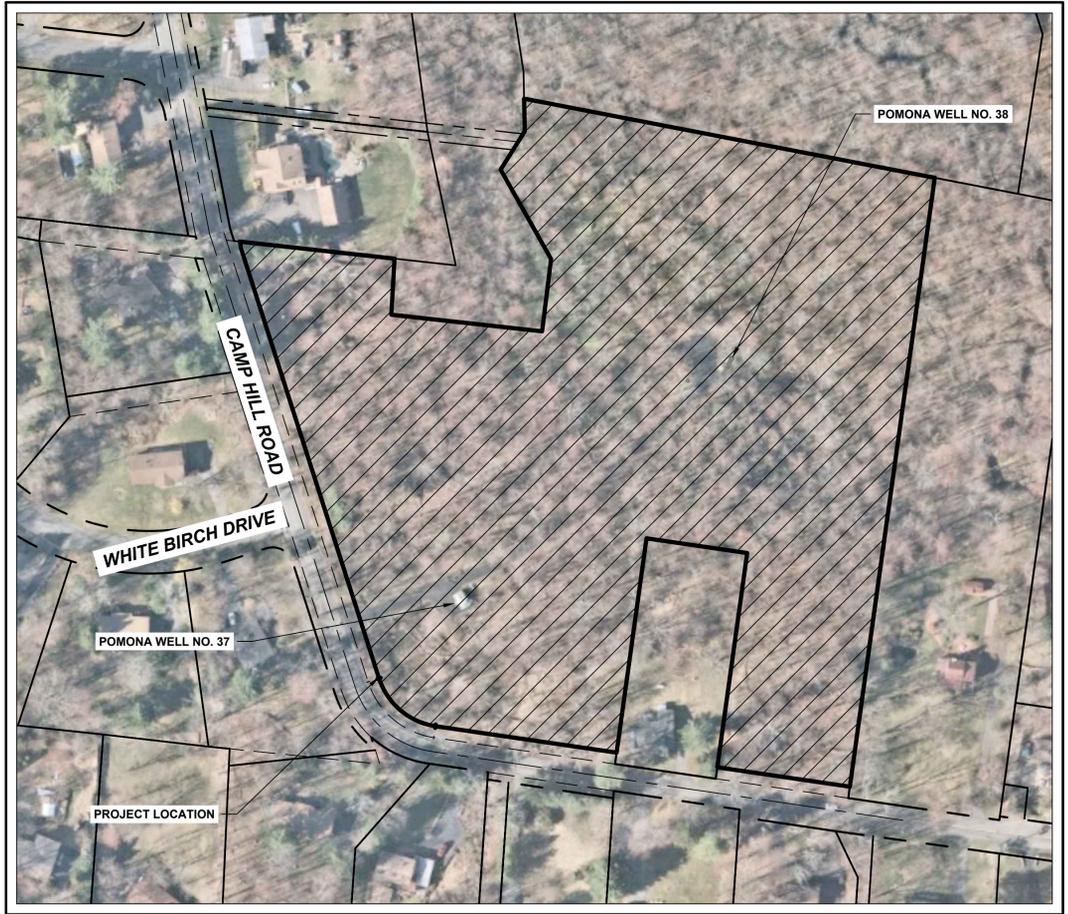


PRELIMINARY SITE PLAN FOR SUEZ WATER NY PFAS COMPLIANCE POMONA WELL NO. 38

VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK

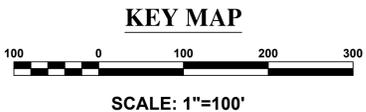


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GAS	ORANGE AND ROCKLAND UTILITIES
WATER	SUEZ WATER NEW YORK
SEWER	TOWNSHIP OF RAMAPO
ELECTRICITY	ORANGE AND ROCKLAND UTILITIES
COMMUNICATIONS	VERIZON

REFERENCES:
 1. TAX MAP - LOT 11, BLOCK 33.13-2, ON THE CURRENT TAX MAP OF THE TOWN OF RAMAPO, SHEET #33.12.
 2. AERIAL IMAGERY - © NEARMAP US, INC. <http://go.nearmap.com>



CONSULTANT:
ANDREW S. HOLT, PE
 NY PROFESSIONAL ENGINEER
60% DESIGN

DATE: XX/XX/2021

**PRELIMINARY SITE PLAN FOR
SUEZ WATER NY PFAS COMPLIANCE
POMONA WELL NO. 38
VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK
COVER SHEET**



PROJECT NUMBER: SCE-12162.002 SHEET 1 OF 15 REVISION _

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LEGEND

		WATER MAIN (SIZES)
		GAS MAIN (SIZES)
		UNDERGROUND TELEPHONE LINE
		OVERHEAD TELEPHONE WIRE
		UNDERGROUND ELECTRICAL CONDUIT
		OVERHEAD ELECTRICAL LINE
		UNDERGROUND COMBINED UTILITIES
		STORM DRAINS
		SANITARY SEWERS
		FORCE MAINS
		PAVEMENT
		PROPERTY LINES
		CURB LINES
		FENCES (MTL.)
		GUIDE RAIL (STL.)
		RETAINING WALL

				"A" INLETS
				"B" INLETS
				"E" INLETS
				MANHOLES

NEW MANHOLE CASTING - SQUARE FRAME, CIRCULAR COVER CAST IRON EXTENSION FRAME FOR EXIST. INLETS CAST IRON EXTENSION RING FOR EXIST. MANHOLES

		RADIAL PINS
		MONUMENTS
		IRON PIPE/PIN
		TEST PIT / SOIL BORING
		WATER VALVE
		WATER GATE VALVE
		GAS VALVE
		HYDRANT
		UTILITY POLES
		SIGNS
		BUSHES/TREELINE
		LIGHTS
		PROP. BLDG.
		BLDG. TO BE DEMOLISHED
		DECIDUOUS TREES
		CONIFEROUS TREES

- REFERENCES:**
- TAX MAP - LOT 11, BLOCK 33.13-2, ON THE CURRENT TAX MAP OF THE TOWN OF RAMAPO, SHEET #33.12
 - AERIAL IMAGERY - © NEARMAP US, INC. <http://go.nearmap.com>
 - SITE PLAN - "SPRING VALLEY WATER COMPANY INCORPORATED, SPRING VALLEY, N.Y. - POMONA WELL FIELD, RAMAPO, N.Y. PROPOSED WELL HOUSE" DATED SEPTEMBER 1974 AND LAST REVISED JUNE 7, 1977 AS REVISION 3.

NOTE:
PRIOR TO ANY EXCAVATION, CONTRACTOR MUST HAVE ALL UTILITIES MARKED OUT BY THE APPROPRIATE UTILITY COMPANIES -> CALL 811

GENERAL NOTES

- OWNER: UNITED WATER NEW YORK INC.
12 CAMP HILL ROAD
RAMAPO, NY 10970
- APPLICANT: SUEZ WATER NEW YORK INC.
162 OLD MILL ROAD
WEST NYACK, NY 10994
- THE SUBJECT PROPERTY IS KNOWN AS LOT 11, BLOCK 33.13-2, ON THE CURRENT TAX MAP OF THE TOWN OF RAMAPO, SHEET #33.12.
 - THE SUBJECT PROPERTY CONTAINS 9.514 ACRES (414,432 SF), AND IS SITUATED IN FOLLOWING DISTRICTS:
ZONING: RURAL-RESIDENTIAL - 80,000 SQ.FT. PER LOT (RR-80)
SCHOOL: EAST RAMAPO CENTRAL SCHOOL DISTRICT
 - HORIZONTAL DATUM BASED ON NAD-83 (2011), PER GPS SATELLITE OBSERVATION.
 - VERTICAL DATUM IS BASED ON NAVD-88, PER GPS SATELLITE OBSERVATION.
 - PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY REFERENCED FROM SUBURBAN ENGINEERING, INC., ENTITLED "SUEZ WATER NEW YORK, INC. - PFAS COMPLIANCE - POMONA #37 & 38" DATED APRIL 8, 2021.
 - ALL UTILITIES WILL BE INSTALLED UNDERGROUND.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF RAMAPO STANDARDS AND SPECIFICATIONS, AND ALL STRUCTURES ARE SUBJECT TO REVIEW BY THE CONSTRUCTION CODE OFFICIAL. THE CONSTRUCTION OF ALL SITE IMPROVEMENTS SHALL COMPLY WITH THE NEW YORK STATE CONSTRUCTION CODE.
 - A PORTION OF THE SUBJECT PROPERTY IS SUBJECT TO FLOODING FROM THE 100 YEAR STORM, BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF RAMAPO, PANEL 97 OF 207, COMMUNITY PANEL NUMBER 365340, LAST REVISED MARCH 3, 2014.
 - WORK MAY BE PERFORMED MONDAY THROUGH FRIDAY BETWEEN THE HOURS OF 8:00 AM AND 10:00 PM. THE TOWN MUST APPROVE EARLY STARTS AND WORK ON SATURDAYS, SUNDAYS AND HOLIDAYS. THE COST FOR INSPECTION SERVICES BY THE TOWN CONSTRUCTION DEPARTMENT OR THE OWNER/APPLICANT ENGINEER BEYOND NORMAL WORK DAYS AND HOURS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - NO MATERIAL OR EQUIPMENT IS TO BE STORED ON ANY AREA THAT HAS NOT BEEN ESTABLISHED AS A DESIGNATED STAGING AREA. ALL EXCAVATIONS SHALL BE PROTECTED AT THE END OF EACH WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY. STAGING AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS BY THE CONTRACTOR.
 - ALL CONSTRUCTION MATERIALS, PRODUCTS, HOURS OF OPERATION, ETC. SHALL BE IN ACCORDANCE WITH THE OWNER, THE ON-SITE ENGINEER, AND THE TOWN OF RAMAPO. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL AS-BUILT SURVEYS PER TOWN REQUIREMENTS & FOR THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL LOCAL BUILDING PERMITS. THE OWNER WILL OBTAIN ALL PLANNING, ZONING AND LAND DISTURBANCE PERMITS, IF DEEMED NECESSARY.
 - BUILDING PERMITS SHALL SHOW LOWEST FLOOR ELEVATIONS SUBJECT TO APPROVAL AND INSPECTION BY DEPARTMENT OF ENGINEERING & FACILITIES MAINTENANCE.
 - NO BUILDING PERMIT FOR A BUILDING SUBJECT TO SITE PLAN APPROVAL SHALL BE ISSUED BY THE BUILDING INSPECTOR EXCEPT UPON AUTHORIZATION OF AND IN CONFORMITY WITH THE SITE PLAN APPROVED BY THE RAMAPO PLANNING BOARD.
 - ALL EXISTING ITEMS NOT DENOTED "TO REMAIN" OR "TO BE REMOVED" SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
 - SUEZ WATER NEW YORK INC. SHALL CONFORM TO SOIL EROSION AND SEDIMENT CONTROL PLAN ON FILE IN DEPARTMENT OF ENGINEERING & FACILITIES MAINTENANCE.
 - ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

GENERAL ENVIRONMENTAL NOTES:

- THE CONTRACTOR MUST PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PROVISIONS AND CONDITIONS OF THE ROCKLAND COUNTY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- THE TRENCH EXCAVATION MAY BE NO WIDER THAN NECESSARY TO COMPLY WITH OSHA SAFETY STANDARDS AND THE CONSTRUCTION DETAILS UNDER THE ACTUAL SURFACE AND SUBSURFACE CONDITIONS AS MAY BE ENCOUNTERED DURING CONSTRUCTION.
- AVOID DISTURBANCE OF NATURAL VEGETATION DURING CLEARING OPERATIONS TO THE GREATEST EXTENT PRACTICABLE.
- PERFORM "SOIL EROSION AND SEDIMENT CONTROL" AS DIRECTED BY THE ENGINEER OR SOIL CONSERVATION AGENCY REPRESENTATIVE AS CALLED FOR ON THE PLANS. PERFORM WORK IN ACCORDANCE WITH THE SPECIFICATIONS AS MAY BE WARRANTED BY ACTUAL FIELD CONDITIONS AND THE CONTRACTOR'S MEANS AND METHODS OF CONSTRUCTION. NO SEPARATE PAYMENT WILL BE MADE FOR ADJUSTMENTS, ADDITIONAL MATERIALS AND MAINTENANCE OF THIS WORK.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPAIR OF SOIL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PERMIT. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES OR REMEDIATION REQUIRED DUE TO EROSION OR DOWNSTREAM SEDIMENT DEPOSITION.
- MAINTAIN WORK WITHIN THE DESIGNATED LIMITS OF DISTURBANCE AS DELINEATED AND NOTED ON THE PLANS. RESTORE ANY DISTURBANCE BY WORK CONDUCTED OUTSIDE THOSE LIMITS AT NO ADDITIONAL EXPENSE TO THE OWNER.
- DISPOSE OF ALL WASTE, DEBRIS, AND UNSUITABLE EXCAVATED MATERIALS IN ACCORDANCE WITH THE SPECIFICATIONS, THE STATE AND LOCAL RULES AND REGULATIONS.

GENERAL WATER MAIN CONSTRUCTION NOTES:

- USE DUCTILE IRON RESTRAINED JOINT FITTINGS WITH MANUFACTURER RETAINER GLANDS ACCORDING TO THE CONTRACT DOCUMENTS. RESTRAIN ALL BENDS, TEES, VALVES, PLUGGED ENDS, ETC. IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- SIZE AND LOCATION OF EXISTING MAINS TO WHICH CONNECTIONS ARE BEING MADE ARE BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF DESIGN. THE CONTRACTOR MUST BE PREPARED TO ACCOMMODATE CHANGES IN THE SIZE OR LOCATION OF THE CONNECTION BY MAINTAINING AT THE JOB SITE, ADDITIONAL PIPE, FITTINGS, AND VALVES IN THE RANGE OF SIZES AS MAY EXIST.

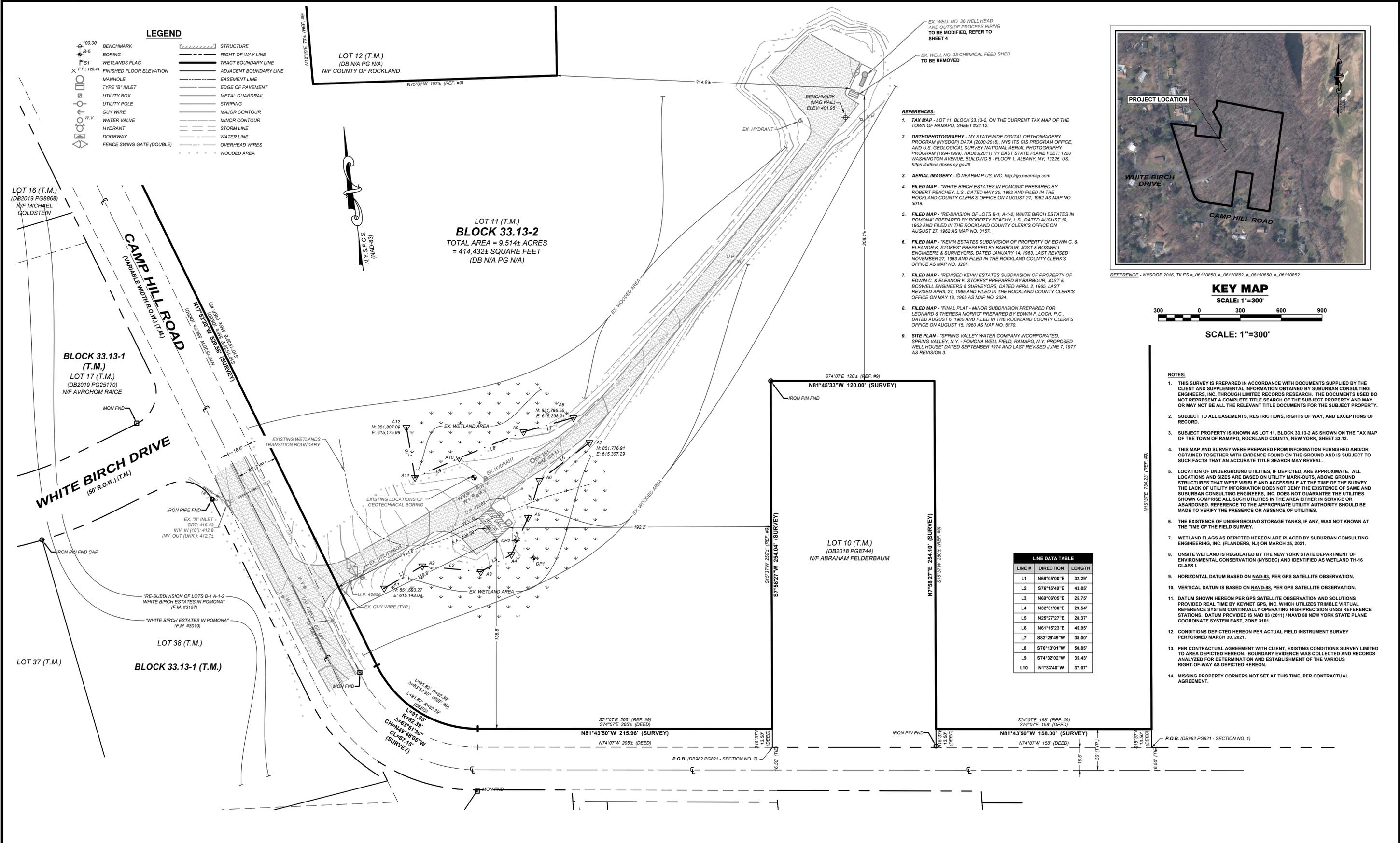
GENERAL CONSTRUCTION NOTES:

- COORDINATE ALL WATER SYSTEM CONNECTIONS, SHUT DOWNS, OR OTHER SYSTEM RELATED OPERATIONS WITH THE OWNER AND NOTIFY AFFECTED RESIDENCES AND BUSINESSES A MINIMUM OF ONE WEEK PRIOR TO THE SCHEDULED DATE FOR SAID SHUT DOWN OPERATIONS. ONLY SUEZ PERSONNEL SHALL OPERATE EXISTING VALVES AND HYDRANTS. THE CONTRACTOR MUST PROVIDE WRITTEN NOTIFICATION OF THE START OF CONSTRUCTION TO PROPERTY OWNERS WITHIN THE PROJECT LIMITS 72 HOURS PRIOR TO CONSTRUCTION OPERATIONS AND 72 HOURS PRIOR TO OPERATIONS THAT MAY AFFECT PROPERTY ACCESS.
- CONSTRUCTION SHALL CONFORM TO APPROPRIATE SECTIONS OF: 1) NATIONAL ELECTRICAL CODE; 2) NATIONAL STANDARD PLUMBING CODE; AND 3) INTERNATIONAL MECHANICAL CODE, LATEST EDITIONS.

