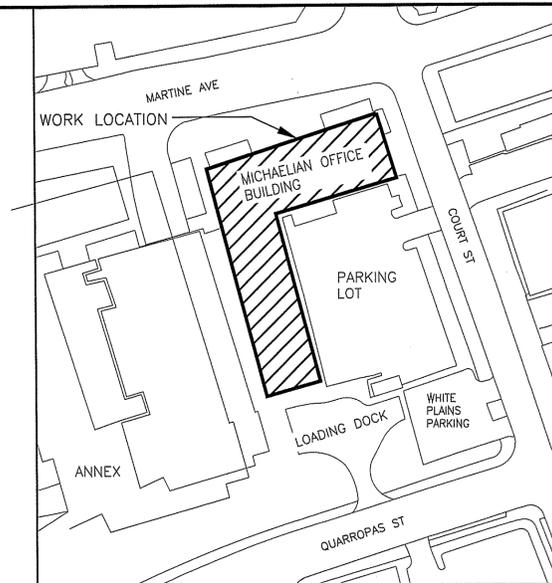


WESTCHESTER COUNTY



WESTCHESTER COUNTY, NEW YORK
 DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION
 DIVISION OF ENGINEERING

CONTRACT No. 21-528
STEAM SYSTEM UPGRADES, PHASE II
MICHAELIAN OFFICE BUILDING
148 MARTINE AVE, WHITE PLAINS, NY



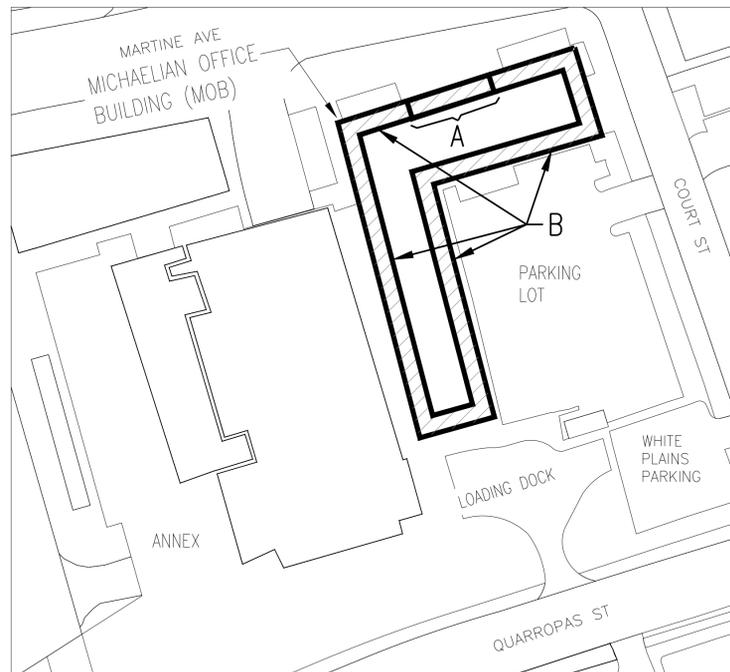
LOCATION MAP
 SCALE: N.T.S.

SHEET NO.	SHEET TITLE	DPW FILE NO.
T-1	TITLE SHEET	52-02-T-1320
G-1	CONSTRUCTION NOTES & PHASING PLAN	52-02-G-1321
A-1	5TH FLOOR PLAN - ITEM E	52-02-A-1322
A-2	7TH FLOOR PLAN, PART PLANS AND DETAILS - ITEM E	52-02-A-1323
A-3	PART PLANS AT PIPE EXPANSION JOINT CHASE - ITEM E	52-02-A-1324
A-4	EXPANSION JOINT CHASE WALL DETAILS - ITEM E	52-02-A-1325
AS-1	ASBESTOS ABATEMENT-5TH FLOOR- ITEM D	52-02-AS-1326
AS-2	ASBESTOS ABATEMENT-7TH FLOOR- ITEM D	52-02-AS-1327
H-1	GENERAL NOTES AND DETAILS	52-02-H-1328
H-2	MOB 5TH FLOOR MECHANICAL PLAN	52-02-H-1329
H-3	MOB 7TH FLOOR MECHANICAL PLAN	52-02-H-1330
H-4	MOB STEAM RISER DIAGRAM (5TH & 7TH FLOORS)	52-02-H-1331

IN CHARGE OF JAI PUNNOOSE, P.E.
 CHECKED BY VINCENT LEONE, P.E.
 MADE BY VINCENT LEONE, P.E.

 RECOMMENDED FOR DESIGN DATE: 11/19/21 JAI PUNNOOSE, P.E. ASSOCIATE ENGINEER DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION	 RECOMMENDED FOR CONSTRUCTION DATE: 11/19/21 GAYLE M. KATZMAN, P.E. FIRST DEPUTY COMMISSIONER DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION	 APPROVED FOR CONSTRUCTION DATE: 12/3/21 HUGH J. GREECHAN JR., P.E. COMMISSIONER DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION
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REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION
RECORD DRAWING CERTIFICATION				
<input type="checkbox"/> AS BUILT - CHANGES AS NOTED <input type="checkbox"/> AS BUILT - NO CHANGES				
CONTRACTOR		PROJECT COORDINATOR		
NAME	SIGNATURE	NAME	SIGNATURE	DATE
TITLE	DATE	TITLE	DATE	DATE
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING				CONTRACT NUMBER 21-528
STEAM SYSTEM UPGRADES, PHASE II MICHAELIAN OFFICE BUILDING 148 MARTINE AVE, WHITE PLAINS, NEW YORK TITLE SHEET				SHEET NUMBER T-1 SHEET NO. 1 OF 12 SCALE: AS SHOWN DATE: 12/3/2021 DPW FILE NO. 52-02-T-1320
				REV. NO. 0



1 5TH & 7TH FLOORS
SCALE: NTS

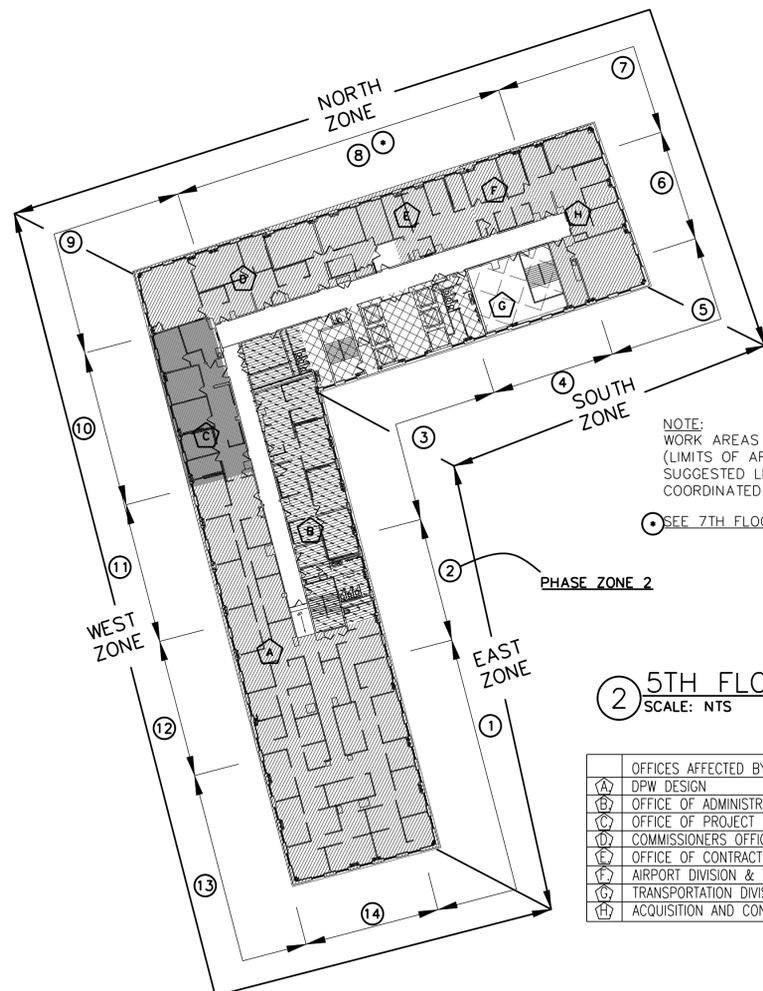
A	7TH FLOOR
B	5TH FLOOR (ENTIRE PERIMETER)

BIT ITEM	DESCRIPTION
ITEM A	DEMOLISH EXISTING AND PROVIDE NEW EXPANSION JOINTS, INSULATE AND TEST.
ITEM B	DEMOLISH EXISTING AND PROVIDE NEW RADIATOR VALVES/TRAPS AND TEST.
ITEM C	DISASSEMBLY, MOVING & REASSEMBLY OF ALL FURNITURE/PARTITIONS AS REQUIRED TO PERFORM ALL WORK ITEMS.
ITEM D	ALL ABATEMENT INCLUDING SELECTIVE DEMO OF ENCLOSURES AND ACCESS PANELS CONTAINING LEAD PAINT
ITEM E	ALL ARCHITECTURAL RESTORATION

SUBPHASE	TYPICAL PHASE		
	a	b	c
6AM-6PM	FRIDAY	Move/Demo/Abate (ITEM C; ITEM D)	
6PM-6AM	SATURDAY		
	SUNDAY		
6AM-6PM	MONDAY	E.J., Danfoss & Steam Trap Removals and Provisions (ITEM A; ITEM B)	
6PM-6AM		Test provisions with Live Steam (AFTER 7PM) (ITEM A; ITEM B)	
6AM-6PM	TUESDAY	Start Architectural Restoration (ITEM E)	E.J., Danfoss & Steam Trap Removals and Provisions (ITEM A; ITEM B)
6PM-6AM		Test provisions with Live Steam (AFTER 7PM) (ITEM A; ITEM B)	
6AM-6PM	WEDNESDAY	Finish Restoration (ITEM E)	Start Architectural Restoration (ITEM E)
6PM-6AM			E.J., Danfoss & Steam Trap Removals and Provisions (ITEM A; ITEM B)
6PM-6AM			Test provisions with Live Steam (AFTER 7PM) (ITEM A; ITEM B)
6AM-6PM	THURSDAY		Finish Restoration (ITEM E)
6PM-6AM			Start Architectural Restoration (ITEM E)
6AM-6PM	FRIDAY		Finish Restoration (ITEM E)
6PM-6AM			Move Everything Back / Cleanup Finish Phase & Move/Demo/Abate for Next Phase (Repeat Above)

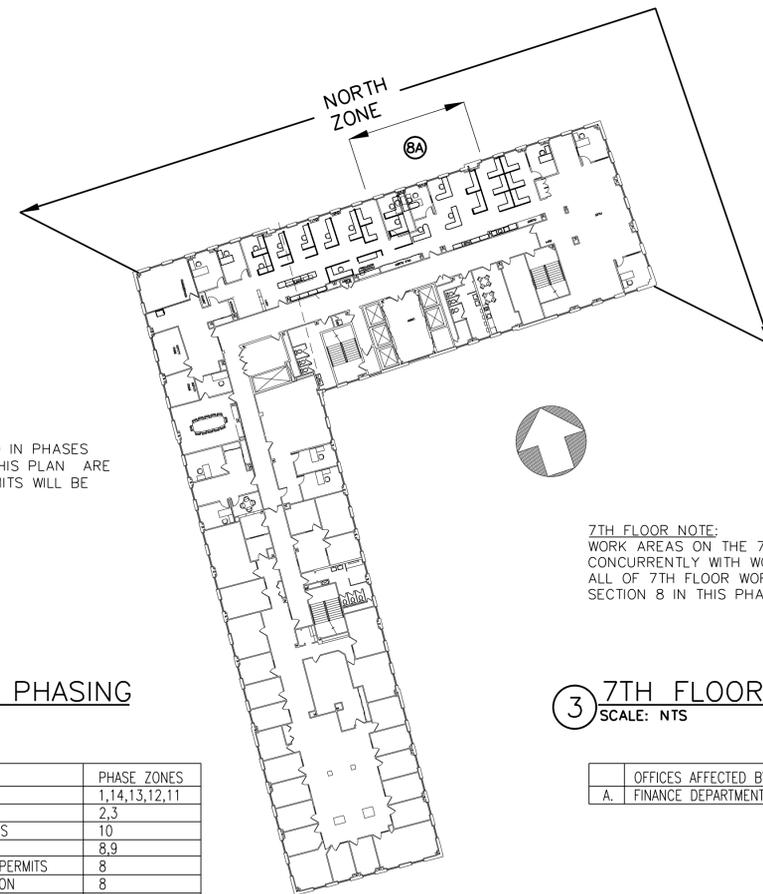
SCHEDULING NOTE:

- ABOVE SCHEDULE IS A SUGGESTED SCHEDULE. ACTUAL SCHEDULE, MEANS & METHODS WILL BE UP TO THE CONTRACTOR AND SHALL BE COORDINATED IN THE FIELD. TIMING LIMITS IN PLACE TO LIMIT OCCUPANT DISTRACTION, HAZARD AND/OR DISCOMFORT SHALL NOT BE VIOLATED.
- CONTRACTOR SHALL COMPLETE THE SCOPE OF WORK FOR AT LEAST ONE ZONE IDENTIFIED IN THE CONTRACT DOCUMENTS WITHIN THE ALLOCATED TIME PERIOD (ONE WEEK) AND TURN OVER TO COUNTY FOR NORMAL BUSINESS.
- TO LIMIT OCCUPANT DISTRACTION, DEMOLITION OF EXPANSION JOINTS SHALL BE DONE MONDAY - FRIDAY (BEFORE 8AM OR AFTER 6PM) OR ON WEEKENDS.
- FINAL AIR CLEARANCE (AFTER ABATEMENT) OBTAINED BY MONDAY 7 AM FOR EACH ZONE.
- FOR OCCUPANT SAFETY, WELDING SHALL BE DONE UNDER NEGATIVE PRESSURIZATION (SIMILAR PRECAUTION AS ASBESTOS)
- FOR OCCUPANT COMFORT, ALL STEAM TESTING SHALL REQUIRE LIVE STEAM AND SHALL BE CONDUCTED MONDAY - FRIDAY (7PM - 12AM).
- 6.1. TESTING SHALL SEE LIVE STEAM AT 15 PSI AT TEST POINTS FOR A PERIOD OF NO LESS THAN 30 MINUTES.
- CONTRACTOR WILL BE REQUIRED TO DEMONSTRATE WORK SPEED (PROGRESSION) DURING EARLY STAGES AND PROVIDE WRITTEN REQUEST PRIOR TO TAKING ON LARGER SECTIONS AT A TIME.



2 5TH FLOOR AREA PHASING
SCALE: NTS

OFFICES AFFECTED BY WORK:	PHASE ZONES
(A) DPW DESIGN	1,14,13,12,11
(B) OFFICE OF ADMINISTRATION SERVICES	2,3
(C) OFFICE OF PROJECT MANAGEMENT DIRECTORS	10
(D) COMMISSIONERS OFFICE	8,9
(E) OFFICE OF CONTRACT ADMINISTRATION AND PERMITS	8
(F) AIRPORT DIVISION & TRANSPORTATION DIVISION	8
(G) TRANSPORTATION DIVISION	4
(H) ACQUISITION AND CONTRACT	5,6,7



3 7TH FLOOR AREA PHASING
SCALE: NTS

OFFICES AFFECTED BY WORK:	PHASE ZONES
A. FINANCE DEPARTMENT	8A

FURNITURE OBSTRUCTING WORK AREAS: ITEM C

- THE CONTRACTOR IS RESPONSIBLE FOR MOVING DESKS, CABINETS CHAIRS, MOVABLE FURNISHINGS (REFERRED TO AS "FURNITURE") AND PARTITIONS AS NEEDED TO PERFORM WORK SO AS NOT TO DAMAGE ANYTHING. THE FURNITURE SHALL THEN BE RESET AT THE COMPLETION OF WORK. IN GENERAL, THE OFFICE LAYOUT IS OPEN STYLE. CONTRACTOR MAY HAVE TO BREAK DOWN OFFICE PARTITIONS AND ASSOCIATED WORK AS REQUIRED TO COMPLETE THE WORK AT CERTAIN AREAS. THIS MAY INCLUDE DISCONNECTION AND RECONNECTION OF POWER AND DATA CIRCUITS.
- FURNITURE DISASSEMBLY/REASSEMBLY:** THE CONTRACTOR SHALL HAVE OFFICE FURNITURE, FURNISHINGS, OR RELATED EQUIPMENT REQUIRED TO COMPLETE THE WORK OF THIS CONTRACT TEMPORARILY DISASSEMBLED AND REASSEMBLED BY QUALIFIED SYSTEMS INSTALLERS.
- OFFICE PERSONNEL RESPONSIBILITY:** OFFICE PERSONNEL WILL REMOVE LOOSE PAPERWORK, BOOKS, AND SIMILAR FILES FROM THE TOP OF FURNITURE THAT NEEDS TO BE MOVED FOR ACCESS TO THE WORK AREAS.
- ALL COSTS ASSOCIATED:** CONTRACTOR SHALL INCLUDE ALL COSTS ASSOCIATED WITH MOVING FURNITURE AND FURNISHING IN THEIR BID AMOUNT, NO ADDITIONAL PAYMENT WILL BE MADE FOR FURNITURE RELOCATION.
- AT THE COMPLETION OF A PHASE THE WORK AREA SHALL BE RETURNED BACK TO ITS ORIGINAL STATE. ALL WORK SURFACES SHALL BE WIPED CLEAN OF ANY DUST AND DEBRIS AND SANITIZED. FLOOR SHALL BE VACUUMED TO THE SATISFACTION OF THE CONSTRUCTION MANAGER.

TEMPORARY PARTITIONS AND DUST/SMOKE PROTECTION: ITEM D

- THE CONTRACTOR SHALL PROVIDE **DUST PROTECTION** MEASURES TO PREVENT THE SPREAD OF DUST, SMOKE AND RELATED DEBRIS TO OTHER PARTS OF THE OFFICE SPACE(S). WITHIN A DESIGNATED WORK AREA THE CONTRACTOR SHALL ALSO PROVIDE DUST/DEBRIS PROTECTION OVER DESKS, FURNITURE, FURNISHINGS, AND RELATED EQUIPMENT. PROTECT WALL, CEILINGS, FLOORS AND OTHER FINISHED WORK FROM DAMAGE DURING THE COURSE OF THE WORK.
- PROVIDE **TEMPORARY BARRICADES** AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT OFFICE SPACES AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND WORK AREA BUILDING OCCUPANTS. IF WORK IS INCOMPLETE IN THE WORK AREA IT SHALL BE CAPPED OR SEALED BETWEEN SHIFTS. PLASTIC SHEETING TARPS SHALL BE INSTALLED. ALL UNFINISHED WORK SHALL BE SECURE SO THAT THE ADJOINING OFFICE SPACE CAN BE USED. EXISTING CEILING LIGHTING SHALL NOT BE BLOCKED OR REMOVED.
- FLOOR/WALL PROTECTION:** THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT FLOORS AND WALLS FROM GETTING DIRTY. EVERY AREA TREADED BY CONTRACTOR AND SUBCONTRACTOR EMPLOYEES SHALL BE LAIDEN WITH CLEAN ABSORBENT TARP AND PLASTIC WHERE BUILDING OCCUPANTS RELY ON THE SAME WALKWAY, FLOOR PROTECTION SHALL BE INSTALLED TAUGHT TO THE GROUND TO PREVENT SLIPPING AND TRIPPING.

COMMON TO ALL WORK ITEMS

GENERAL NOTES:

- DO NOT SCALE THE DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING ANY WORK
- ALL WORK WILL FOLLOW ALL APPLICABLE LOCAL STATE AND NATIONAL CODES AND REQUIREMENTS.
- ALL QUESTIONS AND/OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER IMMEDIATELY

SCHEDULING

- ALL WORK SHALL BE COMPLETED, TESTED AND PUT BACK INTO SERVICE PRIOR TO OCTOBER 15, 2022.
- ALL WORK SHALL BE COMPLETED BETWEEN THE HOURS OF 7AM AND 5PM MONDAY THRU FRIDAY UNLESS STATED OTHERWISE.
- MICHAELIAN OFFICE BUILDING WILL BE OCCUPIED WITH OFFICE PERSONNEL DURING REGULAR DAYTIME HOURS 7:30 AM - 6:00 PM, THE CONTRACTOR'S WORK THAT IS DESIGNATED AS AFTER-HOURS, MUST TAKE PLACE OUTSIDE OF THESE HOURS.
- ALL WORK SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER.
- ALL WELDING ON 5TH AND 7TH FLOORS AREAS SHALL BE DONE AFTER-HOURS UNLESS APPROVED CONTAINMENT IS PROVIDED.
- WORK ON 5TH AND 7TH FLOORS SHALL BE SPLIT INTO PHASES. EACH PHASE MUST BE COMPLETED BEFORE THE NEXT PHASE BEGINS. EACH PHASE SHALL LAST NO LONGER THAN 1 WEEK. THE PHASE WILL BE PERMITTED TO START AFTER HOURS ON A FRIDAY 6PM AND ALL OF THE WORK SPACE SHALL BE MOVE-IN READY BY THE START OF THE WORKDAY OF THE SECOND MONDAY 6AM (10 DAYS LATER). CONTRACTOR SHALL REVIEW AND COORDINATE THE AMOUNT OF WORK THEY WILL COMMIT TO COMPLETING IN THAT 1 WEEK. ONCE A CONTRACTOR COMMITS TO COMPLETING THAT PHASE, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL OF THE WORK IS COMPLETED AND SPACES RESTORED ON TIME. SUGGESTED PHASE BOUNDARIES ARE INCLUDED ON THIS SHEET. RULES FOR ACTUAL PHASE BOUNDARIES ARE AS FOLLOWS:
 - PHASE BOUNDARIES NUMBERED FROM 1-14 IN THE PHASING PLAN ON THIS SHEET MAY BE GROUPED TOGETHER BUT MAY NOT BE SPLIT INTO SEPARATE PHASES.

PARKING:

- PARKING FOR THE CONTRACTORS' EMPLOYEES IS AVAILABLE AT PUBLIC PARKING LOTS. THE COST FOR ALL PARKING IS THE RESPONSIBILITY OF THE CONTRACTOR. UNDER NO CIRCUMSTANCES ARE CONTRACTOR'S VEHICLES TO BE PARKED AT THE WORK SITE EXCEPT FOR DELIVERIES.

DELIVERIES:

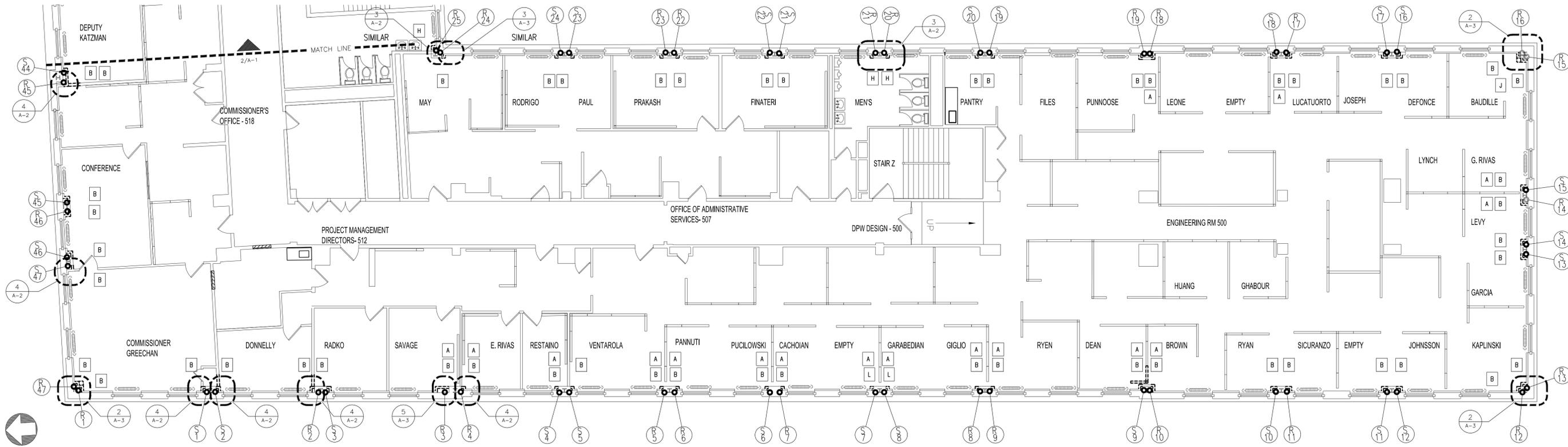
- CONTRACTORS' DELIVERIES TO THE WORK SITES WILL REQUIRE 48 HOUR ADVANCE NOTICE TO THE COUNTY. DELIVERIES TO THE MICHAELIAN OFFICE BUILDING WORK SITE WILL UTILIZE THE MARTINE AVENUE DRIVEWAY OR THE LOADING DOCK. ACCESS THROUGH THE MICHAELIAN OFFICE BUILDING, WORK SITES WILL BE BY PERMISSION OF THE COUNTY.
- 24 HOUR ADVANCE NOTICE WILL BE REQUIRED FOR THE MOVEMENT OF ALL MATERIALS AND/OR DEBRIS THROUGH THE WORK SITES. THE CONTRACTORS ARE RESPONSIBLE TO PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING BUILDING FINISHES AT EACH WORK LOCATION. ALL PROTECTIVE MEASURES MUST BE APPROVED BY THE COUNTY IN ADVANCE.

