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ADDENDUM NUMBER TWO TO BIDDING DOCUMENTS

Village of Mount Kisco, Additions/Alterations to Mutual Fire Station and Independent Fire Co. Fire Station

Date: February 2, 2022

- Site Address: Mutual: 99 Main Street, Mount Kisco, NY 10549 Independent: 322 Lexington Ave, Mount Kisco, NY 10549
- Owner: Village of Mount Kisco Village Hall 104 Main Street Mount Kisco, NY 10549
- Architect: H2M architects + engineers 3 Lear Jet Lane, Suite 205 Latham, NY 12110 Phone: 518-765-5105 Fax: 518-765-5107

TOTAL PAGES (Including Cover Page and attachments): 21 pages (18 - 11" x 8.5" pages and 3 – 24" x 36" Drawings)

NOTE: ALL BIDDERS MUST EMAIL TO <u>albanyoffice@h2m.com</u> A CONFIRMATION OF RECEIPT OF THIS ADDENDUM. PLEASE PRINT COMPANY NAME, SIGN AND DATE THIS COVER PAGE AND EMAIL TO H2M architects + engineers.

Company Name _

(Please Print)

Sign and Date____

The information described herein as Addendum Number Two, is hereby made addenda to all previously issued construction documents related to the Project and shall be incorporated into the Scope of the Base Bid. These pages shall be attached to the Project Manual.

This Addendum does change the Bid Date, refer to "Front End Divisions 00 and 01 Specifications for both MUTUAL and INDEPENDENT Fire Stations, Item #S1 – MUTUAL & INDEPENDENT" for new date.



QUESTIONS FOR BOTH MUTUAL AND INDEPENDENT FIRE STATIONS

Item #Q1 – MUTUAL & INDEPENDENT

- Q. Pages A3.1 building sections on both Independent and Mutual drawings show an insulation table indicating spray foam in cavity wall to 24" below top of unheated slab edge. However, detail 5 for Independent, and detail 4 for Mutual, in the same page, show rigid insulation instead of spray foam. Which one is required?
- *A.* See revision to Insulation Table later in this Addendum.

Item #Q2 – MUTUAL & INDEPENDENT

- Q. Please confirm that the project has a PLA and union labor is required.
- *A.* See Section 007343 Prevailing Wage Information and Project Labor Agreement (PLA). The full text of the PLA is included in the Front End, Volume I of the Project Manual.

Item #Q3 – MUTUAL & INDEPENDENT

- Q. Is it the intent that the combined number on the bid form be a "discounted" number for being awarded both stations?
- A. The combined number may be a discounted number if the Contractor so wishes. It is the intent of the Owner to proceed with both projects. The Award will be to only one (1) General Contractor.

Item #Q4 – MUTUAL & INDEPENDENT

- Q. Do the fire stations have any house or preferred subcontractors?
- A. No.

Item #Q5 – MUTUAL & INDEPENDENT

- Q. Is there a bill of material for the generators that are being provided to assist in qualifying scope?
- *A.* No.

Item #Q6 – MUTUAL & INDEPENDENT

- Q. Please confirm that for the abatement scope we are to price only the ACM to be disturbed (19sf at door 202 vestibule at interior 2nd floor meeting room Independent FS) and not the full quantity shown?
- A. The Abatement scope should be based on the modified (disturbed areas) as modified in the Reports for both the Mutual Fire Station and Independent Fire Co. Station. Area indicated "Not affected by our Work" does not get abated.

Item #Q7 – MUTUAL & INDEPENDENT

- Q. Ceiling tile Type #22A in a Dune Angled tegular has a light reflectance of 0.81, please confirm this is ok - the specifications call for a 0.83.
- Q. Ceiling tile Type #24A in a Ceramaguard Fine Fissured has a light reflectance of 0.79 please confirm this is ok specifications call for 0.82.



A. See corrections to Specification Section 095100 in both Projects later in this Addenda.

Item #Q8 – MUTUAL & INDEPENDENT

- Q. Per Alternate #3 for both the Mutual Station and Independent Fire Co., the cameras will be provided and installed by the Owner. Who is responsible for the furnish and install of the patch panels, racks, punch down, etc.? Please confirm the GC is only responsible for the conduit, CAT 6 cabling and labeling and all remaining work will be by others.
- A. The GC scope listed is correct.

Item #Q9 – MUTUAL & INDEPENDENT

- Q. Please confirm we are not responsible for the furnish and install of the card readers required for Alternate #2 for both the Mutual Station and Independent Fire Co., as per note #2 on 1/E-500 "All door access control equipment to be installed by others at future date".
- *A.* All door access control equipment is the responsibility of the Owner.

Item #Q10 – MUTUAL & INDEPENDENT

- Q. Please advise if the Kitchen Equipment contractor hired by the Owner will also be furnishing and installing the stainless steel wall paneling at both locations as this work is usually done by them. If we are responsible for this work, please provide us with the specifications and installation details.
- A. No, stainless steel wall paneling is to be provided by the GC. Stainless steel wall paneling is specified in Section 097813 – "Metal Interior Wall Paneling". See Contract Drawings for extent of stainless-steel wall paneling.

