB TO BE DEMOLISHED

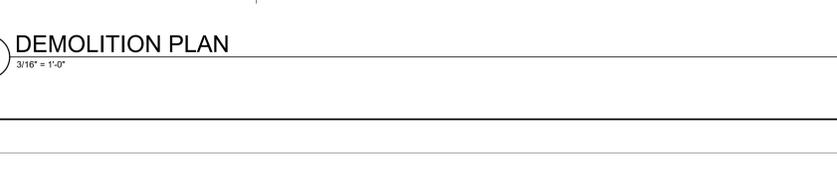
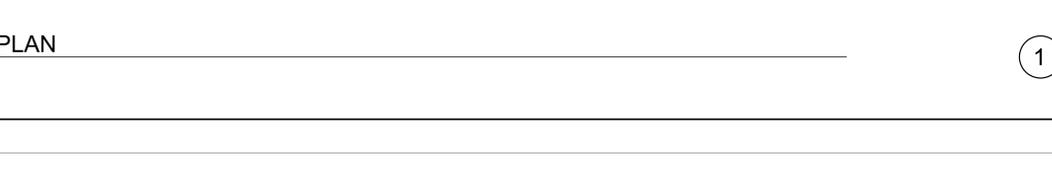
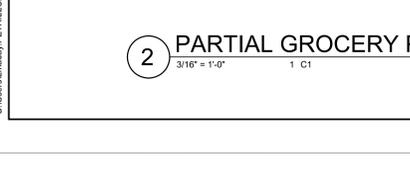
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 PHOTO CYCLE: 03/25/22
 DOCUMENT DATE: 5/3/22

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NEW YORK ALTERATION WARNING
 IT IS A VIOLATION OF NEW YORK REGULATION 69.5(b) FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY WITHOUT AFFIXING TO THE ITEM HIS SEAL AND THE NOTIFICATION "ALTERED BY", FOLLOWED BY A SIGNATURE, DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

GROCERY DETAIL PLANS AND SCHEDULES

SHEET: GA1



DEMOLITION LEGEND	
---	EXISTING CONSTRUCTION TO REMAIN
---	DEMOLISH/REMOVE/RELOCATE
---	AREA OF EXTERIOR FLATWORK/PAVING TO BE DEMOLISHED
---	AREA OF CONC SLAB TO BE DEMOLISHED

CHECKED BY: LAM
 DRAWN BY: LAM
 PHOTO CYCLE: 03/25/22
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GROCERY DETAIL PLANS AND SCHEDULES