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CONSULTANT: ANDREW S. HOLT, P.E. NY PROFESSIONAL ENGINEER DATE: XX/XX/2021	NOTICE THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN ENGINEERING ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A RAISED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED. © COPYRIGHT 2021 SUBURBAN ENGINEERING ALL RIGHTS RESERVED	DRAWN BY: JAW	 7 Cokesbury Calton Road, Lebanon, N.J. 08833 - 973.398.1776 EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT	PRELIMINARY SITE PLAN FOR SUEZ WATER NY PFAS COMPLIANCE POMONA WELL NO. 38 VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK	PROJECT NUMBER: SCE-12162.002
		CHECKED BY: SAM		FOR CLIENT: SUEZ WATER NEW YORK INC.	SCALE: N.T.S.
		CHECKED BY: WAS	GENERAL NOTES	SHEET 2 OF 15	
		REVISIONS			REVISION

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LEGEND

	BENCHMARK		STRUCTURE
	BORING		RIGHT-OF-WAY LINE
	WETLANDS FLAG		TRACT BOUNDARY LINE
	FINISHED FLOOR ELEVATION		ADJACENT BOUNDARY LINE
	MANHOLE		EASEMENT LINE
	TYPE "B" INLET		EDGE OF PAVEMENT
	UTILITY BOX		METAL GUARDRAIL
	UTILITY POLE		STRIPING
	GUY WIRE		MAJOR CONTOUR
	WATER VALVE		MINOR CONTOUR
	HYDRANT		STORM LINE
	DOORWAY		WATER LINE
	FENCE SWING GATE (DOUBLE)		OVERHEAD WIRES
			WOODED AREA

- REFERENCES:**
- TAX MAP - LOT 11, BLOCK 33.13-2, ON THE CURRENT TAX MAP OF THE TOWN OF RAMAPO, SHEET #33.12.
 - ORTHOPHOTOGRAPHY - NY STATEWIDE DIGITAL ORTHOPHOTOGRAPHY PROGRAM (NYSDOOP) DATA (2000-2018), NYS ITS GIS PROGRAM OFFICE, AND U.S. GEOLOGICAL SURVEY NATIONAL AERIAL PHOTOGRAPHY PROGRAM (1994-1999), NAD83(2011) NY EAST STATE PLANE FEET, 1220 WASHINGTON AVENUE, BUILDING 5 - FLOOR 1, ALBANY, NY, 12226, US. <https://orthos.dhss.ny.gov/#>
 - AERIAL IMAGERY - © NEARMAP US, INC. <http://go.nearmap.com>
 - FILED MAP - "WHITE BIRCH ESTATES IN POMONA" PREPARED BY ROBERT PEACHEY, L.S., DATED MAY 25, 1962 AND FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON AUGUST 27, 1962 AS MAP NO. 3019.
 - FILED MAP - "RE-DIVISION OF LOTS B-1, A-1-2, WHITE BIRCH ESTATES IN POMONA" PREPARED BY ROBERT PEACHEY, L.S., DATED AUGUST 19, 1963 AND FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON AUGUST 27, 1962 AS MAP NO. 3157.
 - FILED MAP - "KEVIN ESTATES SUBDIVISION OF PROPERTY OF EDWIN C. & ELEANOR K. STOKES" PREPARED BY BARBOUR, JOST & BOSWELL ENGINEERS & SURVEYORS, DATED JANUARY 14, 1963, LAST REVISED NOVEMBER 27, 1963 AND FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP NO. 3207.
 - FILED MAP - "REVISED KEVIN ESTATES SUBDIVISION OF PROPERTY OF EDWIN C. & ELEANOR K. STOKES" PREPARED BY BARBOUR, JOST & BOSWELL ENGINEERS & SURVEYORS, DATED APRIL 2, 1965, LAST REVISED APRIL 27, 1965 AND FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON MAY 18, 1965 AS MAP NO. 3334.
 - FILED MAP - "FINAL PLAT - MINOR SUBDIVISION PREPARED FOR LEONARD & THERESA MORRO" PREPARED BY EDWIN F. LOCH, P.C., DATED AUGUST 6, 1980 AND FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON AUGUST 15, 1980 AS MAP NO. 5170.
 - SITE PLAN - "SPRING VALLEY WATER COMPANY INCORPORATED, SPRING VALLEY, N.Y. - POMONA WELL FIELD, RAMAPO, N.Y. PROPOSED WELL HOUSE" DATED SEPTEMBER 1974 AND LAST REVISED JUNE 7, 1977 AS REVISION 3.



KEY MAP
SCALE: 1"=300'

SCALE: 1"=300'

- NOTES:**
- THIS SURVEY IS PREPARED IN ACCORDANCE WITH DOCUMENTS SUPPLIED BY THE CLIENT AND SUPPLEMENTAL INFORMATION OBTAINED BY SUBURBAN CONSULTING ENGINEERS, INC. THROUGH LIMITED RECORDS RESEARCH. THE DOCUMENTS USED DO NOT REPRESENT A COMPLETE TITLE SEARCH OF THE SUBJECT PROPERTY AND MAY OR MAY NOT BE ALL THE RELEVANT TITLE DOCUMENTS FOR THE SUBJECT PROPERTY.
 - SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RIGHTS OF WAY, AND EXCEPTIONS OF RECORD.
 - SUBJECT PROPERTY IS KNOWN AS LOT 11, BLOCK 33.13-2 AS SHOWN ON THE TAX MAP OF THE TOWN OF RAMAPO, ROCKLAND COUNTY, NEW YORK, SHEET 33.13.
 - THIS MAP AND SURVEY WERE PREPARED FROM INFORMATION FURNISHED AND/OR OBTAINED TOGETHER WITH EVIDENCE FOUND ON THE GROUND AND IS SUBJECT TO SUCH FACTS THAT AN ACCURATE TITLE SEARCH MAY REVEAL.
 - LOCATION OF UNDERGROUND UTILITIES, IF DEPICTED, ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE AT THE TIME OF THE SURVEY. THE LACK OF UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OF SAME AND SUBURBAN CONSULTING ENGINEERS, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. REFERENCE TO THE APPROPRIATE UTILITY AUTHORITY SHOULD BE MADE TO VERIFY THE PRESENCE OR ABSENCE OF UTILITIES.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - WETLAND FLAGS AS DEPICTED HEREON ARE PLACED BY SUBURBAN CONSULTING ENGINEERING, INC. (FLANDERS, NJ) ON MARCH 25, 2021.
 - ONSITE WETLAND IS REGULATED BY THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) AND IDENTIFIED AS WETLAND TH-16 CLASS 1.
 - HORIZONTAL DATUM BASED ON NAD-83, PER GPS SATELLITE OBSERVATION.
 - VERTICAL DATUM IS BASED ON NAVD-88, PER GPS SATELLITE OBSERVATION.
 - DATUM SHOWN HEREON PER GPS SATELLITE OBSERVATION AND SOLUTIONS PROVIDED REAL TIME BY KEYNET GPS, INC. WHICH UTILIZES TRIMBLE VIRTUAL REFERENCE SYSTEM CONTINUALLY OPERATING HIGH PRECISION GNSS REFERENCE STATIONS. DATUM PROVIDED IS NAD 83 (2011) / NAVD 88 NEW YORK STATE PLANE COORDINATE SYSTEM EAST, ZONE 3101.
 - CONDITIONS DEPICTED HEREON PER ACTUAL FIELD INSTRUMENT SURVEY PERFORMED MARCH 30, 2021.
 - PER CONTRACTUAL AGREEMENT WITH CLIENT, EXISTING CONDITIONS SURVEY LIMITED TO AREA DEPICTED HEREON. BOUNDARY EVIDENCE WAS COLLECTED AND RECORDS ANALYZED FOR DETERMINATION AND ESTABLISHMENT OF THE VARIOUS RIGHT-OF-WAY AS DEPICTED HEREON.
 - MISSING PROPERTY CORNERS NOT SET AT THIS TIME, PER CONTRACTUAL AGREEMENT.

LINE DATA TABLE

LINE #	DIRECTION	LENGTH
L1	N68°05'00"E	32.29'
L2	S76°15'49"E	43.05'
L3	N69°08'05"E	25.75'
L4	N32°31'00"E	29.54'
L5	N25°27'27"E	28.37'
L6	N61°15'23"E	45.95'
L7	S82°29'49"W	38.00'
L8	S76°13'01"W	50.85'
L9	S74°32'02"W	35.43'
L10	N1°33'40"W	37.07'

SCALE: 1"=30'

CONSULTANT:
ANDREW S. HOLT, P.E.
NY PROFESSIONAL ENGINEER

60% DESIGN

DATE: XX/XX/2021

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DESCRIPTION	NO.	DATE:	BY:	CHK:

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CHECKED BY: SAM
CHECKED BY: WAS

SCE SUBURBAN ENGINEERING
Civil Engineers -
Landscape Architects -
Land Surveyors -
7 Cokesbury Calton Road, Lebanon, N.J. 08833 - 973.398.1776
EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

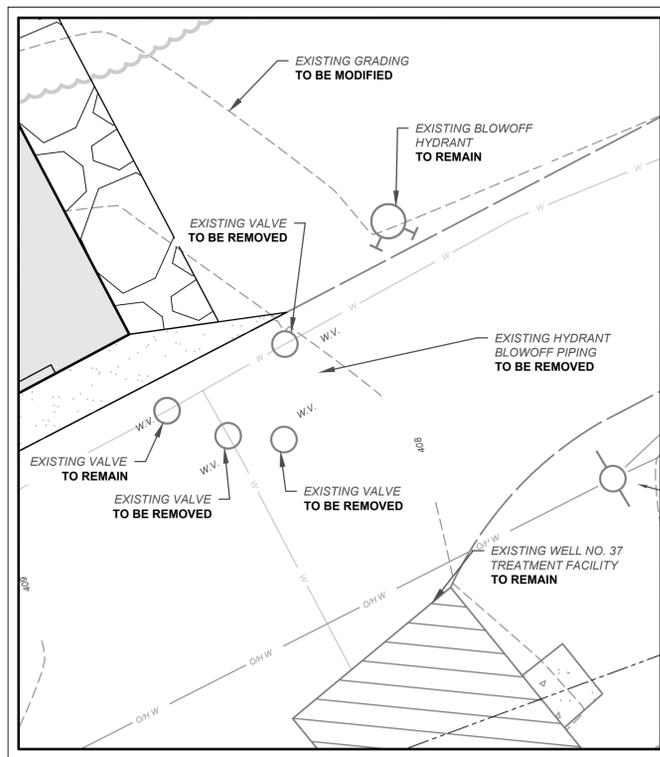
PRELIMINARY SITE PLAN FOR SUEZ WATER NY PFAS COMPLIANCE POMONA WELL NO. 38
VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK

FOR CLIENT: **SUEZ WATER NEW YORK INC.**

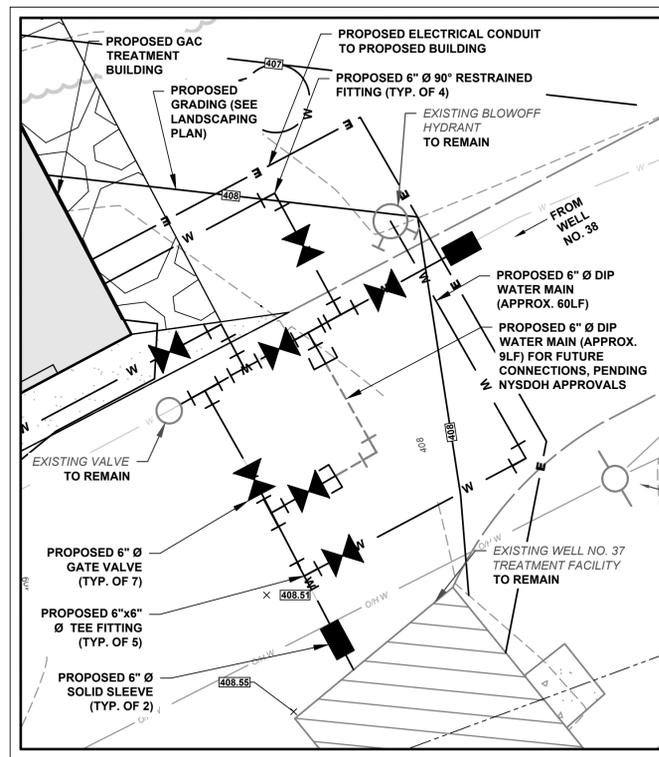
EXISTING CONDITIONS PLAN

PROJECT NUMBER: SCE-12162.002
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SHEET 3 OF 15
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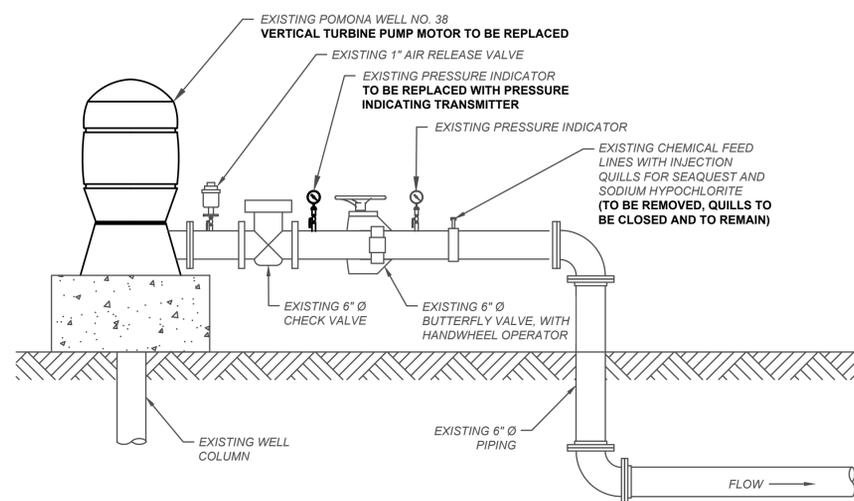
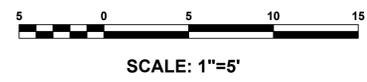
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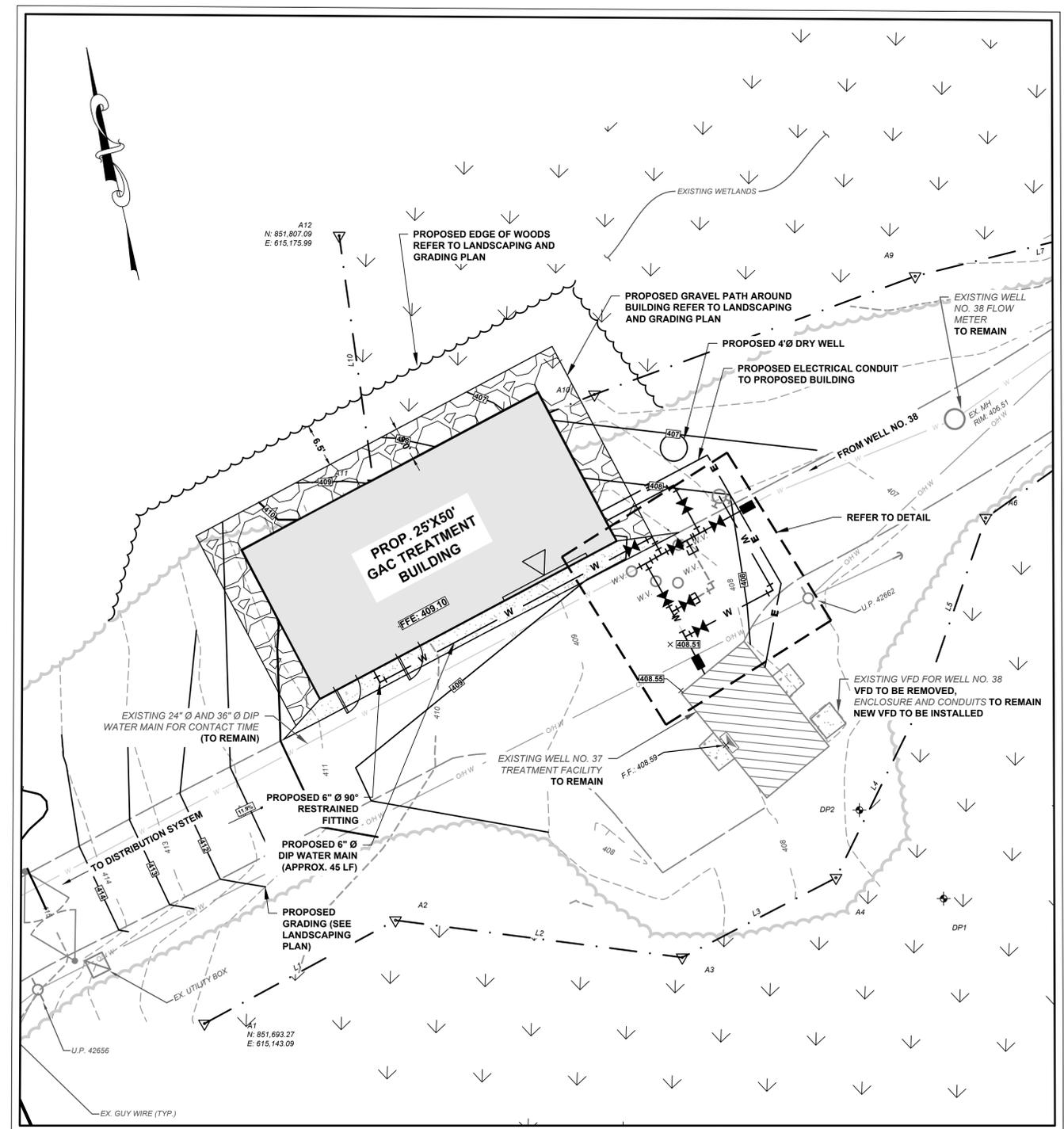
EXISTING YARD CONFIGURATION
 SCALE: 1" = 5'



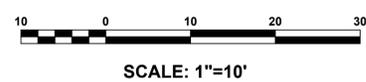
YARD PIPING CONFIGURATION
 SCALE: 1" = 5'



POMONA WELL NO. 38 PROCESS PIPING
 SCALE: N.T.S.