Item #Q11 – MUTUAL & INDEPENDENT

- Q. Please confirm we are to include the Allowances as outlined in Section 012100 in our pricing for each location, meaning, we will have a total of 100 CY for the removal of existing uncontrolled fill and 100 CY for the placement of controlled fill in our pricing, 50 CY of each at each location.
- A. Correct.

Item #Q12 – MUTUAL & INDEPENDENT

- Q. Please confirm there is no required sprinkler work for either location as no sprinkler drawings have been issued. If there is required sprinkler work, please provide the name and contact info if there is a required sprinkler contractor for either location?
- A. No sprinkler work in either project.

Item #Q13 – MUTUAL & INDEPENDENT

- Q. Please advise if there are any required vendors/contractors for the following items for either location:
 - Fire alarm vendor
 - Roofer
 - BMS Vendor
- A. None Required.



Item #Q14 – MUTUAL & INDEPENDENT

- Q. We cannot locate the wood species for the windows in the issued specifications for Mutual Station & Independent Fire Co., please confirm pine is acceptable.
- *A.* Specification Section 085213 Aluminum Clad Wood Windows, Paragraph 2.02 in each project indicates "The pine wood frame member".

Item #Q15 – MUTUAL & INDEPENDENT

- Q. Marvin double hung windows offer a bottom rail lift lock system in lieu of check rail sash locks and separate lifts. Would this be an acceptable option?
- A. Yes.

Item #Q16 – MUTUAL & INDEPENDENT

- Q. Per the Project Manual Preface Section 001000 #20. states we are responsible for the use charges for all temporary water & electric. Please advise the amount of the use charges so this can be accounted for in our pricing.
- A. The Owner and Fire Companies will make existing electric, water, and gas utilities available to the General Contractor (GC) with no usage charges. GC must be responsible for the wise use of all utilities. Abuse of any utility usage will result, as determined by the Village of Mount Kisco, in all usage costs to be charged to the GC.

The GC is responsible for providing their own temporary utilities when and if existing utilities are disrupted or out of service for contract required changes, relocations, etc.

The GC shall provide temporary lighting and heat as required in new construction until permanent lighting and heating is operational.

The GC is responsible for providing temporary exterior lighting when existing is removed until new exterior lighting is functioning.

Item #Q17 – MUTUAL & INDEPENDENT

- Q. Please advise if the existing roof at both locations has a sloped structure or sloped insulation as we cannot locate the information anywhere in the Project Documents.
- A. At the Independent Fire Company Station, the structure is sloped. At the Mutual Fire Station for bidding purposes, assume tapered insulation will be required. Prior to ordering, field verify actual existing deck elevations.

Item #Q18 – MUTUAL & INDEPENDENT

- Q. Please Confirm that the intent is to leave the existing roof insulation in place.
- *A.* Roofing removal includes insulation. All existing roofing is to be removed down to decking. It does not include removing any concrete topping that may or may not be present.

Item #Q19 – MUTUAL & INDEPENDENT

Q. Please provide details on the assembly/installation of the Gear Lockers provided by Owner. Are bases required?



A. Bases are not required. Lockers will either be mobile (on locking casters) or wall mounted. The lockers are Firematic Gear Lockers. The GC will be responsible for unloading, storage, if necessary, set-up and installation of lockers purchased by the Owner or Fire Company.

QUESTIONS FOR MUTUAL FIRE STATION

Item #Q1 – Mutual

- *Q:* With regard to Independent-Mutual Station Roof Plan (A1.3)
 - 1. Please provide a section thru the concrete pavers on Roof B.
 - 2. Please provide a section showing how the new roof A & C tie into existing parapet on Main roof.
 - 3. Please provide section/elevation of existing chimney to be removed, showing height.
- A. 1. Mutual Roof B does not have concrete pavers. Roof B along with the inside face of the parapet (See Detail 7/A3.1) at Roof B only are covered with EPDM walkway pads as noted in the Note above the Column Line 3 and 4 bubbles in Detail 1/A1.3. Pitch on Roof B should be ¼"/12" created with tapered insulation.
 - 2. See Detail 14/A1.3.
 - 3. Exact dimensions of the existing Mutual chimney above the roof do not exist. Contractors can make their own assessment of the chimney size, construction, condition, etc. during available walk-throughs.

Item #Q2 - MUTUAL

- Q: Sheet A01.1, partition type #17 calls for "vapor retarder" on the studs before the sheetrock goes up, is this a 6 mil poly? Does it have to be taped?
- *A.* Wall Type 17 the vapor retarder shown is six (6) mil polyethylene as specified in Section 072713. See Paragraph 3.01 B. for Treatment of Vapor Barrier Joints.

Item #Q3 - MUTUAL

- Q. Sheet A01.1, partition type #17 calls for 4" SAFB insulation in a 6" wall, however in the specifications it calls for 6" minimum insulation in a 6" or thicker wall framing see 072116-2.02-C. Please confirm if it is 4" or 6".
- *A.* Wall Type 17 Being an exterior wall the 4" SAFB Mineral Wool is acceptable. 6" SAFB insulation shall be used in any 6" or larger interior stud cavities requiring sound attenuation insulation.

