

# sam's club

MIDDLETOWN, NY  
CLUB NO.: 6423-230

DATE: 04/25/22  
PROTO: FULL FRESH OPTIMIZATION

## GENERAL SCOPE OF WORK

+ GENERAL REMODEL: ADDITION OF SUSHI ISLAND WITHIN THE STORE.

THERE WILL BE NO CHANGE IN USE, OCCUPANCY, MEANS OF EGRESS, OR ANY ADDITION TO EXISTING BUILDING AS PART OF THESE REMODEL DOCUMENTS.

+ ALL QUESTIONS RELATED TO THE BIDDING AND CONSTRUCTION OF THIS PROJECT SHALL BE DIRECTED TO THE GENERAL CONTRACTOR



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CONSULTANTS



SUSHI MIDDLETOWN, NY  
CLUB #6423-230  
JOB NUMBER: 40511-08

ISSUE BLOCK

CHECKED BY: RDM/CB  
DRAWN BY: HLW  
PROTO CYCLE: 01/07/22  
DOCUMENT DATE: 04/25/22

NOT FOR CONSTRUCTION

COVER SHEET

SHEET: C1

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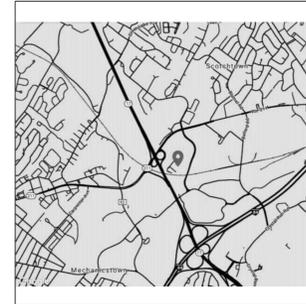
## SITE ADDRESS

SAM'S CLUB #6423-230  
300 N GALLERY DR  
MIDDLETOWN, NY 10941

## KEY PLAN



## VICINITY MAP



## SYMBOLS LEGEND

X-XX (10.1)	REF AT KEYNOTE INDICATOR	100'-0" FF EL	HEIGHT ELEVATION INDICATOR
SB01	EQUIPMENT INDICATOR	100.00	PLAN ELEVATION INDICATOR
P23	FINISH INDICATOR	1 A101	ENLARGED DETAIL INDICATOR
1 A101	FULL AND PARTIAL SECTION INDICATOR	1 A101	DETAIL INDICATOR
1 A101	EXTERIOR AND INTERIOR ELEVATION INDICATOR	1 A101	ACCESSIBLE SIGNAGE
Room name 101	ROOM NAME AND NUMBER	1 A101	INSECT CONTROL UNIT
XX   11	WALL TYPE INDICATOR	1 A101	FIRE HOSE CONNECTION
101	DOOR INDICATOR	1 A101	VIEW NAME
M	WINDOW INDICATOR	1 A101	VIEW SCALE
TV	TV MONITOR VERIFY EXACT LOCATION WITH ASSET PROTECTION MANAGER	1 A101	VIEW NO.
WH	WH WALL MOUNTED		
A	COLUMN LINE INDICATOR		

## PROJECT DATA & CODE INFORMATION

- CODES**
- 2020 BUILDING CODE OF NEW YORK STATE
  - 2020 PLUMBING CODE OF NEW YORK STATE
  - 2020 MECHANICAL CODE OF NEW YORK STATE
  - 2020 ELECTRICAL CODE OF NEW YORK STATE
  - 2020 FIRE CODE OF NEW YORK STATE
  - 2020 ENERGY CODE OF NEW YORK STATE
  - HANDICAP ACCESSIBILITY GUIDELINES: 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
  - 2009 ICC-ANSI A117.1

## OCCUPANT LOAD & REQUIRED EGRESS WIDTHS

NOTE: PROJECT SCOPE DOES NOT IMPACT EXISTING OCCUPANCY CALCULATION. THEREFORE, NO CHANGES TO THE NUMBER OF REQUIRED RESTROOMS AND MEANS OF EGRESS OR EXITING IS INCLUDED IN THE SCOPE OF WORK. ALL EXISTING TO REMAIN AS IS.

## FIRE PROTECTION:

FULLY SPRINKLERED

## TYPE OF CONSTRUCTION:

TYPE 5B

UNLIMITED FLOOR AREA, COMPLETELY SPRINKLERED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM AND ENTIRELY SURROUNDED AND ADJOINED BY PUBLIC WAYS OR YARDS NOT LESS THAN 6'-0" IN WIDTH.

(WALLS AND PERMANENT PARTITIONS SHALL BE OF NON-COMBUSTIBLE MATERIALS.)

FIRE/PARTY WALLS	NA
OCCUPANCY SEPARATION WALL	AN
INTERIOR BEARING WALLS	0
INTERIOR NON-BEARING PARTITIONS	NR
COLUMNS	0
STRUCTURAL FRAMING	0
FLOOR/CEILING CONSTRUCTION	0
ROOF/CEILING CONSTRUCTION	0
EXTERIOR BEARING WALLS	0
EXTERIOR NON-BEARING WALLS	0

NA = NOT APPLICABLE  
NC = NON-COMBUSTIBLE  
NL = NO LIMIT  
NR = NO REQUIREMENTS FOR FIRE PROTECTION

## OCCUPANCY:

M - MERCANTILE  
S2 - STORAGE

## GENERAL INFORMATION

NEW FIRE EXTINGUISHERS SHALL BE FURNISHED BY OWNER (UNLESS NOTED OTHERWISE) AND INSTALLED BY CONTRACTOR IN ACCORDANCE WITH NFPA 10. EXISTING FIRE EXTINGUISHERS WILL REMAIN UNLESS DIRECTED TO BE RELOCATED/REPLACED BY AHJ. CLASS K EXTINGUISHERS SHALL BE PROVIDED WITHIN 30 FEET OF ALL COOKING AREAS. FIRE EXTINGUISHER LOCATIONS SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL PRIOR TO OCCUPANCY. FIRE EXTINGUISHERS ARE TO BE MOUNTED SUCH THAT THE BOTTOM OF UNIT IS 26" AFF MAX. REFER SPECIFICATION SECTION 01500 FOR TEMPORARY FIRE EXIT.

## LOCAL CONTACTS

### BUILDING OFFICIAL:

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Middletown, NY 10941  
(845) 692-7807 p

## ABBREVIATIONS LEGEND

ABBR	DEFINITION	ABBR	DEFINITION	ABBR	DEFINITION
AB	ANCHOR BOLT	FS	FAR SIDE	OH	OPPOSITE HAND
ACC	ACCESSIBLE (HANDICAPPED)	FTG	FOOTING	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
ACI	AMERICAN CONCRETE INSTITUTE	FV	FIELD VERIFY	PAF	POWDER ACTUATED FASTENER
AFF	ABOVE FINISHED FLOOR	GA	GAUGE	PCF	POUNDS PER CUBIC FOOT
AFG	ABOVE FINISHED GRADE	GC	GENERAL CONTRACTOR	PLM	PLASTIC LAMINATE
AHJ	AUTHORITY HAVING JURISDICTION	GM	GENERAL MERCHANDISE	PL	PLATE
AHU	AIR HANDLING UNIT	GR	GROCERY	PLF	POUNDS PER LINEAR FOOT
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	GP	GYP BRD	PMEI	PREKURLED EXPANSION JOINT
AP	ASSET PROTECTION	H	HEIGHT	PS	PROTECTIVE SURFACING
ALUM	ALUMINUM	HEPE	HIGH-DENSITY POLYETHYLENE	PSF	POUNDS PER SQUARE FOOT
ARCH	ARCHITECTURAL	HM	HOLLOW METAL	PSI	POUNDS PER SQUARE INCH
ASTM	AMERICAN SOCIETY OF TESTING AND MATERIALS	HMR	HOME MEAL REPLACEMENT	PT	PRESSURE TREATED
AWS	AMERICAN WELDING SOCIETY	HORIZ	HORIZONTAL	PVC	POLYVINYL CHLORIDE
BAS	BUILDING AUTOMATION SYSTEM(S)	HSA	HEADED STUD ANCHOR	QTY	QUANTITY
BD	BOARD	HSS	HOLLOW STRUCTURAL SECTION	REF	REFER TO
BEF	BELOW FINISHED FLOOR	HW	HOT WATER	REFRIG	REFRIGERATION
BL	BLOCK LINTEL	ICC	INTEGRAL COLORED CONCRETE	REINF	REINFORCING
BLOG	BUILDING	INFO	INFORMATION	REQD	REQUIRED
BO	BOTTOM OF	ISO	ISOLATION	REV	REVERSE
BOS	BOTTOM OF STEEL OR BOTTOM OF STUD	JBE	JOIST BEARING ELEVATION	RI	REACH IN
BTM	BOTTOM	JST	JOIST	RMC	REFRIGERATION MECHANICAL CENTER
BRS	BEARING	JT	JOINT	RO	ROUGH OPENING
CD	CASH DRAWER	KSI	KIPS PER SQUARE INCH	RTU	ROOF TOP UNIT
CJ	CONTRACTION JOINT	L	LENGTH	SCHED	SCHEDULE
CL	CENTERLINE	LB	POUNDS	SDI	STEEL DECK INSTITUTE
CLFMI	CHAIN LINK FENCE MANUFACTURERS INSTITUTE	LLH	LONG LEG HORIZONTAL	SF	SQUARE FOOT (FEET)
CLO	CLOSSET	LLV	LONG LEG VERTICAL	SIM	SIMILAR
CLR	CLEAR	LONG	LONGITUDINAL	SJI	STEEL JOIST INSTITUTE
CMU	CONCRETE MASONRY UNIT	LT	LIGHT	SPCS	SPECIFICATIONS
COL	COLUMN	MAS	MASONRY	SS	STAINLESS STEEL
CONC	CONCRETE	MAU	MAKE-UP AIR UNIT	STRCT	STRUCTURE
CON	CONCRETE	MAX	MAXIMUM	T&B	TOP AND BOTTOM
CONST	CONSTRUCTION	MDF	MEDIUM DENSITY FIBERBOARD	THK	THICKNESS
CONT	CONTINUOUS	ME	MASONRY ELEVATION	TO	TOP OF
CU	CONDENSING UNIT	MCH	MECHANICAL	TOC/TC	TOP OF CONCRETE
DIA	DIAMETER	MEZZ	MEZZANINE	TOF	TOP OF FOOTING
DEMO	DEMOLITION	MFR	MANUFACTURER	TOBR	TOP OF GRADE BEAM
DS	DOWNSPOUT	MIN	MINIMUM	TOM	TOP OF MASONRY
DTM	DIRECT TO METAL	MISC	MISCELLANEOUS	TOP/TP	TOP OF PAVING OR TOP OF PANEL
EAS	EMERGENCY ACCESS SYSTEM	MO	MASONRY OPENING	TOS	TOP OF STEEL OR TOP OF STUD
EDC	ELECTRICAL DISTRIBUTION CENTER	MTE	MATCH EXISTING	TRANS	TRANSVERSE
EF	EXHAUST FAN	MTL	METAL	TS	TUBE STEEL
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	MUTC	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES	TYP	TYPICAL
EL	ELEVATION	NI	NOT IN CONTRACT	UDO	UNLESS DIRECTED OTHERWISE
ELEC	ELECTRICAL	NO	NUMBER	UNO	UNLESS NOTED OTHERWISE
EO	EQUAL	NRP	NON-REINFORCED PLASTIC	VERT	VERTICAL
ES	EQUIPMENT SUPPLIER	NS	NEAR SIDE	VTR	VENT THROUGH ROOF
ETR	EXISTING TO REMAIN	NTS	NOT TO SCALE	W	WIDTH
EW	EACH WAY	OC	ON CENTER	WD	WOOD
EXIST	EXISTING	OCH	ON CENTER HORIZONTALLY	WH	WATER HEATER
FDN	FOUNDATION	OCV	ON CENTER VERTICALLY	XMR	TRANSFORMER
FF	FINISHED FLOOR	OD	OUTSIDE DIAMETER		
		OH	OPPOSITE HAND		

ARCHITECT	STRUCTURAL ENGINEER	REFRIGERATION ENGINEER	FIRE PROTECTION ENGINEER	MECHANICAL ENGINEER	ELECTRICAL ENGINEER
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## GENERAL PROJECT NOTES

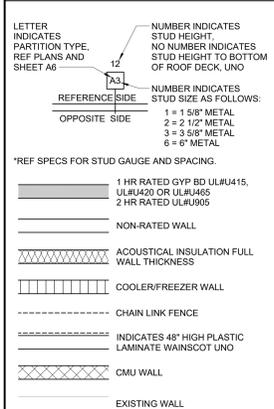
(REFER TO SPECIFICATION SECTION 01700 FOR ADDITIONAL REQUIREMENT.)