SECURITY:

- THE CONTRACTORS ARE HEREBY NOTIFIED THAT THE MICHAELIAN OFFICE BUILDING, IS TO BE CONSIDERED AS "OPEN TO THE PUBLIC" ON A 24 HOUR BASIS. ALL CONTRACTORS ARE RESPONSIBLE TO PROVIDE FOR THE SAFETY OF THE WORKERS, THE COUNTY'S EMPLOYEES, AND THE PUBLIC AS PER ALL LOCAL, STATE, AND NATIONAL CODES AND REGULATIONS.

IN CHARGE OF JAI PUNNOOSE, P.E.
 CHECKED BY JAI PUNNOOSE, P.E.
 MADE BY VINCENT LEONE, P.E.

REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION
RECORD DRAWING CERTIFICATION				
<input type="checkbox"/> AS BUILT - CHANGES AS NOTED <input type="checkbox"/> AS BUILT - NO CHANGES		CONTRACTOR _____ PROJECT COORDINATOR _____ NAME SIGNATURE DATE TITLE		
WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING		CONTRACT NUMBER 21-528	SHEET NUMBER G-1	SHEET NO. 2 OF 12
STEAM SYSTEM UPGRADES, PHASE II MICHAELIAN OFFICE BUILDING 148 MARTINE AVE, WHITE PLAINS, NEW YORK CONSTRUCTION NOTES & PHASING PLAN				SCALE: AS SHOWN DATE: 12/3/2021 DPW FILE NO. 52-02-G-1321 REV. NO. 0



1 5TH FLOOR PLAN - SOUTHWEST WING
SCALE: 1/8" = 1'-0"

NOTES

1. ALL RISERS THAT ARE LABELED ON PLAN SHALL BE FITTED WITH ACCESS DOORS U.N.O.
2. FOR TYPICAL DETAILS ON CHASE WALL WORK REFER TO SHEET A-4.
3. REFER TO PART PLANS FOR ADDITIONAL CONDITIONS
4. FOR WORK ON CHASES FOR RISERS # S40 THROUGH R43 SEE 7TH. FLR. PLAN DWG. 6/A-2

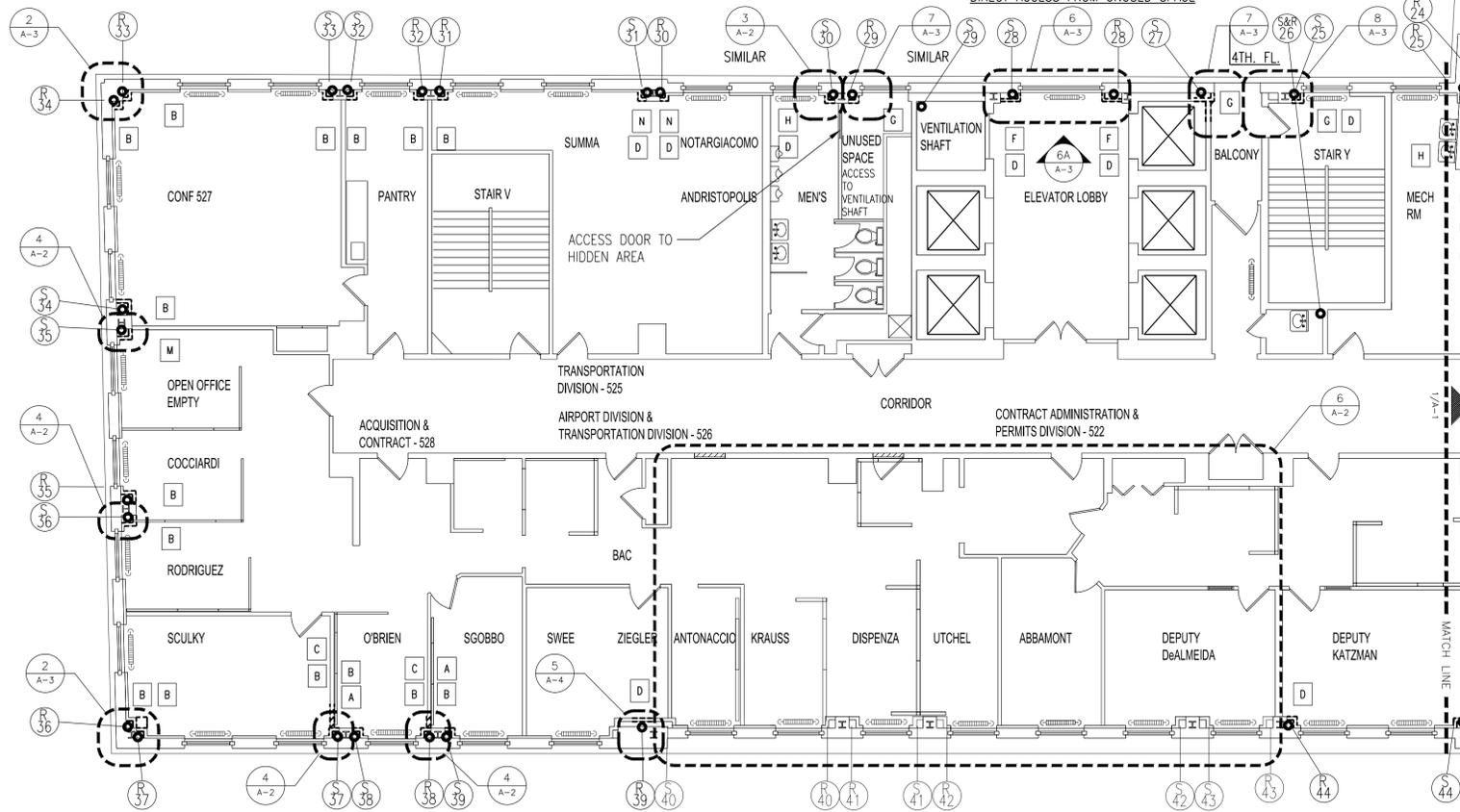
KEY NOTES

- A REMOVE AND REINSTALL PORTIONS OF SYSTEM FURNITURE FOR ACCESS TO HEAT PIPE PLUMBING CHASE
- B PARTIAL DEMOLITION OF PAINTED PLASTER FINISHED MASONRY CHASE WALL, RESTORE CHASE WALL, INSTALL NEW ACCESS DOOR
- C PARTIALLY DEMOLISH AND REBUILD DRYWALL INTERIOR PARTITION AS REQUIRED TO PROVIDE ACCESS FOR STEAM PIPE EXPANSION JOINT WORK.
- D INSTALL NEW ACCESS DOOR
- E MOVE OFFICE FURNITURE AND CASEWORK FOR WORK IN STEAM PIPE CHASE WALL
- F REMOVE AND REINSTALL STONE WAINSCOT PANELS IN ELEVATOR LOBBY FOR WORK IN STEAM PIPE CHASE WALL
- G REMOVE AND REINSTALL EXPOSED BRICK MASONRY TO ACCESS EXPANSION JOINT WORK @ STAIR Y AND BALCONY RISERS # S25 AND S27, AND UNUSED SPACE CONNECTING TO AIR VENTILATION SHAFT RISER # S29
- H PARTIALLY DEMOLISH AND REBUILD EXISTING RESTROOM PARTITION INSTALL NEW ACCESS DOORS
- J EXISTING DRYWALL CORNER ENCLOSURE, CREATE OPENING TO ACCESS STEAM PIPE CHASE WALL, INSTALL 12 IN. HOR. X 30 IN. VERT. ACCESS DOOR. PERFORM WORK ON MASONRY AND PLASTER CHASE WALL EQUAL TO OTHER LOCATIONS. CENTER ACCESS DOOR IN DRYWALL PARTITION WITH ACCESS DOOR IN MASONRY AND PLASTER PARTITION.
- K PARTIALLY DEMOLISH PAINTED PLASTER FINISHED MASONRY PARTITION AND RESTORE ORIGINAL CONDITIONS AFTER EXPANSION JOINT REPLACEMENT WORK
- L FLOOR TO CLNG. 16 GAUGE 2-1/2" MTL. STUD FRAMING (2 LA.) TYPE X GYP. BD. FLOOR PAINT FINISH NEW ACCESS DOORS @ EA. RISER
- M CUT OPENING IN DRYWALL PARTITION TO ACCESS STEAM PIPE MASONRY CHASE WALL. INSTALL NEW ACCESS DOOR IN MASONRY CHASE WALL AFTER EXPANSION JOINT REPLACEMENT WORK. PATCH DRYWALL PARTITION AND INSTALL NEW ACCESS DOOR
- N EXISTING 1 HR. FIRE RATED DRYWALL CHASE WALL FLOOR TO CEILING INSTALL NEW ACCESS DOOR

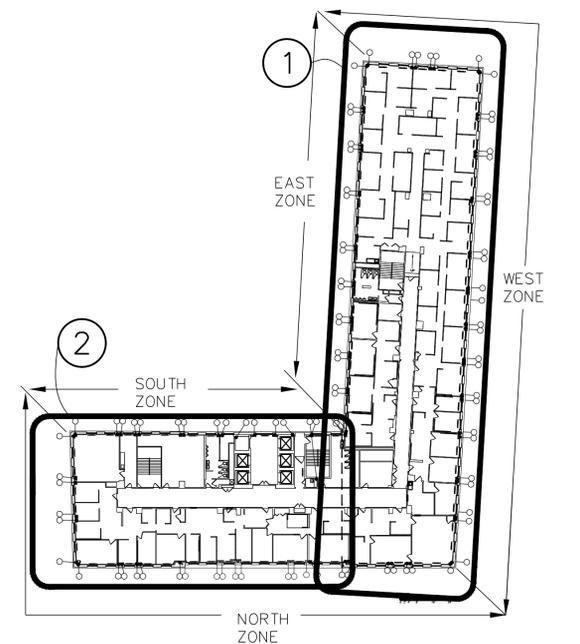
LEAD ABATEMENT

PERFORM LEAD ABATEMENT OF PAINTED PLASTER FINISHED PIPE CHASE WALLS AT ALL RISERS LABELED ON 5TH FLOOR PLANS ON DWG. A-1 AND 7TH FLOOR PLAN ON DWG. A-2 IN ACCORDANCE WITH EPA, STATE AND LOCAL CODES AND REGULATIONS.

NOTE: NO ACCESS DOOR AT S29 RISER. DIRECT ACCESS FROM UNUSED SPACE



2 5TH FLOOR PLAN - NORTHEAST WING
SCALE: 1/8" = 1'-0"