Item #Q4 – MUTUAL

- Q. Window elevations on A8.1 and building elevations on A2.1 show type W3 and W4 with different lite cuts in the windows and transoms on the Mutual Station. Which drawing should we use?
- *A.* Provide window muntins in the configuration as shown on Drawing A2.1

Item #Q5 - MUTUAL

- Q. Confirm whether the existing membrane on Mutual Station is adhered or mechanically attached.
- *A.* Unknown, investigation during available walk through may offer some clues.



QUESTIONS FOR INDPENDENT FIRE STATION

Item #Q1 – INDEPENDENT

- Q. Clarify roof demolition on Independent Station. Demolition Keynote D44 on D1.1 indicated the removal of roof membrane and roof flashing and the installation of new roof vapor barrier, insulation and membrane. Will the existing roof system be removed down to existing deck or will existing insulation remain?
- A. Remove existing roofing including insulation down to deck.

Item #Q2 – INDEPENDENT

- Q. Roof B calls for the install of new roof membrane and insulation. This will require the removal of existing edge metal. Will existing edge metal be salvaged or will new edge metal be installed?
- A. Existing roof edge metal and/or cap shall be removed, and new metal installed in all locations receiving new roofing.

Item #Q3 – INDEPENDENT

- Q. Drawing PS100.00 shows a new meter pit. Can you please provide details showing the required specifications of this meter pit?
- *A.* The exterior water meter pit at Independent Fire Company should be deleted. Assume Owner provided meter will be required within the Interior Domestic Service BFP Device Detail 2/PS100.

Item #Q4 – INDEPENDENT

- Q. The Site Dimensional Plan (CS 100.00) for the Independent Fire Co., doesn't have the landscape notes (permanent seeding, soil restoration, temp seeding, etc.) as shown on the Site Dimensional Plan for the Mutual Station. Please confirm that we will not be responsible for these items at the Independent Fire Co. location.
- A. See revised Civil Drawings issued at the end of this Addenda.

FRONT END DIVISIONS 00 AND 01 SPECIFICATIONS FOR BOTH MUTUAL AND INDEPENDENT FIRE STATION

Item #S1 – MUTUAL & INDPENDENT

Section 001116 – Invitation to Bid

Change to Paragraph 2 to read: "Sealed bids will be received until 11:00 A.M. local time on **Tuesday**, **February 15, 2022**, at the office of the Village Manager, Village Hall, 104 Main Street, Mount Kisco, NY 10549."

All other information related to the Bid Opening as detailed in the Invitation to Bid remain the same.

Item #S2 – MUTUAL & INDEPENDENT

Section 004100 – Bid Form for both Mutual and Independent Stations

Replace the Bid Form issued in Addenda #1 with the new Bid Form located at the end of this Addenda.

Item #S3 – MUTUAL & INDEPENDENT

- Section 012300 Alternates
 - 1. ADD the following to Paragraph 3.01:



- "G. Alternate #7 MUTUAL ADD: Replace existing two (2) front overhead doors.
 - 1. Remove and dispose of existing front apparatus bay doors.
 - Replace with two (2) new overhead doors as specified in Mutual Section 083613 – Sectional Overhead Doors. As stated elsewhere in this Addenda, remote door operators are not required in the Radio Room. Overhead doors provided, if this Alternate is accepted, shall match new overhead door on the new Apparatus Bay being provided in the Base Bid."
- 2. "H. Alternate #8 MUTUAL ADD/DELETE West elevation First Floor Addition EIFS Finish.
 - Drawing A2.1 West Elevation, in lieu of brick on the First Floor of the new addition provide 4" grey CMU veneer (flush mortar joints) up to the top of the lower brick veneer color 2 band. Soldier coursing above overhead door will not be required. Provide exterior insulating finish system (no insulation) in accordance with section 072400. All grey CMU to be covered with ultra-high impact mesh. Finish coat shall match texture and color of existing station stucco/EIFS."
 - "I. Alternate #9 MUTUAL ADD Fire Company use of Existing Apparatus Bay.
 - 1. The General Contractor (GC) shall allow the Fire Company use of the existing Apparatus Bay, existing Radio Room, existing Front Lobby (for response access) and existing Bathroom (R105) for Apparatus storage (two response vehicles) and response for a period of six (6) months from start of actual Construction/Demolition. During this period, the GC will have limited access to these areas and will need to coordinate with the Fire Company in advance for any disruptions that would impact response. At the conclusion of six months, the GC shall have complete access to these areas.
 - 2. Fire Company members responding shall utilize on street parking. The GC shall have complete access and control of the Macadam parking lot located on the North side of the existing station.
 - 3. If this Alternate is not accepted, the fire station will be vacated in accordance with Section 001000 Project Manual Preface, Note #11."

SPECIFICATIONS FOR MUTUAL FIRE STATION

Item #S1 – MUTUAL

3.

Section 083613 – Sectional Overhead Doors

- 1. Paragraph 1.02 B.: Delete in its entirety.
- 2. Paragraph 2.01 N. 3.: Delete. Remote overhead door operators are not required in the Radio Room.

Item #S2 – MUTUAL

Section 095100 – Acoustical Lay-in Ceilings

1. Paragraph 2.01 B. 1. c.: Change Light Reflectance from "0.83" to "0.81".

SPECIFICATIONS FOR INDEPENDENT FIRE STATION

Item #S3 - INDEPENDENT

Section 095100 – Acoustical Lay-in Ceilings

- 1. Paragraph 2.01 B. 1. c.: Change Light Reflectance from "0.83" to "0.81".
- 2. Paragraph 2.01 C. 1. c.: Change Light Reflectance from "0.82" to "0.79".