- | GENERAL REQUIREMENTS:   | DEMOLITION REQUIREMENTS:   | VERIFICATION REQUIREMENTS:   |
|---|--|--|
| <p>1. COMPLY WITH SAM'S CLUB CONSTRUCTION MANAGER AND SAM'S CLUB MANAGER REGULATIONS FOR WORK WITHIN THE BUILDING. SPECIFIC REQUIREMENTS WILL BE DISCUSSED BY THE SAM'S CONSTRUCTION MANAGER AT THE PRE-CONSTRUCTION CONFERENCE.</p> <p>2. MAINTAIN ALL REQUIRED VEHICULAR, PEDESTRIAN AND EMERGENCY ACCESS/EGRESS TO AND FROM THE SITE, BUILDING, AND ADJACENT BUILDINGS/PROPERTIES AT ALL TIMES. ALL ADJACENT BUILDINGS (WHERE APPLICABLE) SHALL REMAIN IN SERVICE DURING DEMOLITION CONSTRUCTION. COORDINATE PORTIONS OF THE WORK WHICH MAY IMPACT ADJACENT BUILDINGS OR SITES WITH APPROPRIATE RESPONSIBLE PARTIES.</p> <p>3. MUD AND DEBRIS SHALL NOT BE TRACKED ONTO OWNER PAVING OR CITY STREETS. SHOULD SUCH AN INCIDENT OCCUR, CLEAN IMMEDIATELY USING APPROPRIATE METHODS AND FORCES.</p> <p>4. PROVIDE METHODS FOR RELEASE OF WATER AT ALL SITework OR BUILDING ELEMENTS AS REQUIRED TO PREVENT PONDING.</p> <p>5. BUILDING COMPONENTS ABANDONED BY THE SCOPE OF WORK SHALL BE SECURED TO PREVENT FALLING, LOOSENING, OR CREATING DAMAGE OF ANY KIND IN THE FUTURE.</p> <p>6. ALL WORK SHALL BE DONE IN A SAFE AND WORKMANLIKE MANNER AND IN STRICT ACCORDANCE WITH ALL ADOPTED CODES AND ALL APPLICABLE REGULATIONS AND ORDINANCES HAVING JURISDICTION.</p> <p>7. THE CONTRACTOR SHALL THOROUGHLY EXAMINE ALL FACTORS REASONABLY AVAILABLE TO HIM, INCLUDING BUT NOT LIMITED TO THE DRAWINGS, PROJECT MANUAL, INCLUDING SPECIFICATIONS, SOIL REPORT, SITE SURVEY WITH BOUNDARY AND TOPOGRAPHY, ACTUAL SITE CONDITIONS, LOCAL INFORMATION REGARDING SITE HISTORY AND SEASONAL WEATHER CONDITIONS. SOIL REPORT DATA MAY NOT BE ALL CONCLUSIVE AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURTHER INVESTIGATE SITE CONDITIONS AS HE DETERMINES NECESSARY. ANY CONSTRUCTION PERFORMED BY THE CONTRACTOR ON AN EXISTING BUILDING PAD PREPARED BY OTHERS WILL CONSTITUTE ACCEPTANCE OF THE PAD.</p> <p>8. EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT THEMSELVES WITH THIS KNOWLEDGE DOES NOT RELIEVE THE SUBCONTRACTOR OF ANY RESPONSIBILITY FOR PERFORMING THEIR WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.</p> <p>9. SAM'S CLUB SHALL OCCUPY THE BUILDING DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH SAM'S CLUB MANAGER AND THE SAM'S CLUB CONSTRUCTION MANAGER ALL CONSTRUCTION PROCEDURES WHICH WILL INTERFERE WITH THE NORMAL DAILY OPERATIONS OF THE CLUB. THE CONTRACTOR SHALL OBTAIN PERMISSION FROM BOTH FOR ALL INTERRUPTIONS OF UTILITY SERVICES TO THE EXISTING BUILDING PRIOR TO THE INTERRUPTION. ACCIDENTAL INTERRUPTIONS SHALL BE REMEDIATED IMMEDIATELY WITH APPROPRIATE FORCES.</p> <p>10. THE EXISTING BUILDING SHALL BE PROTECTED AT ALL TIMES FROM MOISTURE, DUST AND DEBRIS. INSTALL DUST PARTITIONS AS REQUIRED TO KEEP THE EXISTING PREMISES FREE FROM DUST AND DEBRIS. PROVIDE BARRICADES SEPARATING THE PUBLIC FROM CONSTRUCTION ACTIVITY.</p> <p>11. ANY DAMAGE TO SAM'S PROPERTY CAUSED BY THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AT NO ADDITIONAL COST TO SAM'S. THIS INCLUDES ALL MERCHANDISE. THE CONTRACTOR SHALL PAY SAM'S THE REPLACEMENT COST OF ALL DAMAGED MERCHANDISE.</p> <p>12. THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE EXISTING BUILDING SECURITY AT ALL TIMES. THIS INCLUDES KEEPING THE BUILDING SECURE FROM PERSONS, ENVIRONMENTAL ELEMENTS, OR HAZARDS. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE INTEGRITY OF ALL EXISTING SECURITY SYSTEMS. THE CONTRACTOR SHALL OBTAIN PERMISSION FROM THE CLUB MANAGER PRIOR TO THE MODIFICATION OF ANY SECURITY SYSTEM OR THE DISPOSING OF SUCH. IF REQUIRED, PROVIDE A BONDED SECURITY GUARD AT THE CONTRACTOR'S EXPENSE TO MAINTAIN SECURITY OF THE CLUB.</p> <p>13. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION AREA FREE AND CLEAR OF DEBRIS. REMOVE TRASH AND DEBRIS FROM CONSTRUCTION AREA AND DO NOT ALLOW TO ACCUMULATE. NO FLAMMABLE MATERIALS OR LIQUIDS MAY BE STORED IN THE EXISTING BUILDING OR THE ADDITION DURING CONSTRUCTION. PROVIDE UL LISTED 2A-208C DRY ACCESSIBLE AT ALL TIMES WITHIN ALL CONSTRUCTION AREAS.</p> <p>14. MAINTAIN THE REQUIRED NUMBER OF EXITS FROM THE CLUB. EXIT SIGNS AND EMERGENCY LIGHTING AT ALL TIMES. AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION, COORDINATE TEMPORARY EXITING DURING THE CONSTRUCTION PROCESS.</p> <p>15. REMOVE EXISTING ITEMS, SERVICES, FINISHES OR SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW CONSTRUCTION.</p> <p>16. PROVIDE FURRING FOR CONDUITS AND PIPING, SHOWN OR NOT, AND FINISH OUT FURRING TO MATCH ADJACENT EXISTING SURFACES.</p> <p>17. REPAIR, REROUTE, AND EXTEND ALL SERVICES, PIPING, CONDUIT OF EXISTING ITEMS AND EQUIPMENT AS REQUIRED DURING THE CONSTRUCTION PROCESS FOR THE COMPLETE INSTALLATION AND OPERATION OF ALL EQUIPMENT. THIS INCLUDES ALL ITEMS SHOWN OR NOT SHOWN ON THE DRAWINGS. RESET EXISTING EQUIPMENT OR RELATED ITEMS AS REQUIRED FOR PROPER OPERATION.</p> <p>18. WHEN EQUIPMENT, FIXTURES, FURNISHINGS, ACCESSORIES, SERVICES, FINISHES OR SURFACES ARE TEMPORARILY REMOVED OR RELOCATED IN ORDER TO PERFORM WORK, THE CONTRACTOR IS RESPONSIBLE FOR RETURNING THEM TO THEIR ORIGINAL POSITION, RECONNECTION OF SERVICES AND APPROPRIATE MEANS OF ATTACHMENT UNLESS SPECIFICALLY DIRECTED TO DO OTHERWISE.</p> <p>19. WHERE EXISTING FINISHES ARE TO REMAIN, CLEAN, REPAIR, PATCH AND REPAINT TO BLEND INTO THE WORK.</p> <p>20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ORDERING OF MATERIALS TO PROHIBIT DELAYS OF THE CONSTRUCTION SCHEDULE OF THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE DELIVERY OF MATERIALS IN A TIMELY MANNER.</p> <p>21. EXISTING CIRCUITS, WHERE DEMOLITION OR NEW CONSTRUCTION INTERRUPTS EXISTING ELECTRICAL CIRCUITS FEEDING EXISTING EQUIPMENT, DEVICES, OR LIGHTING TO REMAIN BUT NOT SHOWN ON DRAWINGS, PROVIDE LABOR AND MATERIALS TO REWORK CIRCUITRY AS REQUIRED TO MAINTAIN OPERATION.</p> <p>22. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO FABRICATION OF STRUCTURAL ITEMS. IF ANY DISCREPANCIES ARE FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT EXISTS IN THE FIELD, CONTACT THE SAM'S CLUB CONSTRUCTION MANAGER TO DETERMINE WHAT SHOULD BE DONE TO MATCH EXISTING CONDITIONS AS REQUIRED. BEGINNING OF STEEL FABRICATION MEANS ACCEPTANCE OF EXISTING CONDITIONS.</p> <p>23. COORDINATE CONSTRUCTION SEQUENCING WITH SAM'S CLUB CONSTRUCTION MANAGER AND PHASING SCHEDULE. DEVELOP A SCHEDULE OF WORK INDICATING THE STARTING AND COMPLETION DATES OF THE DIFFERENT PHASES OF THIS PROJECT. SUBMIT THE SCHEDULE TO SAM'S CLUB FOR APPROVAL WITHIN TEN (10) DAYS AFTER THE SIGNING OF THE CONTRACT. SAM'S CLUB RESERVES THE RIGHT TO REVISE THIS SCHEDULE TO BEST MEET THEIR NEEDS FOR CLUB OPERATIONS AT NO ADDITIONAL COST TO SAM'S CLUB. AS THE CONSTRUCTION PROGRESSES, UPDATE WORK SCHEDULE IN WRITING TO THE CLUB MANAGER AND CONSTRUCTION MANAGER EVERY WEEK (OR AS NEEDED TO MAINTAIN CLUB OPERATIONS).</p> <p>24. THE GENERAL CONTRACTOR SHALL RESPOND TO ALL REQUIREMENTS OF THE ARCHITECT/ENGINEERS FOR VERIFICATIONS, RESPONSES AND SUBMISSIONS.</p> <p>25. ALL QUESTIONS RELATING TO THE CONSTRUCTION OF THIS PROJECT SHALL BE PRESENTED IN ELECTRONIC FORM USING THE "REQUEST FOR INFORMATION" PROCESS, INCLUDED IN THE SPECIFICATIONS, THROUGH THE GENERAL CONTRACTOR ONLY. FOLLOW INSTRUCTIONS WHEN COMPLETING AND SENDING.</p> | <p>REFER TO DEMOLITION SHEETS:</p> <p>1. SIGN CONTRACTOR SHALL REMOVE SAM'S INTERNALLY LIT LOGO SIGNS AND ASSOCIATED ANCHORS. GENERAL CONTRACTOR SHALL REMOVE ALL OTHER SIGNS INCLUDING, BUT NOT LIMITED TO, LETTER SIGNS AND ALL GAS STATION SIGNS. GENERAL CONTRACTOR SHALL REPAIR ALL EXISTING SUBSTRATE(S) WHERE SIGNS ARE REMOVED EITHER BY SIGN CONTRACTOR OR BY GENERAL CONTRACTOR PRIOR TO PAINTING.</p> <p>2. PRIOR TO EXCAVATION ADJACENT TO THE EXISTING STRUCTURE, PROVIDE ADEQUATE SUPPORT FOR THE SUB-BASE TO PREVENT UNDERMINING OF THE EXISTING FOUNDATION.</p> <p>3. REFER TO THE SAM'S CLUB CONSTRUCTION MANAGER FOR PHASING AND SCHEDULING OF DEMOLITION AND NEW CONSTRUCTION.</p> <p>4. DURING DEMOLITION AND RECONSTRUCTION, COORDINATE WITH THE SAM'S CLUB CONSTRUCTION MANAGER LOCATIONS OF ANY NECESSARY TRAFFIC SAFETY BARRIERS OR BARRICADES, TEMPORARY DUST PARTITIONS, SECURITY ENCLOSURES, AND/OR DUST DRAPE WITH THE SCOPE AND PHASING OF THE WORK AND THE SAM'S CLUB CONSTRUCTION MANAGER. REFER TO DETAILS ON DEMOLITION SHEETS.</p> <p>5. SEAL PERIMETER OF DUST PARTITIONS AND DOORS TO PREVENT PASSAGE OF DUST. TAPE FASTEN DEPRESSIONS, JOINTS BETWEEN PANELS AND JOINTS BETWEEN PANELS AND FLOORS, CEILINGS AND COLUMNS WITH 2 IN. WIDE PRESSURE SENSITIVE TAPE.</p> <p>6. ALL DUST PARTITIONS SHALL HAVE SINGLE ACTING DOORS WITH CLOSURES CLOSING AGAINST GASKETED STEPS OR FRAMES TO REDUCE PASSAGE OF AIR DUST AND MOISTURE. PROVIDE MATS AT DOORS TO REDUCE TRACKING OF DUST. REPLACE OR CLEAN MATS DAILY.</p> <p>7. PROVIDE PANIC HARDWARE AT DOORS IN EXISTING WALLS AS REQUIRED TO MAINTAIN ALL REQUIRED EXITS. ALL EXISTING EXTERIOR EXIT DOORS WITH PANIC HARDWARE SHALL BE ASSUMED TO BE REQUIRED. COORDINATE TEMPORARY EXITING WITH SAM'S CLUB CONSTRUCTION MANAGER AND LOCAL FIRE DEPARTMENT/BUILDING OFFICIAL.</p> <p>8. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL SLAB DEMOLITION FOR REQUIRED PLUMBING WHICH IS NOT SHOWN ON THE DEMOLITION PLAN.</p> <p>9. SAWCUT AND REMOVE EXISTING EXTERIOR FLATWORK AND PAVING AS REQUIRED FOR NEW CONSTRUCTION. FIELD VERIFY EXTENTS OF DEMOLITION REQUIRED TO ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING WHEN CONSTRUCTION IS COMPLETE. EXTENTS OF DEMOLITION SHOWN ON THE ARCHITECTURAL DRAWINGS ARE FOR GRAPHIC REPRESENTATION ONLY AND SHALL NOT BE ASSUMED TO DELINEATE ACTUAL LIMITS OF DEMOLITION REQUIRED. REFER TO CIVIL DRAWINGS.</p> <p>10. DO NOT BLOCK OR OBSTRUCT FIRE LANES WITHOUT PRIOR APPROVAL FROM THE FIRE MARSHAL.</p> <p>11. PROTECT EXISTING PAVING AND STRUCTURES TO REMAIN DURING DEMOLITION AND RECONSTRUCTION.</p> <p>12. NOTES INDICATING DEMOLITION WORK ARE NOT CONFINED SOLELY TO THE DEMOLITION PLANS. THE GENERAL CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS, INCLUDING SCHEDULES AND SPECIFICATIONS, TO DETERMINE FULL EXTENT OF DEMOLITION WORK.</p> <p>13. ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER AND IN STRICT ACCORDANCE WITH APPLICABLE OSHA REGULATIONS.</p> <p>14. THE CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION. THE WORK INCLUDES, BUT IS NOT LIMITED TO, THE DEMOLITION AND REMOVAL OF FOUNDATIONS, WALLS, DOORS, ROOFS, CEILINGS, STRUCTURE, FIXTURES, PLUMBING, MECHANICAL, ELECTRICAL, AND FIRE SPRINKLER ITEMS AS SHOWN ON THE DRAWINGS AND AS REQUIRED FOR THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB. REPLACE ANVALL FLOOR, WALL OR CEILING FINISHES DAMAGED AS A RESULT OF DEMOLITION. MATCH ADJACENT FINAL FINISHES.</p> <p>15. WHEN UTILITIES ARE REMOVED, CAP AND SEAL A MINIMUM OF 8" BELOW THE FINISH FLOOR. IF THERE IS AN EXISTING CEILING, CAP A MINIMUM OF 6" ABOVE THAT CEILING.</p> <p>16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE SHORING, BRACING AND SUPPORT SYSTEMS AND TO KEEP THE EXISTING STRUCTURE INTACT AND IN A SAFE CONDITION DURING THE REMOVAL OF STRUCTURAL ITEMS AND NEW CONSTRUCTION. THE CONTRACTOR SHALL RETAIN A REGISTERED PROFESSIONAL ENGINEER TO DESIGN THE SHORING OR BRACING AND SPECIFY DEMOLITION PROCEDURES. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR MEANS AND METHODS OF DEMOLITION AND NEW CONSTRUCTION.</p> <p>17. COORDINATE DEMOLITION WITH NEW CONSTRUCTION IN ORDER THAT THE CLUB WILL HAVE UNINTERRUPTED WATER, SEWER, ELECTRICAL, GAS AND FIRE PROTECTION SERVICE.</p> <p>18. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXISTING CONCRETE FLOOR CONSTRUCTION BEFORE ANY SAW-CUTTING OR CORE DRILLING INTO THE SLAB. NOTIFY THE ARCHITECT IMMEDIATELY IF SLAB IS REINFORCED WITH POST TENSIONED STEEL, WHERE SAW-CUTTING IS THEN GIVEN APPROVAL BY THE ARCHITECT. THE CONTRACTOR SHALL GIVE FULL ATTENTION IN MAINTAINING ALL REINFORCING STEEL INTACT AND TO FOLLOWING ALL ADDITIONAL INSTRUCTIONS FROM THE ARCHITECT.</p> <p>19. ALL DEMO MATERIALS NOT SALVAGED BY SAM'S CLUB SHALL BE REMOVED BY THE CONTRACTOR. COORDINATE WITH SAM'S CLUB CONSTRUCTION MANAGER REGARDING MATERIALS TO BE SALVAGED BY SAM'S CLUB.</p> <p>20. THE CONTRACTOR SHALL USE A WET SAW FOR SLAB SAWING. NO JACK HAMMERS WILL BE ALLOWED WITHOUT PRIOR APPROVAL FROM SAM'S CLUB CONSTRUCTION MANAGER.</p> <p>21. WHEN RELOCATION OF TRASH COMPACTORS, BALERS, SATELLITE ANTENNAS AND ATM UNITS ARE REQUIRED, COORDINATE THE SEQUENCE WITH THE SAM'S CLUB CONSTRUCTION MANAGER AND CONTACT THE FOLLOWING: SATELLITE: OWNER TELECOM (479) 277-3994 COMPACTOR/BALERS/OWNER RECYCLING: (479) 273-8471 ATM UNIT: OWNER FINANCE DEPARTMENT (479) 273-4026 CONTACT THE OWNER FINANCE DEPARTMENT A MINIMUM OF TWO WEEKS PRIOR TO THE MOVE OR DISCONNECTION OF AN ATM UNIT. AT COMMENCEMENT OF PROJECT, COORDINATE WITH SAM'S CLUB TO ENSURE ADEQUATE TIME IS PROVIDED FOR THE RELOCATION OF THESE ITEMS.</p> <p>22. AT EXISTING EXTERIOR WALLS TO REMAIN, REMOVE EXISTING ANCHOR DEVICES AT EXISTING SIGNAGE WHICH IS TO BE REMOVED. PATCH WALLS AND FINISH SURFACE TO MATCH EXISTING.</p> <p>23. PROTECT ALL WATER PIPING AT AREAS OF DEMOLITION, EXPANSION AND REMODEL. WHERE EXISTING PIPING IS SUBJECT TO FREEZING, PROTECT PIPING SO AS NOT TO FREEZE.</p> <p>24. CONDUCT ALL DEMOLITION AND REMOVAL OF DEBRIS AS WITH BUILDING/SITE FACILITIES AND OPERATIONS. REMOVE DEMOLISHED MATERIALS FROM SITE AND LEGALLY DISPOSE OF ALL DEBRIS.</p> | <p>1. THE ARCHITECT HAS MADE A FIELD SURVEY OF EXISTING CONDITIONS AND THE CONSTRUCTION DRAWINGS ARE BASED ON THE EXISTING FLOOR PLAN AS VERIFIED IN THE FIELD ON THE DATE OF THAT SURVEY. IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO THE SUBMISSION OF A BID AND TO THE COMMENCEMENT OF ANY WORK. NO ADDITIONAL COMPENSATION WILL BE PAID DUE TO THE CONTRACTOR'S FAILURE TO BECOME ACQUAINTED WITH EXISTING SITE AND BUILDING CONDITIONS, INCLUDING, BUT NOT LIMITED TO, GRADES, EXTENTS OF PAVING OR UTILITIES.</p> <p>2. THESE CONTRACT DOCUMENTS HAVE BEEN DESIGNED AND DRAWN ASSUMING EXISTING BUILDING CONDITIONS MATCH THE ORIGINAL CONSTRUCTION DOCUMENTS AS WELL AS THOSE FROM SUBSEQUENT CONSTRUCTION PROJECTS. THE GENERAL CONTRACTOR, IMMEDIATELY UPON ARRIVAL AT THE SITE, SHALL VERIFY ALL EXISTING STRUCTURAL COLUMN DIMENSIONS, STRUCTURAL BEARING HEIGHTS, EXISTING DIMENSIONS, TOP OF MASONRY ELEVATIONS, JOIST BEARING ELEVATIONS, AND ROOFING CONDITIONS (INCLUDING PARAPETS, SCUPPERS, AND ROOF DRAINS) PRIOR TO THE FABRICATION OF ANY STRUCTURAL ITEMS. THE BEGINNING OF STRUCTURAL STEEL FABRICATION BY THE GENERAL CONTRACTOR, STEEL SUPPLIER, STEEL FABRICATOR, OR JOIST MANUFACTURER INDICATES ACCEPTANCE OF THE EXISTING CONDITIONS.</p> <p>3. THE UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES (WHETHER SHOWN OR NOT) PRIOR TO THE SUBMISSION OF HIS BID OR THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE SAM'S CLUB CONSTRUCTION MANAGER OF THE DISCOVERY OF EXISTING UTILITIES NOT SHOWN OR NOTED ON THE DRAWINGS.</p> <p>4. IF DISCREPANCIES ARE FOUND BETWEEN EXISTING FIELD CONDITIONS AND WHAT IS SHOWN ON THE DRAWINGS, OR IF DISCREPANCIES ARE IDENTIFIED WITH THE CONSTRUCTION DOCUMENTS, NOTIFY THE SAM'S CLUB CONSTRUCTION MANAGER AND THE ARCHITECT THROUGH THE RFI (REQUEST FOR INFORMATION) PROCESS TO DETERMINE ACTION TO BE TAKEN. REFER TO SPECIFICATION SECTION 01255. MODIFICATIONS SHALL ONLY BE ALLOWED BY WRITTEN APPROVAL FROM THE ARCHITECT.</p> <p>5. THE CONTRACTOR SHALL FIELD LOCATE AND VERIFY ALL PROPERTY LINES, EASEMENTS, SETBACKS AND RESTRICTIONS. A REGISTERED SURVEYOR SHALL ESTABLISH ALL PROPERTY LINES AND SETBACKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND CLEARLY FLAG. IT REMAINS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DETERMINE EXACT LOCATION OF ALL SAID BOUNDARIES.</p> |