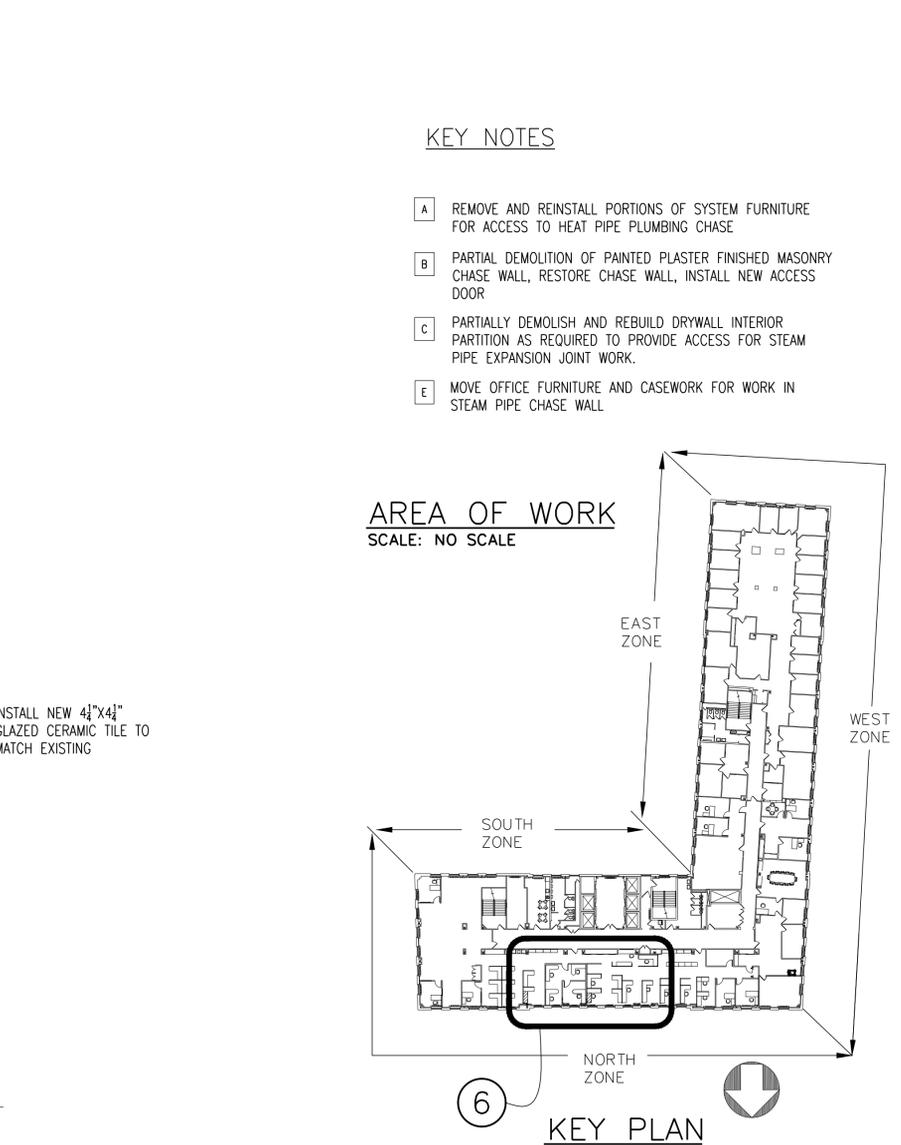
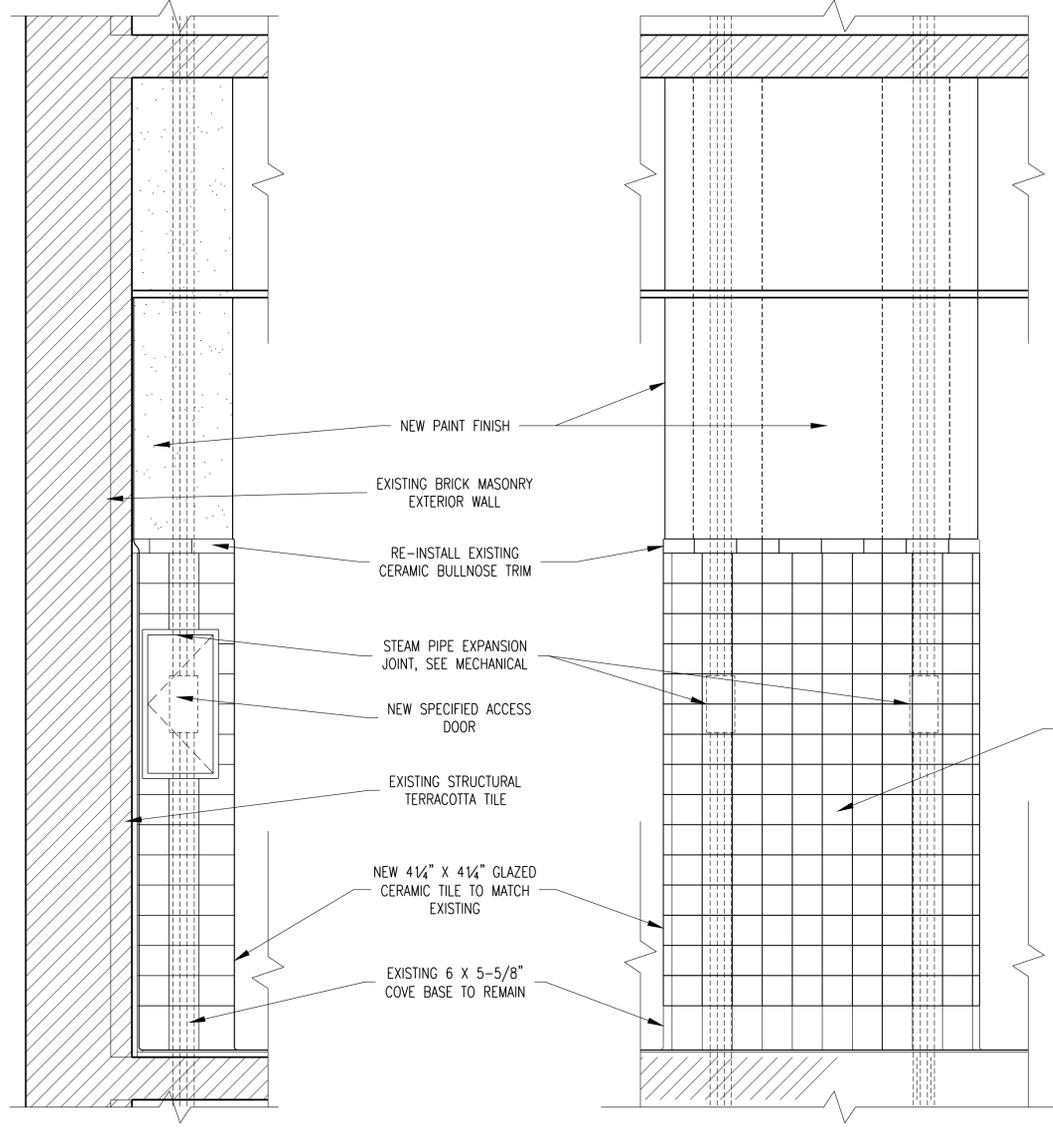
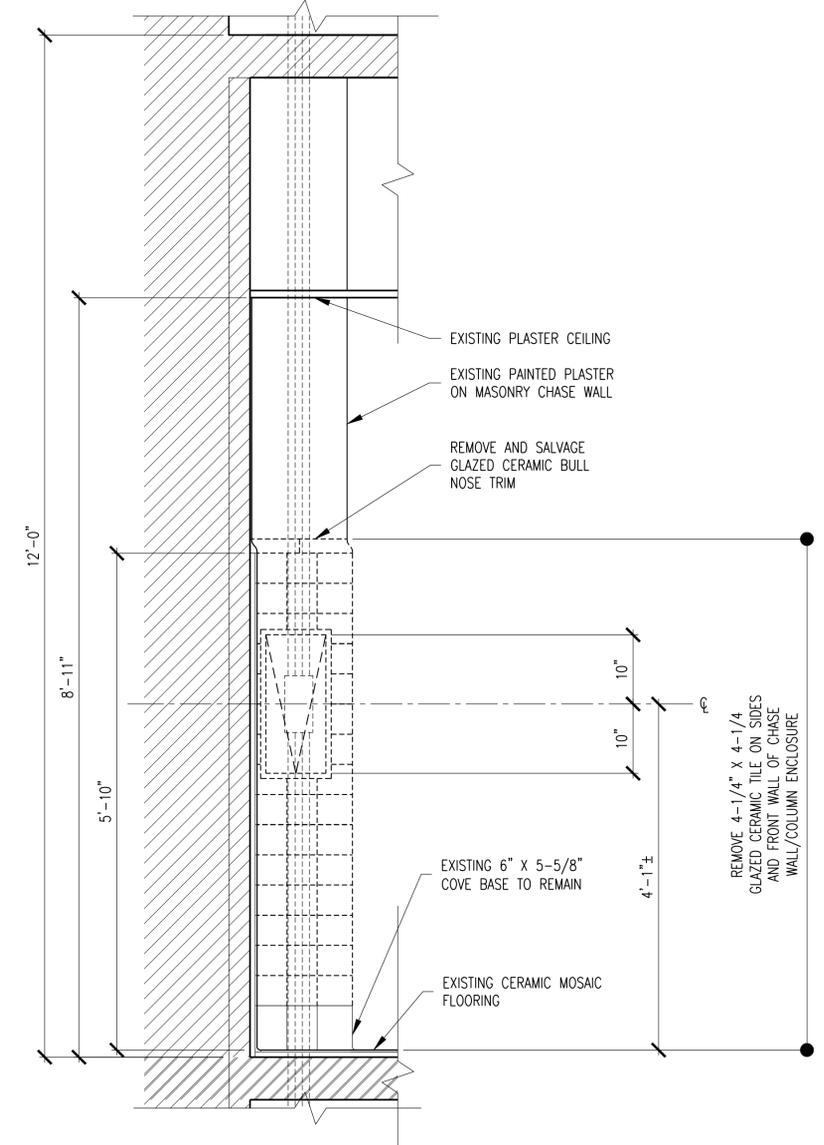
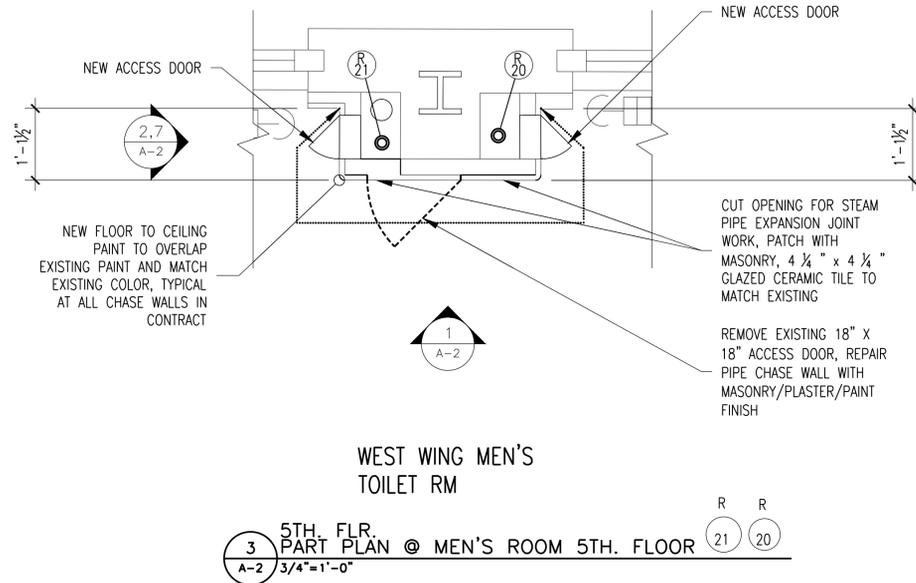
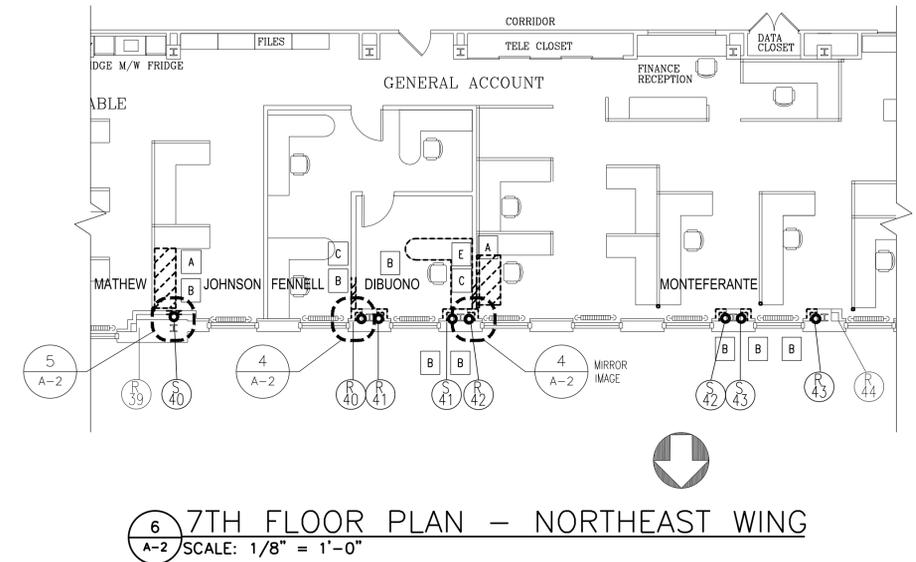
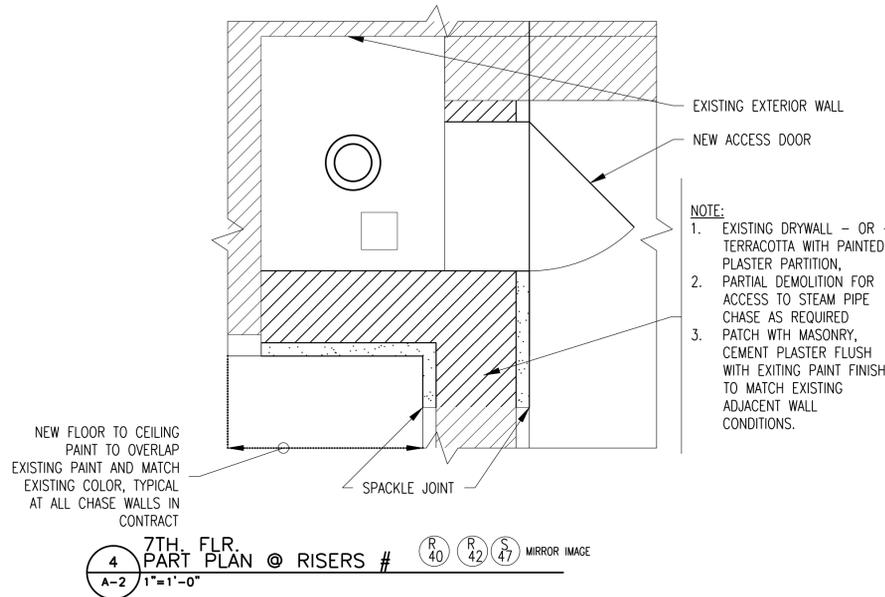