DRAWINGS FOR MUTUAL FIRE STATION

Item #D1 – MUTUAL

Drawing D1.1 – First and Second Floor Demolition Plans

Demolition Keynotes:

- 1. Keynote D24:
 - a) Change "Prepare existing opening to receive new overhead door" to "Prepare existing opening to become new opening to Apparatus Bay 118".
- 2. Details 1 and 2/D1.1:
 - a) Remove existing stair A rubber treads, risers and landing tile near end of construction activity. Replace with NEW see Room Finish Schedule Drawing A9.1.
- 3. Detail 2/D1.1 Existing Second Floor Plan
 - a) On the North wall of Room R205 Existing Members Room, the window indicated D34 should be "Contractor to remove existing window system and all associated construction complete, including shades or curtains. Opening to be in-filled with a Type 63 in-fill, see Drawing A1.1.
 - b) Change note "Existing range to be salvaged and relocated" to "Existing range and all components to be removed".
 - c) ADD Note: Any second-floor wood paneling removed and not re-used shall be turned over to the Fire Company. Any wood paneling required to be removed should be removed in a manner that protects its integrity for later re-use by either the Contractor or the Owner.

Item #D2 – MUTUAL

1.

Drawing A1.1 – First and Second Floor Plans

- Detail 1 First Floor Plan:
- a) Delete Door R102.
- b) In Room 118, change swing of door from RHR to LHR
- c) In Room 118, Keynote 30, change location to "Coordinate with Fire Company for mounting location".
- d) In room 118, extend the limits of the sloped floor from 25' back from the overhead door to 45' back from the overhead door. Center the E16 catch basin in the new area of sloped flooring.
- e) In Room 108, relocate Keynote E6 to above Door R108.

Item #D3 – MUTUAL

Drawing A1.3 – Roof Plan and Details

Detail 8/A1.3 EIFS Parapet

1. All plywood and blocking in this Detail shall be pressure Treated (P.T.).

<u>Item #D4 – Mutual</u>

Drawing A3.1 – Building Sections

- Insulation Table
- 1. Unheated slab edge change method to read "2" Rigid Insulation to 36" below top of slab".

Item #D5 – MUTUAL

Drawing A9.1 – Finish Schedule, Plans & Details

- 1. Finish Room Schedule
 - a) Existing Stair A, change floor material from "CPT." To "Rubber on treads, risers and landings. Rubber tiles on intermediate and second floor landings.".



Item #D6 – MUTUAL

Drawing PD110 – Plumbing Demolition First Floor Plan

1. At the existing four (4) floor drains in the Apparatus Bay, replace existing floor drain grates with new grates of same size and style. Comply with Keyed Plumbing Demolition Notes 1.4 for all floor drains.

Item #D7 - MUTUAL

Drawing E101.01 – Electrical Power Plan First Floor

- 1. Room R104 Existing Radio Room, Delete "New Door Control Buttons (four in total for each door motor) (Note 10)".
 - 2. Electrical Keynotes:
 - a) Delete Note 10.
 - 3. Detail 1 Electrical Power Plan First Floor
 - a) Move TV box and duplex receptacle (GP2-2) from just East of Door R108 to above Door R108, boxes to be mounted at 9' 6" AFF.

DRAWINGS FOR INDEPENDENT FIRE STATION

Item #D1 – INDEPENDENT

Delete the following Civil Drawings and replace with the revised Civil Drawings dated 2/2/2022, located at the end of this Addendum:

Original Drawing No.	Title	Revised Drawing No.
CD 100	Demolition and Erosion & Sediment Control Plan	CD 100.02
C500	Site Details	C500.02
C501	Site Details	C501.02

Item #D2 – INDPENDENT

Drawing S121 – Second Floor Framing & Roof Framing Plan

- 1. Eliminate shadow line of roof drain in upper left corner on Detail 3/S121 Alternate Second Floor Plan Addition.
- 2. Eliminate shadow line of roof drain in upper left corner on Detail 4/S121 Alternate Roof Framing Plan Addition.
- 3. Detail 1/S121 Second Floor Framing Plan
 - a) Add Roof Framing Note 7 to the West side of Room 111 to support the roof deck along the West wall of this room.
 - b) Roof decking over Room 111 is SR running East/West.
 - c) Add a Type LL-2 Lintel over Door 120A.

Item #D3 – INDEPENDENT

Drawing S500 – Details

- 1. Detail 2/S500 Exterior Foundation Wall with Brick Shelf
 - a) Drop W/brick shelf from detail title.
 - b) Change brick veneer to ACMU veneer.

Item #D4 – INDEPENDENT

Drawing S501 – Details

- 1. Detail 3/S501 Typical Framed Roof Opening
 - a) Add note: "Provide Framing at all Roof Drain Penetrations".
- 2. Detail 7/S501 New CMU Parapet to Existing Masonry Wall



- a) The angle 6x4x5/16 (Roof Framing Note 7) should show supporting the end of the new high roof deck.
- b) The 12" CMU in this Detail is 12" ACMU with Korfil Inserts.
- c) Precast coping is not required at this location. Provide fascia/drip edge similar to Detail 7/A1.3.