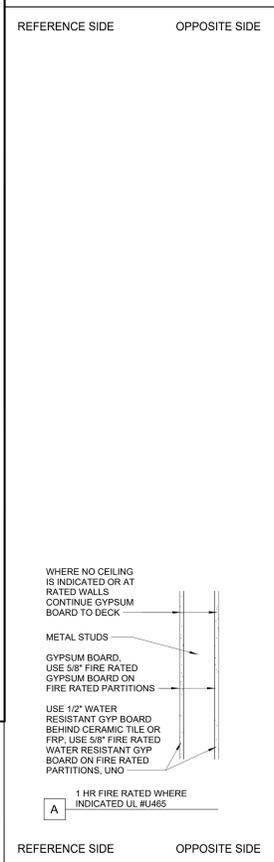
## PARTITION NOTES

- STUDS CONTINUE TO DECK UNO. REF CAPTURE TRACK DETAIL 4-N1 FOR DEFLECTION REQUIREMENTS.
- USE 1/2" GYPSUM BOARD ON NON-RATED PARTITIONS UNO.
- CONTINUE FINISH MATERIAL TO A MINIMUM OF 4" ABOVE SUSPENDED CEILING OR TOP OF STUDS WHICH EVER IS LESS. UNO.
- REF PARTITION KEY SYMBOL FOR STUD WIDTHS.
- WHERE NO CEILING IS INDICATED, CONTINUE FINISH TO FULL HEIGHT OF PARTITION. MAINTAIN CLEARANCE BELOW STRUCTURE PER DEFLECTION TRACK DETAILS.
- STUD PARTITIONS REQUIRING A FIRE-RATING OF ONE HOUR SHALL COMPLY WITH UL#415, UL#465 OR UL#65 MASONRY PARTITIONS REQUIRING ONE HOUR FIRE RATING SHALL COMPLY WITH UL #905.
- REF FOR MAXIMUM HEIGHT OF NON LOAD-BEARING WALL ABOVE HEADER.
- REF SPECIFICATIONS FOR LATERAL BRACING OF STUD PARTITIONS.
- USE 1/2" WATER RESISTANT GYPSUM BOARD ON 1/2" ABOVE SUSPENDED CEILING OR TOP OF STUDS BEHIND CERAMIC (AND/OR PORCELAIN) TILE. REF A7 FOR TILE SURFACE LOCATIONS.
- USE 1/2" WATER RESISTANT GYP BOARD BEHIND FRP BOARD WHEN NEW FLOOR IS REQUIRED. REF A7 FOR FRP SURFACE LOCATIONS.
- PROVIDE FIRE BLOCKING AT FLOOR AND ROOF LEVELS. CONCEALED SPACES BETWEEN STAIRWAY STRINGERS, PENETRATIONS IN FLOOR/CEILING ASSEMBLIES AND OTHER LOCATIONS AS REQUIRED BY CODE.

## PARTITION LEGEND



## PARTITION TYPES



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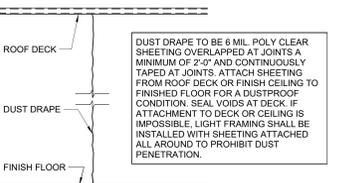
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## GENERAL INFORMATION

SHEET: N1

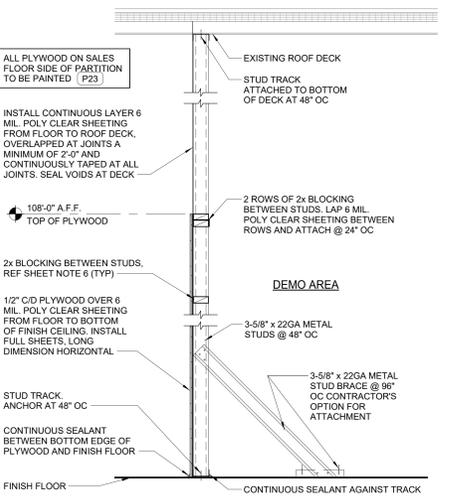
### 3 DUST DRAPE

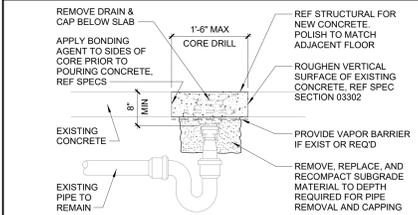
12" = 1'-0"



### 1 TEMP TRENCH BARRIER/DUST DRAPE

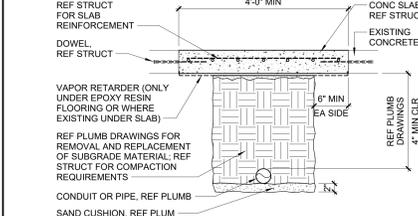
3/4\"/>



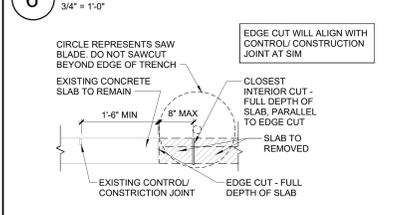


**9 DETAIL**  
3/4" = 1'-0"

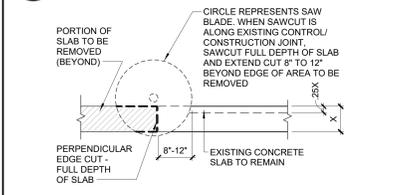
**NOTES:**  
 1. UNDER NO CIRCUMSTANCE SHALL SAW-CUT EXTEND PAST EDGE OF SLAB BEING REMOVED. SAW-CUT OVERRUNS ARE NOT ALLOWED.  
 2. UNDER NO CIRCUMSTANCE SHALL SAW-CUTS BE MADE AT AN ANGLE TO EXISTING SLAB JOINT PATTERN. SAW-CUT EDGES SHALL BE STRAIGHT AND PARALLEL TO EXISTING SLAB JOINTS.