AREA OF WORK
SCALE: NO SCALE

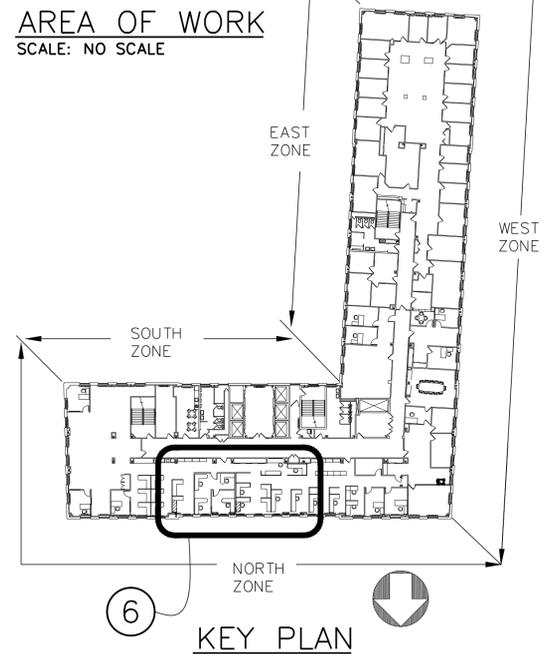
LEAD ABATEMENT - ITEM B
ALL PAINT COVERING EXISTING PLASTER CONTAINS LEAD TO BE ABATED UNDER ITEM B

IN CHARGE OF ADAM KAPLINSKI, R.A.
CHECKED BY ADAM KAPLINSKI, R.A.
MADE BY ALEXIS GARCIA

WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING		CONTRACT NUMBER 21-528	SHEET NUMBER A-1
STEAM SYSTEM UPGRADES - PHASE II MICHAELIAN OFFICE BUILDING 148 MARTINE AVE, WHITE PLAINS, NEW YORK 5TH FLOOR PLAN - ITEM E		SHEET NO. 3 OF 12	SCALE: AS SHOWN DATE: 12/03/2021
		DPW FILE NO. 52-02-A-1322	REV. NO. 0



- KEY NOTES**
- A REMOVE AND REINSTALL PORTIONS OF SYSTEM FURNITURE FOR ACCESS TO HEAT PIPE PLUMBING CHASE
 - B PARTIAL DEMOLITION OF PAINTED PLASTER FINISHED MASONRY CHASE WALL, RESTORE CHASE WALL, INSTALL NEW ACCESS DOOR
 - C PARTIALLY DEMOLISH AND REBUILD DRYWALL INTERIOR PARTITION AS REQUIRED TO PROVIDE ACCESS FOR STEAM PIPE EXPANSION JOINT WORK.
 - E MOVE OFFICE FURNITURE AND CASEWORK FOR WORK IN STEAM PIPE CHASE WALL

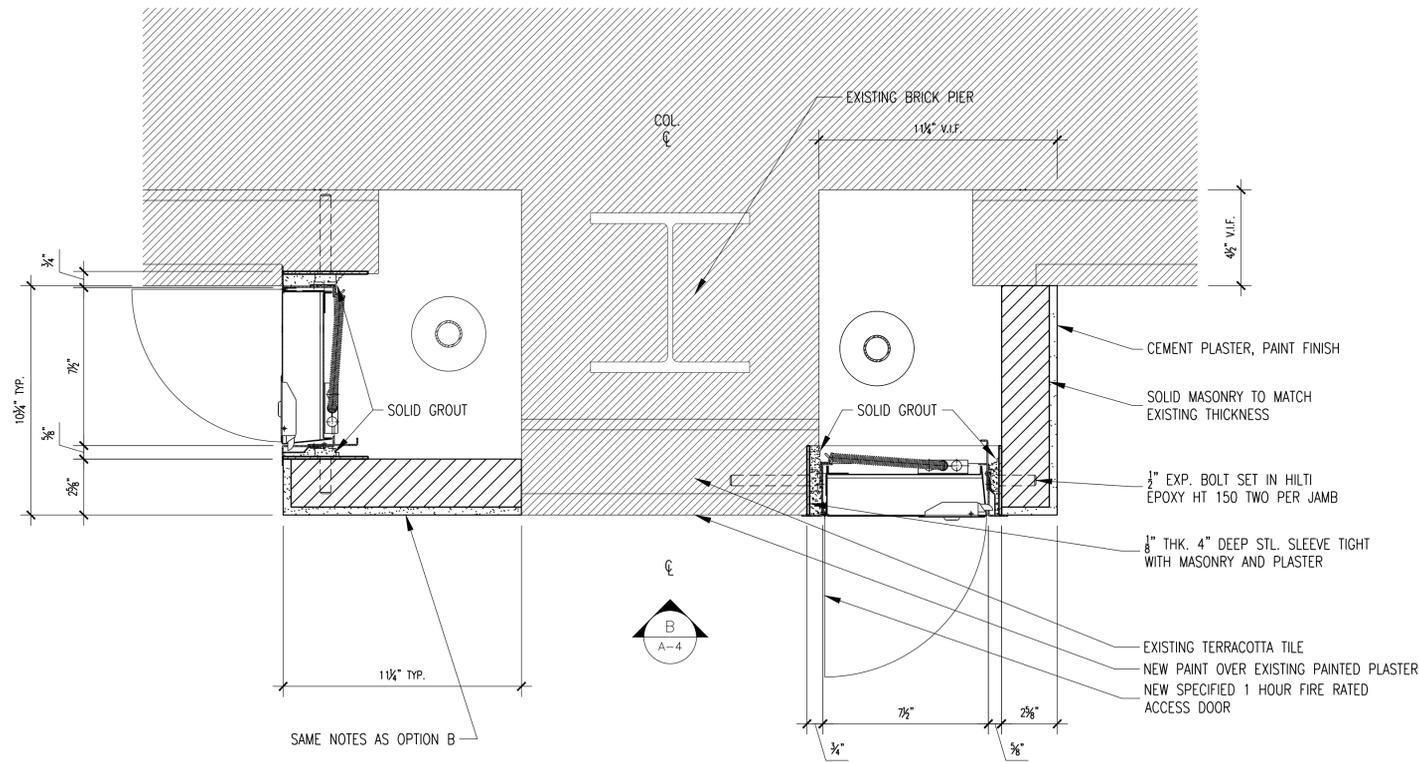


7
A-2
DEMOLITION SIDE ELEVATION
@ RESTROOMS - 5TH. FLOOR
1"=1'-0"
IN CHARGE OF ADAM KAPLINSKI, R.A.
CHECKED BY ADAM KAPLINSKI, R.A.
MADE BY ALEXIS GARCIA
SEE LEAD ABATEMENT NOTE - ITEM E ON SHEET A-4

2
A-2
NEW WORK SIDE ELEVATION
@ RESTROOMS - 5TH. FLOOR
1"=1'-0"
NOTE: FOR EXISTING NOTES SEE SECTION 2/A-2
NOTE: DRAWINGS ON THESE SHEET APPLY TO RESTROOM IN EAST ZONE (SEE KEY PLAN) FOR OTHER CONFIGURATIONS SEE FLOOR PLAN

1
A-2
NEW WORK FRONT ELEVATION
@ RESTROOMS - 5TH. FLOOR
1"=1'-0"
NOTE: FOR EXISTING NOTES SEE SECTION 2/A-2
LED ABATEMENT - ITEM B
ALL PAINT COVERING EXISTING PLASTER TO BE REMOVED CONTAINS LEAD TO BE ABATED UNDER ITEM B

WESTCHESTER COUNTY, NEW YORK		CONTRACT NUMBER 21-528	SHEET NUMBER A-2
DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION		SHEET NO. 4 OF 12	
DIVISION OF ENGINEERING			
SCALE: AS SHOWN			
DATE: 12/03/2021			
STEAM SYSTEM UPGRADES - PHASE II		DPW FILE NO.	REV. NO.
MICHAELIAN OFFICE BUILDING		52-02-A-1323	0
148 MARTINE AVE, WHITE PLAINS, NEW YORK			
7TH FLOOR PLAN, PART PLANS AND DETAILS - ITEM E			



OPTION B - ACCESS DOOR MOUNTED IN SIDE WALL

OPTION B - ACCESS DOOR MOUNTED IN FRONT WALL

PARTITION LEGEND

- CHASE WALL AT PIPE EXPANSION JOINTS - EXISTING**
 1) 3" THK. 12" X 12" HOLLOW TERRACOTTA BLOCKS; 2) METAL LATH, 1" PLASTER, PAINT FINISH
- CHASE WALL AT EXTERIOR WALL (RESTROOM) - EXISTING:**
 1) 3" THK. 12" X 12" HOLLOW TERRACOTTA BLOCKS 2) METAL LATH, 1" PLASTER. 3) PAINT FINISH. 4) 6" X 5 5/8" GLAZED CERAMIC BASE, 4-1/4" X 4-1/4" GLAZED CERAMIC TILE WAINSCOT.

BRICK WALLS @ STAIR Y AND BALCONY, UNUSED SPACE ACCESS TO VENTILATION SHAFT (S25, S27, S29):
 REMOVE EXISTING AND INSTALL NEW BRICK. BRICK SIZE STANDARD NOT NOMINAL 8" X 2-1/4" X 3-5/8". INSTALL 3 X 3 X 0.25" LINTEL ABOVE ALL NEW ACCESS DOORS WITH 4" BEARING BOTH SIDES

INTERIOR WALLS - EXISTING:
 1) STRUCTURAL TERRACOTTA TILE; 2.) PLASTER BOTH SIDES OF WALL; 3.) PAINT FINISH

INTERIOR WALLS - EXISTING: (RESTORE WHERE MARKED 'C' ON FLOOR PLANS A-1 AND A-2)

- 1) LIGHT METAL FRAMING TO MATCH EXISTING; 2) THERMAFIBER FIRE AND SOUND GUARD INSULATION; 3) TYPE X GYPSUM BOARD; 4) PAINT FINISH. SEE SPEC. NO. 092900 GYPSUM BOARD ASSEMBLIES, 099100 PAINT.

ACCESS DOOR NOTES:

1. HR. FIRE RATED ACCESS DOOR AS SPECIFIED
2. CONCEALED FLANGE, TAPE AND SPACKLE THROUGHOUT U.N.O.
3. ACCESS DOOR SIZE DETERMINED BY EXISTING CHASE WALL DIMENSIONS.
4. TYPICALLY EXISTING ACCESS DOORS ARE 8" WIDE DUE TO WALL LENGTH RESTRICTIONS. HEIGHT OF NEW DOOR SHALL BE 2'-0" UNLESS OTHERWISE NOTED. FIELD CONDITIONS SHALL BE VERIFIED BY CONTRACTOR TO DETERMINE ACTUAL DOOR SIZE.
5. INSTALL 12" X 24" ACCESS DOOR WHERE IT CAN BE ACCOMMODATED.