Item #D5 – INDEPENDENT

Drawing A1.2 – Reflected Ceiling Plans

- 1. Detail 2/A1.2 Second Floor Reflected Ceiling Plan
 - a) Room R204: ADD a 15" wide x 12" high (r" exposed below finish ceiling) soffit along the West wall of the room up to 12" from DSEU-5 to conceal the 10" x 6" duct running along this wall as shown on Drawing M132.

Item #D6 – INDEPENDENT

Drawing A1.3 – Roof Plan and Details

Detail 1/A1.3 New Roof Plan

1. "Roof D Low" the 1/4"/ 1'-0" pitch on the roof is to be created by the use of tapered roof insulation on top of the 7" of roof insulation.

Item #D7 – INDEPENDENT

Drawing A3.1 – Building Sections

- Insulation Table
 - 1. Unheated slab edge change method to read "2: Rigid Insulation to 36" below top of slab".

Drawing #D8 - INDEPENDENT

Drawing A9.1 – Finish Schedule and Details

- 1. Add the following note in the Comment Section of the Finish Room Schedule, for Rooms 111, 114 and 118:
 - a) "At exterior wall/concrete floor intersection, provide EMSEAL DSM preformed and pre compressed expansion joint system if joint exceeds 1" in width.

End of Addendum #2

See following attachments:

- 1. Section 004100 Bid Form for both Mutual and Independent Stations
- 2. Drawing CD 100.02 Demolition and Erosion & Sediment Control Plan-INDEPENDENT
- 3. Drawing C 500.02 Site Details INDEPENDENT
- 4. Drawing C 501.02 Site Details INDEPENDENT

PROJECT:	Village of Mount Kisco - Additions/Alterations – Mutual & Independent Fire Stations
BID MADE TO:	Village of Mount Kisco Village Hall 104 Main Street Mount Kisco, NY 10549
ARCHITECT:	H2M architects + engineers
BIDDER:	
Phone (

The undersigned Bidder, having familiarized (himself, themselves, itself) with the existing conditions at both project areas affecting the cost of the work, and the Contract Documents as prepared by H2M architects + engineers and Form of Surety Bonds, hereby propose to perform the work of the Village of Mount Kisco - Additions/Alterations – Mutual & Independent Fire Stations. all in accordance with the Contract Documents, within the Contract Time, for the following lump sum bid:

Mutual Fire Station: TOTAL BID (Written Words)



Village of Mount Kisco-Additions/Alterations at Mutual & Independent Fire Stations

004100-1

The undersigned bidder acknowledges the project schedule as detailed in Attachment "D" to AIA 101.

CONTRACTOR TAKE NOTE

ALL DOLLAR AMOUNTS FOR ALTERNATES AND UNIT PRICES MUST BE FILLED IN TO CONSTITUTE A VALID BID.

ALTERNATES AND UNIT PRICES

Refer to Specification Section 012300 – Alternates and Section 012200 – Unit Pricing, for a detailed description of the work involved in each Alternate and Unit Pricing.

Please note: Alternates are project specific, and the Unit Prices listed shall apply to both projects.

Mutual Fire Station Alternate #1: (ADD) Substitute Glazed Concrete Block for Painted Gray Block in New Apparatus Bay

	Lump Sum Cost for Mutual Alternate #1		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS
Mutual	Fire Station Alternate #2: (ADD) Door Ac	cess Control Infrastructure	
	Lump Sum Cost for Mutual Alternate #2	2	
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS
Mutual	Fire Station Alternate #3: (ADD) WIFI and	d Technology Upgrades	
	Lump Sum Cost for Mutual Alternate #3		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS

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Mutual	Fire Station Alternate #4: (ADD) Engraved Precast Meda	llion	
	Lump Sum Cost for Mutual Alternate #4		
	Numerals: \$	_	
	Written Words:		
		DOLLARS	_CENTS
Mutual	Fire Station Alternate #5: (ADD) Maintenance Bond		
	Lump Sum Cost for Mutual Alternate #5		
	Numerals: \$	_	
	Written Words:		
		DOLLARS	CENTS
Mutual Work	Fire Station Alternate #6: (DELETE) New Retaining Wall	, Two Parking Spaces, and	Associated
	Lump Sum Cost for Mutual Alternate #6		
	Numerals: \$	_	
	Written Words:		
		DOLLARS	CENTS
Mutual	Fire Station Alternate #7: (ADD) Replace existing two (2)	front overhead doors.	
	Lump Sum Cost for Mutual Alternate #7		
	Numerals: \$	_	
	Written Words:		
		DOLLARS	_CENTS
Mutual	Fire Station Alternate #8: (ADD/DELETE) West elevation	First Floor Addition EIFS F	inish.
	Lump Sum Cost for Mutual Alternate #8 Indicate Add o	r Delete by circling.	
	Numerals: \$	_	
	Written Words:		
		DOLLARS	CENTS
Village	rchitects + engineers of Mount Kisco-Additions/Alterations at & Independent Fire Stations		BID FORM 004100-3

Mutual Fire Station Alternate #9: (ADD) Fire Company use of existing Apparatus Bay.