SHEET: GA1

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SYSTEM MTC TEMPERATURE AND DEFROST PARAMETERS

CIRCUIT #	APPLICATION	MODEL NUMBER	MANUFACTURER	EQUIPMENT NUMBER	DISCHARGE AIR TEMP SETTING FOR WALK-IN BOXES/ RETURN AIR TEMP SETTING FOR WALK-IN BOXES				DEFROST							
					STARTING SUPERHEAT SETPOINT	MANUFACTURER TARGET (°F)	OWNER'S OPERATING SETPOINT (°F)	DUAL TEMPERATURE TARGET (°F)	DEFROST PROGRAM	DEFROST TYPE	FREQUENCY PER DAY	PUMP OUT TIME (MIN)	MAX DURATION (MIN)	TERMINATION TEMPERATURE (°F)	DRIP TIME (MIN)	FIRST DEFROST
C01	1/10 Dairy/Produce Cooler W.I.	GHD66A-410TDB	KRACK	---	-	ETR	ETR	-	F	OT	6	0	40	55	0	21:00
C02	1/10 Dairy/Produce Cooler W.I.	GHD66A-410TDB	KRACK	---	-	ETR	ETR	-	F	OT	6	0	40	55	0	21:30
C03	1/10 Dairy/Produce Cooler W.I.	GHD66A-410TDB	KRACK	---	-	ETR	ETR	-	F	OT	6	0	40	55	0	22:00
C04	1/10 Dairy/Produce Cooler W.I.	GHD66A-410TDB	KRACK	---	-	ETR	ETR	-	F	OT	6	0	40	55	0	22:30
C05	1/10 Dairy/Produce Cooler W.I.	GHD66A-410TDB	KRACK	---	-	ETR	ETR	-	F	OT	6	0	40	55	0	23:00
C06	1/10 Dairy/Produce Cooler W.I.	GHD66A-410TDB	KRACK	---	-	ETR	ETR	-	F	OT	6	0	40	55	0	23:30
C07	1/10 Dairy/Produce Cooler W.I.	GHD66A-410TDB	KRACK	---	-	ETR	ETR	-	F	OT	6	0	40	55	0	0:00
C08	1/10 Dairy/Produce Cooler W.I.	GHD66A-410TDB	KRACK	---	-	ETR	ETR	-	F	OT	6	0	40	55	0	0:30
C09	1/10 Dairy/Produce Cooler W.I.	GHD66A-410TDB	KRACK	---	-	ETR	ETR	-	F	OT	6	0	40	55	0	1:00
C10	1/10 Dairy/Produce Cooler W.I.	GHD66A-410TDB	KRACK	---	-	ETR	ETR	-	F	OT	6	0	40	55	0	1:30
C11	S.D. Flex	FG	HUSSMANN	---	-	ETR	ETR	-	F	EL	1	0	60	48	0	0:00
C12	SD Meat	FG	HUSSMANN	---	-	ETR	ETR	-	F	EL	1	0	60	48	0	6:00
C13	SD Meat	FG	HUSSMANN	---	-	ETR	ETR	-	F	EL	1	0	60	48	0	12:00
C14	Variable Temp HMS	IC2SM	HUSSMANN	---	-	ETR	ETR	-	F	OT	6	0	20	48	0	2:40
C15	Variable Temp HMS	IC2SM	HUSSMANN	---	-	ETR	ETR	-	F	OT	6	0	20	48	0	2:50
C16	Variable Temp HMS	IC2SM	HUSSMANN	---	-	ETR	ETR	-	F	OT	6	0	20	48	0	2:10
C17	Variable Temp HMS	IC2SM	HUSSMANN	---	-	ETR	ETR	-	F	OT	6	0	20	48	0	3:00
C18	Variable Temp HMS	IC2SM	HUSSMANN	---	-	ETR	ETR	-	F	OT	6	0	20	48	0	3:20
C19	Variable Temp HMS	IC2SM	HUSSMANN	---	-	ETR	ETR	-	F	OT	6	0	20	48	0	2:20
C20	Variable Temp HMS	IC2SM	HUSSMANN	---	-	ETR	ETR	-	F	OT	6	0	20	48	0	3:10
C21	Variable Temp HMS	IC2SM	HUSSMANN	---	-	ETR	ETR	-	F	OT	6	0	20	48	0	2:30
*C22	Sushi Prep	Q2-SP-RRS	HUSSMANN	RD3019.645.03/05/2015	6-8	30	30	-	F	OT	4	0	30	48	0	4:15
*C23	Self-Service Sushi	Q2-SPN	HUSSMANN	RD2009.352.02/27/2017	6-8	32	32	-	F	OT	4	0	30	45	0	4:45

NOTE:
1) Starting superheat setpoint values are per manufacturer's published case data. Field adjustment may be required.
2) Defrost program Legend: D: Demand Defrost S: Skip Defrost F: Fixed Defrost