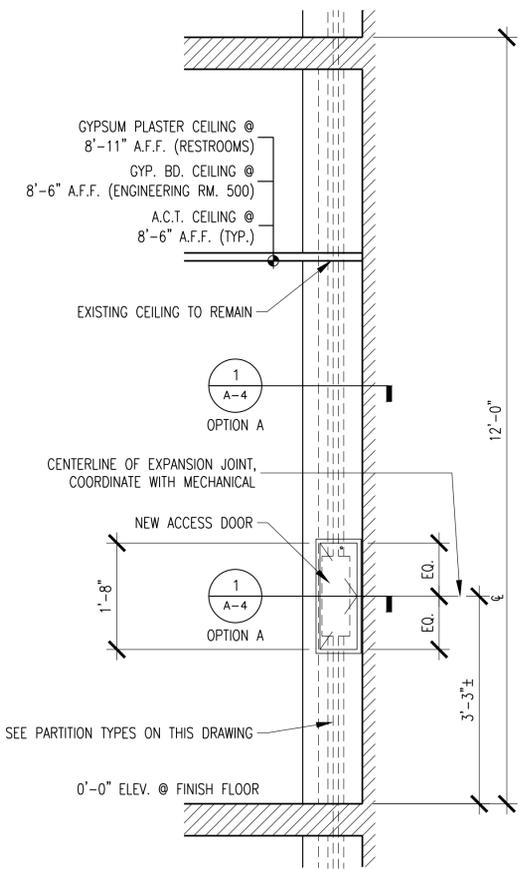
LEAD ABATEMENT NOTE - ITEM B:

1. PERFORM LEAD ABATEMENT FOR PAINT ON PLASTER TO BE REMOVED.
2. EXISTING PAINT ON PLASTER TO BE REMOVED CONTAINS LEAD. PERFORM LEAD ABATEMENT IN THE QUANTITY OF 30 S.F.
3. SEE SPECIFICATIONS.
4. FOLLOW ALL STATE AND LOCAL REGULATIONS AND ORDINANCES

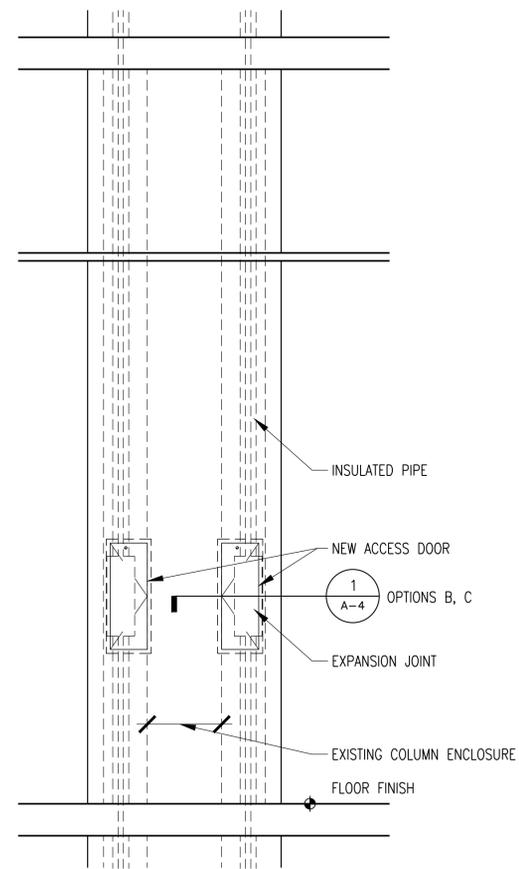
GENERAL NOTE:

1. DIMENSIONS ARE GIVEN FOR BIDDING PURPOSES AND REFLECT EXISTING CONDITIONS THAT SHALL BE VERIFIED BY CONTRACTOR
2. PART PLANS ARE SHOWN FOR GUIDANCE AND BIDDING PURPOSES. CONTRACTOR IS RESPONSIBLE FOR MEASURING EACH PIPE CHASE

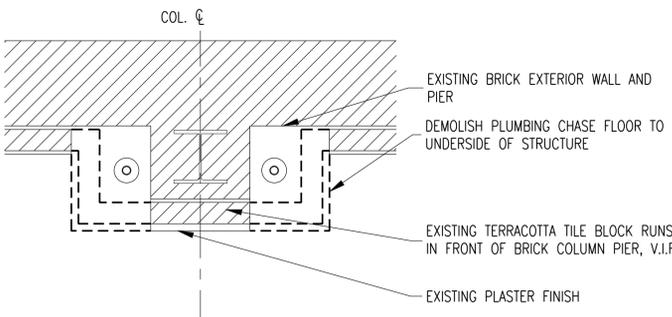
LEAD ABATEMENT - ITEM B
 ALL PAINT COVERING EXISTING PLASTER TO BE REMOVED CONTAINS LEAD TO BE ABATED UNDER ITEM B



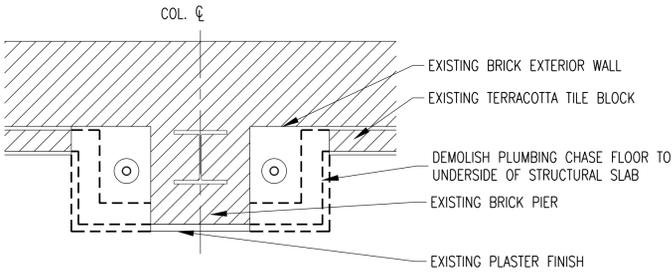
NOTE: FINISH FLOOR @ RM 500 @ 6" ABOVE TOP OF SLAB (RAISED ACCESS FLOOR)
A SIDE ELEVATION.-OPTION A
 1"=1'-0"



B FRONT ELEVATION - OPTIONS B, C
 1"=1'-0"



TYPE A



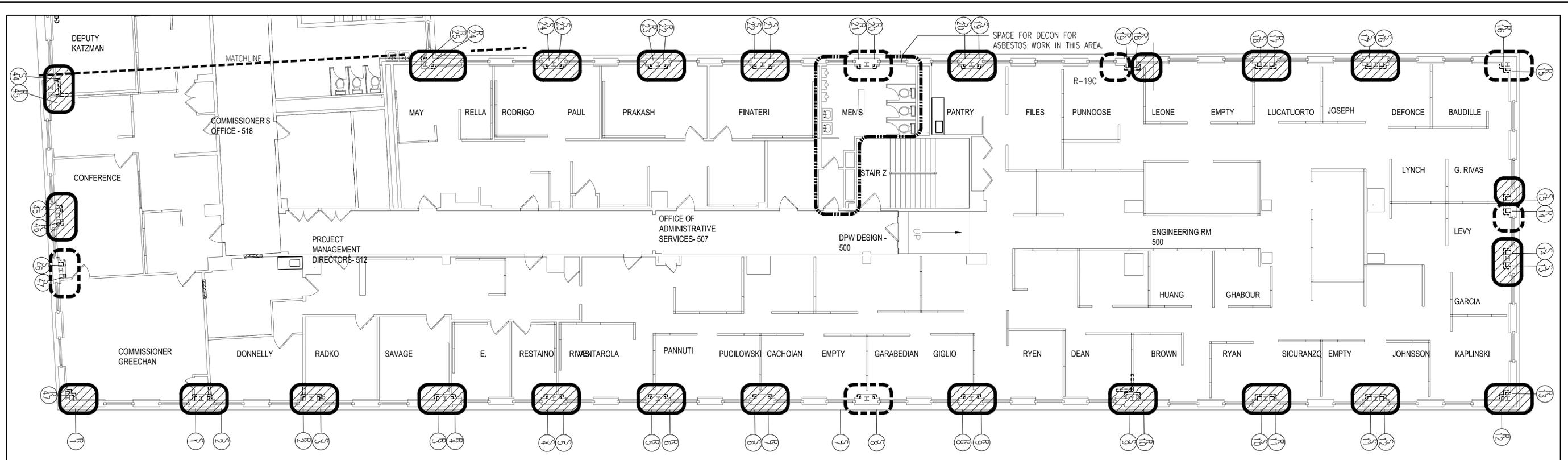
TYPE B

NOTE: TYPICAL PLUMBING CHASE DEMOLITION PLANS AT BUILDING PERIMETER

TYPICAL DEMOLITION PLANS
 1" = 1'-0"

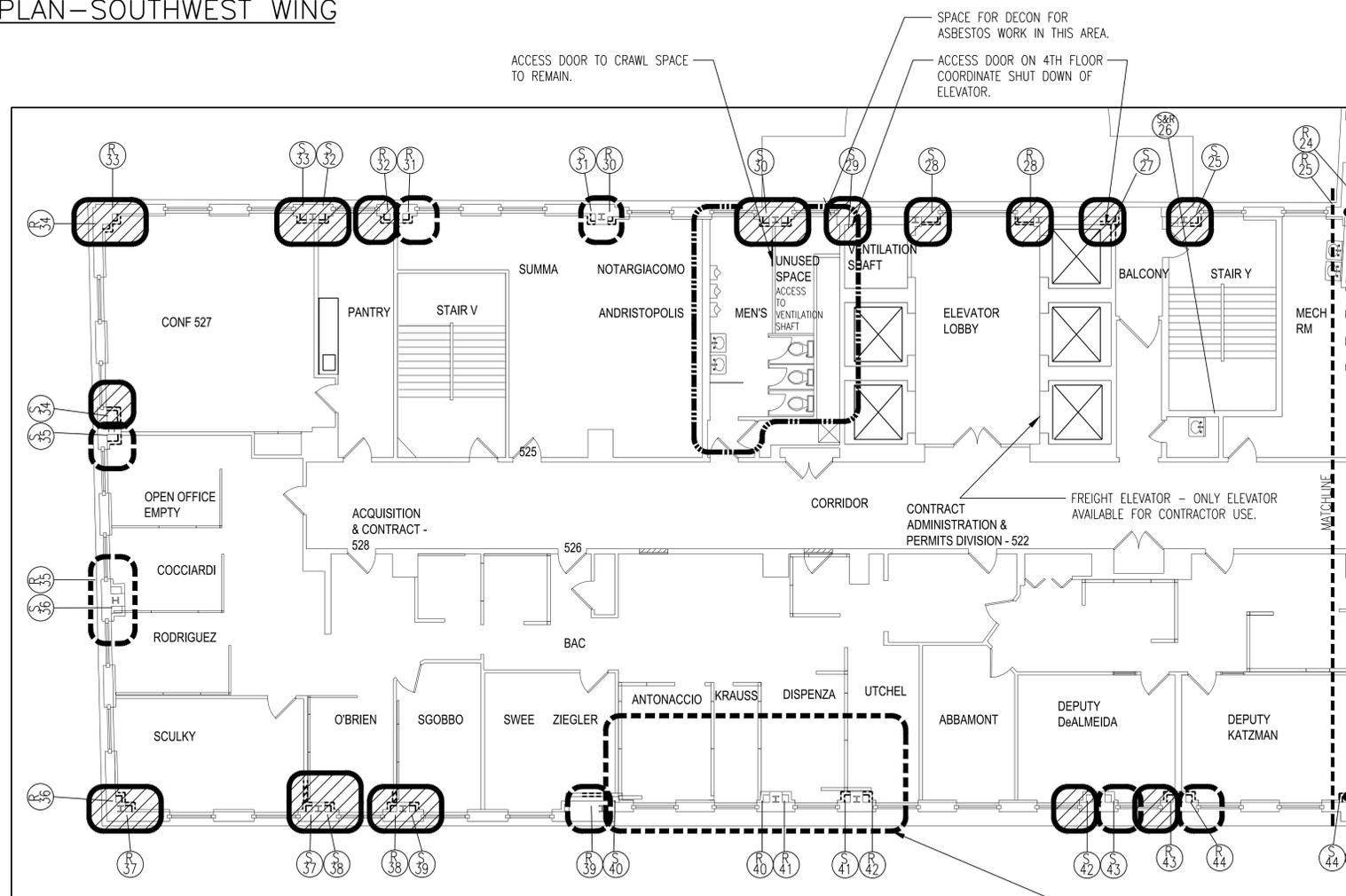
IN CHARGE OF ADAM KAPLINSKI, R.A.
 CHECKED BY ADAM KAPLINSKI, R.A.
 MADE BY ALEXIS GARCIA

REVISION NUMBER	DATE	MADE BY	APP'D BY	REVISION
RECORD DRAWING CERTIFICATION				
<input type="checkbox"/> AS BUILT - CHANGES AS NOTED <input type="checkbox"/> AS BUILT - NO CHANGES				
NAME _____		PROJECT COORDINATOR		
SIGNATURE _____		SIGNATURE _____		
TITLE _____		TITLE _____		
DATE _____		DATE _____		
CONTRACT NUMBER		SHEET NUMBER		
21-528		A-4		
WESTCHESTER COUNTY, NEW YORK				SHEET NO. 6 OF 12
DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION				SCALE: AS SHOWN
DIVISION OF ENGINEERING				DATE: 12/03/2021
STEAM SYSTEM UPGRADES - PHASE II				DPW FILE NO.
MICHAELIAN OFFICE BUILDING				52-02-A-1325
148 MARTINE AVE., WHITE PLAINS, NY				REV. NO.
EXPANSION JOINT CHASE WALL DETAILS- ITEM E				0

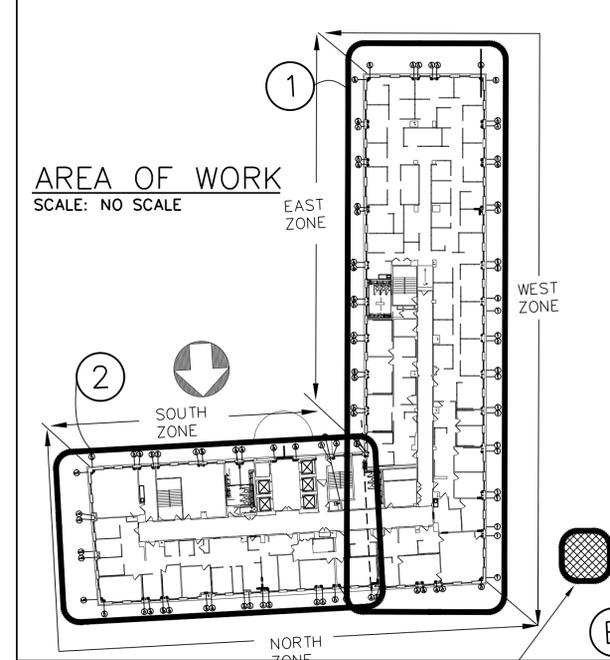


1 5TH FLOOR ABATEMENT PLAN—SOUTHWEST WING
SCALE: 1/8" = 1'-0"

ASBESTOS NOTE
PERFORM ASBESTOS ABATEMENT AS REQUIRED WITHIN WALL CHASES TO THE EXTENT ASBESTOS IS EXPOSED DURING ARCHITECTURAL UPGRADES. APPROXIMATELY 3 FT OF ABATEMENT PER EXPANSION JOINT.