Lump Sum Cost for Mutual Alternate #9		
Numerals: \$		
Written Words:		
	DOLLARS	CENTS
*****	*****	*******
Independent Fire Station Alternate #1: (ADD) Additiona	I Second Floor Addition	
Lump Sum Cost for Independent Alternate #1		
Numerals: \$		
Written Words:		
	DOLLARS	CENTS
Independent Fire Station Alternate #2: (ADD) Door Acco	ess Control Infrastructure	
Lump Sum Cost for Independent Alternate #2		
Numerals: \$		
Written Words:		
	DOLLARS	CENTS
Independent Fire Station Alternate #3: (ADD) WIFI and	Technology Upgrades	
Lump Sum Cost for Independent Alternate #3		
Numerals: \$		
Written Words:		
	DOLLARS	CENTS
Independent Fire Station Alternate #4: (ADD) Replace A	Aluminum Front Entrance and	Door
Lump Sum Cost for Independent Alternate #4		
Numerals: \$		
Written Words:		
	DOLLARS	CENTS
H2M architects + engineers Village of Mount Kisco-Additions/Alterations at Mutual & Independent Fire Stations		BID FORM 004100-4

SEC	TION 004100 – BID FORM		H2M
Inde	pendent Fire Station Alternate #5: (ADD) Maintenanc	e Bond	
	Lump Sum Cost for Mutual Alternate #5		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS
Inde	pendent Fire Station Alternate #6: (ADD) Replace Ex	isting Front Overhead Door	
	Lump Sum Cost for Mutual Alternate #6		
	Numerals: \$		
	Written Words:		
		DOLLARS	CENTS
Supp	ply unit prices for the following (prices are applicab	le to either project):	
1.	Removal of Existing Uncontrolled Fill Material. Unit Price #1		
	Numerals: \$	/cy	
	Written Words:		
		DOLLARS	CENTS/cy
2.	Placement of Controlled Fill. Unit Price # 2		
	Numerals: \$	/cy	

_DOLLARS _____CENTS/cy

ALLOWANCES

Refer to Specification Section 012100 - Allowances, for quantities and/or dollar amounts that are included within the Base Bid for each project.

Written Words:

<u>NOTES</u>

- 1. If written Notice of Award is mailed, telegraphed or faxed delivered to the undersigned Bidder after the bid opening but before his bid is forty-five (45) days old, the undersigned agrees to execute and deliver an Agreement in the prescribed form and furnish the required bonds within fourteen (14) days after such Notice of Award.
- 2. Security in the sum of ______DOLLARS (\$_____) in the form of ______is submitted herewith in accordance with the Instructions to Bidders.
- The Bidder has received: Addenda numbers _____ to ____, inclusive, and has included the effect thereof in his bid. No addendum _____(check, if appropriate).
- 4. Alternates, Allowances and Unit Prices For work to be added to or deleted from the Contract. The summary shall be filled in by the Bidder, with the price written in words and numerals, in blue or black ink or by typewriter. Should a discrepancy in prices appear between the written words and numeric figures, the written words shall take precedence. State the amounts to be added to or deleted from the Base Bid per the indicated units for each listed item.
 - A. Allowances shall be incorporated into the Bidder's base bid for each project.
 - B. Alternates shall either be adds or deducts to the Bidder's base bid and shall be clearly shown in the bid form.
 - C. Unit prices shall be shown in the bid form. Unit prices are only for additional work due to field conditions and are not part of the base bid. Stated unit prices apply to both projects.
- 5. The Bidder accepts the provisions of the Draft Contract, General Conditions, Specifications and Contract Documents concerning delay damages in the event of failure to complete the work on time.
- 6. Bidders represent that their bid is in compliance with laws of New York State.
- 7. Bidders are aware and have bid accordingly: The Village of Mount Kisco is a tax-exempt entity. The Village of Mount Kisco has waived all fees and cost of permits for this project. (State and county fees, if any, are in effect.).
- 8. It is the intent the Village of Mount Kisco will award and proceed with both fire station projects. If project costs exceed the Village of Mount Kisco's project budget., the Village reserves the right to proceed with only one of the projects.
- Due to the ongoing COVID-19 pandemic and the resulting uncertainty with regard to (a) what 9. restrictions, if any, will be applicable to construction activities in the Owner's facilities due to State. Federal or Local orders, laws, regulations or rules related to the COVID-19 pandemic (including but not limited to social distancing, cleaning and disinfection requirements) and (b) the duration of any restrictions imposed on constructions activities, the Owner may modify the construction schedule set forth in the Contract/Bid Documents. Similarly, restrictions, if any, that will be applicable to construction activities in the Owner's facilities due to State, Federal or Local orders, laws regulations or rules related to the COVID-19 pandemic (including but not limited to social distancing, cleaning and disinfection requirements) may cause the Owner to have the construction work commence later than the date specified in the Contract/bid documents. By submitting a bid, the Bidder acknowledges and agrees that there shall be no additional compensation paid for schedule modifications caused directly or indirectly by the COVID-19 pandemic. The Bidder further acknowledges and agrees that the sole remedy for any schedule modifications or delays caused directly or indirectly by the COVID-19 pandemic shall be an extension of time, if warranted. The Bidder further acknowledges and agrees that it shall have on file and provide a copy to the Owner

SIGNATURES

Bidder:		
a corporation organized and existing und	er the laws of the State of	
a partnership, consisting of		
an individual conducting business as		
The location of whose principal office is:		
Phone:		
Ву	Signature and Title	
Print/Type Name:		
State of:		
County of:		
Subscribed and sworn to before me this	day of	, 20
Notary Public:		
My Commission Expires:		
(CORPORATE SEAL)	Date	,20

with its written COVID-19 Business Reopening Plan and all safety requirements associated with

COVID-19 protections for workers and the general public.