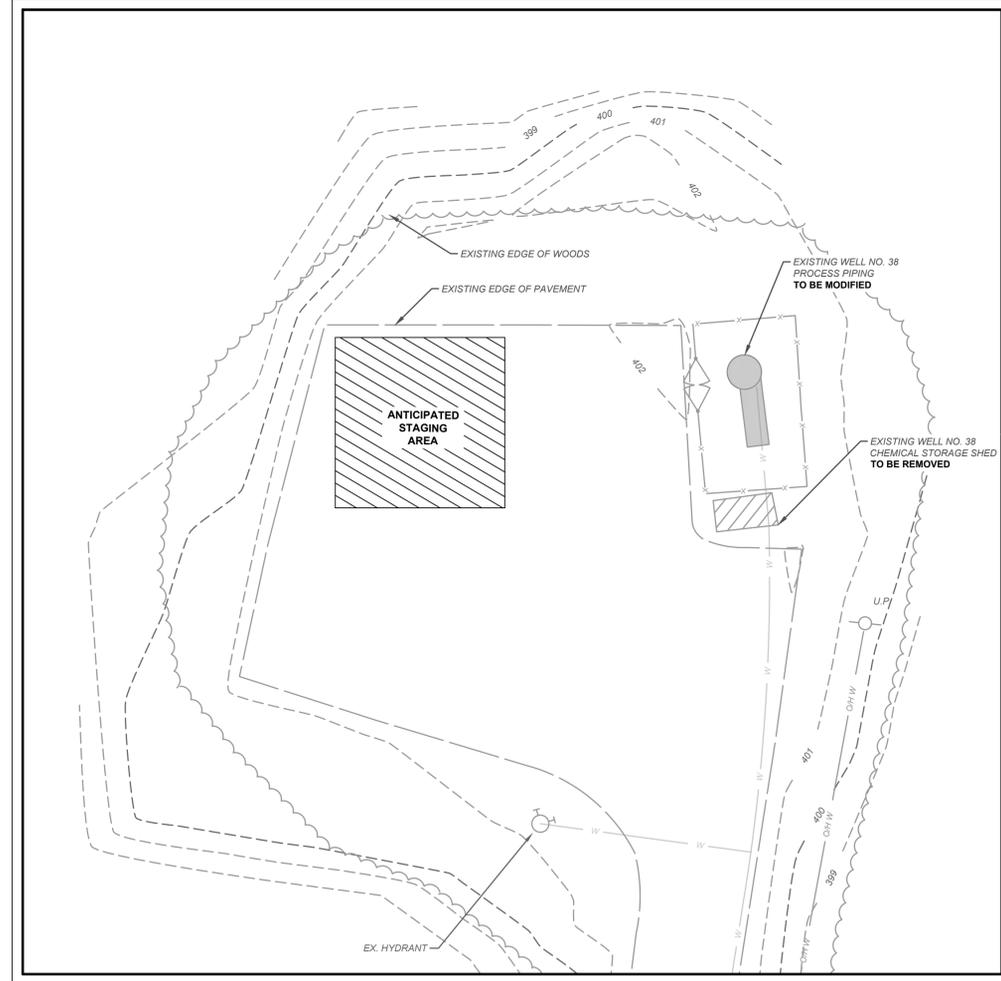


YARD PIPING PLAN
 SCALE: 1" = 10'



CONSULTANT: ANDREW S. HOLT, P.E. NY PROFESSIONAL ENGINEER 60% DESIGN DATE: XX/XX/2021	NOTICE THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN ENGINEERING ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A RAISED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED. © COPYRIGHT 2021 SUBURBAN ENGINEERING ALL RIGHTS RESERVED	DRAWN BY: JAW	 SUBURBAN ENGINEERING - Civil Engineers - - Landscape Architects - - Land Surveyors - 7 Colesbury Calton Road, Lebanon, NJ, 08833 - 973.398.1776 EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT	PRELIMINARY SITE PLAN FOR SUEZ WATER NY PFAS COMPLIANCE POMONA WELL NO. 38 VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK FOR CLIENT: SUEZ WATER NEW YORK INC.		PROJECT NUMBER: SCE-12162.002
		CHECKED BY: SAM		YARD PIPING PLAN		SCALE: AS SHOWN
DESCRIPTION NO. DATE: BY: CHK:		CHECKED BY: WAS			SHEET 4 OF 15	
REVISIONS				REVISION		

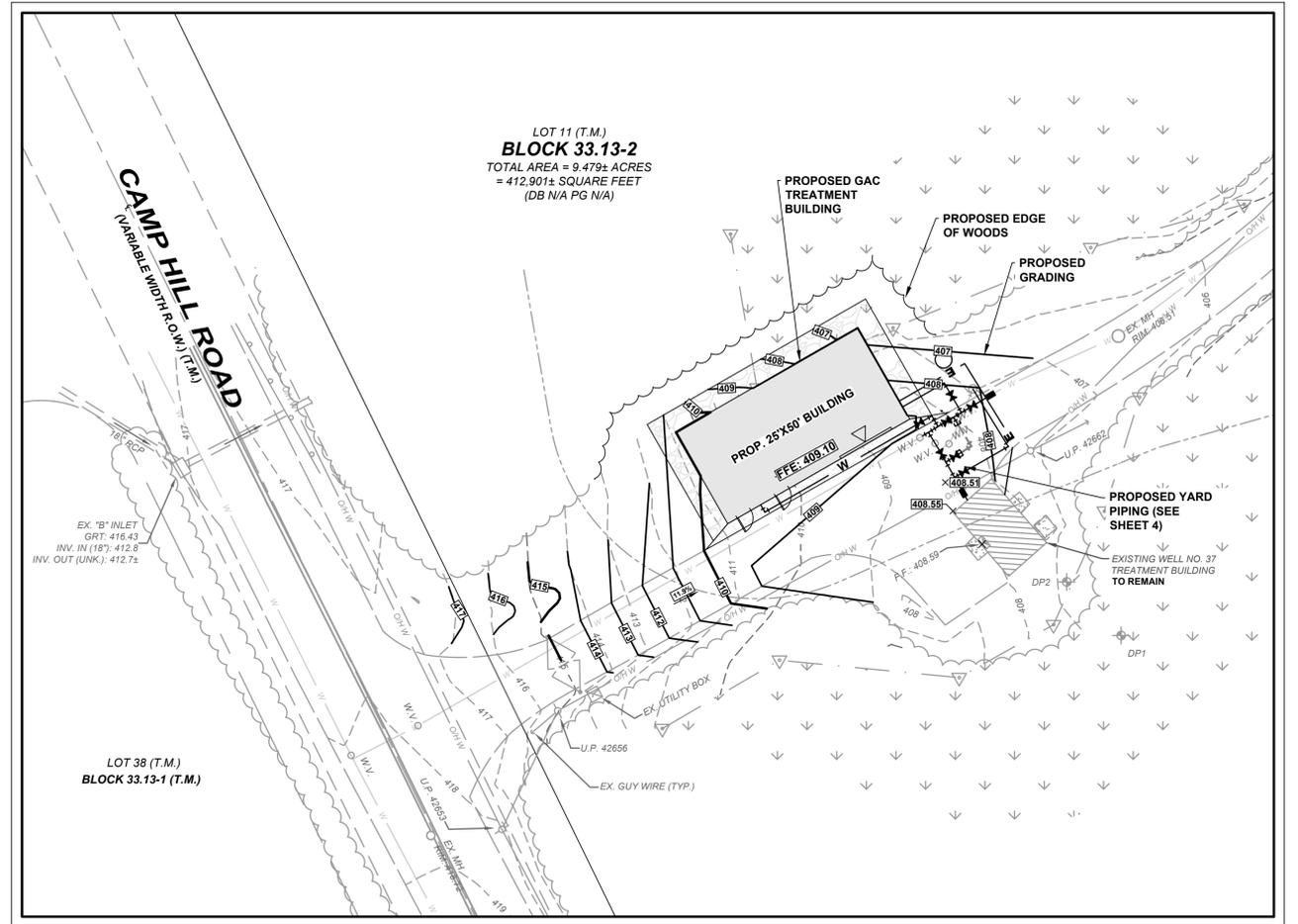
E:\SCE\Ramapo\12162.002\Sheets\12162.002 05 Landscape & Grading Plan.dwg Tue, Jun 22, 2021 - 10:12am jwainson SUBURBAN CONSULTING ENGINEERS, INC.



STAGING PLAN
SCALE 1" = 20'



SCALE: 1"=10'



LANDSCAPE & GRADING PLAN
SCALE 1" = 20'



SCALE: 1"=20'



CONSULTANT:
ANDREW S. HOLT, P.E.
NY PROFESSIONAL ENGINEER
60% DESIGN
DATE: XX/XX/2021

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REVISIONS				

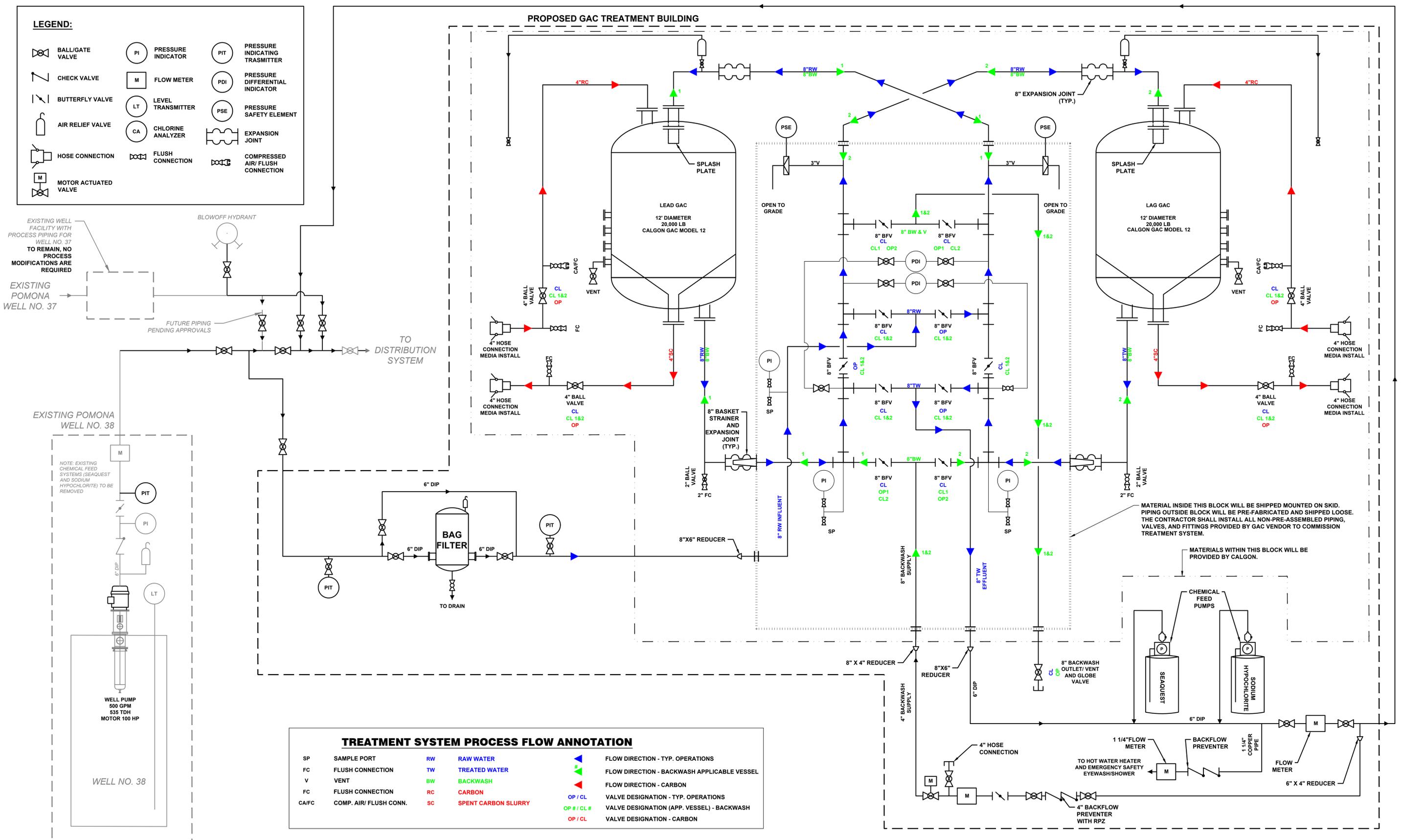
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PRELIMINARY SITE PLAN FOR SUEZ WATER NY PFAS COMPLIANCE POMONA WELL NO. 38
VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK
FOR CLIENT: **SUEZ WATER NEW YORK INC.**
LANDSCAPE & GRADING PLAN

PROJECT NUMBER:
SCE-12162.002
SCALE:
AS NOTED
SHEET **5** OF **15**
REVISION -

E:\SCE\Ramapo\12162.002\Sheets\12162.002.06 Process and Instrumentation Diagram.dwg Mon, Jun 21, 2021, 8:58pm wshurmann SUBURBAN CONSULTING ENGINEERS, INC.



NOTES:

- CONTRACTOR TO COORDINATE AND PERFORM ALL WORK REQUIRED TO RECEIVE, UNLOAD, AND SET THE GAC TREATMENT SYSTEM.
- MAXIMUM PRESSURE OF THE BAG FILTER IS 300 PSI AND MAXIMUM PRESSURE OF THE GAC VESSELS IS 225PSI, WITH THE MAXIMUM FLOW RATE OF 650 GPM.
- ANTICIPATED PRESSURE AND HEAD LOSS THROUGH EQUIPMENT AND PROCESS PIPING IS 16.7 PSI THROUGH THE BAG FILTER, 10 PSI THROUGH THE GAC VESSELS WHEN DIRTY, AND 10 PSI THROUGH PIPING AND FITTINGS.

TREATMENT SYSTEM PROCESS FLOW ANNOTATION			
SP	SAMPLE PORT	RW	RAW WATER
FC	FLUSH CONNECTION	TW	TREATED WATER
V	VENT	BW	BACKWASH
CA/FC	COMP. AIR/ FLUSH CONN.	RC	CARBON
		SC	SPENT CARBON SLURRY
		▲	FLOW DIRECTION - TYP. OPERATIONS
		▲	FLOW DIRECTION - BACKWASH APPLICABLE VESSEL
		▲	FLOW DIRECTION - CARBON
		OP / CL	VALVE DESIGNATION - TYP. OPERATIONS
		OP # / CL #	VALVE DESIGNATION (APP. VESSEL) - BACKWASH
		OP / CL	VALVE DESIGNATION - CARBON

CONSULTANT:
ANDREW S. HOLT, P.E.
NY PROFESSIONAL ENGINEER
60% DESIGN
DATE: XX/XX/2021

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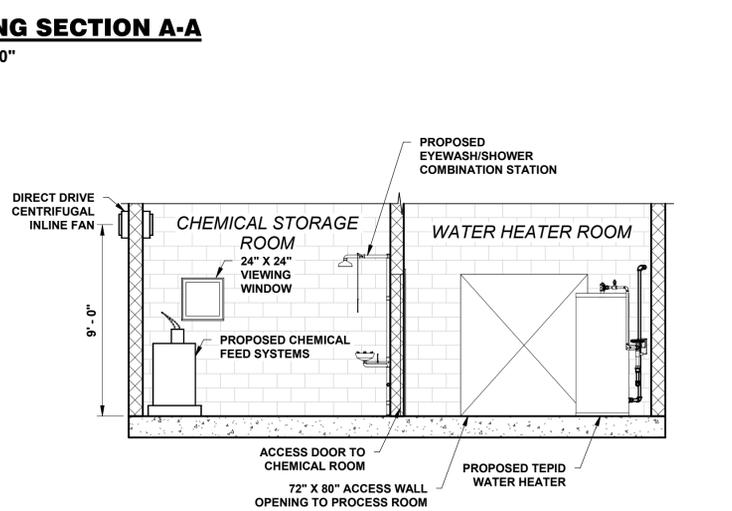
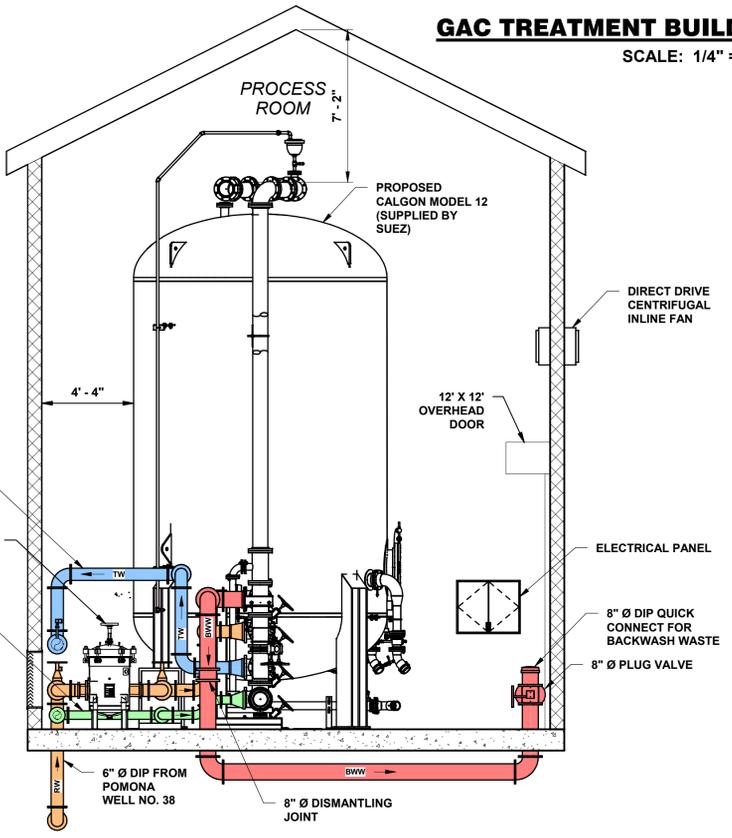
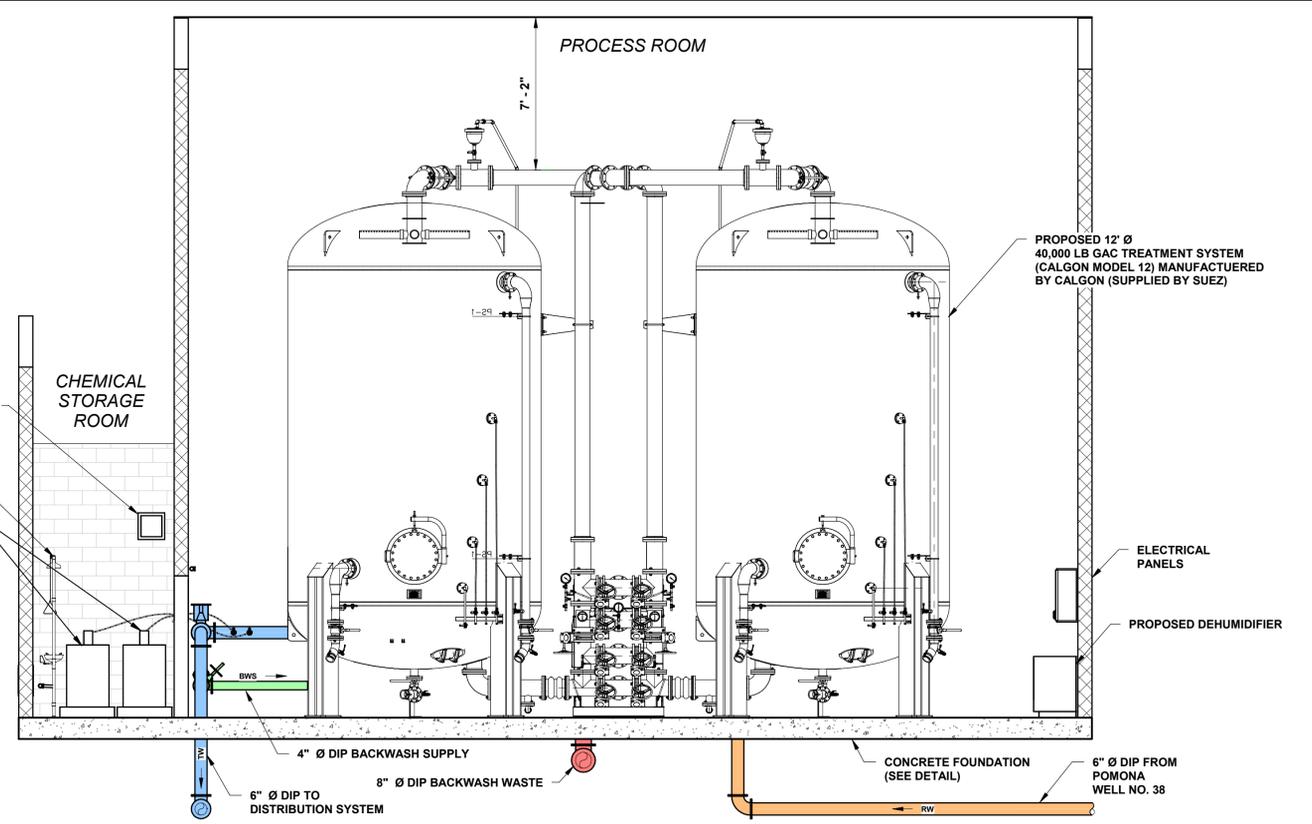
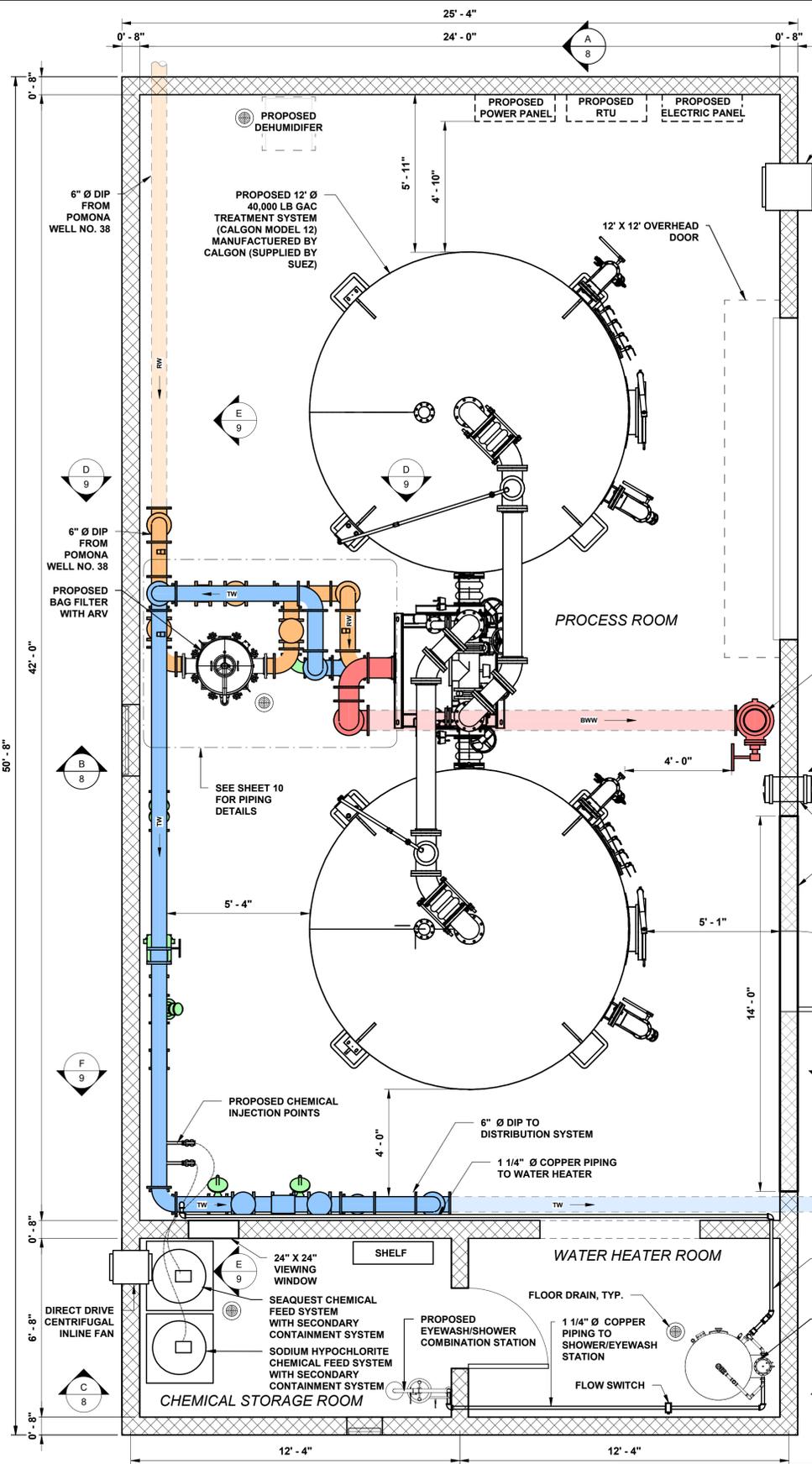
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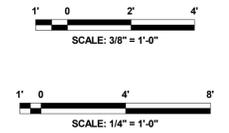
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VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK
FOR CLIENT: **SUEZ WATER NEW YORK INC.**
PROCESS & INSTRUMENTATION DIAGRAM