2 5TH FLOOR ABATEMENT PLAN—NORTHEAST WING
SCALE: 1/8" = 1'-0"



REMOVE AND DISPOSE OF ASBESTOS CONTAINING PIPE INSULATION ABOVE AND BELOW STEAM EXPANSION JOINT LOCATIONS. SEE ASBESTOS ABATEMENT SPECIFICATION SECTIONS.

LEGEND

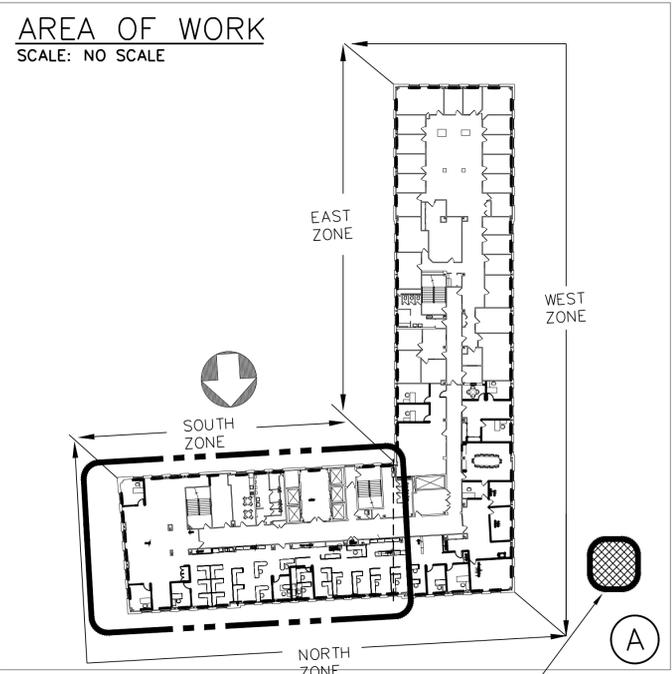
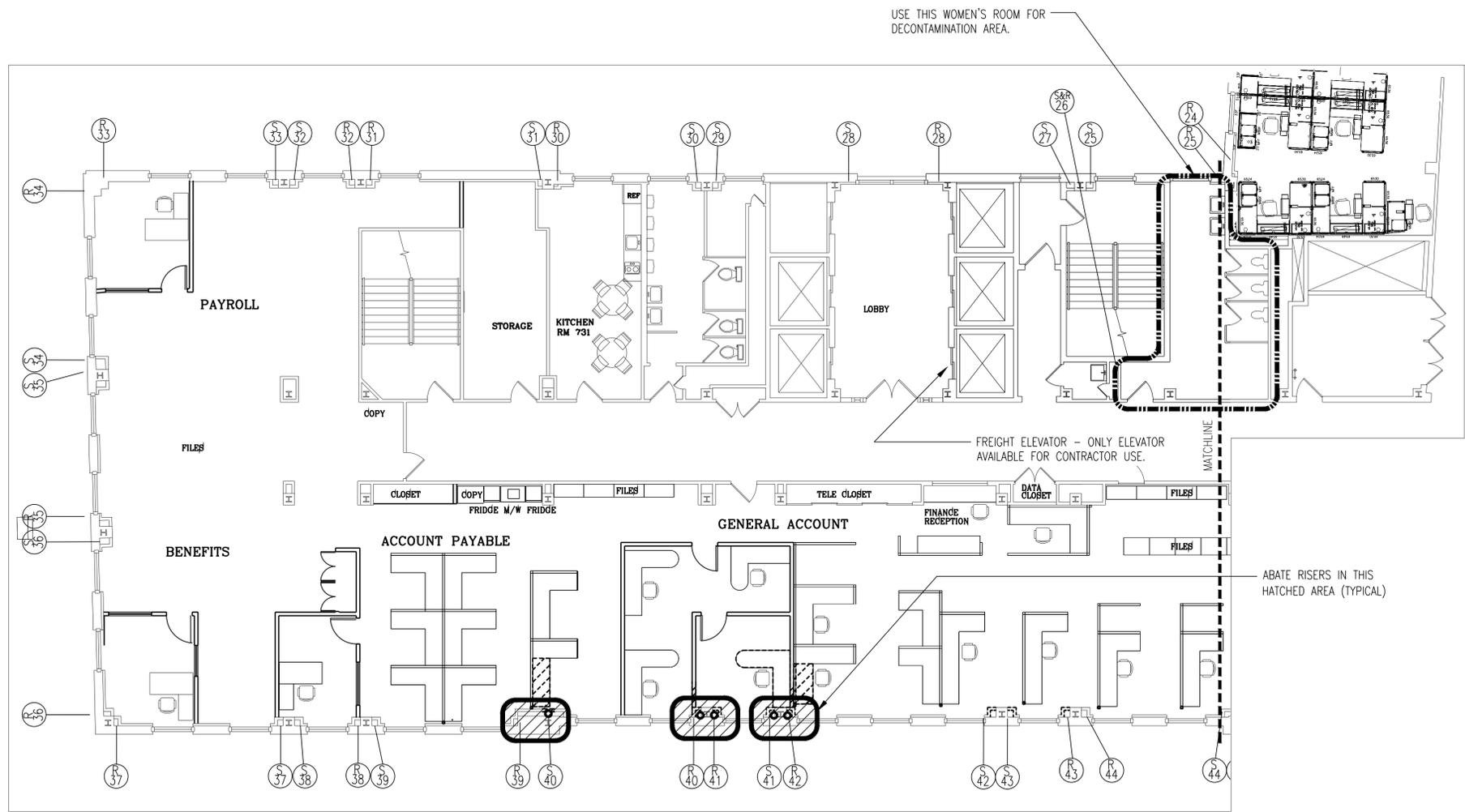
--- DECONTAMINATION BOUNDARY

○ ASBESTOS ABATEMENT NOT REQUIRED

○ REMOTE DECON FOR STORAGE BY EMPLOYEE ONLY ENTRANCE (MARTINE AVE).

IN CHARGE OF JAI PUNNOOSE, P.E.
CHECKED BY JAI PUNNOOSE, P.E.
MADE BY VINCENT LEONE, P.E.

WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING		CONTRACT NUMBER 21-528	SHEET NUMBER AS-1
		SHEET NO. 7 OF 12	
STEAM SYSTEM UPGRADES, PHASE II MICHAELIAN OFFICE BUILDING 148 MARTINE AVE, WHITE PLAINS, NEW YORK ASBESTOS ABATEMENT 5TH FLOOR ITEM D		SCALE: AS SHOWN DATE: 12/3/2021	REV. NO.
		DPW FILE NO.	52-02-AS-1326



LEGEND

REMOVE AND DISPOSE OF ASBESTOS CONTAINING PIPE INSULATION ABOVE AND BELOW STEAM EXPANSION JOINT LOCATIONS. SEE ASBESTOS ABATEMENT SPECIFICATION SECTIONS.

ABATEMENT NOT REQUIRED

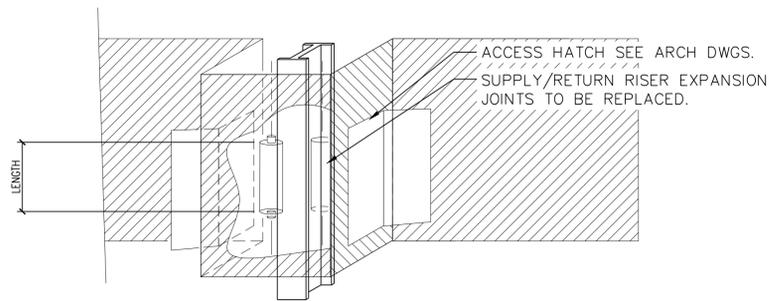
DECONTAMINATION BOUNDARY

R/S

IN CHARGE OF JAI PUNNOOSE, P.E.
 CHECKED BY JAI PUNNOOSE, P.E.
 MADE BY VINCENT LEONE, P.E.

1 7TH FLOOR ABATEMENT PLAN-NORTHEAST WING
 SCALE: 1/8" = 1'-0"

WESTCHESTER COUNTY, NEW YORK		CONTRACT NUMBER	SHEET NUMBER
DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION		21-528	AS-2
DIVISION OF ENGINEERING		SHEET NO. 8 OF 12	
STEAM SYSTEM UPGRADES, PHASE II		SCALE: AS SHOWN	
MICHAELIAN OFFICE BUILDING		DATE: 12/3/2021	
148 MARTINE AVE, WHITE PLAINS, NEW YORK		DPW FILE NO.	REV. NO.
ASBESTOS ABATEMENT 7TH FLOOR ITEM D		52-02-AS-1327	



1 EXPANSION JOINT DETAIL
SCALE: NONE

EXPANSION JOINT REPLACEMENT NOTES:

- RELOCATE OFFICE FURNITURE AS REQUIRED TO PERFORM REPLACEMENT WORK.
- REFER TO ARCHITECTURAL DWGS FOR WALL MODIFICATIONS REQUIRED TO REMOVE EXISTING AND INSTALL NEW EXPANSION JOINTS.
- REMOVE EXISTING EXPANSION JOINTS IN WALL CHASE. TEMPORARILY SUPPORT PIPE AS NEEDED.
- PREPARE EXISTING PIPING TO RECEIVE NEW EXPANSION JOINT. INSTALL EXPANSION JOINTS WITH UNIONS ON EITHER SIDE FOR SIZES 2" AND SMALLER. EXPANSION JOINTS 2 1/2" AND LARGER SHALL BE FLANGED TYPE.
- ALL STEAM SUPPLY PIPING SHALL BE SCHEDULE 40 BLACK STEEL. ALL CONDENSATE RETURN & STEAM DRIP RETURN PIPING SHALL BE SCHEDULE 80 BLACK STEEL.
- FURNISH AND INSTALL ACCESS DOORS AND PAINT. INSTALL ACCESS DOOR WITH FRAME AND PATCH WALL AROUND ACCESS DOOR AS REQUIRED.
- EXPANSION JOINT SHALL BE WRAPPED IN BLANKET INSULATION (MINIMUM R-6). BLANKET INSULATION SHALL BE SECURED IN PLACE LOOSELY WITH REMOVABLE FASTENERS SUCH THAT INSULATION CAN BE OPENED TO MONITOR CONDITION OF EXPANSION JOINT AND RE-WRAPPED FROM NEW ACCESS PANEL.

FOR LOCATIONS WHERE EXPANSION JOINTS HAVE ALREADY BEEN REPLACED, PROVIDE NEW ACCESS PANELS.