GENERAL REFRIGERATION BAS NOTES

- BAS CONTRACTOR SHALL CONTACT THE BAS SUPPLIER TO OBTAIN A CURRENT MODULE CONFIGURATION PRINTOUT BEFORE TERMINATING SENSOR LEADS AT INPUT MODULES. THE REQUEST FOR THE CONFIGURATION PRINTOUT SHALL BE MADE PRIOR TO THE INSTALLATION OF BAS CABLES. WIRING TERMINATIONS SHALL BE LANDED ACCORDING TO THE BAS SUPPLIER CONFIGURATION SHEETS.
- BAS CONTRACTOR SHALL PROVIDE COMPLETED REFRIGERATION SENSOR INPUT VERIFICATION FORMS TO THE BAS SUPPLIER AT THE BEGINNING OF THE REFRIGERATION EQUIPMENT STARTUP. BAS INSTALLER SHALL PROVIDE ASSISTANCE TO THE BAS SUPPLIER FOR SPOT CHECKING OF SENSORS FOR ACCURACY.
- ALL BAS CABLE ON THE SALES FLOOR SHALL BE ROUTED IN CONDUIT AND CONCEALED FROM VIEW AND ROUTED ALONGSIDE OTHER PIPING OR CONDUIT AS MUCH AS POSSIBLE.
- BAS CONTRACTOR SHALL BE PRESENT AND AVAILABLE TO RESOLVE ISSUES AND PROVIDE REFRIGERATION STARTUP ASSISTANCE UNTIL RELEASED BY THE BAS SUPPLIER AND SAMS CLUB REFRIGERATION CONSTRUCTION COORDINATOR.
- DURING THE REFRIGERATION STARTUP, BAS CONTRACTOR SHALL COMPLETE ALL UNRESOLVED REFRIGERATION WORK PRIOR TO WORKING ON OTHER BAS INSTALLATION ITEMS.
- WHEN THE BAS SUPPLIER IS NOT SCHEDULED TO PERFORM THE ON SITE REFRIGERATION STARTUP, THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL CHECKS AND TEST TO ENSURE A FULLY FUNCTIONAL REFRIGERATION CONTROL SYSTEM. CONTRACT THE BAS SUPPLIER FOR THE BLANK TEST VERIFICATION FORMS AND INSTRUCTIONS FOR COMPLETING. ALL COMPLETED TEST VERIFICATION FORMS SHALL BE RETURNED TO THE SAMS CLUB MECHANICAL SERVICES CONSTRUCTION MANAGER.
- REFER TO ARCHITECTURAL DRAWINGS FOR PIPING INSTALLATION AND SEALING REQUIREMENTS FOR DEVICES SHOWN ON COOLER/FREEZER PANELS. DO NOT INSTALL PIPING WITHIN COOLER/FREEZER PANELS.
- ROUTE ALL UTILITY SERVICE LINES (PIPES AND CONDUIT) WITHIN STUD WALLS WHEREVER POSSIBLE. ON COOLER/FREEZER PANELS IN FOOD PREP AREAS WHERE UTILITIES MUST BE EXPOSED, CONTRACTOR TO HAVE THE OPTION OF THE FOLLOWING:
 - SURFACE MOUNT UTILITIES WITH NON-CORROSIVE ANCHORS. SEAL BOTH SIDES OF PIPE/CONDUIT TO PANEL CONTINUOUSLY WITH SEALANT.
 - INSTALL UTILITIES 1/2" OFF FACE OF PANEL TO ALLOW FOR CLEANING. USE ONLY NON-CORROSIVE MATERIALS FOR SPACERS AND ANCHORS.
 - COVER UTILITIES WITH 20 GAUGE STAINLESS STEEL BENT PLATES MOUNTED TO WALL WITH NON-CORROSIVE ANCHORS. APPLY CONTINUOUS SEALANT ALONG EDGES AND JOINTS.
- REFERENCE ARCHITECTURAL DEMOLITION PLANS FOR FULL EXTENT OF DEMOLITION WORK REQUIRED.

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REGISTERED PROFESSIONAL ARCHITECT
STATE OF NEW JERSEY
NO. 024275-1
EXPIRES 12/31/2018

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SUSHI SPECIAL PROJECT FISHKILL, N.Y. CLUB# 6356
SAMS CLUB MECHANICAL SERVICES
22 1201 PROTO.
JOB NUMBER

BAS EQUIPMENT SALVAGE REQUIREMENTS

ALL DEMOLISHED NOVAR BAS EQUIPMENT SHALL BE RETURNED TO SAMS CLUB MECHANICAL SERVICES CONSTRUCTION MANAGER. EQUIPMENT TO BE RETURNED INCLUDES: EXECUTIVE CONTROLLER(S), IOM(S), CIM(S), CCM(S), ETC. PROVIDE DOCUMENTATION FOR ALL EQUIPMENT REMOVED IN ACCORDANCE WITH SPECIFICATIONS AND REQUIRED CLOSE-OUT DOCUMENTS.