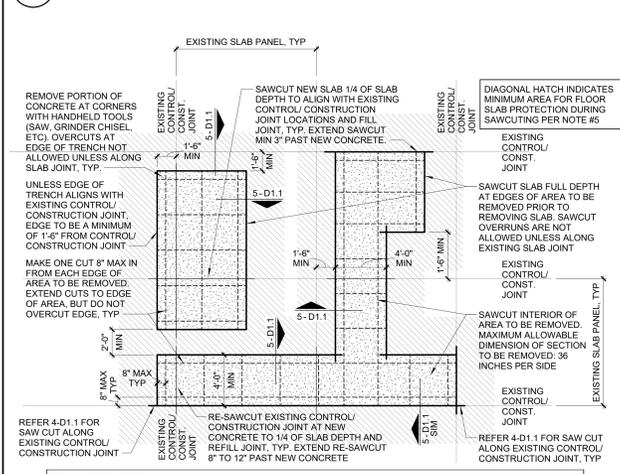
**6 TRENCHING DETAIL**  
3/4" = 1'-0"



**5 SLAB EDGE**  
3/4" = 1'-0"



**4 SAW CUT ALONG EXISTING C.J.**  
3/4" = 1'-0"



**CONTRACTOR NOTES:**  
 1. SLAB TRENCH DEMOLITION DETAILS, AS INDICATED IN THIS AND RELATED DETAILS, ARE INTENDED FOR USE ON ALL INTERIOR SLAB DEMOLITION WHERE THE FINAL FINISH IS EXPOSED CONCRETE, BUT IT WILL ALSO APPLY WHERE FINISH IS OTHER THAN EXPOSED CONCRETE (I.E. TILE, EPOXY RESIN, CARPET, ETC.).  
 2. LENGTH OR WIDTH OF TRENCH REPLACEMENT INDICATED ON PLANS SHALL BE ADJUSTED TO MEET LIMITATIONS NOTED IN THIS DETAIL OR STRUCTURAL SHEETS.  
 3. TRENCH LAYOUT WILL VARY FROM EXAMPLE SHOWN.  
 4. SAWCUT EDGES SHALL BE STRAIGHT AND PARALLEL TO EXISTING CONTROL/CONSTRUCTION JOINTS. SAWCUTS AT AN ANGLE TO THE EXISTING CONTROL JOINT PATTERN WILL NOT BE ALLOWED UNDER ANY CIRCUMSTANCES.  
 5. PRIOR TO CUTTING, INSTALL 36" WIDE ROSIN PAPER EACH SIDE OF PROPOSED EDGE CUTS IN ORDER TO REDUCE SCARRING OF SLAB THAT IS TO REMAIN.  
 6. NO OVERCUTTING SHALL BE ALLOWED AT EDGES OR INSIDE CORNERS OF SLAB AREA TO BE REMOVED, EXCEPT WHERE EDGE OF TRENCH ALIGNS WITH AN EXISTING CONTROL/ CONSTRUCTION JOINT.  
 7. IF SAWCUT OVERRUNS OCCUR, TRENCH SHALL BE EXTENDED TO THE LENGTH OF THE OVERTURN. IF EXTENSION OF TRENCH RESULTS IN EDGE BEING LESS THAN 1-6" TO THE ADJACENT EXISTING CONTROL/ CONSTRUCTION JOINT, TRENCH SHALL BE EXTENDED TO THE ADJACENT EXISTING CONTROL/ CONSTRUCTION JOINT. ALL TRENCH EXTENSIONS DUE TO SAWCUT OVERRUNS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH NO EXTENSION OF THE CONSTRUCTION SCHEDULE.  
 8. PERFORM CUTTING OF EXISTING CONCRETE SLABS IN ACCORDANCE WITH THE DETAILS AND SPECIFICATIONS USING SAWS AND/OR CORE DRILLS. ALL SLAB CUTTING SHALL BE PERFORMED AT NIGHT AFTER THE BUILDING HAS CLOSED FOR BUSINESS. JACK-HAMMERS OR EXPLOSIVES WILL NOT BE ALLOWED AT ANY TIME.  
 9. USE REMOVAL METHODS THAT WILL NOT CRACK, UNDERMINE, OR STRUCTURALLY DISTURB ADJACENT SLABS OR PARTITIONS.  
 10. REFER TO STRUCTURAL DRAWINGS.  
 11. REFER TO DETAIL 6-D1.1 FOR BEDDING AND BACKFILL AT NEW SANITARY PLUMBING LINES.  
 12. PROVIDE VAPOR BARRIER IF EXISTING OR REQUIRED.

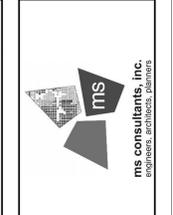
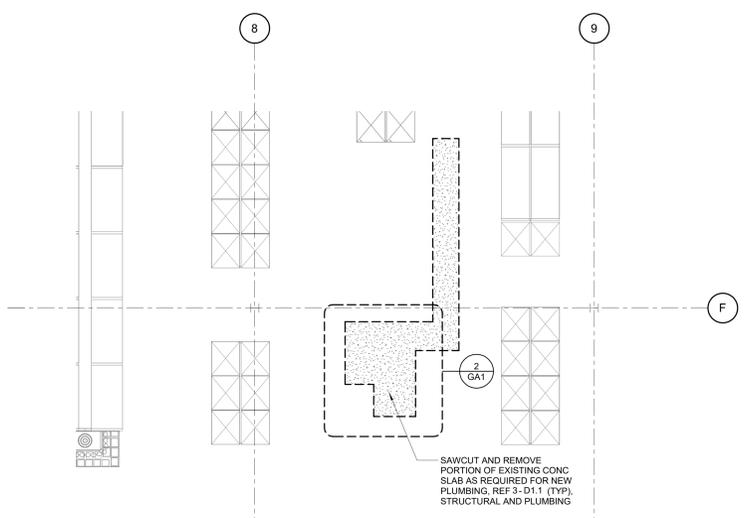
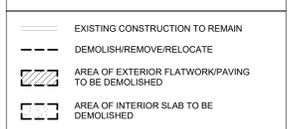
**3 TRENCH DEMOLITION DETAIL**  
3/16" = 1'-0"

**1 D1.1-01**  
1/8" = 1'-0" 1 D1

**SHEET NOTES**

- LOCATE TEMPORARY DUST PARTITIONS AND SECURITY ENCLOSURES AS REQUIRED BY THE SCOPE OF WORK AND PROJECT PHASING. COORDINATE TYPE OF TEMPORARY CONTROL MEASURES TO BE USED WITH SAM'S CONSTRUCTION MANAGER.
- NOTIFY SAM'S CLUB MANAGER MINIMUM OF 3 DAYS PRIOR TO INSTALLATION OR REMOVAL OF TEMPORARY PARTITIONS OR DRAPES.
- INSTALL TEMPORARY PARTITIONS IN SECTIONS, APPROXIMATELY 40'-0" PER DAY (COORDINATE WITH CLUB MANAGER).
- LOCATE VERTICAL STUDS TO PREVENT INTERFERENCE WITH CEILING GRID AND/OR LIGHT FIXTURES (WHERE EXISTING).
- SCREW PLYWOOD TO STUDS (MAXIMUM SPACING: 12" OC).
- PROVIDE 2X BLOCKING BEHIND EACH HORIZONTAL JOINT IN PLYWOOD WALL COVERING AND ATTACH PLYWOOD PER SHEET NOTE 5 ABOVE.
- PROVIDE CONTINUOUS SUPPLEMENTAL BRIDGING AND BRACING TO EXISTING STRUCTURE AS REQUIRED TO PRECLUDE MOVEMENT OF TEMPORARY PARTITIONS.
- DO NOT USE TEMPORARY PARTITIONS TO SHORE CEILING OR ROOF JOISTS. SHORING SHALL BE DESIGNED AND CONSTRUCTED INDEPENDENTLY OF DUST PARTITIONS, PER SPECIFICATION SECTION 02251.
- AT THE CONTRACTOR'S OPTION, WOOD STUDS MAY BE USED IN LIEU OF METAL STUDS WHERE APPROVED BY THE APPROPRIATE A.H.J. CONTRACTOR SHALL DESIGN WOOD STUD SYSTEMS.
- SEAL PERIMETER OF PARTITIONS AND DOORS TO PREVENT PASSAGE OF DUST. TAPE FASTENER DEPRESSIONS, JOINTS BETWEEN PANELS, AND JOINTS BETWEEN PANELS AND FLOOR, CEILING, AND COLUMNS. TAPE SHALL BE 2 INCH WIDE PRESSURE SENSITIVE TAPE.
- PROVIDE MATS AT DOORS TO REDUCE TRACKING OF DUST. REPLACE OR CLEAN DAILY.
- THE FOLLOWING WORK SHALL BE PERFORMED BY CLUB PERSONNEL AND COORDINATED BY GC. (TEMPORARY LOCATION OF ALL MERCHANDISE, SHELVING AND RACKING REQUIRED FOR INSTALLATION OF NEW WORK.)
- TEMPORARY CONSTRUCTION FENCING AND EXTERIOR LIFE SAFETY/TRAFFIC CONTROL BARRIERS SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE. COORDINATE LOCATIONS AND REQUIREMENTS WITH SAM'S CONSTRUCTION MANAGER.
- REFER TO DETAILS ON SHEET N1 FOR TEMPORARY DUST PARTITION, DUST DRAPE, AND SECURITY ENCLOSURE DETAILS. CONTRACTOR SHALL COORDINATE LOCATIONS, TYPES, AND PHASING OF INSTALLATION WITH SCOPE AND PHASING OF THE WORK AND WITH THE SAM'S CONSTRUCTION MANAGER.
- TRENCHING OF SLAB FOR INSTALLATION OF NEW WORK IS ALLOWED. REFER TO SHEET A1 AND FINISH SCHEDULE FOR SLAB FINISH BASE ON LOCATION AND EXPOSED CONCRETE OR SCHEDULE TO RECEIVE NEW FINISH.
- REFER TO FIRE PROTECTION DRAWINGS FOR DEMOLITION OF EXISTING SPRINKLER PIPING.
- REFER TO ROOM FINISH SCHEDULE IN A7 SHEET FOR REMOVAL OF EXISTING CEILING GRID AND PANELS.
- REFER TO ROOM FINISH SCHEDULE IN A7 SHEET FOR REMOVAL OF EXISTING BASE UNLESS NOTED OTHERWISE.
- REMOVE EXISTING PROTECTION RAILS AND FLANGES AT REFRIGERATED CASES AS INDICATED. REPAIR FLOOR PER SPEC SECTION 03905.

**DEMOLITION LEGEND**



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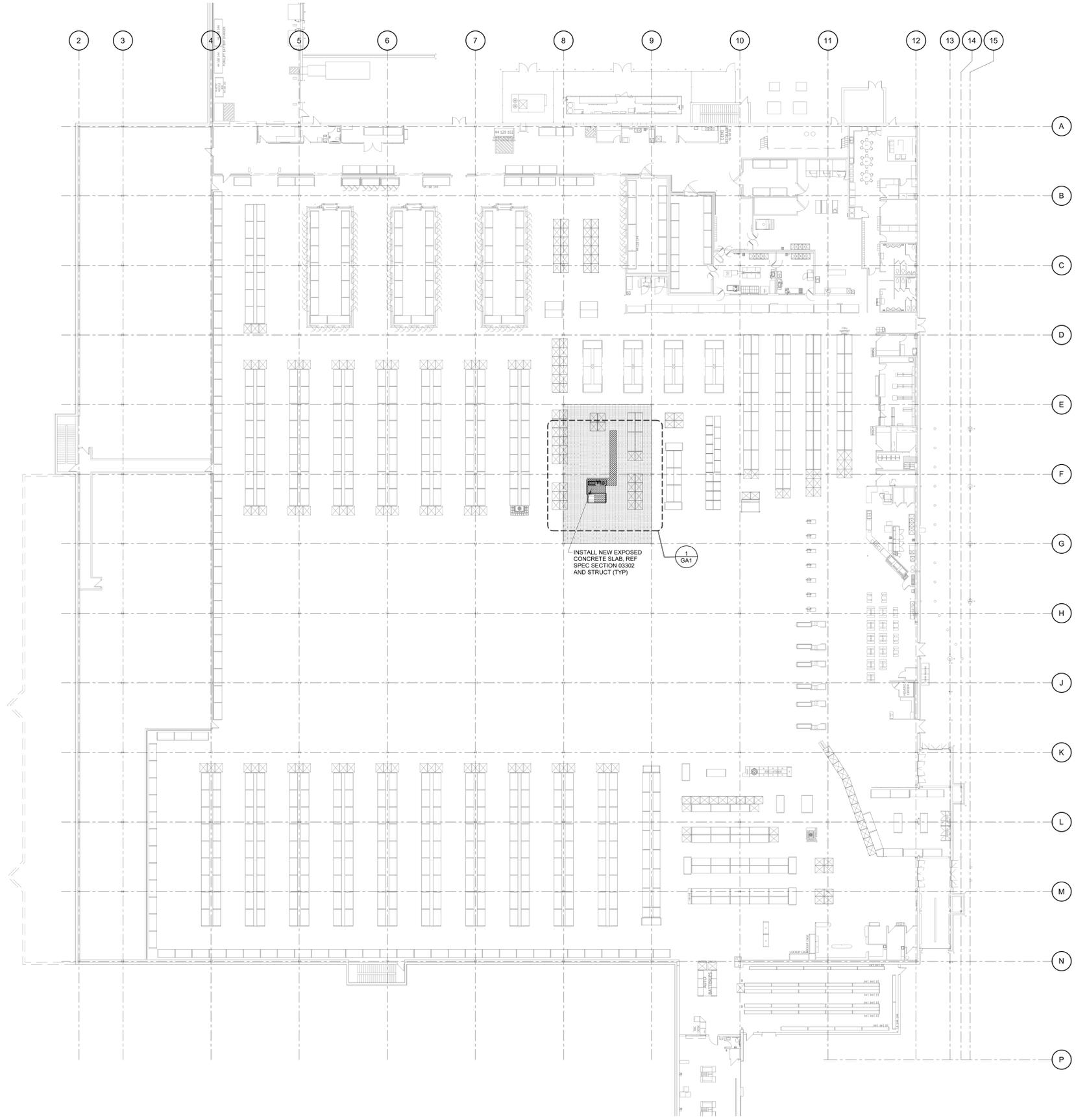
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**ENLARGED DEMOLITION PLANS AND DETAILS**

SHEET: **D1.1**



**1 FLOOR PLAN**  
1" = 20'-0"

**SHEET NOTES**

- INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUD OR INSIDE FACE OF EXTERIOR WALL UNO.
  - CLEAN AND PAINT ALL NEW EXPOSED DUCTWORK, ELECTRICAL CONDUITS, AND/OR SPRINKLER PIPING VISIBLE BY MEMBERS. SPRINKLER HEADS ARE TO BE PROTECTED FROM PAINT. MATCH COLOR OF ADJACENT STRUCTURE.
- REFER TO OWNER PROVIDED MERCHANDISE PLAN FOR ANY NEW FIXTURES. REFER TO ELECTRICAL FOR FIXTURES REQUIRING POWER.