STATEMENT OF NON-COLLUSION IN BIDS & PROPOSALS

"By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of knowledge and belief:

- I. The prices in this bid have been arrived at independently without collusion, consultation, communication, or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other bidder or with any competitor.
- II. Unless otherwise required by law, the prices, which have been quoted in this bid, have not been knowingly disclosed by the bidder and will not knowingly be disclosed by the bidder prior to opening, directly or indirectly, to any other bidder or to any competitor.
- III. No attempt has been made or will be made to induce any other person, partnership or corporation to submit or not to submit a bid for the purpose of restricting competition."

CERTIFIED COPY OF RESOLUTION OF BOARD OF DIRECTORS		
(Must be submitted if BIDDER is a corporation)		
		(Name of Corporation)
RESOLVED that	·	(Person Authorized to Sign)
, (Title) to		
be authorized to sign and submit the Bid of this Corpo	oration for the following F	Project:
and to include in such bid the certificate as to non-co such certificate this corporate Bidder shall be liable u		
The foregoing is a true and correct copy of the resolu		
by		(Name of Corporation)
at a meeting of its Board of Directors held on the	day of	
	BY:	
		(Signature)
(SEAL)		(Typed Name)
	TITLE:	
END OF BID FORM		
H2M architects + engineers		BID FORM

Village of Mount Kisco-Additions/Alterations at **Mutual & Independent Fire Stations**

004100-8





SITE DEMOLITION NOTES:

- IMMEDIATELY.
- UTILITY DOCUMENTATION HAS BEEN COMPLETED.
- OWNER.
- AT NO COST TO OWNER.
- 7. PROVIDE TEMPORARY FENCING TO PROTECT WORK AREAS.
- GROUND DISTURBANCE.
- OWNER.

EROSION CONTROL NOTES:

- INSTRUCTIONS.
- THIS PROJECT FROM SEDIMENT INTRUSION.
- REPAIR OF ALL EROSION AND SEDIMENT CONTROL MEASURES.
- WATER TO BARE SOIL SURFACES.

- CONTROL PRACTICES.

SITE ACCESS NOTE:

CONSTRUCTION SEQUENCE:

- EROSION AND SEDIMENT CONTROL MEASURES.
- INSTALLATION OF THE PROPOSED IMPROVEMENTS.
- STORAGE TANK.
- 5. CONSTRUCTION OF NEW ADDITION.
- DISTURBED AREAS TO FINISHED GRADE.
- - CONTROLS.



1. REPORT ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS TO THE ENGINEER IN WRITING

2. UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FOR DESIGN PURPOSES ONLY. PROVIDE FOR CONSTRUCTION MARKOUT AND LOCATE EXISTING UNDERGROUND UTILITIES. NO EXCAVATION MAY COMMENCE UNTIL

3. NO COMPENSATION WILL BE MADE FOR ANY INCONVENIENCE CAUSED BY ENCOUNTERING UTILITIES AND STRUCTURES WHICH ARE NOT SHOWN, OR ARE INACCURATELY SHOWN ON THE PLANS.

4. REPAIR ANY DAMAGE TO EXISTING UTILITIES RESULTING FROM CONTRACTOR OPERATIONS IMMEDIATELY AT NO COST TO

5. REPAIR ANY DAMAGE TO EXISTING SITE FEATURES SCHEDULED TO REMAIN RESULTING FROM CONTRACTOR OPERATIONS

SAWCUT CONCRETE PAVEMENT BACK TO NEAREST EXPANSION/CONTROL JOINT.

8. INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN PRIOR TO ANY

9. NOTIFY OWNER AND ENGINEER IMMEDIATELY IN WRITING WHEN UNKNOWN STRUCTURES OR SUSPECTED HAZARDOUS OR CONTAMINATED MATERIALS ARE ENCOUNTERED PRIOR TO REMOVAL OR DISTURBANCE.

10. TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AND VEHICULAR TRAFFIC DURING REMOVAL ACTIVITIES, AND PROVIDE TEMPORARY MEASURES FOR THE PROTECTION AND SAFETY OF THE PUBLIC UNTIL FINAL ACCEPTANCE BY THE

11. BACKFILL ALL VOIDS RESULTING FROM THE REMOVAL OF EXISTING SITE FEATURES. BACKFILL TO BE SOIL, FREE OF ORGANIC MATERIAL, DEBRIS, TRASH, CLAY AND STONES LARGER THAN 4 INCHES.