PROJECT NUMBER: SCE-12162.002
SCALE: N.T.S.
SHEET 6 OF 15
REVISION -



PIPING COLOR LEGEND

- RAW WATER (RW)
- TREATED WATER (TW)
- BACKWASH SUPPLY (BWS)
- BACKWASH WASTE (BWW)



GAC TREATMENT BUILDING PLAN VIEW
SCALE: 3/8" = 1'-0"

CONSULTANT:
ANDREW S. HOLT
 NY PROFESSIONAL ENGINEER
60% DESIGN
 DATE: XX/XX/2021

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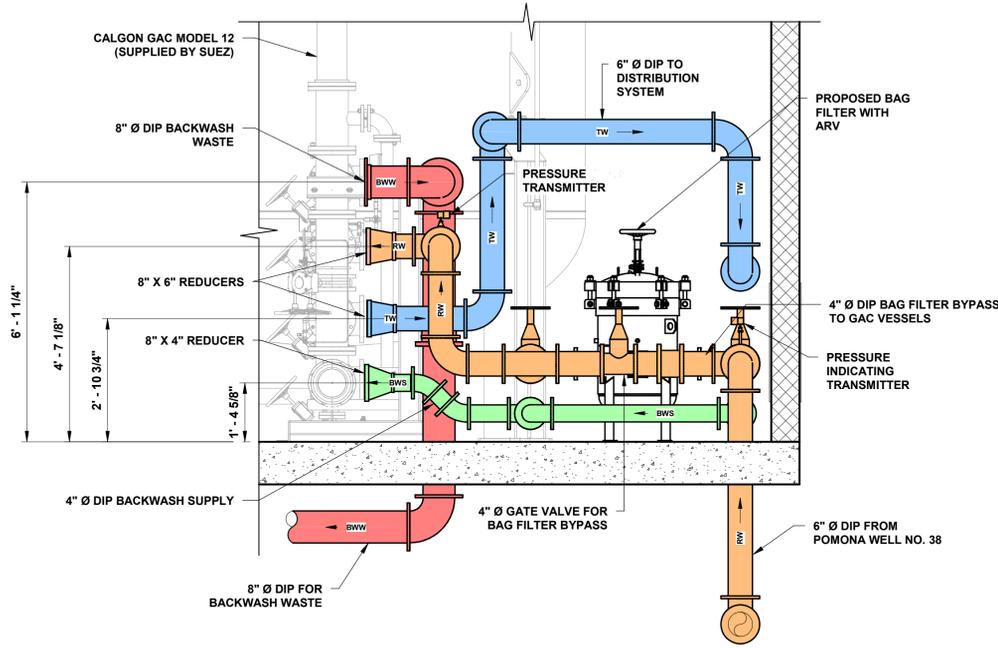
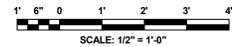
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PRELIMINARY SITE PLAN FOR SUEZ WATER NY PFAS COMPLIANCE POMONA WELL NO. 38
 VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK
 FOR CLIENT: **SUEZ WATER NEW YORK INC.**
GAC TREATMENT BUILDING PLAN AND SECTIONS

PROJECT NUMBER: SCE-12162.002
 SCALE: As indicated
 SHEET 8 OF 14
 REVISION

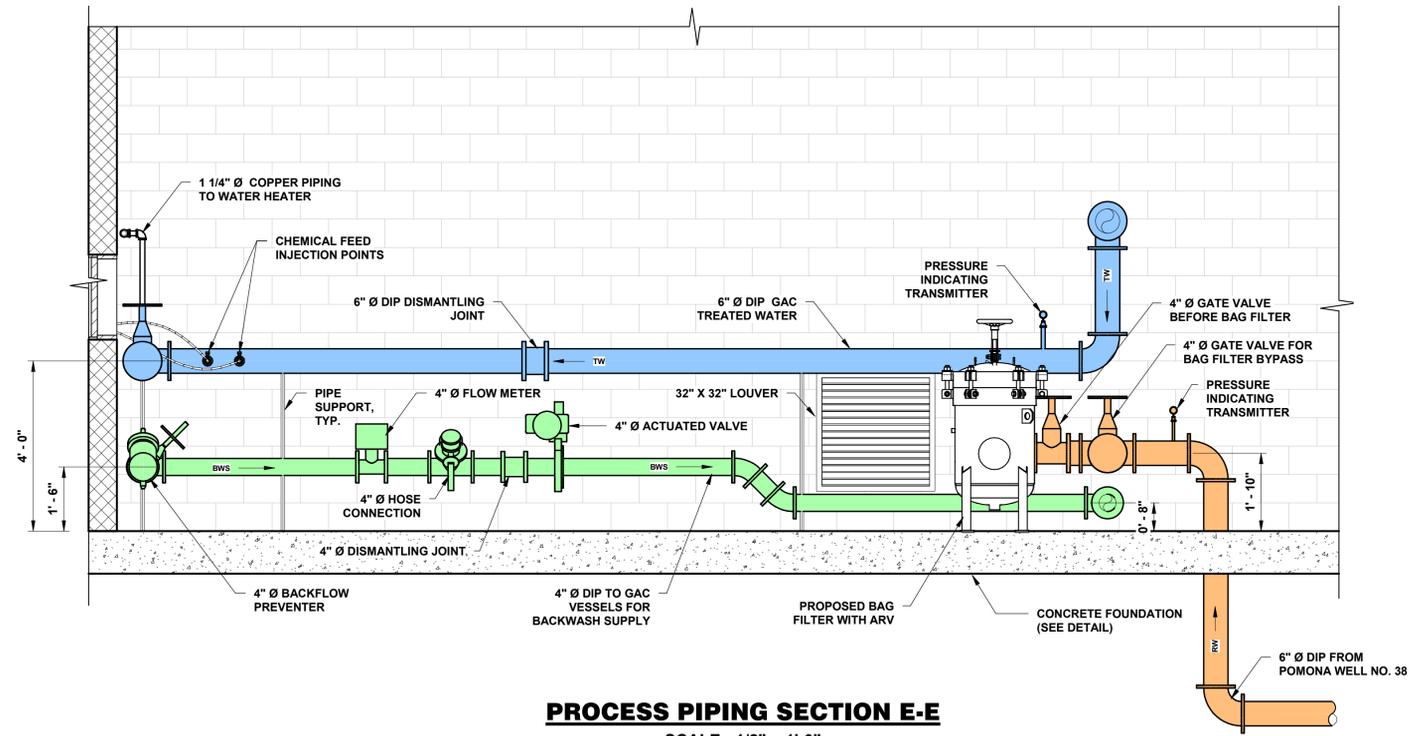
PIPING COLOR LEGEND

- RAW WATER (RW)
- TREATED WATER (TW)
- BACKWASH SUPPLY (BWS)
- BACKWASH WASTE (BWW)



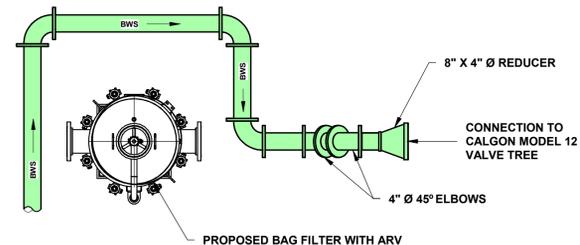
PROCESS PIPING SECTION D-D

SCALE: 1/2" = 1'-0"



PROCESS PIPING SECTION E-E

SCALE: 1/2" = 1'-0"



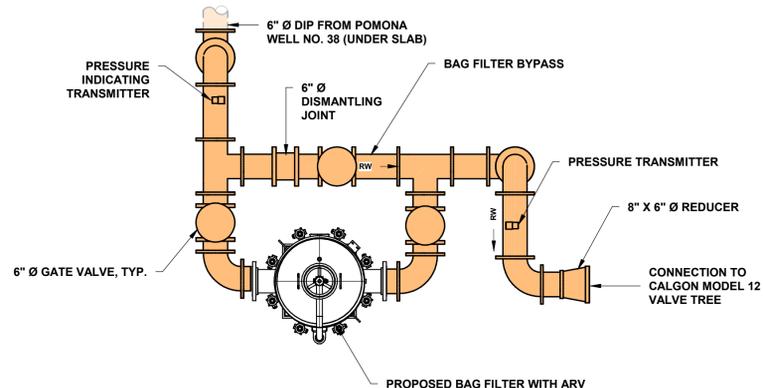
BACKWASH SUPPLY PIPING PLAN

SCALE: 1/2" = 1'-0"



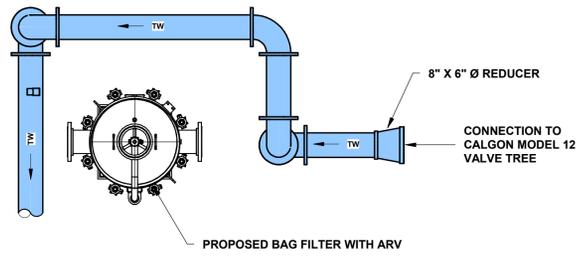
BACKWASH WASTE PIPING PLAN

SCALE: 1/2" = 1'-0"



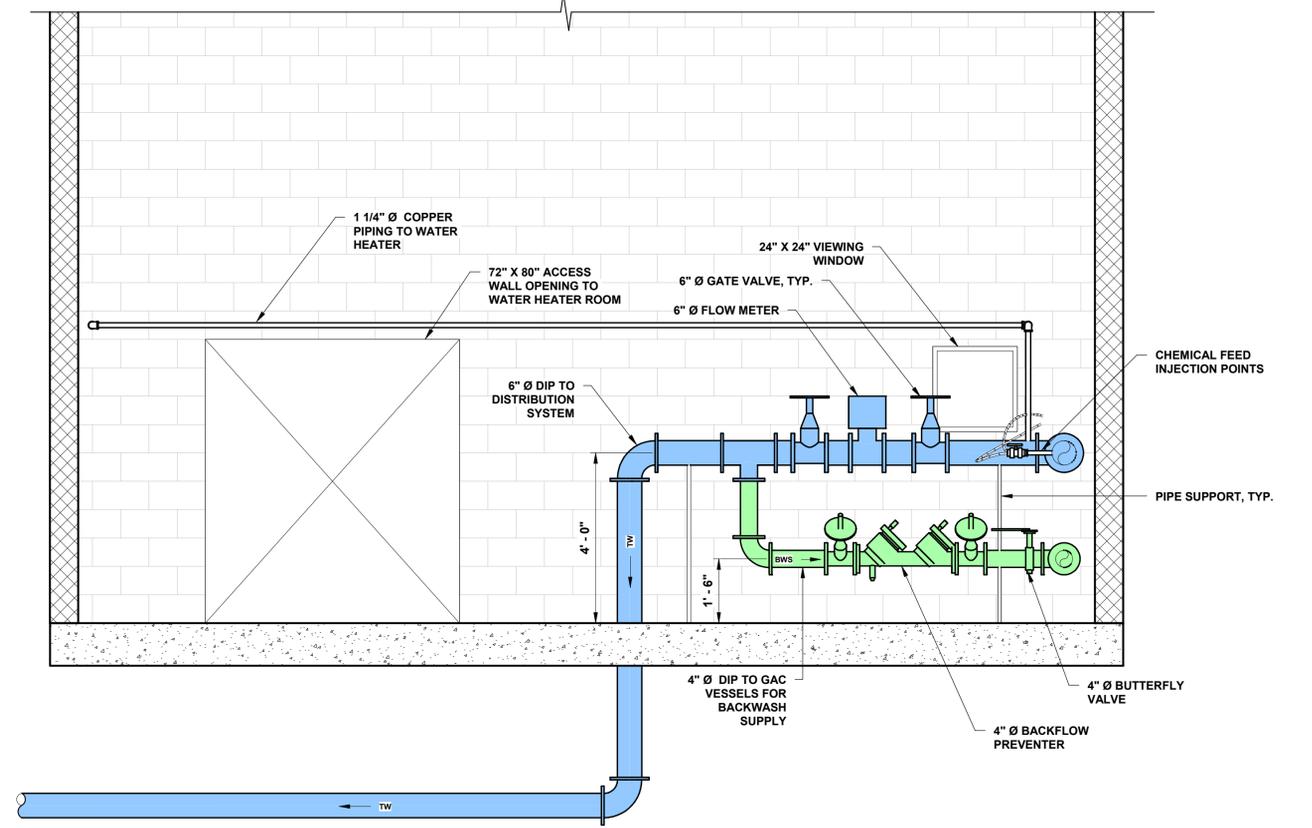
RAW WATER AND BAG FILTER BYPASS PIPING PLAN

SCALE: 1/2" = 1'-0"



TREATED WATER EFFLUENT PIPING PLAN

SCALE: 1/2" = 1'-0"



PROCESS PIPING SECTION F-F

SCALE: 1/2" = 1'-0"

CONSULTANT:
ANDREW S. HOLT
NY PROFESSIONAL ENGINEER 00011-1

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DATE: XX/XX/2021

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PRELIMINARY SITE PLAN FOR SUEZ WATER NY PFAS COMPLIANCE POMONA WELL NO. 38
VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK