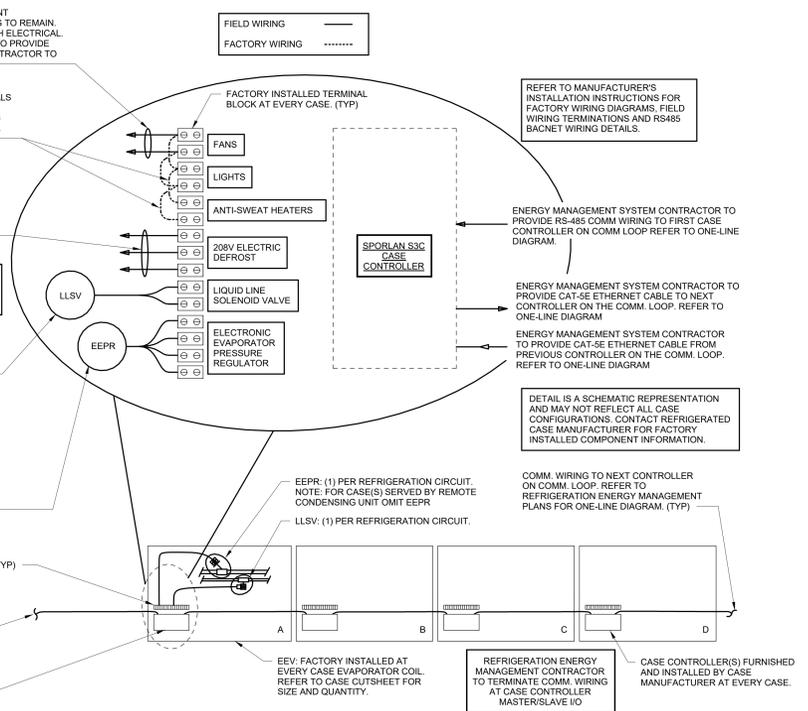
BAS SYMBOLS

[LTA-X]	REFRIGERATION CIRCUIT
[ES-1]	REFRIGERATION RACK CONTROLLER
[RIM]	RACK INPUT MODULE
[ROM]	RACK OUTPUT MODULE
[CIM]	CASE INPUT MODULE
[CIM2]	CASE INPUT MODULE 2
[DTS]	DIGITAL INPUT SWITCH (DUAL-TEMP)
[RIB]	RELAY IN A BOX
[S]	CASE/COIL TEMPERATURE MODULE
[BIM]	UNIVERSAL INPUT MODULE
[MIN]	INPUT/OUTPUT MODULE
[Cf]	CONTACTOR
[IR]	INTERFACE RELAY
[SSC]	SPORLAN REFRIGERATION CASE/COIL CONTROLLER
[SGR]	SPORLAN GATEWAY ROUTER
[SNS]	SPORLAN NETWORK SWITCH
[SALS]	SWING ARM LIMIT SWITCH
[NEW]	NEW EQUIPMENT
[EXIST]	EXISTING EQUIPMENT
[DEM]	EQUIPMENT TO BE DEMOLISHED

CHECKED BY: MJT
DRAWN BY: DWB
FILE NAME: BAS1
PROTO CYCLE: 03/25/22
DOCUMENT DATE: 05/03/22

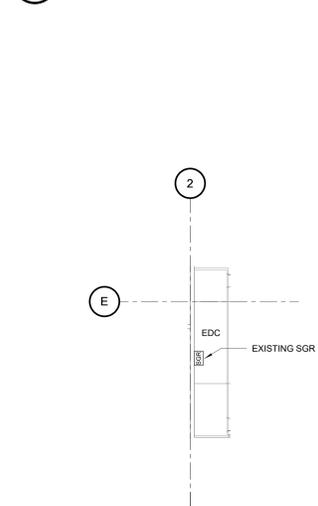
IMPORTANT NOTICE:
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MICHAEL M. MCKAIN
BUILDING AUTOMATION SYSTEMS
SHEET: **BAS1**

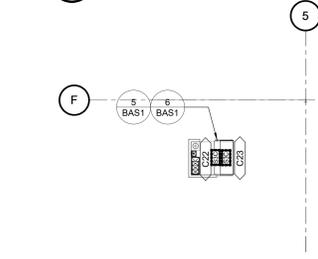


6 CASE CONNECTION SCHEMATIC (SPORLAN)
1/8" = 1'-0"

3 BUILDING AUTOMATION SYSTEM - RACK
1/16" = 1'-0"



2 BUILDING AUTOMATION SYSTEM - EDC
1/16" = 1'-0"



1 BUILDING AUTOMATION SYSTEM - SUSHI
1/16" = 1'-0"



BAS ONE-LINE AND SCHEDULE NOTES

- E --- EXISTING BAS DEVICE, SENSOR, OR WIRE FOR REUSE.
- RL --- EXISTING BAS DEVICE OR SENSOR TO RELOCATE AND RECONNECT. INSTALL NEW CABLE FOR RELOCATED DEVICE OR SENSOR AS NECESSARY.
- RD --- REDESIGNATED BAS DEVICE OR SENSOR.
- RP --- REPLACED BAS DEVICE OR SENSOR.
- N --- NEW BAS DEVICE OR SENSOR.
- FI --- NEW FIELD INSTALLED BAS DEVICE, SENSOR, OR WIRE.
- FA --- NEW FACTORY INSTALLED BAS DEVICE, SENSOR, OR WIRE.
- M --- BAS DEVICE OR SENSOR USED FOR MONITORING ONLY.
- DI --- DIGITAL INPUT.
- AI --- ANALOG INPUT.