**FLOOR FINISH LEGEND**

- AREA OF NEW FLOOR POLISH. GC TO REPAIR EXISTING CONCRETE SLAB PER 03305 TO PREP FOR OWNERS CONCRETE POLISHING CONTRACTOR (CPC). REFER SPEC 03363. APPROX. 2,500 SF
- NEW EXPOSED CONCRETE FLOOR SLABS NOT SCHEDULED TO RECEIVE ANOTHER FINISH (CARPET, TILE, EPOXY RESIN, ETC.). REFER SPEC 03302. APPROX. 105 SF
- AREA TO RECEIVE NEW CONCRETE AND BE POLISHED BY OWNERS CONCRETE POLISHING CONTRACTOR (CPC). REFER SPEC SECTION 03302 & 03363.

**FLOOR FINISH NOTES**

- OWNER'S CPC SHALL COORDINATE EXTENT OF POLISHING ON AREAS NOT SHOWN ON THIS PLAN, SUCH AS EXISTING TRENCHES THAT ARE DISCOLORED FROM ADJACENT SLAB OR AREAS OF BLENDING FINISH OF NEW SLABS WITH EXISTING.
- GC TO COORDINATE WITH OWNER'S CONCRETE POLISHING CONTRACTOR (CPC) PER SPEC SECTION 03363.

**SLAB NOTES**

- COORDINATE PHASING OF SLAB REPLACEMENT AND MAXIMUM AREA OF SLAB TO BE FINISHED AT ONE TIME WITH THE SAMS CONSTRUCTION MANAGER AND CLUB MANAGER.
- REPAIR BOLT HOLES AND SPALLS RESULTING FROM MERCHANDISE FIXTURE AND/OR STORAGE RACK RELOCATION. REF SPEC 03905.



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FLOOR PLAN

SHEET: **A1**

**ROOM FINISH SCHEDULE NOTES:** (MASTER NOTES LIST, NOT ALL NOTES MAY BE USED)

- 1 PROVIDE SOUND BATT INSULATION IN TOILET WALLS AND OTHER WALLS AS SHOWN ON PLAN.
- 2 PROVIDE 5/8" TYPE "X" GYPSUM BOARD AT FIRE-RATED WALLS SHOWN ON PLAN.
- 3 PROVIDE FIRESTOPPING AT ALL FIRE-RATED WALL PENETRATIONS AND AT ROOF DECK.
- 4 PROVIDE LIGHT BROOM FINISH TO CONCRETE FLOOR.
- 5 PROVIDE PLASTIC BASE AT LANDINGS ONLY TO MATCH ADJACENT WALLS. NOT OVER STRINGERS.
- 6 MATCH CEILING HEIGHT OF MEZZANINE HALLWAY, ROOM 202.
- 7 PROVIDE PLASTIC BASE AT GYPSUM BOARD PARTITIONS ONLY.
- 8 PROVIDE PLYWOOD WAJNSCOT. REFER TO PLANS FOR LOCATION AND HEIGHT.
- 9 REPLACE CARPET, TRANSITION STRIP, AND VINYL BASE INSIDE EXISTING SOUND BOOTH. INSTALL B4 VINYL BASE.
- 10 CONCRETE FLOOR TO HAVE SEAMLESS EPOXY FLOORING IS TO HAVE A ROUGHENED FINISH.
- 11 AT INTERIOR BASES OF COOLER/FREEZER BOXES WITH SEALED CONCRETE FLOORS, INSTALL CONTINUOUS SILICONE CAULK BEAD WITH FINGER COVE WHERE WALL PANELS MEET CONCRETE SLAB.
- 12 CEILING HEIGHT INDICATED IS TO THE TOP OF WALK-IN COOLER/FREEZER BOX (SUBTRACT 9" FOR INTERIOR HT).
- 13 IF THE SITUATION OCCURS THAT THE SEAMLESS FLOORING MUST BE INSTALLED BEFORE CASES ARE SET, DETERMINE APPROXIMATE LINE OF BACK EDGE OF CASE AND RUN EPOXY FLOORING 12" BEYOND THIS LINE. SEAL BASE OF CASE TO FLOORING.
- 14 NEW COOLER WALL PANELS TO HAVE FACTORY LAMINATED FRP FINISH (NIC).
- 15 REFERENCE DETAIL 13-GA3 FOR SEAMLESS EPOXY FLOOR/ FRP PANEL TRANSITION.
- 16 PROVIDE SOUND BATT INSULATION ABOVE CEILING SYSTEM (INCLUDE AT CASH ROOM IF NEW CEILING, OR IF CEILING IS REPLACED.)
- 17 NOT USED.
- 18 INTERIOR WALLS (UNO) TO HAVE ORANGE PEEL TEXTURE.
- 19 WATER RESISTANT GYP BOARD WITH FRP1 FINISH AT PLUMBING CHASE ONLY. REFER CHASE DETAIL.
- 20 PAINT WALLS P23 UP TO 48" AFF. PAINT WALLS P23 ABOVE 48" AFF. REFER TO ENLARGED PLANS FOR LOCATIONS.
- 21 PAINT WALLS P24 TO 48" AFF. PAINT P23 ABOVE 48" AFF. REF PLANS FOR LOCATIONS.
- 22 PAINT ALL WALLS P24 TO 96" AFF. PAINT P23 ABOVE 96" AFF.
- 23 REMOVE EXISTING FRP WALL FINISHES TO BARE STUDS UP TO THE CEILING.
- 24 REMOVE EXISTING FLOOR TILE AND PREPARE SUBSTRATE FOR NEW FINISH AS SCHEDULED.
- 25 CLEAN AND PREP EXISTING EPOXY RESIN FLOORING AND BASE AS REQUIRED FOR NEW EPOXY RESIN OVERLAY.
- 26 REPLACE EXISTING CEILING SYSTEM (PANELS AND GRID).
- 27 REPLACE EXISTING CEILING PANELS WITH NEW PANELS. CLEAN GRID.
- 28 REMOVE EXISTING CEILING FINISH TO BARE FRAMING (GYP BOARD ONLY). HVAC AND SPRINKLERS SYSTEM WILL BE REUSED UNO. STORE EXISTING HVAC DIFFUSERS AS REQUIRED. REF MECH AND FIRE PROTECTION.
- 29 CLEAN EXISTING CEILING, INCLUDING BUT NOT LIMITED TO, ROOF STRUCTURE, DECK, CONDUIT, DUCTWORK AND FIRE SPRINKLER PIPING.
- 30 AT EXPOSED PAINTED STRUCTURE OR DECK, PAINT NEW CONDUIT, DUCTWORK AND FIRE SPRINKLER PIPING (FIRE SPRINKLER HEADS TO REMAIN UNPAINTED) TO MATCH ADJACENT STRUCTURE OR DECK.
- 31 WHERE UNPAINTED ROOF STRUCTURE, DECK, CONDUIT, AND FIRE SPRINKLER PIPING HAVE BEEN EXPOSED IN SALES AND/OR GROCERY SALES AREA BY OTHER PORTIONS OF THE OVERALL SCOPE OF WORK, PAINT TO MATCH EXISTING ITEMS OF SAME TYPE (FIRE SPRINKLER HEADS TO REMAIN UNPAINTED).
- 32 WHERE ORIENTATION OF ENLARGED PLAN DIFFERS FROM THAT SHOWN ON OVERALL FLOOR PLAN (SHEET A1), ORIENTATION SHOWN ON SHEET A1 SHALL GOVERN FINISH LOCATIONS INDICATED ON ROOM FINISH SCHEDULE.
- 33 CLEAN, PREP, AND PAINT EXTERIOR SIDE OF EXISTING COOLER/FREEZER PANELS P23 USING DTM PAINT. PREP PER MANUFACTURER'S RECOMMENDATIONS.
- 34 REMOVE EXISTING FRP WALL FINISH. EXISTING METAL SUBSTRATE OF PANEL WALL TO REMAIN. IF NO METAL SUBSTRATE EXISTS, REF SHEET NOTE #4 ON SHEET GA1.
- 35 SCRUB CLEAN EXISTING EXTERIOR COOLER/FREEZER PANEL WALLS AND PATCH HOLES WITH WHITE SEALANT.
- 36 INSTALL CONTINUOUS SILICONE CAULK BAND WITH FINGER COVE WHERE FRP AND BASE MEET EXPOSED CONCRETE FLOORING AND AROUND MOP SINK.
- 37 REFERENCE SHEET N1 FOR RE-INSTALLATION OF TOILET FIXTURES AND ACCESSORIES.
- 38 RESEAL FIXTURES. CLEAN PER SPECIFICATION SECTION 01740.
- 39 TOUCH UP PAINT ON EXISTING PROTOTYPICAL BASE WITH P36.
- 40 REFER TO GROCERY DRAWINGS FOR SANITARY COVE AND RESINOUS FLOOR BASE DETAILS.
- 41 REFERENCE SHEET NOTE #2 ON GA2 SHEET FOR GENERAL DIRECTION OF NEW COOLER/FREEZER PANEL FINISH PER COOLER PANEL MFR.
- 42 REFER TO LARGE SCALE PLAN FOR EXTENTS OF P8 ACCENT WALL.
- 43 FINISHES SHOW ARE FOR CHASES ONLY. COOLER/FREEZER PANEL FINISHES BY MANUFACTURER PER SHEET NOTE 2 ON GA2.
- 44 REFER TO L41 FOR EXTENTS OF EXISTING CONCRETE SLAB TO BE POLISHED BY CLUB ASSOCIATES AND OWNER'S CPC. GC TO PATCH/ REPAIR SLAB AT AREAS INDICATED TO BE POLISHED PER SPEC SECTION 03905 AND TO COORDINATE POLISHING ACCORDING TO SPEC SECTION 03363.

ROOM FINISH SCHEDULE		WALL												CEILING		NOTES		
RM #	ROOM NAME	FINISH	A		B		C		D		E		CEILING	HEIGHT				
			BASE	MAT	FINISH	BASE	MAT	FINISH	BASE	MAT	FINISH	BASE	MAT	FINISH	MAT	FINISH	HEIGHT	
9 GROCERY																		
921	NEW SUSHI TENANT	ETREC1	SCB5	T	FRP1	--	--	--	SCB5	T	FRP1	SCB5	T	FRP1	ACT5	--	10'-0"	29,30,39

MARK	FINISH	COLOR	DESCRIPTION	MARK	FINISH	COLOR	DESCRIPTION	MARK	DESCRIPTION
ACT1	ACOUSTICAL PANEL CEILING	WHITE	24" x 48"	P35	ELASTOMERIC COATING OR PAINT	LIGHT GRAY	SW #7071 GRAY SCREEN	A	CONCRETE
ACT2	ACOUSTICAL PANEL CEILINGS	WHITE	24" x 48" VINYL FACED UNPERFORATED MEETING USDA GUIDELINES	P36	ELASTOMERIC COATING OR PAINT	BLACK	SW #6989 DOMINO	B	GLASS AND ALUMINUM FRAME
				P38	ELASTOMERIC COATING OR PAINT	DARK BROWN	SW #6102 PORTABELLO	C	SMOOTH FACE CMU
				P41	ELASTOMERIC COATING OR PAINT	BEIGE	SW #6100 PRACTICAL BEIGE	D	SPLIT FACE CMU
				P100	ELASTOMERIC COATING OR PAINT	LT GRAYSH BLUE	SW #6521 NOTABLE HUE	E	CHAINLINK
B9	PLASTIC BASE	BLACK	PARKLAND PLASTICS 4"x8" (REF I-46)	P200	ELASTOMERIC COATING OR PAINT	DURANDIC BRONZE	SW CUSTOM ORDER #7248-0044642	F	EXPOSED STRUCTURE
B12	PLASTIC BASE	BLACK	PARKLAND PLASTICS 12"x36" (REF I-46)	P201	ELASTOMERIC COATING OR PAINT	LIGHT GRAY	SW #7688 MARCH WIND	G	GYPSUM BOARD
E201	EIFS - INTEGRALLY COLORED	LIGHT GRAY	SW #7668 MARCH WIND	P202	ELASTOMERIC COATING OR PAINT	GRAY	SW #7670 GRAY SHINGLE	H	METAL SOFFIT
E202	EIFS - INTEGRALLY COLORED	GRAY	SW #7670 GRAY SHINGLE	P203	ELASTOMERIC COATING OR PAINT	DARK GRAY	SW #7048 URBANE BRONZE	L	PLYWOOD
E203	EIFS - INTEGRALLY COLORED	DARK GRAY	SW #7048 URBANE BRONZE	PL1	PLASTIC LAMINATE	LIGHT GRAY	WILSONART #4142-60, FORMICA #692	N	COOLER/FREEZER PANEL
EC1	CAST-IN-PLACE CONCRETE SLABS (INTERIOR)	BURNISHED		PL23	PLASTIC LAMINATE	GRAY	WILSONART #4830K-19 SATIN STAINLESS	R	EIFS
EC2	CAST-IN-PLACE CONCRETE SLABS (INTERIOR)	BROOM FINISH		PL28	PLASTIC LAMINATE	LIGHT WOOD GRAY	REFER SPEC 06400	T	WATER RESISTANT GYP BOARD
FRP1	FIBERGLASS REINFORCED PLASTIC	WHITE	SANITARY WALL PANEL	R1	RESILIENT BASE & ACCESSORIES	GRAY	NORA SYSTEMS STONE GRAY		
P5	ELASTOMERIC COATING OR PAINT	YELLOW	OSHA STANDARD SAFETY YELLOW	RF1	RESINOUS FLOORING	GRAY			
P6	ELASTOMERIC COATING OR PAINT	BLUE	SW #6811 HONORABLE BLUE	RF2	RESINOUS FLOORING	RED			
P9	ELASTOMERIC COATING OR PAINT	WHITE	SW #7042 SHOJI WHITE	RF3	RESINOUS FLOORING	TAN			
P19	ELASTOMERIC COATING OR PAINT	BEIGE	SW #6094 SENSATIONAL SAND	S1	CLEAR WOOD SEALER	CLEAR			
P21	ELASTOMERIC COATING OR PAINT	RED	SW #4081 SAFETY RED	SCB5	SANITARY COVE BASE	GRAY			
P23	ELASTOMERIC COATING OR PAINT	WHITE	SW #7005 PURE WHITE	SS2	SOLID SURFACING	GRAY	SWAN TAHITI GRAY		
P24	ELASTOMERIC COATING OR PAINT	DARK GRAY	SW #2819 DOWNING SLATE						
P28	ELASTOMERIC COATING OR PAINT	BROWN	SW #6124 CARDBOARD						