FOR CLIENT: **SUEZ WATER NEW YORK INC.**

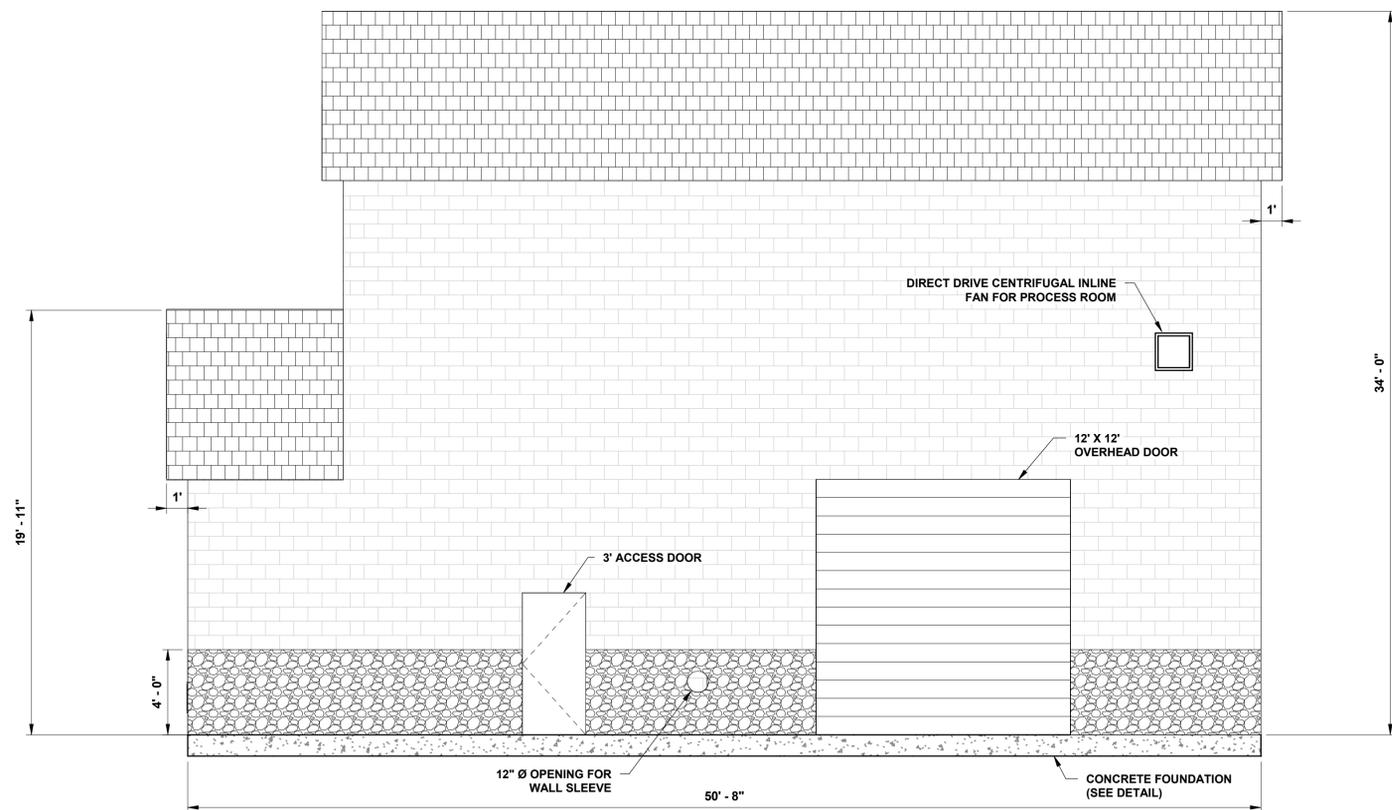
PROCESS PIPING PLAN AND SECTIONS

PROJECT NUMBER: SCE-12162.002

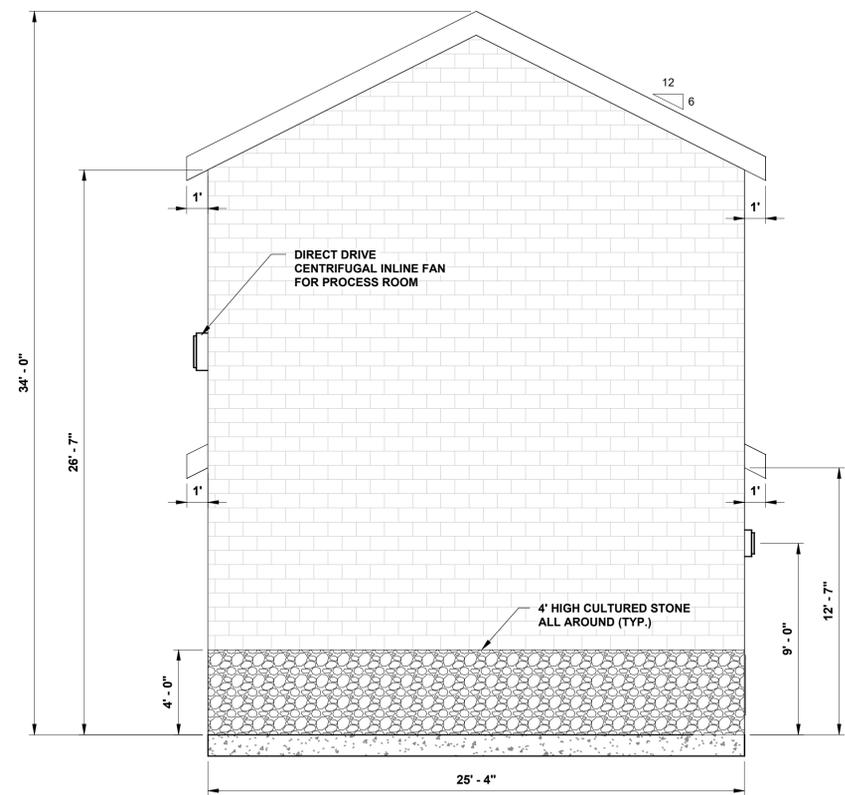
SCALE: As indicated

SHEET 9 OF 14

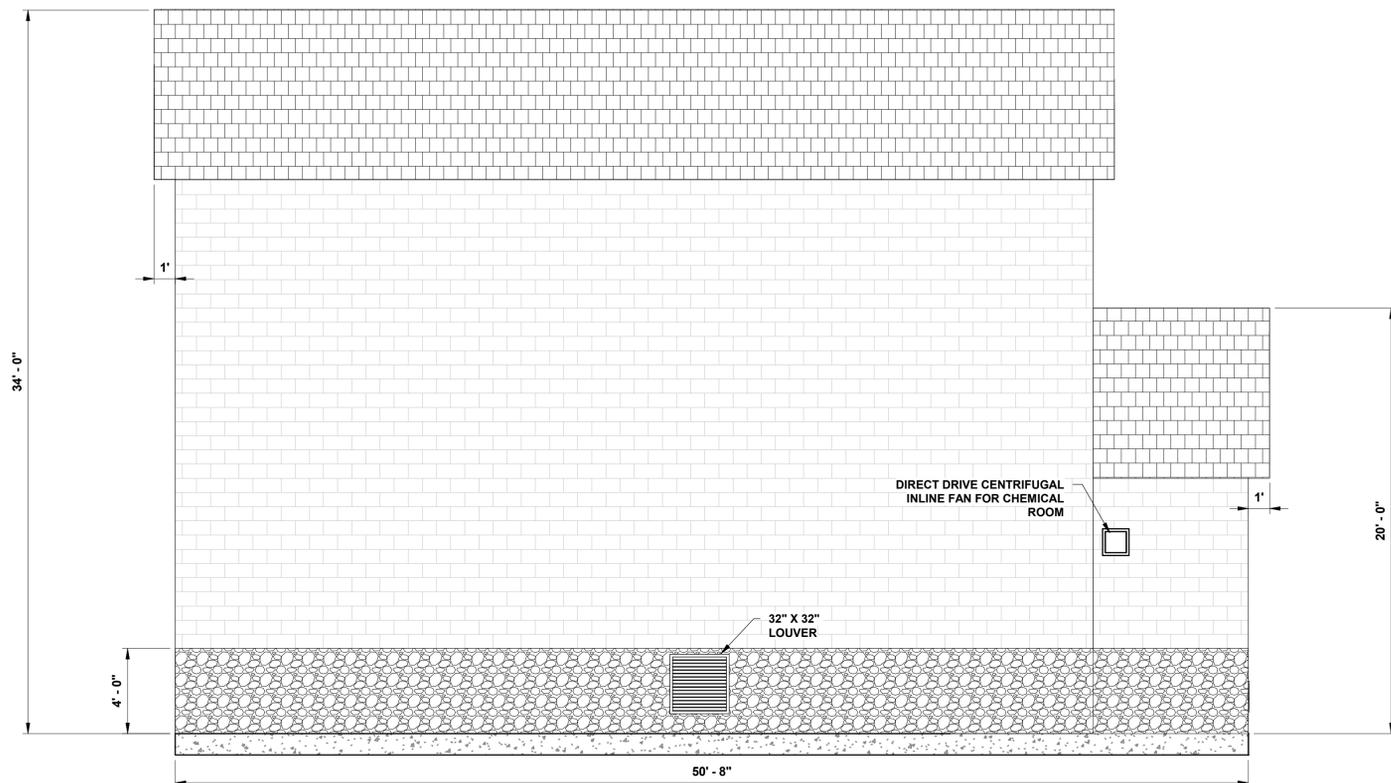
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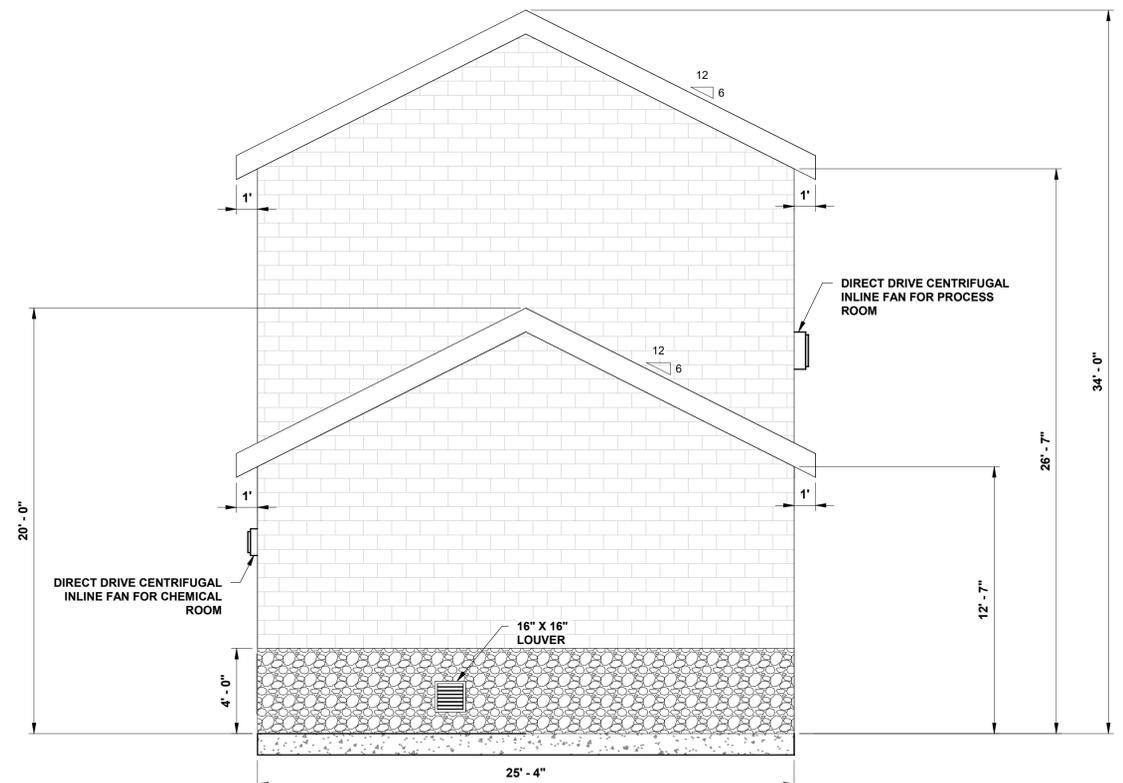
SOUTH ELEVATION VIEW
SCALE: 1/4" = 1'-0"



EAST ELEVATION VIEW
SCALE: 1/4" = 1'-0"



NORTH ELEVATION VIEW
SCALE: 1/4" = 1'-0"



WEST ELEVATION VIEW
SCALE: 1/4" = 1'-0"

CONSULTANT:
ANDREW S. HOLT
NY PROFESSIONAL ENGINEER NO. 13011-1
60% DESIGN
DATE: XX/XX/2021

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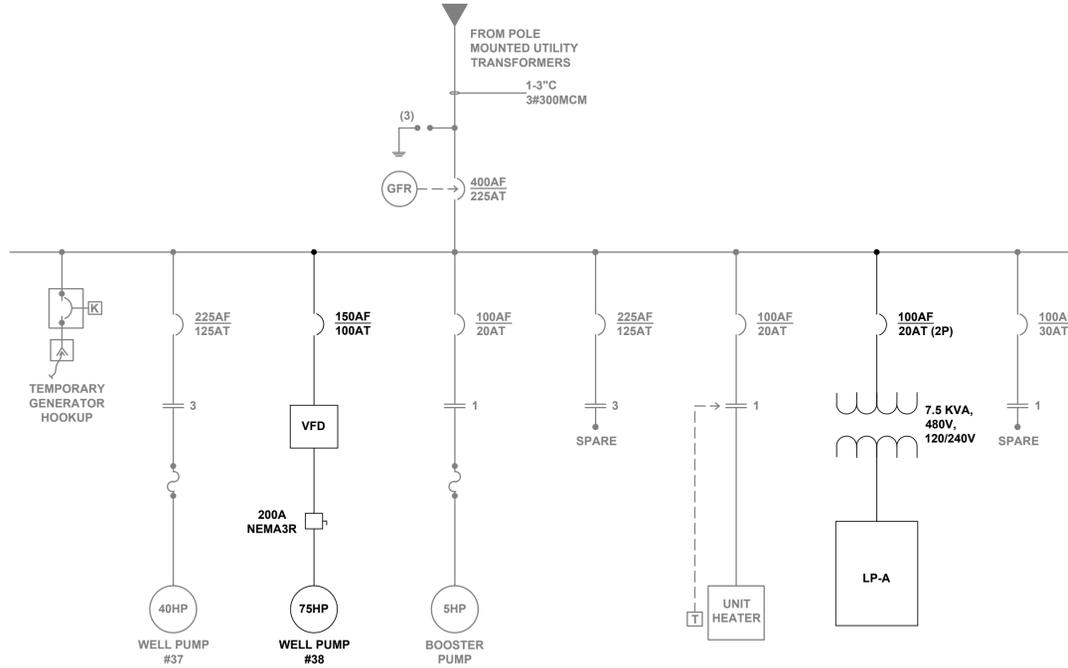
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VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK
FOR CLIENT: **SUEZ WATER NEW YORK INC.**
GAC TREATMENT BUILDING ELEVATION VIEWS

PROJECT NUMBER: SCE-12162.002
SCALE: 1/4" = 1'-0"
SHEET **10** OF 14
REVISION: _



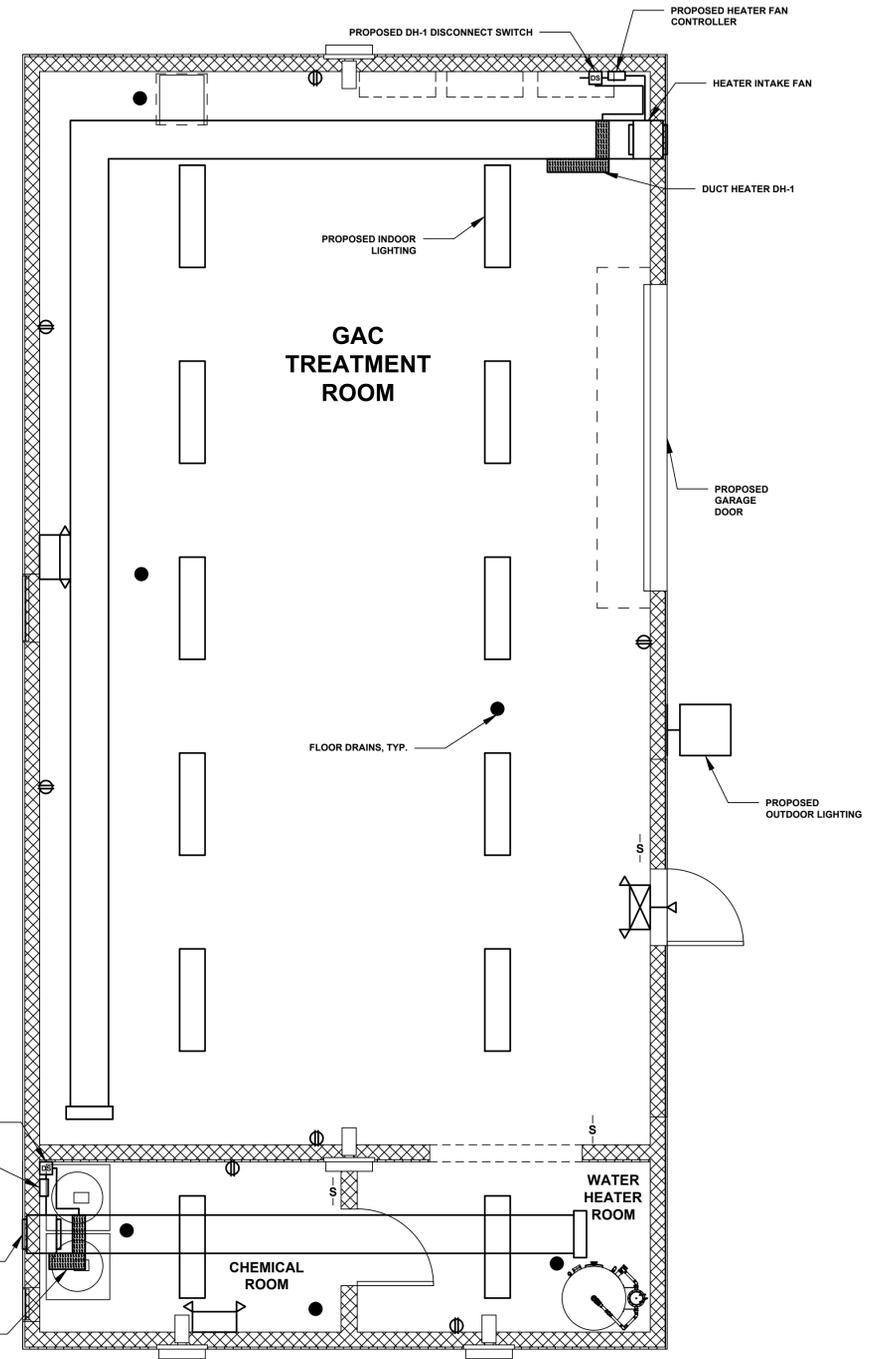
ONE LINE DIAGRAM

LEGEND:

400AF 400AT	CIRCUIT BREAKER FRAME AND TRIP SIZE	HTR	SPACE HEATER
(M)	REVENUE METER	CT	CURRENT TRANSFORMER
Transformer symbol	TRANSFORMER	Disconnect symbol	DISCONNECT SWITCH 60/3 = AMPS/PHASE
(S)	LIGHT SWITCH	Demolition symbol	DEMOLITION
Fuse symbol	FUSE	Circuit breaker symbol	CIRCUIT BREAKER
Emergency light symbol	EMERGENCY LIGHT	Duplex GFCI receptacle symbol	DUPLEX GFCI RECEPTACLE
		Emergency lights & exit sign combination symbol	EMERGENCY LIGHTS & EXIT SIGN COMBINATION