1. DURING THE COURSE OF CONSTRUCTION, EROSION AND SEDIMENT CONTROL MEASURES ARE NECESSARY TO PREVENT THE TRANSPORT OF SEDIMENT TO UNDISTURBED AREAS, PONDS, WATER COURSES, DRAINAGE SYSTEMS, RECHARGE BASINS, AND ROADS. THE MINIMUM EROSION CONTROL MEASURES REQUIRED ARE INDICATED ON THIS PLAN. IN ADDITION, THE FOLLOWING GENERAL CONDITIONS SHALL BE OBSERVED:

a. EXISTING VEGETATION SCHEDULED TO REMAIN SHALL BE PROTECTED AND REMAIN UNDISTURBED.

b. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AS REQUIRED TO PREVENT THE INCIDENTAL DISCHARGE OF SEDIMENT FROM THE SITE.

2. SPECIFIC METHODS AND MATERIALS EMPLOYED IN THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES MUST CONFORM TO THE LATEST EDITION OF THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL".

3. INSTALL PROPRIETARY EROSION AND SEDIMENT CONTROL PRODUCTS IN ACCORDANCE WITH MANUFACTURERS

4. ADJUST EROSION AND SEDIMENT CONTROL MEASURES TO ACCOMMODATE CONSTRUCTION PHASING TO MAINTAIN EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES.

5. PROTECT EXISTING DRAINAGE INLETS WITHIN THE PROJECT LIMITS AND NEW DRAINAGE INLETS INSTALLED AS PART OF

6. PERFORM INSPECTION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES ON A WEEKLY BASIS AND AFTER HEAVY OR PROLONGED STORMS. MAINTENANCE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, CLEANING AND

7. UTILIZE APPROPRIATE MEANS TO CONTROL DUST DURING CONSTRUCTION. INCLUDING BUT NOT LIMITED TO APPLYING

8. MAINTAIN THE SITE ENTRANCE TO PREVENT SOIL AND LOOSE DEBRIS FROM BEING TRACKED ONTO LOCAL ROADS. MAINTAIN SITE ENTRANCE WEEKLY OR AS NECESSARY THORUGH THE USE OF STREET SWEEPING OR OTHER METHODS UNTIL THE SITE IS PERMANENTLY STABILIZED. IF ADVISED BY THE ENGINEER OR DEP, A STABILIZED CONSTRUCTION

_ ENTRANCE SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 7, SHEET C 501.00. 9. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED. AFTER PERMANENT STABILIZATION, REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AND ALL ACCUMULATED SEDIMENT AND DEBRIS FROM THE SITE AND DRAINAGE STRUCTURES. 10. ALL CATCH BASINS ARE TO BE PROTECTED USING THE STONE AND BLOCK INLET PROTECTION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS WHICH DRAIN TO THEM ARE STABILIZED. SEDIMENT BAG INLET PROTECTION SHALL ONLY BE USED IF DIRECTED BY THE ENGINEER.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT

TOTAL LAND DISTURBANCE = 2,600 SQUARE FEET OR 0.06 ACRES

1. CONTRACTOR TO MAINTAIN ACCESS TO AMBULANCE FACILITY AT ALL TIMES AND PRESERVE REQUIRED PARKING SPACES FOR AMBULANCE FACILITY (CONFIRM MINIMUM PARKING NEEDED WITH AMBULANCE COMPANY). COORDINATE ALL WORK THAT MAY IMPACT AMBULANCE FACILITY'S 24/7 OPERATIONS WITH AMBULANCE COMPANY 48 HOURS IN ADVANCE

PRE-CONSTRUCTION MEETING AT LEAST 48-HOURS BEFORE THE START OF CONSTRUCTION ACTIVITIES. ATTENDEES TO INCLUDE OWNER, ENGINEER, TOWN REPRESENTATIVES, CONTRACTOR AND DEP.

INSTALLATION OF SILT FENCING, INLET PROTECTION, IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL. ADJUST EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT PROJECT AS NEEDED TO ACCOMMODATE CONSTRUCTION PHASING TO MAINTAIN EFFECTIVENESS OF

CLEARING OF THE PROJECT SITE AREAS INDICATED FOR DEVELOPMENT AND REMOVAL OF EXISTING SITE FEATURES (EXISTING GENERATOR AND FENCING, CONCRETE PAD, UTILITIES, STEEL TANK, ETC.) AS NECESSARY FOR THE

4. EXCAVATION FOR FOUNDATION WORK, TRENCHING AND INSTALLATION OF NEW UTILITIES AND UNDERGROUND FUEL

6. GRADING AND INSTALLATION OF NEW RAIN GARDEN AND ASSOCIATED DRAINAGE WORK. FINAL GRADING OF ALL

7. INSTALLATION OF NEW AGGREGATE BASE COURSE IN AREAS OF NEW PAVEMENT AND ASPHALT RESURFACING. INSTALLATION OF NEW CONCRETE CURB, CONCRETE SIDEWALK, CONCRETE PAD AND GENERATOR.

8. SEEDING OF DISTURBED AREAS AND OTHER FINAL LANDSCAPING MEASURES.

9. FOLLOWING FINAL STABILIZATION OF DISTURBED AREAS, REMOVAL OF REMAINING TEMPORARY EROSION AND SEDIMENT

10. SILT REMOVAL AND CLEANING OF INLETS PROTECTED DURING CONSTRUCTION.



CONSTRUCTION DOCUMENTS

SHEET TITLE

DEMOLITION AND EROSION & SEDIMENT CONTROL PLAN

CD 100.02