**FINISH KEY** (NOT ALL COLORS MAY BE USED)

**ROOM FINISH MATERIAL KEY**

MARK	DESCRIPTION	MARK	DESCRIPTION
A	CONCRETE	F	EXPOSED STRUCTURE
B	GLASS AND ALUMINUM FRAME	G	GYPSUM BOARD
C	SMOOTH FACE CMU	H	METAL SOFFIT
D	SPLIT FACE CMU	L	PLYWOOD
E	CHAINLINK	N	COOLER/FREEZER PANEL
F	EXPOSED STRUCTURE	R	EIFS
G	GYPSUM BOARD	T	WATER RESISTANT GYP BOARD



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ROOM FINISH AND DOOR SCHEDULES AND DETAILS

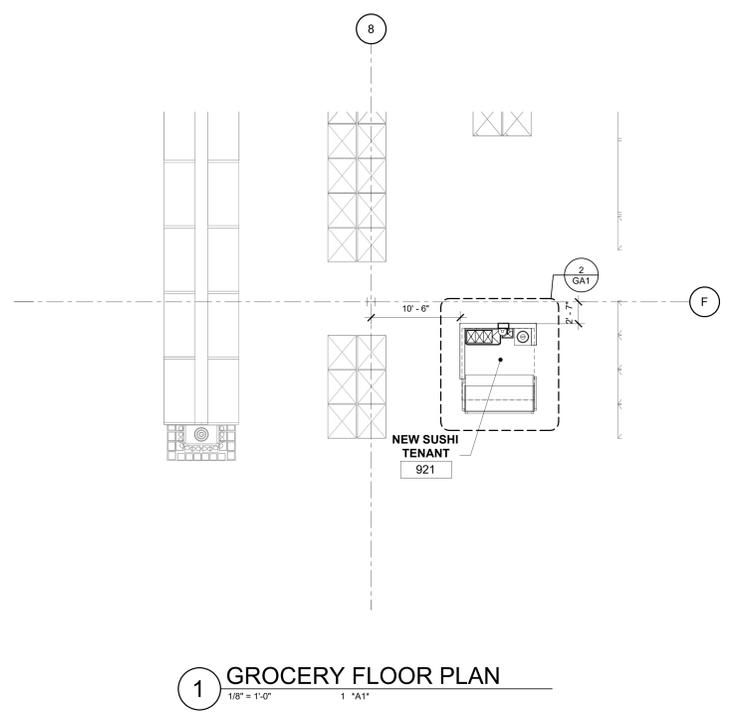
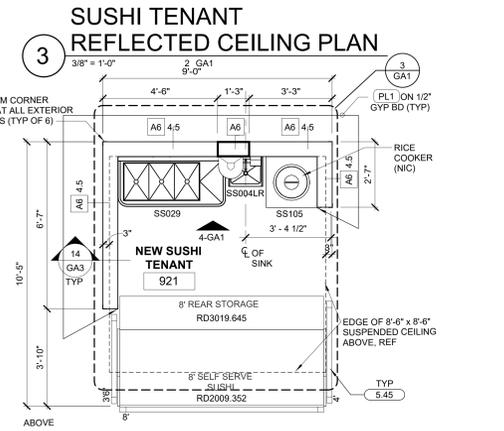
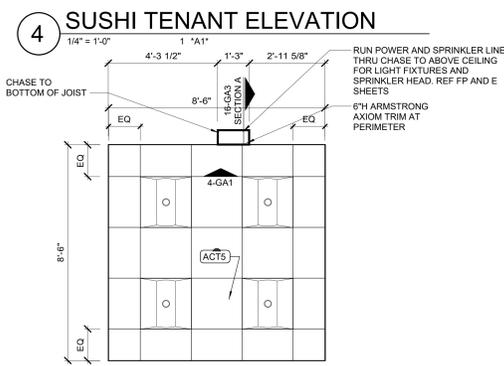
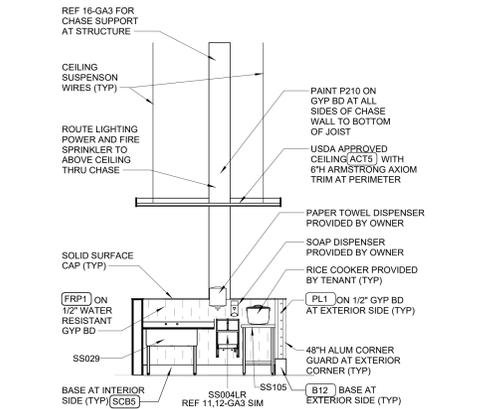
SHEET: **A7**

REFRIGERATION RESPONSIBILITIES MATRIX (ALL SCOPES MAY NOT BE USED)				
SCOPE OF WORK	BOX BATTEN AND SEAL	BOX RE-LINE	BOX REPLACEMENT	REFERENCE
REMOVE PRODUCT	OW	OW	OW	
PROVIDE TEMP REFRIGERATED STORAGE AS NECESSARY	OW	OW	OW	
TEMP CASE LINEUP	GC	GC	GC	
SHUT DOWN BOX	GC	GC	GC	
REMOVE RACKING	OW	OW	OW	
REMOVE UTILITIES AND RACK ANCHORS AS NECESSARY (CONDENSATE PIPING, CONDUIT, J-BOX)	GC	GC	GC	CONSTRUCTION DOCUMENTS E AND R SHEETS
APX REPEATER REMOVAL	GC	GC	GC	
REMOVE REFRIGERATION EVAPORATOR	NIA	NIA	GC	CONSTRUCTION DOCUMENTS R SHEETS
BATTEN AND SEAL BOX	PS	NIA	NIA	CONSTRUCTION DOCUMENTS GA SHEETS
RE-LINE BOX AND BATTEN CEILING	NIA	PS	NIA	CONSTRUCTION DOCUMENTS GA SHEETS
REMOVE BOX (INCLUDING DOORS)	NIA	NIA	PS	CONSTRUCTION DOCUMENTS GA SHEETS
REPLACE THERMAL BREAKS AS NECESSARY	NIA	NIA	GC	CONSTRUCTION DOCUMENTS GA SHEETS
REMOVE AND REPLACE BOX PROTECTION (BOLLARDS, ANGLES, CONC CURBS)	GC	GC	GC	CONSTRUCTION DOCUMENTS GA SHEETS
INSTALL NEW BOX	NIA	NIA	PS	SPEC. 15600 OWNER FURNISHED AND INSTALLED PRODUCTS
INSTALL REFRIGERATION EVAPORATOR	NIA	NIA	GC	SPEC. 15600 CONTRACTOR RESPONSIBILITIES
LEAK DETECTION SYSTEM	NIA	NIA	GC	SPEC. 15600 CONTRACTOR RESPONSIBILITIES
MODIFY UTILITIES FOR FINAL BOX CONFIGURATION	GC	GC	GC	SPEC. 15600 CONTRACTOR RESPONSIBILITIES
RE-INSTALL RACKING	OW	OW	OW	
ANCHOR RACKING	GC	GC	GC	CONSTRUCTION DOCUMENTS FXS SHEETS
<b>LEGEND</b>				
GC	GENERAL CONTRACTOR AND SUB-CONTRACTORS			
OW	OWNER			
PS	PANEL SUPPLIER			
NIA	NOT APPLICABLE			

REFRIGERATED AND HOT DISPLAY CASES LEGEND							
NO	QTY	CASE LENGTH-DOOR NO	LABEL	DESCRIPTION	MANUFACTURER	MODEL NUMBER	NOTES
RD2009.352	1	8FT	SUSHI	SELF-SERVICE	HUSSMANN	Q2-SPN	18.19.25
RD3019.645	1	8FT	SUSHI	SERVICE REAR STORAGE	HUSSMANN	Q3-SP-RRS	18.19.25
STAINLESS STEEL EQUIPMENT LEGEND							
NO	QTY	DESCRIPTION	MFR OR SUPPLIER	Model	NOTES		
SS004LR	1	HAND SINK 16X14 (14X10) WALL MOUNTED WITH LH & RH SPLASH	WIN-HOLT EQUIPMENT GROUP	100519905	8		
SS029	1	3-COMPARTMENT 24X51 (12X18) WITH RH 12IN DB	WIN-HOLT EQUIPMENT GROUP	100638844	2		
SS105	1	TABLE 24X24X36H FLAT TOP WITH UNDERSHELF	WIN-HOLT EQUIPMENT GROUP	100016457			
GENERAL EQUIPMENT NOTES							
A ALL EQUIPMENT IS SUPPLIED BY OWNER. INSTALLED BY THE GENERAL CONTRACTOR. GENERAL CONTRACTOR TO MAKE FINAL UTILITY CONNECTIONS, UNLESS NOTED OTHERWISE.							
EQUIPMENT NOTES (ALL NOTES MAY NOT BE USED.)							
1) REF SHEET A1 FOR EQUIPMENT LOCATION.							
2) 3-COMPARTMENT, PREP SINKS & MOP SINKS TO BE FURNISHED WITH FAUCETS WITH INTEGRAL CHECK VALVES.							
3) COOLER PANEL WALLS ARE TO BE 3 1/2" THICK AT COOLERS OR PREP ROOMS 10'-0" IN HEIGHT OR LESS. ALL COOLERS OVER 10'-0" IN HEIGHT AND ALL FREEZERS SHALL HAVE WALLS 3" THICK UNLESS NOTED OTHERWISE.							
4) QUANTITY AND TYPE BY OWNER. RACKS SHOWN ARE FOR POSSIBLE STORAGE AND PREP LOCATIONS.							
5) EQUIPMENT SUPPLIED TO HAVE CLEAR COATED WHITE EXTERIOR, WITH WHITE INTERIOR AND RED COLOR BANDS.							
6) VENDOR TO INCLUDE HEAT OPTION AT WINDOW FRAMES ONLY. REF ELEC FOR CIRCUIT							
7) SINKER RACK INSTALLED BY GENERAL CONTRACTOR. BOTTOM OF RACK AT 7'-6" AFF.							
8) GENERAL CONTRACTOR TO INSTALL OWNER FURNISHED SOAP AND PAPER TOWEL DISPENSER. REF 11-GA3 FOR MOUNTING LOCATION.							
9) OWNER TO SUPPLY COMPACTORS AND BALERS BY JV MFG (CRAM-A-LOT), OR PHILADELPHIA TRAMRAIL. REF GROCERY EQUIPMENT MANUAL FOR MODEL INFORMATION.							
10) EQUIPMENT SUPPLIED BY OWNER.							
11) EQUIPMENT INSTALLED BY EQUIPMENT SUPPLIER.							
12) EQUIPMENT INSTALLED BY OWNER.							
13) FINAL HOOK UP AFTER STEEL RACKING IS INSTALLED.							
14) PREP SINK FOR RINSING AND SORTING OF RAW PRODUCE ONLY. AND SHALL NOT BE USED FOR ANY OTHER PURPOSE, INCLUDING SLICING PRODUCE AND WAREWASHING.							
15) PROVIDE CASE WITH HIGH AMBIENT ANTI-SWEAT OPTION. PROVIDE CASE WITHOUT CONDENSATE DRAIN AND HEATER. CONDENSATE WILL BE PIPED TO FLOOR DRAINS; REFER TO MEP/R DRAWINGS.							
16) EQUIPMENT SUPPLIED TO HAVE CLEAR COATED WHITE EXTERIOR, WITH BLACK INTERIOR AND RED COLOR BANDS.							
17) QUANTITY LISTED INCLUDES SINK LOCATED IN TIRE AND BATTERY CENTER (REFER TIRE CENTER PLAN IF NOTED).							
18) INSTALL SNEEZE GUARDS ON REFRIGERATED CASE PER MANUFACTURER'S INSTRUCTIONS.							
19) EQUIPMENT SUPPLIED TO HAVE CLEAR COATED WHITE EXTERIOR, WITH STAINLESS STEEL INTERIOR AND RED COLOR BANDS.							
20) EQUIPMENT SUPPLIED TO HAVE TRIMITE SPANGLED SILVER PAINTED EXTERIOR, WITH BLACK TRIM AND BLACK INTERIORS.							
21) REF SHEET AS SNACK BAR PLAN FOR SNACK BAR EQUIPMENT LOCATION.							
22) RC TO INSTALL VENDOR SUPPLIED VALANCE AT MD CASE WHEN REFRIGERATION AND ELECTRICAL IS TOP FED.							
24) REFRIGERATION AND ELECTRICAL TO BE BOTTOM FED AT MD CASE WHEN BULKHEAD DOES NOT ALLOW FOR VALANCE INSTALLATION (TYP AT SNACK BAR/CAFE).							
25) REFRIGERATION ELECTRICAL IS BOTTOM FED INTO CASES.							