HVAC SCHEDULE

ITEM NAME	VOLTAGE	DESCRIPTION
DH-1	480V	3PH, 45KW MAIN ROOM DUCT HEATER
DH-1 INTAKE FAN	208V	1PH, MAIN ROOM DUCT HEATER INTAKE FAN
DH-2	480V	3PH, 5KW CHEMICAL ROOM DUCT HEATER
DH-2 INTAKE FAN	115V	1PH, CHEMICAL ROOM DUCT HEATER INTAKE FAN



ELECTRICAL FLOOR PLAN
SCALE 1"=40'

LP-A PANEL SCHEDULE

LP-A PANEL 1P 120/208V/3Ø/4W							
SERVES	A	POLE	CKT#	CKT#	POLE	A	SERVES
TELEMETRY (FUTURE)	15	1	1	2	1	20	DH-2 INTAKE FAN
DH-1 INTAKE FAN	20	1	3	4	1	20	CHLORINE RM RECEPTACLE
INTERIOR LIGHTS - PUMP ROOM	20	1	5	6	1	20	CHEMICAL DOSAGE PUMP #1 (RELAYED ON RTU)
INTERIOR LIGHTS - CHLORINE ROOM	20	1	7	8	1	20	CHEMICAL DOSAGE PUMP #2 (RELAYED ON RTU)
EXTERIOR LIGHTS	20	1	9	10	1	20	CONTROLS
DEHUMIDIFIER	20	1	11	12	1	20	SPARE
HOT WATER HEATER	20	1	13	14	1	20	SPARE
AUTOMATIC 12" DOOR	20	1	15				

LP-A PANEL SCHEDULE

POMONA WELL STATION SCADA SYSTEM I/O LIST

No.	DESCRIPTION	WIRE NUMBER & SIZE	DIGITAL		ANALOG	
			INPUT	OUTPUT	INPUT	OUTPUT
1	POMONA #38 PRESSURE (DISCHARGE)	T/S			1	
2	POMONA #38 FLOW (DISCHARGE)	T/S			1	
3	WELL PUMP WP-38 FAULT	(2) #14 THHN	1			
4	WELL PUMP WP-38 RUNNING	(2) #14 THHN	1			
5	WELL PUMP WP-38 HOA IN REMOTE	(2) #14 THHN	1			
6	WELL PUMP WP-38 SPEED	T/S			1	
7	WELL PUMP WP-38 CALLED FOR	(2) #14 THHN		1		
8	WELL PUMP WP-38 SPEED CONTROL	T/S				1
9	POMONA #38 HIGH DISCHARGE PRESSURE	(2) #14 THHN	1			
10	WELL LEVEL WL-1	T/S			1	
11	BAG FILTER CF-1 INLET PRESSURE	(2) #14 THHN	1			
12	BAG FILTER CF-1 OUTLET PRESSURE	(2) #14 THHN	1			
13	BAG FILTER BY-PASS STATUS	(2) #14 THHN	1			
14	GAC FILTER GF-1 INLET PRESSURE	(2) #14 THHN	1			
15	GAC FILTER GF-1 OUTLET PRESSURE	(2) #14 THHN	1			
16	GAC FILTER GF-2 INLET PRESSURE	(2) #14 THHN	1			
17	GAC FILTER GF-2 OUTLET PRESSURE	(2) #14 THHN	1			
18	GAC FILTER CF-1 INLET VALVE STATUS	(2) #14 THHN	1			
19	GAC FILTER CF-2 INLET VALVE STATUS	(2) #14 THHN	1			
20	CHEMICAL FEED PUMP CFP-1 FAULT	(2) #14 THHN	1			
21	CHEMICAL FEED PUMP CFP-1 RUNNING	(2) #14 THHN	1			
22	CHEMICAL FEED PUMP CFP-1 HOA IN REMOTE	(2) #14 THHN	1			
23	CHEMICAL FEED PUMP CFP-1 SPEED	T/S			1	
24	CHEMICAL FEED PUMP CFP-1 CALLED FOR	(2) #14 THHN		1		
25	CHEMICAL FEED PUMP CFP-1 SPEED CONTROL	T/S				1
26	CHEMICAL FEED PUMP CFP-1 DISCHARGE FLOW RATE	T/S			1	
27	CHEMICAL FEED PUMP CFP-2 FAULT	(2) #14 THHN	1			
28	CHEMICAL FEED PUMP CFP-2 RUNNING	(2) #14 THHN	1			
29	CHEMICAL FEED PUMP CFP-2 HOA IN REMOTE	(2) #14 THHN	1			
30	CHEMICAL FEED PUMP CFP-2 SPEED	T/S			1	
31	CHEMICAL FEED PUMP CFP-2 CALLED FOR	(2) #14 THHN		1		
32	CHEMICAL FEED PUMP CFP-2 SPEED CONTROL	T/S				1
33	CHEMICAL FEED PUMP CFP-2 DISCHARGE FLOW RATE	T/S			1	
34	CHLORINE ANALYZER CA-1 READING	T/S			1	
35	CHLORINE ANALYZER CA-2 READING	T/S			1	
36	POWER FAIL	NONE	1			
37	BUILDING INTRUSION ALARM BI-1	(2) #14 THHN	1			
38	BUILDING INTRUSION ALARM BI-2	(2) #14 THHN	1			
39	BUILDING INTRUSION ALARM BI-3	(2) #14 THHN	1			
40	BUILDING INTRUSION ALARM BI-4	(2) #14 THHN	1			
41	BUILDING INTRUSION ALARM BI-5	(2) #14 THHN	1			
44	BACKWASH MODULATED VALVE	T/S			1	
45	EYEWASH ALERT	(2) #14 THHN	1			
46	FLOW SWITCH	(2) #14 THHN	1			
TOTAL MINIMUM TO BE PROVIDED W/ SPARE POINTS (20% MIN)		TOTAL	33	4	11	4

NOTE: T/S = TWISTED SHIELDED

SCADA SYSTEM I/O LIST

CONSULTANT:
ANDREW S. HOLT, PE
NY PROFESSIONAL ENGINEER
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DATE: XX/XX/2021

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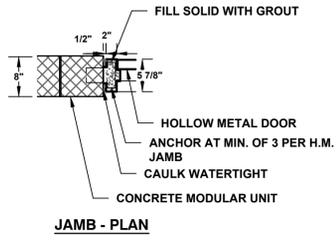
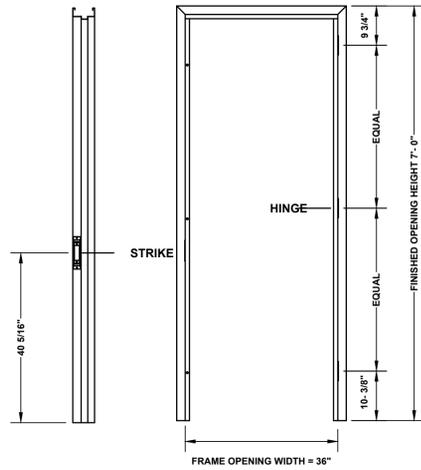
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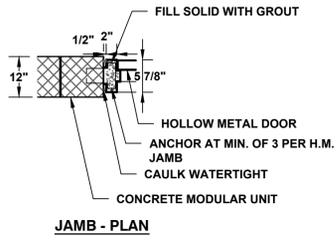
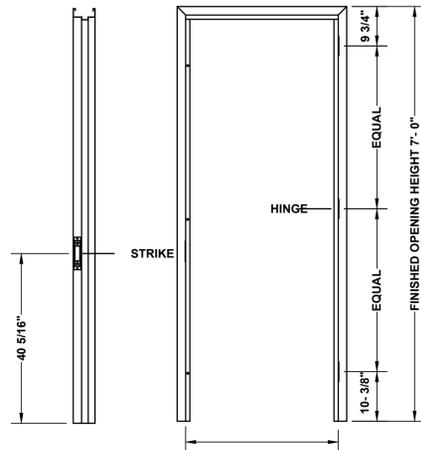
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VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK
FOR CLIENT: **SUEZ WATER NEW YORK INC.**
ELECTRICAL PLAN

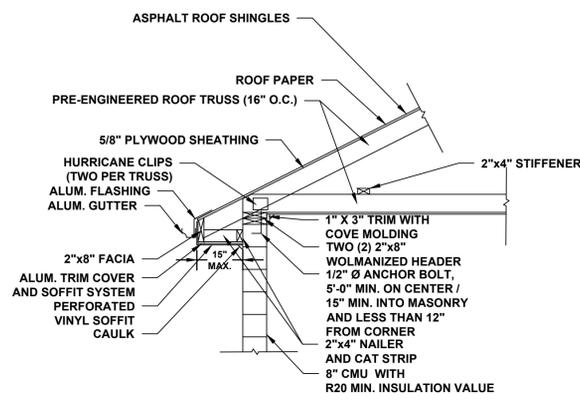
PROJECT NUMBER:
SCE-12162.002
SCALE:
N.T.S.
SHEET 11 OF 15
REVISION



MASONRY WALL INTERIOR DOOR INSTALLATION DETAIL
N.T.S.

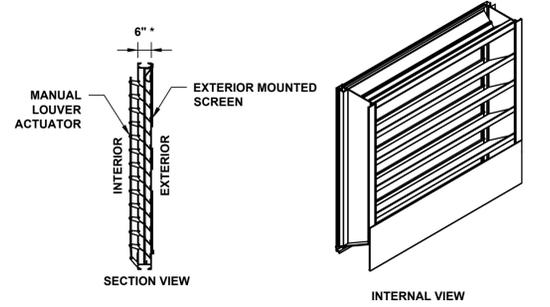


MASONRY WALL EXTERIOR DOOR INSTALLATION DETAIL
N.T.S.

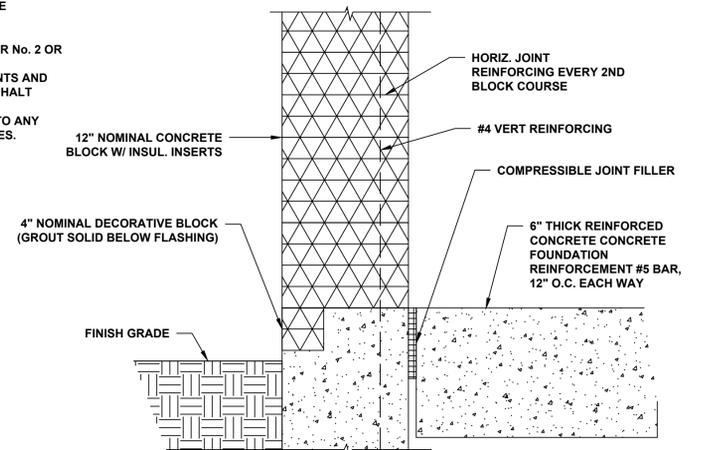


- NOTES:**
- LUMBER SHALL BE CONSTRUCTION GRADE DOUGLAS FIR No. 2 OR BETTER.
 - ROOF PANEL CLIPS, TRIM, FASCIAS, CLOSURES, SEALANTS AND OTHER ACCESSORIES SHALL BE CONSISTENT WITH ASPHALT SHINGLE ROOF MANUFACTURER RECOMMENDATIONS.
 - PROVIDE 20" X 30" ACCESS HATCH FOR ATTIC ACCESS TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30 INCHES.

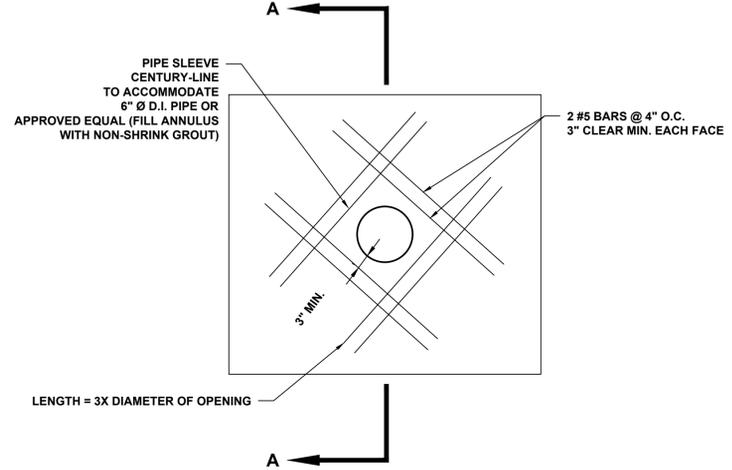
TYPICAL ROOF DETAIL
N.T.S.



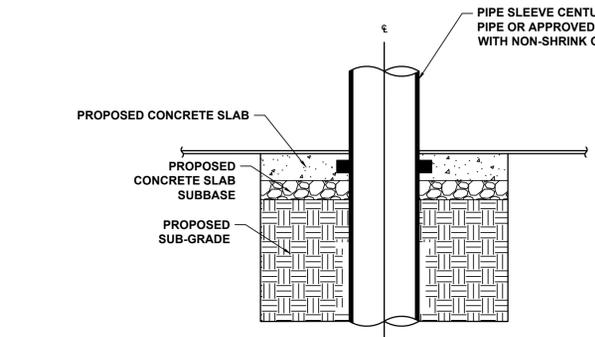
MANUAL OPERATED LOUVER DETAIL
N.T.S.



BASE OF WALL SECTION DETAIL
N.T.S.

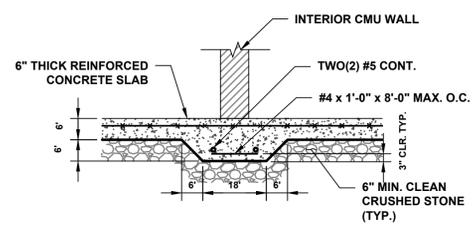


PLAN VIEW



SECTION A-A

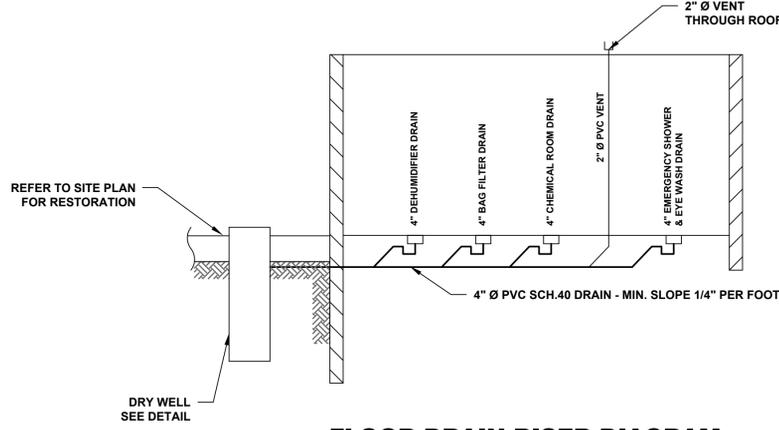
FLOOR PENETRATION DETAIL
N.T.S.



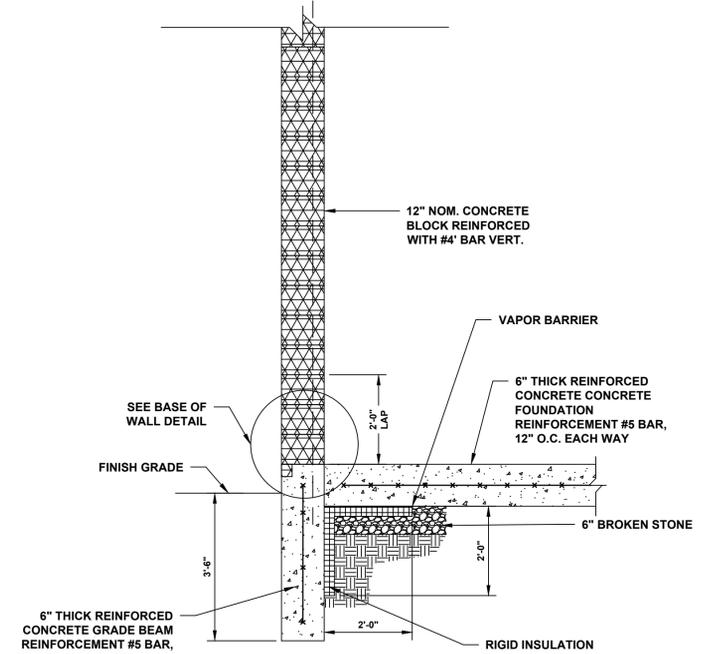
HAUNCHED FOOTING DETAIL
N.T.S.

- NOTES:**
- 480V, 3PH, DUCT HEATERS SHALL BE USED TO PROVIDE HEAT AND VENTILATION FOR THE SITE.

ELECTRIC DUCT HEATER DETAIL
N.T.S.



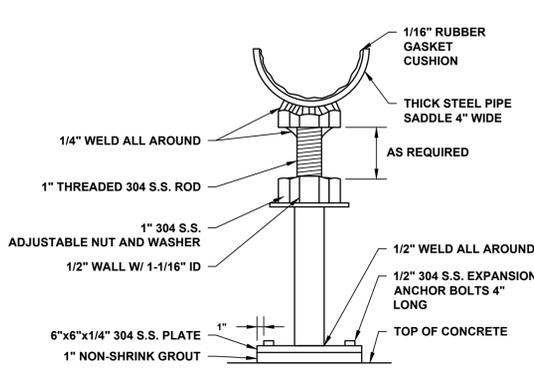
FLOOR DRAIN RISER DIAGRAM
N.T.S.



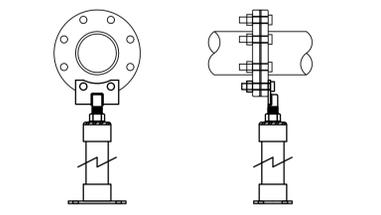
TYPICAL WALL SECTION DETAIL
N.T.S.

E:\SCE\Ramapo\12162.002\Sheets\12162.002.11 Construction Details L.dwg Mon, Jun 21, 2021 - 8:59pm weschurmann SUBURBAN CONSULTING ENGINEERS, INC.