ES-1 COMMUNICATION PORT

- COM1 LCD (IF APPLICABLE) / BACNET LOOP
- COM2 SPECTRUM (NOVARnet) / BACNET LOOP

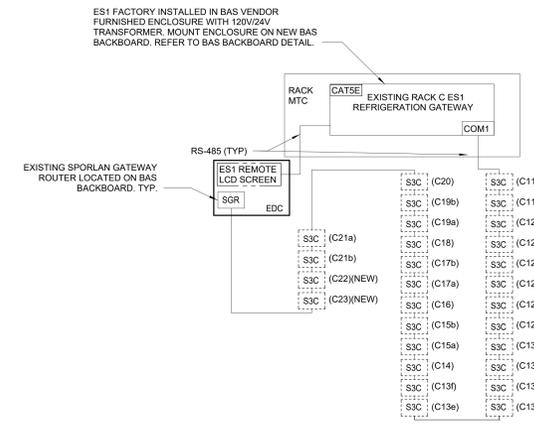
COM MODULE 1 COMMUNICATION PORT

- COM3 SPECTRUM (NOVARnet) / BACNET LOOP
- COM4 SPECTRUM (NOVARnet) / BACNET LOOP

COM MODULE 2 COMMUNICATION PORT

- COM5 SPECTRUM (NOVARnet) / BACNET LOOP
- COM6 SPECTRUM (NOVARnet) / BACNET LOOP

NOTE:
1) NOT ALL CONNECTIONS SHOWN ON THIS SCHEDULE ARE PRESENT AT EACH REFRIGERATION GATEWAY. REFER TO ONE-LINE DIAGRAM FOR CONNECTIONS SPECIFIC TO EACH REFRIGERATION GATEWAY.



4 REFRIGERATION BAS ONE-LINE DIAGRAM (NOVAR/SPORLAN)
1/8" = 1'-0"

5 CASE CONTROLLER WIRING (SPORLAN)
1/8" = 1'-0" 05/25/18



OWNER SUPPLIED ITEMS NOT IN OTHER SCHEDULES		
WDS #	DESCRIPTION	REFERENCE
CLUB PROVIDED		
FR17	PAPER TOWEL DISPENSER - GROCERY	GA1
FR16	SURFACE MOUNTED SOAP DISPENSER	GA1
MARCO DISPLAY SPECIALIST LP		
AP1001	3'-0" DIAMOND PLATE CASE PROTECTION RAIL	GA2, GA3, GA4
AP1001	4'-0" DIAMOND PLATE CASE PROTECTION RAIL	GA2, GA3, GA4
AP1001	8'-0" DIAMOND PLATE CASE PROTECTION RAIL	GA2, GA3, GA4
CREE		
	LIGHT FIXTURES	E1
OWNER SUPPLIED ITEMS SCHEDULED IN DRAWINGS		
VENDOR	REFERENCE SCHEDULE	LEGEND
HUSSMANN	GA2, R2	
WIN-HOLT EQUIPMENT GROUP	GA2	

SHEET NOTES

1. THE OWNER SUPPLIED SCHEDULES ARE PROVIDED FOR A GENERAL REFERENCE FOR OWNER FURNISHED ITEMS SHOWN WITHIN THE CONSTRUCTION DOCUMENTS. IT IS THE VENDORS RESPONSIBILITY TO THOROUGHLY REVIEW OF ALL CONTRACT DOCUMENTS.
2. REFERENCE SCHEDULES LEGENDS TO DETERMINE WHO IS RESPONSIBLE FOR THE INSTALLATION OF OWNER FURNISHED PRODUCTS. IF ITEM IS NOT IN A SCHEDULE LEGEND, REFER TO THE SPECIFICATIONS.
3. REFRIGERATION AND BAS CABLING TO BE PROVIDED BY GC PER REM SHEETS AND SPEC 13810.



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REGISTERED PROFESSIONAL ARCHITECT
 STATE OF NEW JERSEY
 REG. NO. 024379-1
 EXPIRES 12/31/2024

REGISTERED PROFESSIONAL ARCHITECT
 STATE OF NEW YORK
 REG. NO. 015310-B
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CONSULTANTS

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N.Y.
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OWNER SUPPLIED ITEMS

SHEET: **OS1**

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