ABBREVIATION KEY	
ES	EQUIPMENT SUPPLIER
GC	GENERAL CONTRACTOR
OW	OWNER
RC	REFRIGERATION CONTRACTOR

SHEET NOTES	
1.	INTERIOR PLAN DIMENSIONS ARE TO THE FACE OF THE STUD/ CMU UNO.
2.	GC TO SILICONE CAULK ALL SINKS AND STATIONARY EQUIPMENT TIGHT TO FLOORS AND WALLS WITH SEALANT APPROVED PER LOCAL HEALTH CODES. NO EXPOSED PIPING OR CONDUIT ON PREP AREA, WALLS, OR ON BACKS OF REFRIGERATED DISPLAY CASES. RUN PLUMBING OR CONDUIT IN WALLS OR CHASES WHEREVER POSSIBLE. IF NECESSARY TO RUN CONDUIT OR PIPING ON WALL SURFACE, GC IS TO COVER PIPING WITH 20 GAUGE SS COVER PLATES. SECURE COVER PLATES TO WALL AND PROVIDE CONTINUOUS SILICONE CAULK AT EDGES AND JOINTS.
3.	ROUTE ALL UTILITY SERVICE LINES (PIPES AND CONDUIT) WITHIN STUD WALLS WHEREVER POSSIBLE. ON COOLER/FREEZER PANELS IN FOOD PREP AREAS WHERE UTILITIES MUST BE EXPOSED, CONTRACTOR TO INSTALL UTILITIES ONE INCH MIN. OFF FACE OF PANEL TO ALLOW FOR CLEANING. USE ONLY NON-CORROSIVE MATERIALS FOR SPACERS AND ANCHORS.
4.	REFER TO OWNER PROVIDED MERCHANDISE PLAN FOR ANY NEW FIXTURES. REFER TO ELECTRICAL FOR FIXTURES REQUIRING POWER.
5.	DIMENSIONS OF REFRIGERATED CASES ARE TO THE OUTERMOST POINTS OF THE CASES. ENDCAPS AND BUMPERS ARE CONSIDERED PART OF THE CASE, WHERE THEY OCCUR. DIMENSIONS ON THE FIXTURE PLANS ARE FOR LAYOUT OF OWNER-FURNISHED ITEMS ONLY AND ARE NOT TO BE USED FOR LOCATION OF WALLS AND OTHER CONTRACTOR-BUILT ITEMS. THE FINAL MERCHANDISE PLAN WILL SUPERSEDE LOCATIONS SHOWN FOR REFRIGERATION CASES - LOCATIONS ON THE FIXTURE PLANS ARE FOR BIDDING PURPOSES ONLY.
6.	SEAL HDPE REFRIGERATION CLOSURE PANELS TO CASE, FLOOR AND WALL. REFER TO SPEC 96065.
7.	REFER GA1 SHEET FOR REMODEL RESPONSIBILITIES MATRIX.
KEYNOTES	
5.45	DIAMOND PLATED 'C' CHANNEL FLOOR MOUNTED RAILING FURNISHED BY OWNER. INSTALLED BY GENERAL CONTRACTOR. INDIVIDUAL RAIL LENGTH AS INDICATED ON PLAN AT EACH RAIL. REFER S-GA3 & 6-GA3. COORDINATE WITH REFRIGERATION CONTRACTOR.



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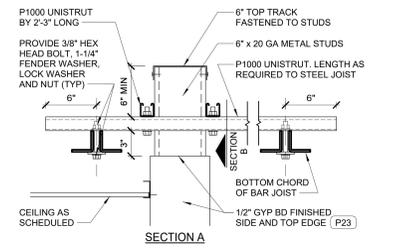
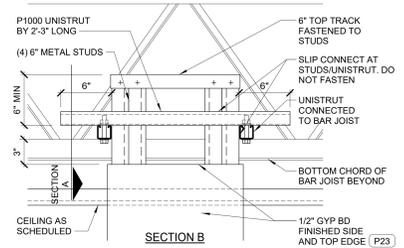
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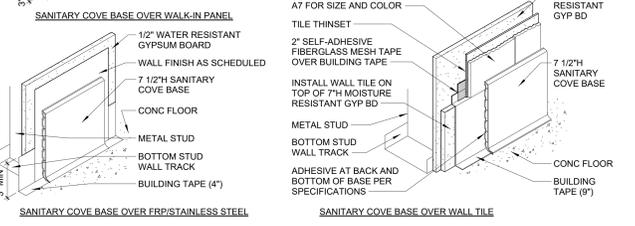
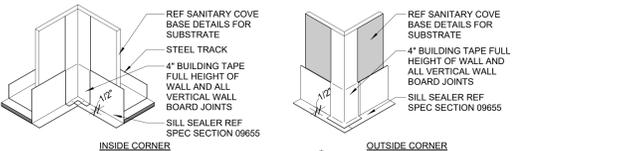
GROCERY FLOOR PLANS

SHEET: GA1

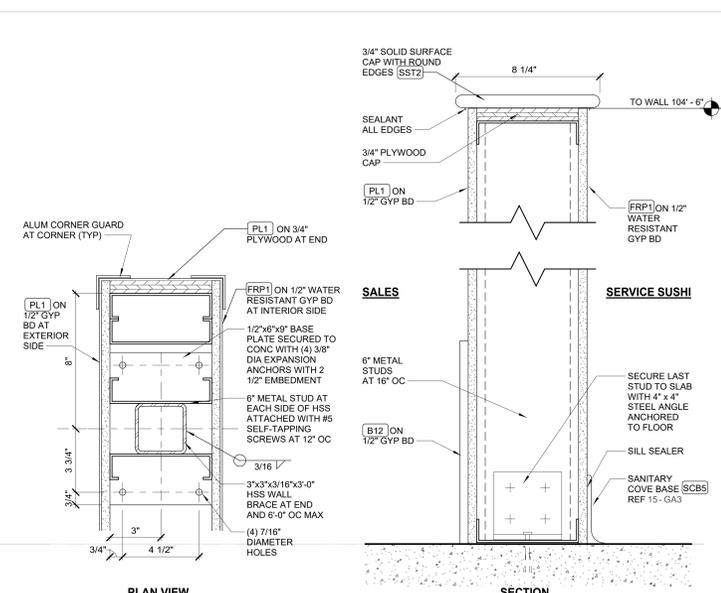


**16 CHASE SUPPORT**  
1 1/2" = 1'-0"

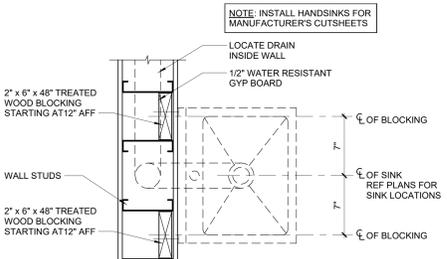
- NOTES:  
 1. CONDITIONS SHOWN ARE FOR NEW CONSTRUCTION. PARTITION AND SUBSTRATE ABOVE 12" AFF MAY VARY AT EXISTING PARTITIONS.  
 2. TRIM EXCESS BUILDING TAPE FROM PROJECTING HORIZONTAL FLAP PRIOR TO INSTALLATION OF BASE.  
 3. USE FASTENERS AND ACCESSORIES PROVIDED AND INSTALL SANITARY COVE BASE PER MFR'S INSTRUCTIONS.



**15 SANITARY COVE BASE**  
1 1/2" = 1'-0"

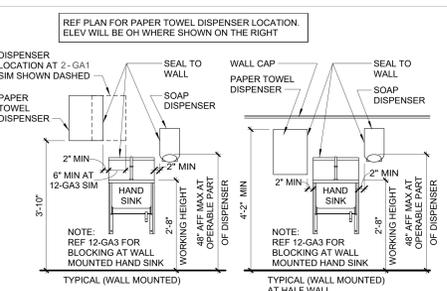


**14 HALF WALL DETAIL**  
3" = 1'-0" 2 GA3



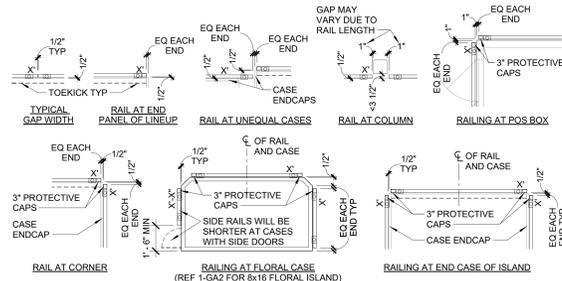
CONTRACTOR NOTE: WHERE WALL-MOUNTED SINK IS INDICATED TO BE INSTALLED AT EXISTING WALL LOCATION, REMOVE PORTIONS OF EXISTING WALL FINISHES AND/OR SUBSTRATES AS REQUIRED TO INSTALL BLOCKING INDICATED IN THIS DETAIL. PATCH BACK WALL TO MATCH NEW FINISHES AS INDICATED (OR EXISTING ADJACENT FINISHES TO REMAIN).

**12 BLOCKING AT WALL MOUNTED HAND SINK**  
1 1/2" = 1'-0" 1 GA3.1

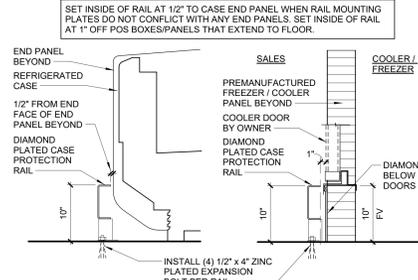


**11 HAND SINK ELEVATION**  
1/2" = 1'-0"

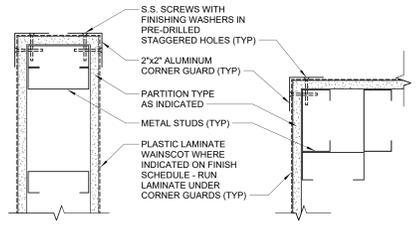
- NOTES:  
 1. TYPICAL GAP BETWEEN IN-LINE RAILS IS 1/2"  
 2. OFFSET RAIL 1/2" OFF END PANEL AT CASES WITH A RECESSED BASE. REF: 5-GA3  
 3. OFFSET RAIL 1" OFF POS BOX OR RARE OCCURRENCE WHERE CASE END PANEL EXTENDS TO FLOOR. REF: 5-GA3  
 4. RAILS ARE PRODUCED ONLY WITH 8'-0", 7'-6", 7'-4", 7'-0", 6'-6", 6'-0", 5'-6", 5'-0", 4'-6", 3'-6", 2'-0", AND 1'-8" LENGTHS. DO NOT USE OTHER LENGTHS OF RAILS.  
 5. LOCATE RAILS TO BE EQUAL EACH END AT CORNER OF CASE RUN. DESIGN WITH END OF RAIL AS CLOSE TO 1 1/2" FROM CORNER OF CASE RUN AS POSSIBLE. RAIL SHOULD NOT BE LESS THAN 1" NOR MORE THAN 4 1/2" FROM CORNER OF CASE RUN.  
 6. USE COMBINATIONS OF ABOVE RAIL LENGTHS AS NEEDED FOR IN-LINE RAILS WITH 1/2" TYPICAL GAPS.  
 7. INSTALL 3" PROTECTIVE RAIL CAPS ONLY AT END OF IN-LINE RAILS AND OPEN ENDS AT CORNER OF CASE OR COOLER/FREEZER BOX. COLOR TO MATCH RAIL 7040 "WINDOW GREY".



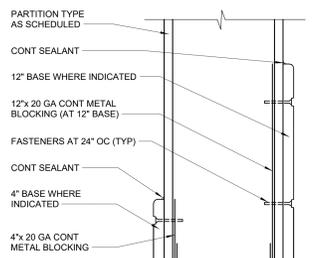
**6 GUARD RAIL SPACING**  
1/4" = 1'-0"



**5 GUARD RAIL**  
1" = 1'-0"



**2 CORNER GUARD**  
3" = 1'-0"



**1 BASE**  
3" = 1'-0"

**SHEET NOTES**

- REFER A7 FOR FINISH KEY.
- ALL UNISTRUT IS TO BE HOT DIP GALVANIZED.