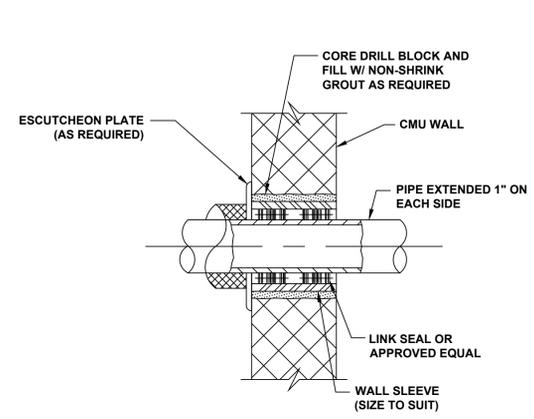
CONSULTANT: ANDREW S. HOLT, P.E. NY PROFESSIONAL ENGINEER 60% DESIGN		NOTICE THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN ENGINEERING. ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A RAISED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED. © COPYRIGHT 2021 SUBURBAN ENGINEERING ALL RIGHTS RESERVED		DRAWN BY: JAW CHECKED BY: SAM CHECKED BY: WAS		SUBURBAN ENGINEERING - Civil Engineers - - Landscape Architects - - Land Surveyors - 7 Cokesbury California Road, Lebanon, NJ, 08833 - 973.398.1776 EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT		PRELIMINARY SITE PLAN FOR SUEZ WATER NY PFAS COMPLIANCE POMONA WELL NO. 38 VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK FOR CLIENT: SUEZ WATER NEW YORK INC.		PROJECT NUMBER: SCE-12162.002 SCALE: N.T.S. SHEET 12 OF 15 REVISION
DATE: XX/XX/2021		REVISIONS		DESCRIPTION NO. DATE: BY: CHK:		CONSTRUCTION DETAILS I				



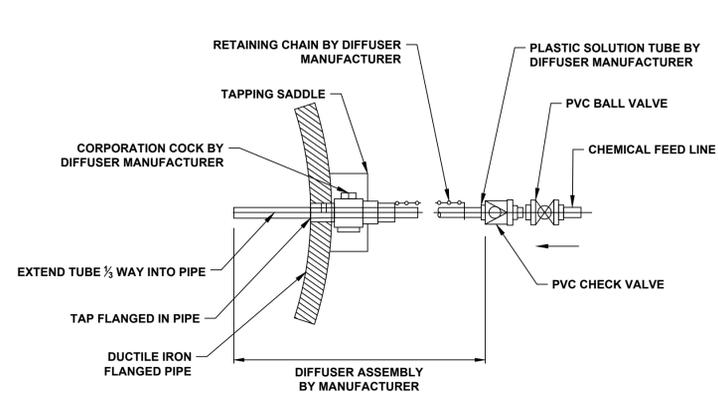
PIPE SUPPORT DETAIL
N.T.S.



FLANGE SUPPORT DETAIL
N.T.S.



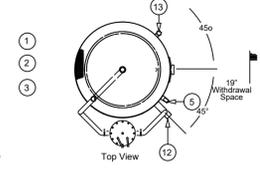
WALL PENETRATION DETAIL
SCALE = N.T.S.



DIP CHEMICAL INJECTION DETAIL
SCALE = N.T.S.

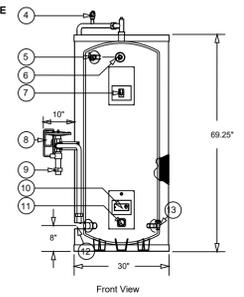
- CHEMICAL INJECTION NOTES:**
1. CONTRACTOR SHALL PROVIDE A SAF-T-FLOW RETRACTABLE INJECTION QUILL MODEL, OR APPROVED EQUAL. THE SADDLE FOR TEE FITTING SHALL BE 3/4"Ø FOR INJECTION QUILL, OR OTHERWISE DIRECTED FOR THE PROPER INSTALLATION OF THE QUILL. THE CHEMICAL RESISTANT TUBING FOR THE QUILL IS 3/8", CONTRACTOR SHALL PROVIDE REDUCER TO 1/4" TUBING AS REQUIRED.
 2. INJECTION SHALL BE INSTALLED AT THE 90-DEGREE MARK ON THE PIPE PER SUEZ PREFERENCE.

HOT WATER HEATER DEPICTED: HUBBELL HOT WATER MODEL EMV OR APPROVED EQUAL. 1800 WATT EMV SINGLE PHASE MODEL. HOT WATER HEATER SHALL SERVICE EMERGENCY EYEWASH AND SHOWER ONLY

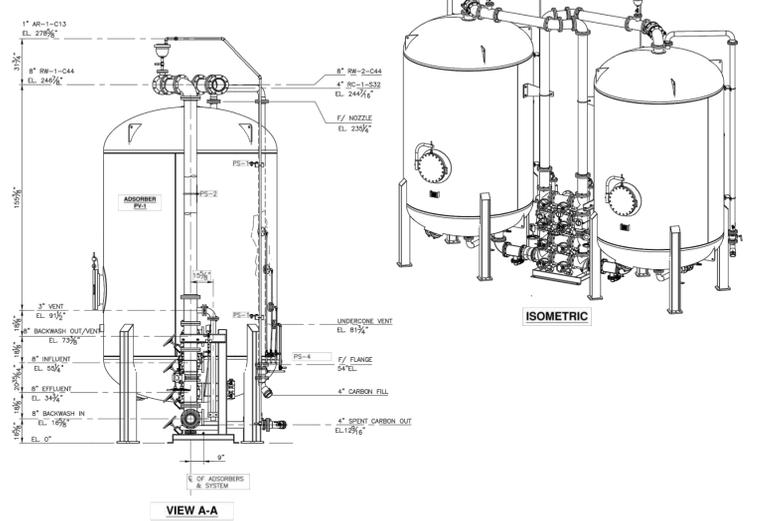
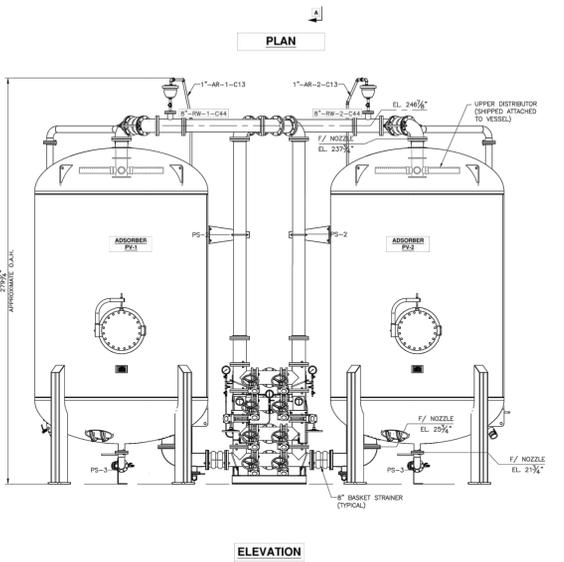
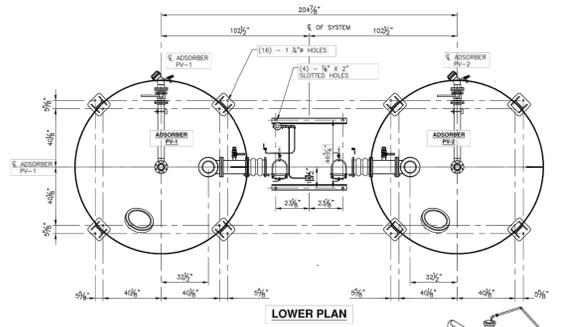
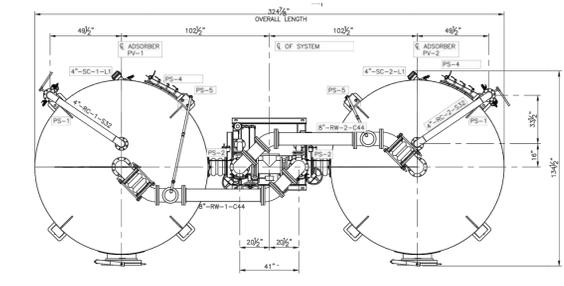
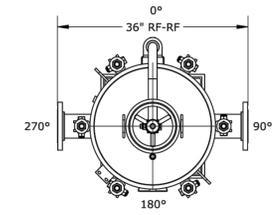


- NOTES:**
1. STORAGE TANK RATED FOR 150 PSI WP
 2. ASME RATED T&P RELIEF VALVE FACTORY INSTALLED AND PIPED TO 12" FROM FLOOR
 3. ALL ELECTRICAL CONTROLS ARE INSIDE AND PRE-WIRED
 4. MIXING VALVE (8) IS FACTORY SET, CALIBRATED AND TESTED TO DELIVER 85°F WATER

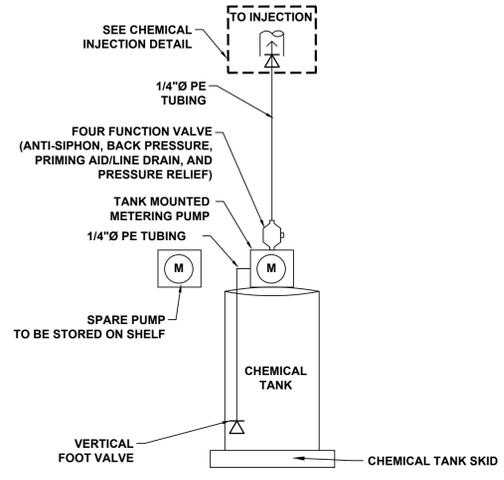
Number	Description
1	Hydrastone cement Lined Tank
2	3" Polyurethane Foam Insulation
3	Corrosion Resistant Jacket
4	Air Vent Valve
5	Relief Valve Connection
6	Dial Temperature Pressure Gauge
7	Hi-Limit Thermostat
8	Mixing Valve
9	Tepid Water Outlet
10	Tank Operating Thermostat
11	Heating Element
12	Cold Water Inlet
13	Drain Connection



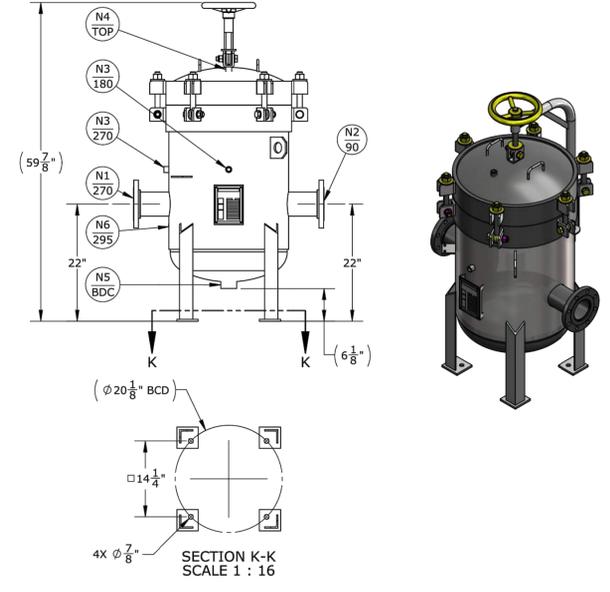
TEPID WATER HEATING SYSTEM DETAIL
N.T.S.



CALGON MODEL 12 GAC UNIT DETAIL
SCALE = N.T.S.



CHEMICAL SUPPLY/FEED SYSTEM SCHEMATIC
SCALE = N.T.S.



PROPOSED FILTREK BAG FILTER
SCALE = N.T.S.

CONSULTANT:
ANDREW S. HOLT, P.E.
NY PROFESSIONAL ENGINEER
60% DESIGN
DATE: XX/XX/2021

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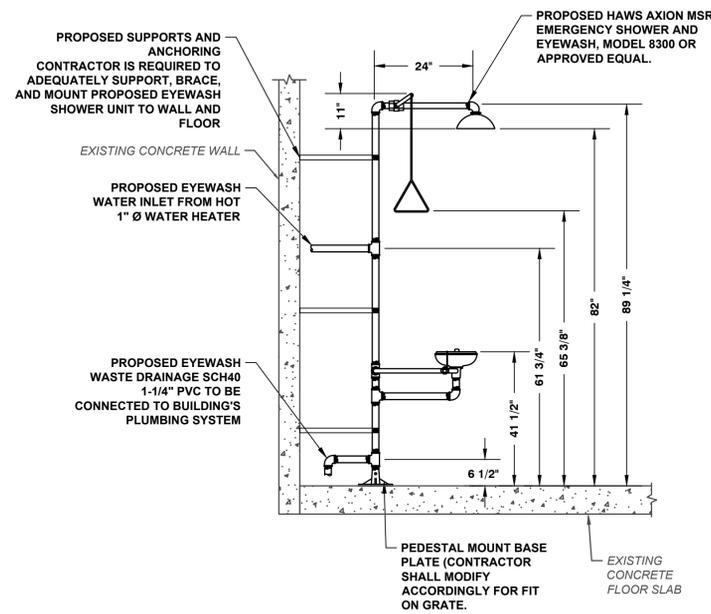
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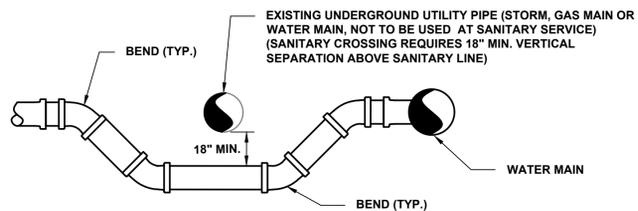
SUBURBAN ENGINEERING
- Civil Engineers -
- Landscape Architects -
- Land Surveyors -
7 Cokesbury Calvert Road, Lebanon, NJ, 08833 - 973.398.1776
EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT

PRELIMINARY SITE PLAN FOR SUEZ WATER NY PFAS COMPLIANCE POMONA WELL NO. 38
VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK
FOR CLIENT: **SUEZ WATER NEW YORK INC.**
CONSTRUCTION DETAILS II

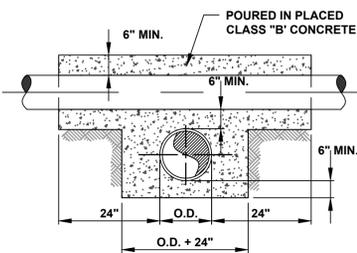
PROJECT NUMBER:
SCE-12162.002
SCALE:
N.T.S.
SHEET 13 OF 15
REVISION -



EYEWASH AND SHOWER DETAIL
SCALE = N.T.S.

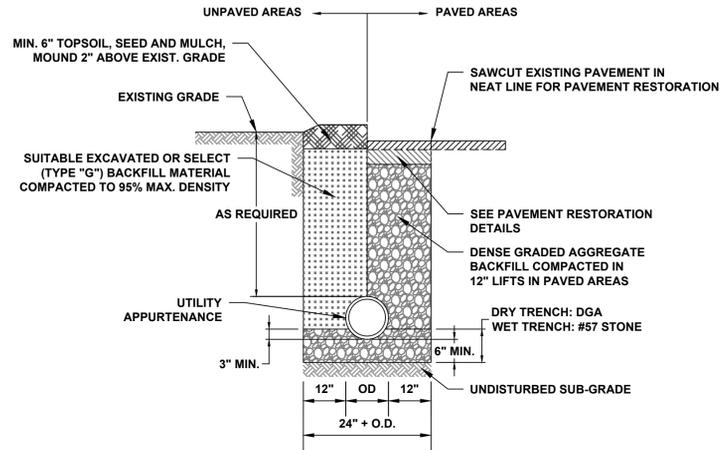


TYPICAL UTILITY CROSSING DETAIL
N.T.S.



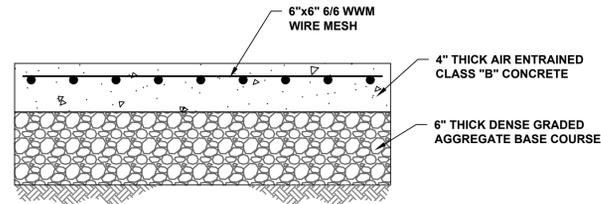
UTILITY CROSSING DETAIL
N.T.S.

- NOTES:**
1. AS REQUIRED BASED ON TEST PIT ANALYSIS.
 2. ENCASMENT OF LOWER PIPE TO BE CARRIED 24" IN EACH DIRECTION BEYOND THE WALLS OF THE UPPER CONDUIT.
 3. THE ENCASMENT SHOWN SHALL BE REQUIRED WHERE THE CLEARANCE BETWEEN PIPES IS 12" OR LESS.



- NOTES:**
1. NO ADDITIONAL PAYMENT SHALL BE MADE FOR EXTRA DEPTH INSTALLATION.
 2. NO SEPARATE PAYMENT WILL BE MADE FOR RESTORATION EXCEEDING TRENCH WIDTHS.

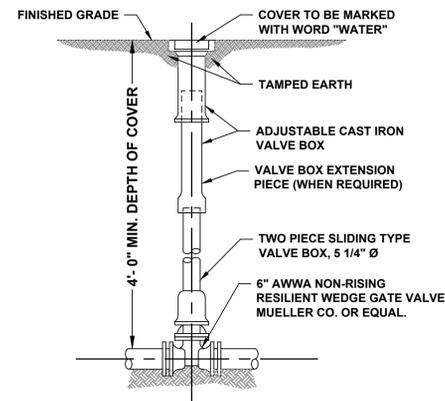
TYPICAL TRENCH DETAIL
N.T.S.



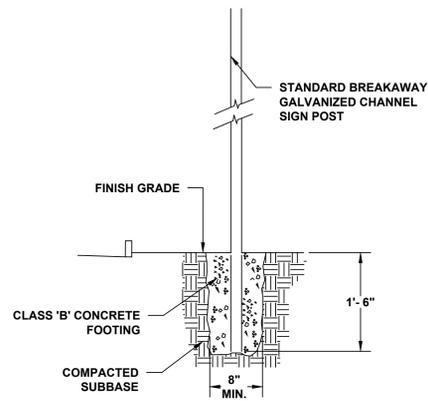
SIDEWALK NOTES:

1. SUBBASE SHALL BE COMPACTED TO THE SATISFACTION OF THE ENGINEER.
2. EXPANSION JOINTS OF 1/2" WIDE BITUMINOUS CELLULAR TYPE JOINT FILLER WILL BE PROVIDED EVERY 12'.
3. LONGITUDINAL JOINTS, EVERY 1/4" WIDE, SHALL BE PROVIDED BETWEEN CURBS AND ABUTTING SIDEWALKS AND SHALL BE FILLED WITH PRE-MOLDED BITUMINOUS TYPE JOINT FILLER.
4. TRANSVERSE SURFACE GROOVES SHALL BE CUT IN SIDEWALKS BETWEEN EXPANSION JOINTS AT INTERVALS EQUAL TO THE SIDEWALK WIDTH.
5. ALL JOINTS AND EDGES TO BE TOOLED.
6. SURFACE SHALL BE BRUSHED TRANSVERSELY TO A NEAT FINISH.
7. ADJACENT GROUND SHALL BE BACKFILLED AND GRADED TO MATCH THE EXISTING GROUND.

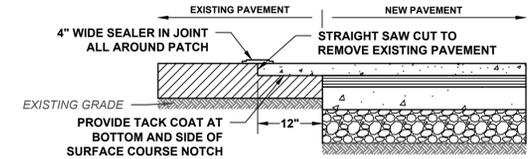
STANDARD CONCRETE SIDEWALK
N.T.S.