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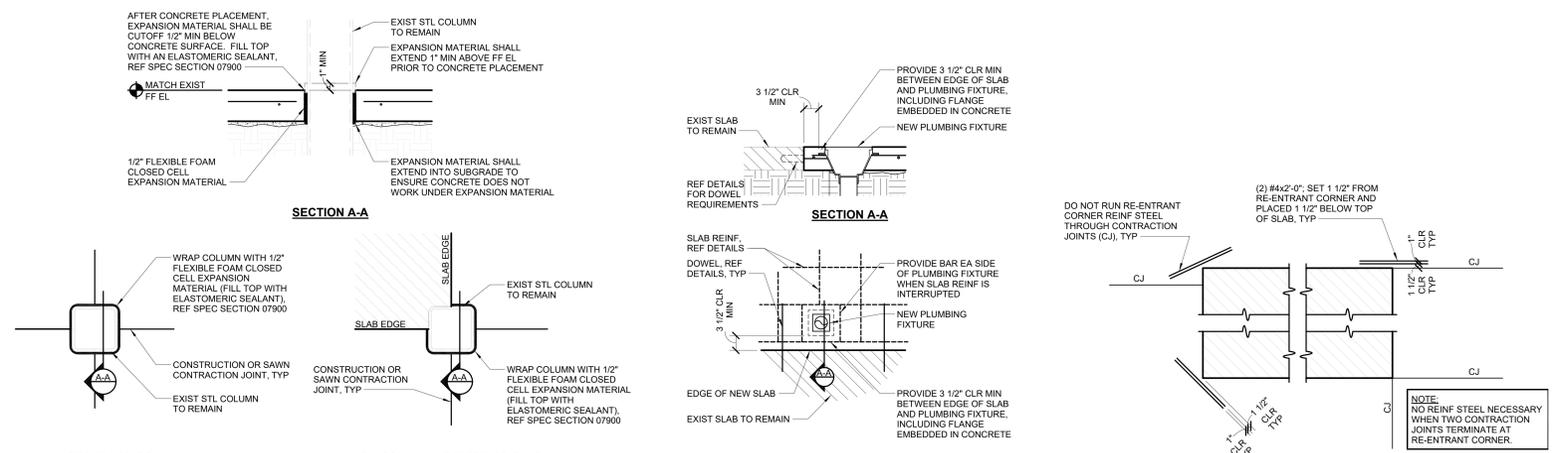
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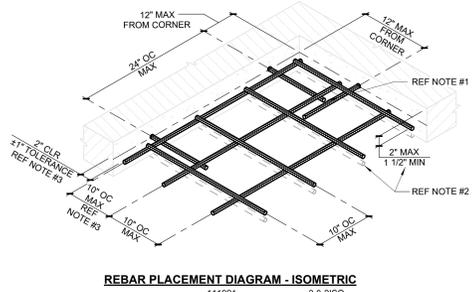
GROCERY DETAILS

SHEET: GA3

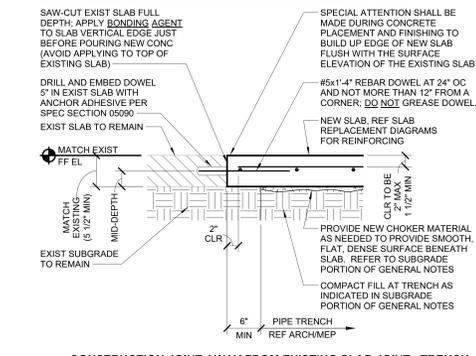


**A - STANDARD COLUMN**      **B - COLUMN AT EXISTING SLAB**  
**5 COLUMN ISOLATION WRAP**      **4 PLUMBING FIXTURE AT EDGE OF SLAB**      **3 RE-ENTRANT CORNER REINFORCING**

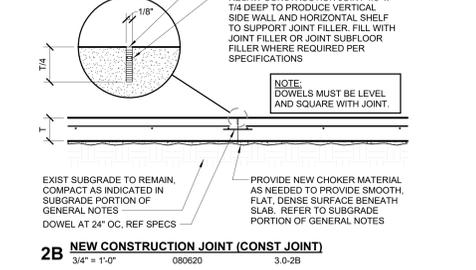
**NOTES:**  
1. DOWELS ARE SHOWN AT SAME PLANE (MID-DEPTH OF SLAB). IF DOWELS ARE LOCATED CLOSER THAN 12" FROM THE CORNER, DOWEL MUST BE LOWERED TO CLEAR DOWEL IN OPPOSITE DIRECTION.  
2. TOP OF SLAB REINFORCING TO BE 2" MAX / 1 1/2" MIN BELOW TOP OF SLAB. BOTH LAYERS OF REINFORCING MAY NOT BE ABLE TO BE PLACED OVER TOP OF DOWELS TO ACHIEVE THE 2" MAX / 1 1/2" MIN REQUIREMENT. IF NECESSARY, PLACE ONE LAYER OF REINFORCING IN THE SAME PLANE AS THE DOWEL TO ALLOW ONLY ONE LAYER OVER THE DOWELS. IF DOWEL PLACEMENT DOES NOT SUPPORT THE REINFORCING AT THE 2" MAX / 1 1/2" MIN LOCATION, THEN CHAIRS SHALL BE PLACED AT THE SLAB EDGE TO SUPPORT THE SLAB REINFORCING.  
3. REBAR SPACING MAY NOT EQUAL 10" OC ACROSS ENTIRE SLAB. REBAR TO BE SPACED AT MAXIMUM 10" OC SPACING WITH FIRST REINFORCING BAR PLACED 2" CLEAR FROM FACE OF EXISTING SLAB.



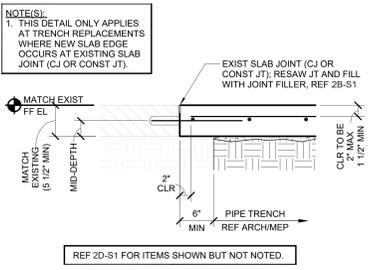
**NOTES:**  
1. THIS DETAIL ONLY APPLIES AT TRENCH REPLACEMENTS.  
2. IF EXISTING SLAB IS LESS THAN 5" THICK, NOTIFY OWNER'S REPRESENTATIVE.  
3. DOWELS MUST BE LEVEL AND SQUARE WITH JOINT. USE TORPEDO LEVEL AND CARPENTER'S SQUARE TO ENSURE DOWELS ARE ALIGNED LEVEL AND PERPENDICULAR TO EXISTING SLAB EDGE.



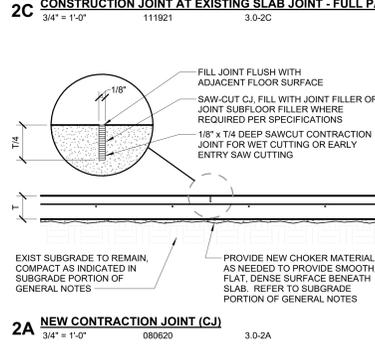
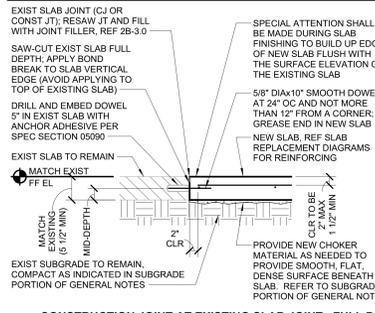
**NOTES:**  
1. REFER TO ARCHITECTURAL SHEETS FOR SLAB CUTTING AND DEMOLITION REQUIREMENTS. SAWCUT OVERRUNS ARE ONLY ALLOWED AT EXISTING SLAB JOINT LOCATIONS.  
2. EDGES OF SLAB REPLACEMENT SHALL BE STRAIGHT AND PARALLEL WITH EXISTING SLAB JOINTS. EDGES AT AN ANGLE TO THE EXISTING SLAB JOINTS WILL NOT BE ALLOWED UNDER ANY CIRCUMSTANCES.  
3. IF EXISTING SLAB IS LESS THAN 5" THICK, NOTIFY OWNER'S REPRESENTATIVE.  
4. REFER TO GENERAL NOTES FOR SUBGRADE COMPACTION REQUIREMENTS. SURFACE OF SUBGRADE AFTER COMPACTION SHALL BE DRY, SMOOTH, FLAT AND DENSE.  
5. IF EXISTING SLAB HAS A CONTINUOUS VAPOR BARRIER OR IF NEW SLAB IS TO RECEIVE EPOXY RESIN TOP COAT, INSTALL MINIMUM 10 MIL VAPOR BARRIER UNDER SLAB BEING REPLACED. TURN BARRIER UP MAXIMUM 1" AT FACE OF EXISTING CONCRETE TO REMAIN AND ATTACH USING FULL SEALANT BED PRIOR TO PLACING CONCRETE.  
6. SLAB CONSTRUCTION JOINTS MAY BE PLACED AT CJ LOCATIONS ONLY. REFER TO 2B-S1 FOR SLAB CONSTRUCTION JOINT DETAIL.  
7. THE TOP OF ALL UNDERSLAB PIPING, CONDUIT, ETC. SHALL BE 4" MINIMUM BELOW BOTTOM OF SLAB.  
8. REFER TO SPECIFICATION SECTION 03302 FOR INTERIOR FLOOR SLAB FINISHING PROCEDURE. SLAB SHALL BE FLOATED AND TROWELED UTILIZING POWER TROWELS AFTER INITIAL LEVELING (BULL FLOATING, STRAIGHT EDGING, ETC.) HAS BEEN PERFORMED. POWER TROWEL SHALL BE EQUIPPED WITH APPROPRIATE BLADE FOR FLOATING OR TROWELING. FLOATING AND TROWELING BY HAND IS ONLY ALLOWED AT SLAB EDGES, DEPRESSIONS, AND EMBEDDED ITEMS.  
9. REFER TO SPECIFICATION SECTION 03302 FOR CONCRETE PLACING REQUIREMENTS, WHICH INCLUDE DEPOSITING AND CONSOLIDATION. CONSOLIDATE CONCRETE BY VIBRATING, SPADING, OR RODDING TO ENSURE CONCRETE IS THOROUGHLY WORKED AROUND REINFORCING AND EMBEDDED ITEMS, AND AT CORNERS TO ENSURE LARGE AGGREGATE HAS BEEN WORKED DOWN WITHIN THE CONCRETE SLAB AND DROPPED BELOW THE SURFACE.  
10. SLAB REPLACEMENT IN THE FIELD WILL VARY FROM THE LAYOUT SHOWN IN THIS DIAGRAM. EDGE OF NEW SLAB SHALL BE LOCATED ON THE EXISTING SLAB CJ.  
11. WHEN EXISTING SLAB PANEL DIMENSION IS 18'-0" OR GREATER, PROVIDE NEW CONTRACTION JOINT (CJ) PER 2A-S1 AT MIDSPAN OF EXISTING SLAB PANEL.  
12. SAWCUT OVERRUNS ARE ONLY ALLOWED WITHIN EXISTING SLAB JOINTS. DO NOT OVERRUN / OVERTURN CONTRACTION JOINT (CJ) PAST PERPENDICULAR SLAB JOINT. CONTRACTOR SHALL STOP CONTRACTION JOINT (CJ) SHORT OF PERPENDICULAR SLAB JOINT AND USE HAND GRINDER TO EXTEND CONTRACTION JOINT (CJ) TO PERPENDICULAR SLAB JOINT.  
13. WHERE TRENCH / PARTIAL PANEL REPLACEMENT ABUTS FULL PANEL REPLACEMENT, PROVIDE DOWEL BASKETS TO SUPPORT DOWELS AS NECESSARY. DO NOT CONTINUE SLAB REINFORCING THROUGH JOINT.



**2 SLAB JOINT DETAILS**      **1B SLAB REPLACEMENT DIAGRAM - FULL PANEL**      **1A SLAB REPLACEMENT DIAGRAM - TRENCH / PARTIAL PANEL**



**NOTES:**  
1. THIS DETAIL ONLY APPLIES AT FULL PANEL REPLACEMENTS WHERE NEW SLAB EDGE OCCURS AT EXISTING SLAB JOINT (CJ) OR CONST JT.  
2. IF EXISTING SLAB IS LESS THAN 5" THICK, NOTIFY OWNER'S REPRESENTATIVE.  
3. DOWELS MUST BE LEVEL AND SQUARE WITH JOINT. USE TORPEDO LEVEL AND CARPENTER'S SQUARE TO ENSURE DOWELS ARE ALIGNED LEVEL AND PERPENDICULAR TO EXISTING SLAB EDGE.



**2 SLAB JOINT DETAILS**      **1B SLAB REPLACEMENT DIAGRAM - FULL PANEL**      **1A SLAB REPLACEMENT DIAGRAM - TRENCH / PARTIAL PANEL**





















OWNER SUPPLIED ITEMS NOT IN OTHER SCHEDULES		
WDS #	DESCRIPTION	REFERENCE
CLUB PROVIDED		
FR17	PAPER TOWEL DISPENSER - GROCERY	GA1, GA3.1, 11-GA3
FR16	SURFACE MOUNTED SOAP DISPENSER	GA1, GA3.1, 11-GA3
MARGO DISPLAY SPECIALIST, LP		
AP1001	3'-4" DIAMOND PLATE CASE PROTECTION RAIL	GA2, 5-GA3, 6-GA3
AP1001	4'-0" DIAMOND PLATE CASE PROTECTION RAIL	GA2, 5-GA3, 6-GA3
AP1001	8'-0" DIAMOND PLATE CASE PROTECTION RAIL	GA2, 5-GA3, 6-GA3

**SHEET NOTES**

1. THE OWNER SUPPLIED SCHEDULES ARE PROVIDED FOR A CENTRAL REFERENCE FOR OWNER FURNISHED ITEMS SHOWN WITHIN THE CONSTRUCTION DOCUMENTS. IT IS THE VENDORS RESPONSIBILITY TO THOROUGHLY REVIEW OF ALL CONTRACT DOCUMENTS.

2. REFERENCE SCHEDULES/LEGENDS TO DETERMINE WHO IS RESPONSIBLE FOR THE INSTALLATION OF OWNER FURNISHED PRODUCTS. IF ITEM IS NOT IN A SCHEDULE/LEGEND, REFER TO THE SPECIFICATIONS.

3. SATELLITE, CABLING, VOICE/DATA AND ALARM TO BE PROVIDED BY OWNERS SEPARATE CONTRACTOR. REFRIGERATION AND GAS CABLING TO BE PROVIDED BY GC PER REM SHEETS AND SPEC 13810.

OWNER SUPPLIED SERVICES SCHEDULED IN DRAWINGS		
VENDOR	SERVICE	REFERENCE DRAWING
INNOVO FACILITY MAINTENANCE	FLOOR POLISHING	1-A1, FLOOR FINISH LEGEND

OWNER SUPPLIED ITEMS SCHEDULED IN DRAWINGS	
VENDOR	REFERENCE SCHEDULE/LEGEND
HUSSMANN	REFRIGERATED AND HOT DISPLAY CASE LEGEND
LOEB ELECTRIC CO	LIGHTING FIXTURE SCHEDULE
WIN-HOLT EQUIPMENT GROUP	STAINLESS STEEL EQUIPMENT LEGEND



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**SUSHI MIDDLETOWN, NY CLUB #6423-230**

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 DOCUMENT DATE: 04/25/22

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OWNER SUPPLIED ITEMS

SHEET: OS1