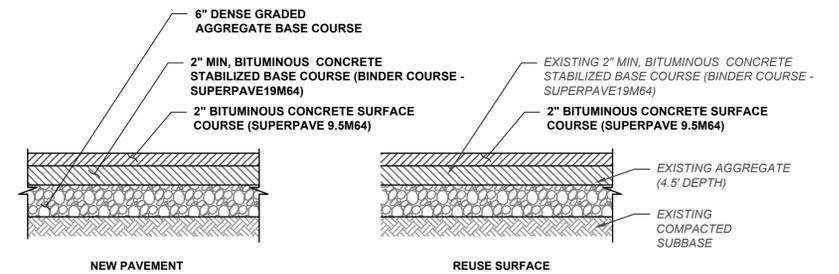
GATE VALVE & BOX DETAIL
N.T.S.



SIGN INSTALLATION DETAIL
N.T.S.



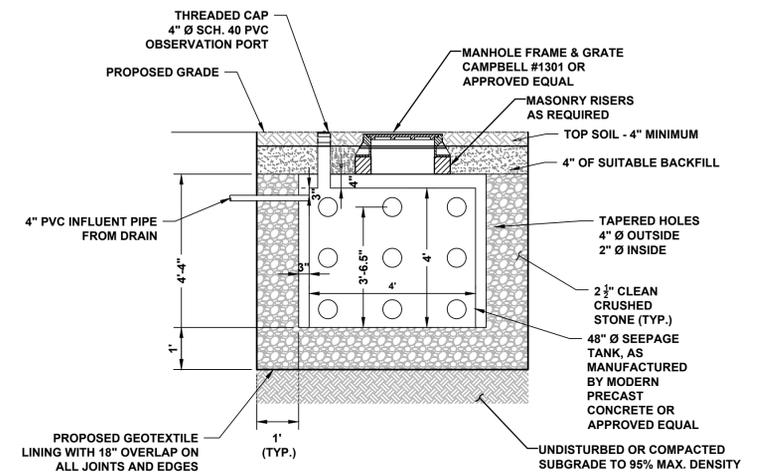
PAVEMENT BUTTING DETAIL
N.T.S.



PAVEMENT RESTORATION NOTES:

1. NEW PAVEMENT WILL BE INSTALLED WHERE EXISTING ASPHALT: 1) WHERE IT DOES NOT EXIST, 2) IS LESS THAN 2" THICK AFTER MILLING, 3) SHOWS EXCESSIVE CRACKING AND DAMAGE.
2. SUEZ REPRESENTATIVE WILL PERFORM A VISUAL INSPECTION TO ESTIMATE WHICH AREAS WILL REQUIRE NEW PAVEMENT AND CONFIRM NEW PAVEMENT AREAS WITH THE CONTRACTOR FOLLOWING MILLING.
3. ALL THICKNESS SHOWN ABOVE ARE AFTER COMPACTION.
4. AFTER PAVEMENT IS COMPLETE, CONTRACTOR WILL RAISE/LOWER SURROUNDING GRADE LEVEL WITH NEW DRIVEWAY SURFACE, INCLUDING REGRADING, RESEEDING, AND SOIL EROSION CONTROLS.

PAVEMENT DETAIL
N.T.S.



PROPOSED 48" DRYWELL DETAIL
N.T.S.

E:\SCE\Ramapo\12162.002\Sheets\12162.002.13 Construction Details III.dwg Mon, Jun 21, 2021 - 8:59pm weschurmann SUBURBAN CONSULTING ENGINEERS, INC.

CONSULTANT: ANDREW S. HOLT, P.E. NY PROFESSIONAL ENGINEER 60% DESIGN		NOTICE THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR BELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN ENGINEERING ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A RAISED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED. © COPYRIGHT 2021 SUBURBAN ENGINEERING ALL RIGHTS RESERVED		DRAWN BY: JAW CHECKED BY: SAM CHECKED BY: WAS		 SUBURBAN ENGINEERING - Civil Engineers - - Landscape Architects - - Land Surveyors - 7 Cokesbury Caldon Road, Lebanon, NJ, 08833 - 973.398.1776 EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT		PRELIMINARY SITE PLAN FOR SUEZ WATER NY PFAS COMPLIANCE POMONA WELL NO. 38 VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK FOR CLIENT: SUEZ WATER NEW YORK INC.		PROJECT NUMBER: SCE-12162.002 SCALE: N.T.S.
DATE: XX/XX/2021		REVISIONS		SHEET 14 OF 15		CONSTRUCTION DETAILS III		SHEET REVISION		

ROCKLAND COUNTY SOIL & WATER CONSERVATION DISTRICT SOIL EROSION & SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, AND SHALL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
2. THE SITE AT ALL TIME SHALL BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND INSPECTING ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES ON REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
4. STOCKPILES ARE NOT TO BE LOCATED WITHIN A FLOODPLAIN, BUFFER, ON A SLOPE, ROADWAY, OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAY BALE SEDIMENT BARRIER OR SILT FENCE.
5. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
6. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE WORK AREA OR ONTO PUBLIC RIGHT-OF-WAY, SHALL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
7. DUST SHALL BE CONTROLLED AT ALL TIMES IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
8. TREES TO REMAIN AFTER CONSTRUCTION WITHIN THE WORK AREA SHALL BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
9. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN DAMS, CRUSHED STONE DAMS, HAY BALES, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTION SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
10. ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN OPEN OR UNFINISHED FOR MORE THAN 10 DAYS SHALL BE TEMPORARILY SEEDDED WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF A BASE COURSE. A TEMPORARY SEEDING AND/ OR MULCHING SHOULD BE APPLIED TO DISTURBED AREAS THAT ARE LEFT FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS.
11. SILT THAT LEAVES THE SITE SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
12. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS RE-GRADED, PLANTED, OR TREATED IN ACCORDANCE WITH APPROVED PLANS.
13. ALL AREAS DISTURBED BY ON SITE GRADING, THAT ILL NOT BE CONSTRUCTED UPON, SHALL BE STABILIZED WITH PERMANENT VEGETATIVE COVER, USING THE FOLLOWING SEEDING SCHEDULE, OR EQUIVALENT:

	1 LB. PER ACRE	1 LB. PER 1,000 SF
KENTUCKY BLUE GRASS -	20	0.45
CREeping RED FESCUE	20	0.45
PERENNIAL RYE GRASS -	5	0.10

14. ALL SEEDED AREAS TO HAVE AN APPLICATION OF THE FOLLOWING:
LIME - AMOUNT NEEDED TO OBTAIN A pH OF 5.5
FERTILIZER - 15 LBS PER 1,000 SF OF 10-20-10 FERTILIZER OR APPROVED EQUIVALENT.
IF NOT LANDSCAPED OTHERWISE, ALL NEW CONSTRUCTED STEEP PERMANENT SLOPED LESS THAN 1 (VERTICAL) : 2.5 (HORIZONTAL) TO BE SEEDDED WITH THE FOLLOWING:

	1 LB. PER ACRE	1 LB. PER 1,000 SF
CREeping RED FESCUE -	10	0.45
TALL FESCUE OR SMOOTH BROMEGRASS -	15	0.35
W/ PERENNIAL RYE GRASS	5	0.10

15. ALL SLOPES 1 (VERTICAL); 2.5 (HORIZONTAL) TO BE MULCHED AND STABILIZED WITH CLOTH FABRIC AND PINNED TO THE GROUND.
16. SOD CAN BE USED INSTEAD OF SEED CONSTRUCTION SEQUENCE

- a. CONSTRUCTION STABILIZING CONSTRUCTION ENTRANCE.
 - b. INSTALL SEDIMENT BARRIERS AS PER NOTE 1 ABOVE.
 - c. CONSTRUCT DIVERSION SWALES AND DRAINAGE SYSTEMS WITH MINIMUM NECESSARY CLEARING.
 - d. CLEAR EXISTING TREES AND VEGETATION FROM AREAS TO BE EXCAVATED OR FILLED, STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED.
 - e. PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SLOPE. INSTALL STORM DRAINAGE SYSTEM.
 - f. INSTALL SEDIMENT CONTROL BARRIERS AROUND ALL STORM DRAIN INLETS.
 - g. SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OR 30 DAYS AS PER NOTE 2 ABOVE.
 - h. AFTER COMPLETION OF SITE CONSTRUCTION FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED AS PER NOTES 13 AND 14 ABOVE.
 - i. REMOVE SEDIMENT BARRIERS AS PER NOTE 12 ABOVE.
 - j. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE SPECS.
17. ALL CONSTRUCTION TO MEET CURRENT TOWN SPECS.
 18. 4" OF TOP SOIL TO BE SPREAD PRIOR TO SEEDING IN ALL DISTURBED AREAS.

SEEDING HIERARCHY

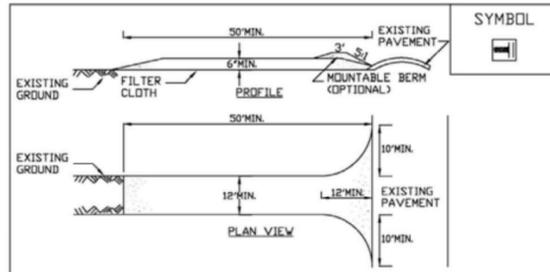
1. REFER TO PLANTING PLAN FOR AREAS TO RECEIVE "ROADSIDE MIX".
2. REFER TO BASIN PLANTING NOTES FOR BASIN ONLY.
3. REFER TO NOTES 13-15 ABOVE FOR ALL OTHER DISTURBANCE AREAS.

DETENTION BASIN MAINTENANCE NOTES:

1. THE LONG TERM MAINTENANCE OF THE ON-SITE DETENTION BASIN SHALL BE THE RESPONSIBILITY OF THE OWNER.
2. THE DETENTION BASIN HAS BEEN DESIGNED WITH A POND DRAIN TO ALLOW DEWATERING OF THE BASIN.
3. THE DETENTION BASIN SHOULD BE MAINTAINED IN ACCORDANCE WITH THE PROCEDURES AND GUIDELINES CONTAINED IN THE LATEST EDITION OF THE NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL.
4. THE DETENTION BASIN SHOULD BE INSPECTED ON A MONTHLY BASIS AND IMMEDIATELY AFTER MAJOR STORMS. MAINTENANCE MEASURES SHALL INCLUDE THE FOLLOWING:
 - 4.1. THE POND SHALL BE TREATED FOR MOSQUITO CONTROL PURPOSES IN ACCORDANCE WITH ROCKLAND COUNTY DEPARTMENT OF HEALTH GUIDELINES FOR MOSQUITO SUPPRESSION.
 - 4.2. REMOVE ACCUMULATED TRASH AND DEBRIS FROM INSIDE THE DETENTION BASIN.
 - 4.3. KEEP OUTLET STRUCTURE AND EMERGENCY OVERFLOW CLEAR OF OBSTRUCTIONS AND DEBRIS.
 - 4.4. MAINTAIN ADEQUATE VEGETATION AND GROUND COVER ON THE EMBANKMENTS. SEEDING AND VEGETATION SHALL BE PROVIDED AS NEEDED TO ASSURE 100% COVERAGE
 - 4.5. REMOVE UNDESIRABLE WEEDS AND WOODED VEGETATION GROWTH.
 - 4.6. REPAIR AND STABILIZE EMBANKMENT EROSION.
 - 4.7. MAINTAIN AND REPAIR CONCRETE OUTLET STRUCTURE AND PVC UNDERDRAINS.
 - 4.8. REMOVE ACCUMULATED SEDIMENT FROM BASIN INTERIOR.

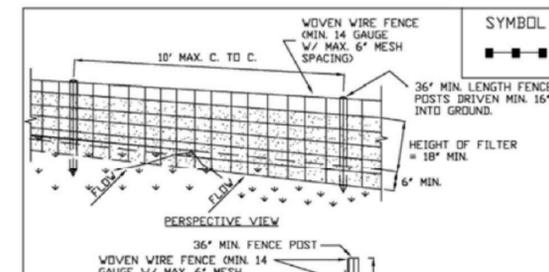
MOSQUITO CONTROL NOTES

1. ALL STORMWATER FACILITIES ON THIS SITE HAVE BEEN DESIGNED TO REMOVE ALL STANDING WATER WITHIN FIVE DAYS OF A RAIN EVENT.
2. ALL STORMWATER FACILITIES SHALL BE INSPECTED AFTER SIGNIFICANT RAINFALLS AND AT LEAST ONCE PER MONTH.
3. IF, UPON INSPECTION, WATER REMAINS IN THE STORMWATER FACILITIES LONGER THAN FIVE DAYS AFTER A RAIN EVENT, ONE OF THE FOLLOWING MEASURES WILL BE TAKEN:
 - A) THE WATER WILL BE MECHANICALLY REMOVED (I.E. BY VACUUM); OR
 - B) THE WATER WILL BE MECHANICALLY AGITATED TO PREVENT MOSQUITO BREEDING; OR
 - C) THE WATER WILL BE TREATED WITH MOSQUITO LARVICIDE IN ACCORDANCE WITH NYSDEC AND ROCKLAND COUNTY HEALTH DEPARTMENT GUIDELINES, REGULATIONS AND PROCEDURES.
4. MOSQUITO BREEDING SUPPRESSION MEASURES MUST BE IMPLEMENTED BETWEEN APRIL 1 AND OCTOBER 31.
5. LARVICIDE TO BE APPLIED SHALL BE "MOSQUITO DUNKS" AS MANUFACTURED BY SUMMIT CHEMICAL CO., BALTIMORE, MD. OR MANUFACTURER'S SPECIFICATIONS.
6. THE LONG TERM MAINTENANCE OF THE ON-SITE STORMWATER SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.



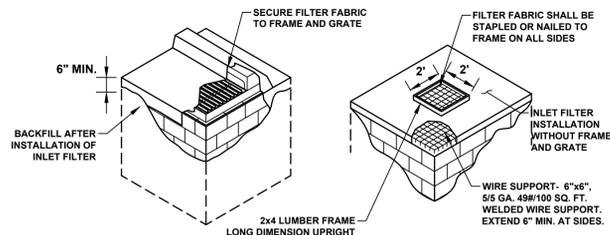
ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE.

STABILIZED CONSTRUCTION ACCESS

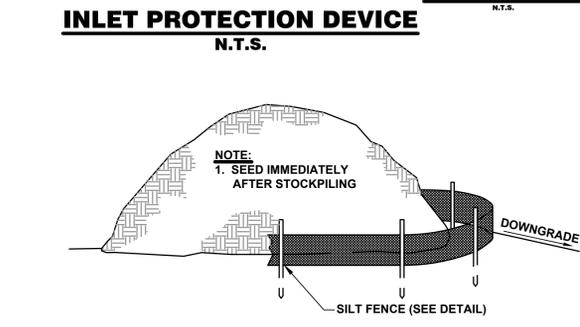
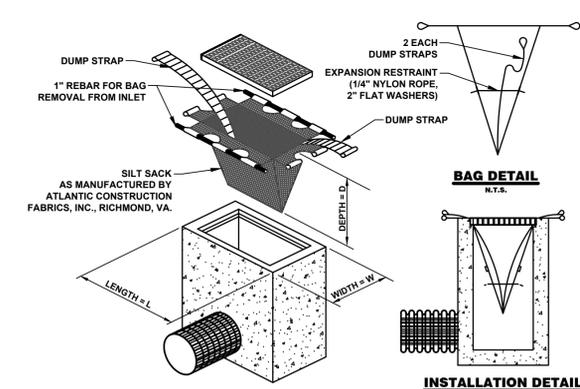
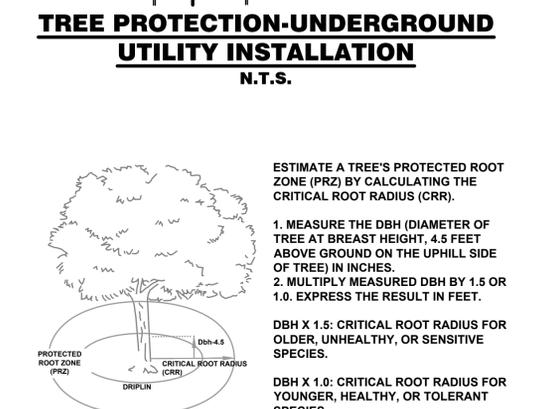
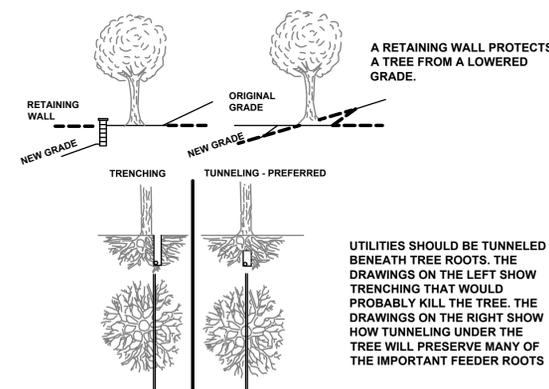
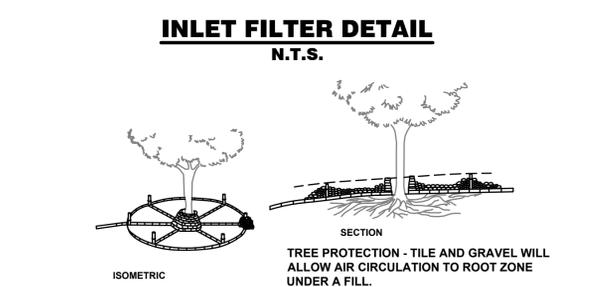


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REINFORCED SILT FENCE



3. INSPECTION SHALL BE MADE FREQUENT. MAINTENANCE, REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.



CONSULTANT: ANDREW S. HOLT, P.E. NY PROFESSIONAL ENGINEER 60% DESIGN	NOTICE THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED, OR REPRODUCED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SUBURBAN ENGINEERING ELECTRONIC SUBMISSIONS NOT CONTAINING A VALID DIGITAL SEAL OR PAPER COPIES NOT CONTAINING A BARRED SEAL ARE NOT ORIGINALS AND MAY HAVE BEEN ALTERED. © COPYRIGHT 2021 SUBURBAN ENGINEERING ALL RIGHTS RESERVED	DRAWN BY: JAW	SUBURBAN ENGINEERING - Civil Engineers - - Landscape Architects - - Land Surveyors - 7 Cokesbury Calton Road, Lebanon, N.J. 08833 - 973.398.1776 EXCELLENCE ♦ ECONOMY ♦ ENVIRONMENT	PROJECT NUMBER: SCE-12162.002
		CHECKED BY: SAM		PRELIMINARY SITE PLAN FOR SUEZ WATER NY PFAS COMPLIANCE POMONA WELL NO. 38 VILLAGE OF POMONA, TOWN OF RAMAPO, COUNTY OF ROCKLAND, STATE OF NEW YORK FOR CLIENT: SUEZ WATER NEW YORK INC.
DATE: XX/XX/2021	DESCRIPTION NO. DATE: BY: CHK:	CHECKED BY: WAS	SOIL EROSION & SEDIMENT CONTROL PLAN	SHEET 13 OF 15 REVISION -

E:\SCE\Ramapo\12162.002\Sheets\12162.002 14 Soil Erosion & Sediment Control Plans.dwg Mon, Jun 21, 2021 - 9:09pm wschurmann SUBURBAN CONSULTING ENGINEERS, INC.