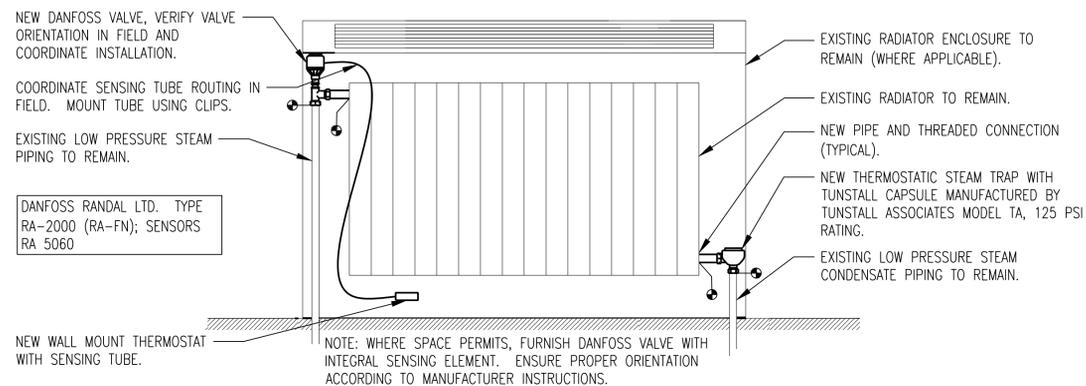
EXPANSION JOINTS BASED ON HYSPAN		
NOM. PIPE	LENGTH (IN.)	MODEL
2-1/2 "	16.000	8505/FLG-235-2
2 "	14.375	8503/THD-231-2
1-1/2 "	14.375	8503/THD-227-2
1 "	13.125	8503/THD-219-2
3/4 "	13.125	8503/THD-214-2

EXPANSION JOINT ABATEMENT NOTES:

- ABATED PIPING SECTION SHALL BE CLEANED OF ALL ACM.
- THE OPEN ENDS OF PIPES CONTAINING ACM SHALL BE SEALED WITH WET WRAP OR ANOTHER APPROPRIATE ENCAPSULATION MATERIAL.
- ALL ENCLOSED/WRAPPED SURFACES SHALL BE WET PIPED AND HEPA VACUUMED.

ITEM D

ITEM A



2 RADIATOR WORK DETAIL
SCALE: NONE

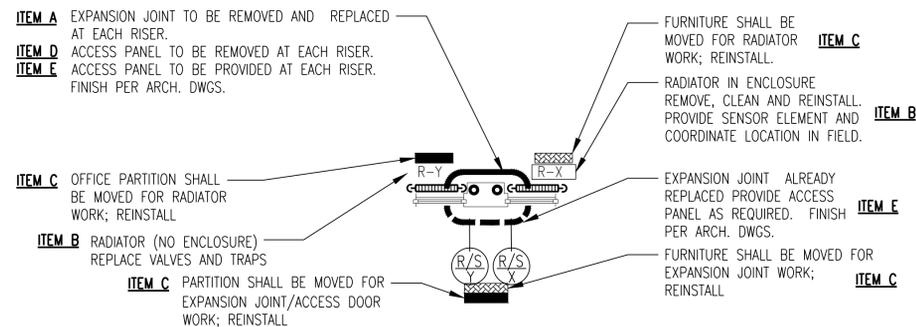
RADIATOR VALVE AND STEAM TRAP NOTES:

- PREPARE EACH AREA FOR VALVE REPLACEMENT. MOVE FURNITURE, RADIATOR COVER ETC. AS REQUIRED.
- REPLACE ALL RADIATOR VALVES WITH NEW TAMPER RESISTANT THERMOSTATIC VALVE AND REMOTE MOUNTED SENSOR WHERE REQUIRED (SEE NOTE BELOW). NEW VALVE SHALL BE SIZED TO MATCH EXISTING PIPING. VALVES SHALL BE SUITABLE FOR ANGLE, STRAIGHT OR VERTICAL TYPE INSTALLATION. COORDINATE EXACT TYPE IN FIELD (TYPICAL FOR ALL VALVES ON 5TH FLOOR AND WHERE SHOWN ON RISER DIAGRAM FOR 7TH FLOOR).
- FOR RADIATORS WITH ENCLOSURES, OR WHERE SPACE DOES NOT ALLOW FOR SIDE MOUNT ORIENTATION WHERE AN INTEGRAL SENSOR WOULD BE INSUFFICIENT TO MONITOR ROOM AIR TEMPERATURE, INSTALL NEW THERMOSTATIC SENSOR NEXT TO RADIATOR ON WALL. COORDINATE SENSING TUBE ROUTING IN FIELD. MOUNT TUBE USING CLIPS (TYPICAL).
- REPLACE EXISTING STEAM TRAP WITH NEW THERMOSTATIC TRAP. NEW TRAP SHALL BE SIZED TO MATCH EXISTING. TRAPS SHALL BE SUITABLE FOR ANGLE TYPE INSTALLATION. COORDINATE EXACT TYPE IN FIELD (TYPICAL FOR ALL RADIATOR TRAPS ON 5TH FLOOR AND WHERE SHOWN ON RISER DIAGRAM FOR 7TH FLOOR).
- PROVIDE ALL REQUIRED PIPE NIPPLES, UNIONS, FITTINGS ETC. FOR A COMPLETE INSTALLATION.
- RETURN FURNITURE/RADIATOR COVER TO ITS ORIGINAL LOCATION (TYPICAL).

IN CHARGE OF JAI PUNNOOSE, P.E.
CHECKED BY VINCENT LEONE, P.E.
MADE BY VINCENT LEONE, P.E.

ITEM B

LEGEND



SYMBOLS AND ABBREVIATIONS	
	POINT OF DISCONNECTION
	CONDENSATE PIPES
	STEAM SUPPLY PIPES
	GATE VALVE
	BALL VALVE
	CAP
	UNION
	REMOVE PIPE
	PIPE TURNED UP
	NEW TO EXISTING CONNECTION
	FLOAT & THERMOSTATIC TRAP
	PIPE TURNED DOWN
	STUB UP TO RADIATOR
	SUPPLY RISER 9 (DOWNFEED)
	C.R. RISER 9
	BMS BUILDING MANAGEMENT SYSTEM
	C.R. CONDENSATE
	S.D. STEAM DRIP
	L.P.R. LOW PRESSURE RETURN
	L.P.S. LOW PRESSURE STEAM
	E.D.R. EQUIVALENT DIRECT RADIATION
	R.F. RETURN FAN
	E.F. EXHAUST FAN
	A.H.U. AIR HANDLING UNIT
	S.C.H. SCHEDULE
	F.L.R.S. FLOORS
	D.W.G.S. DRAWINGS
	G.C. GENERAL CONTRACTING
	P.R.V. PRESSURE REDUCING VALVE
	R.T.D. RESISTANCE TEMPERATURE DETECTOR
	N.P.T. NATIONAL PIPE THREAD (TAPERED)
	D.P.W. DEPARTMENT OF PUBLIC WORKS
	T.Y.P. TYPICAL
	E.T.R. EXISTING TO REMAIN
	P.D. PUMPED DISCHARGE
	P.W.M. PULSE WIDTH MODULATION

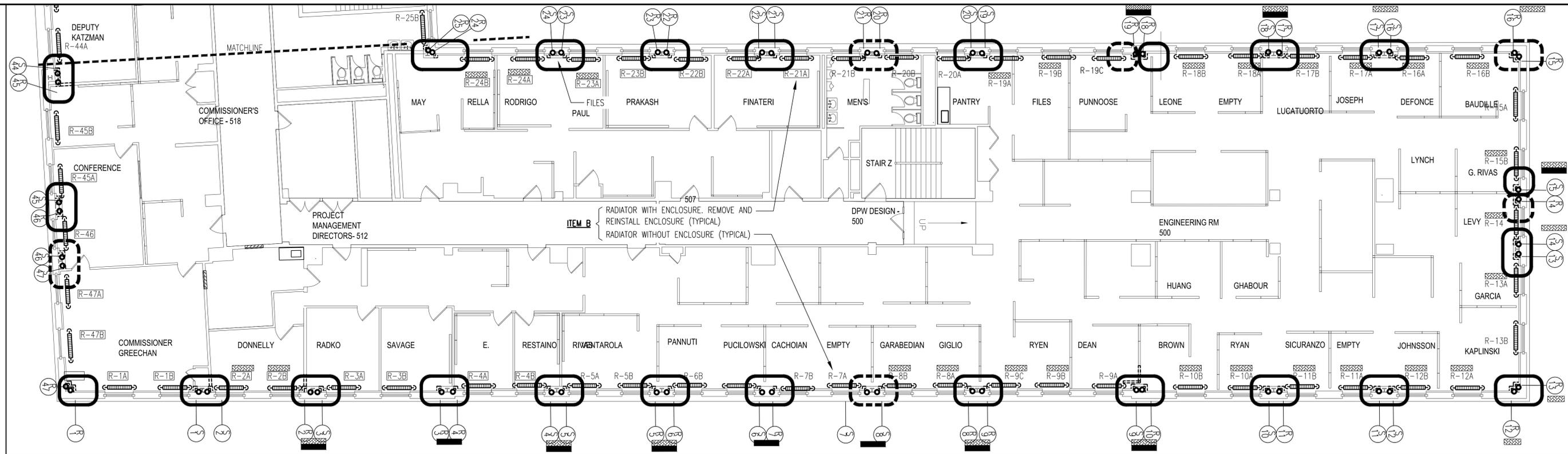
WESTCHESTER COUNTY, NEW YORK
DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION
DIVISION OF ENGINEERING

CONTRACT NUMBER: 21-528
SHEET NUMBER: H-1
SHEET NO. 9 OF 12

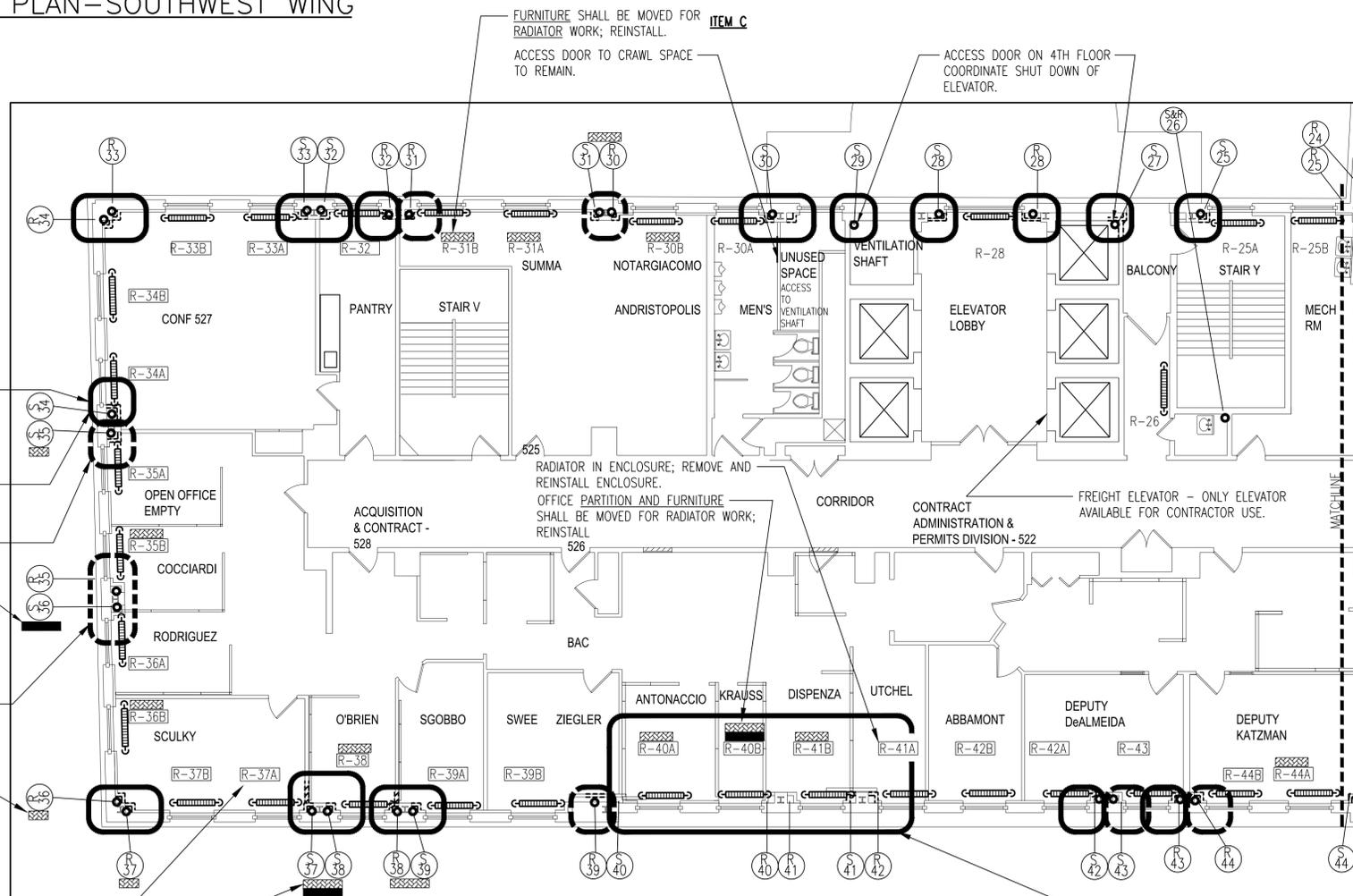
SCALE: AS SHOWN
DATE: 12/3/2021

148 MARTINE AVE, WHITE PLAINS, NEW YORK
GENERAL NOTES AND DETAILS

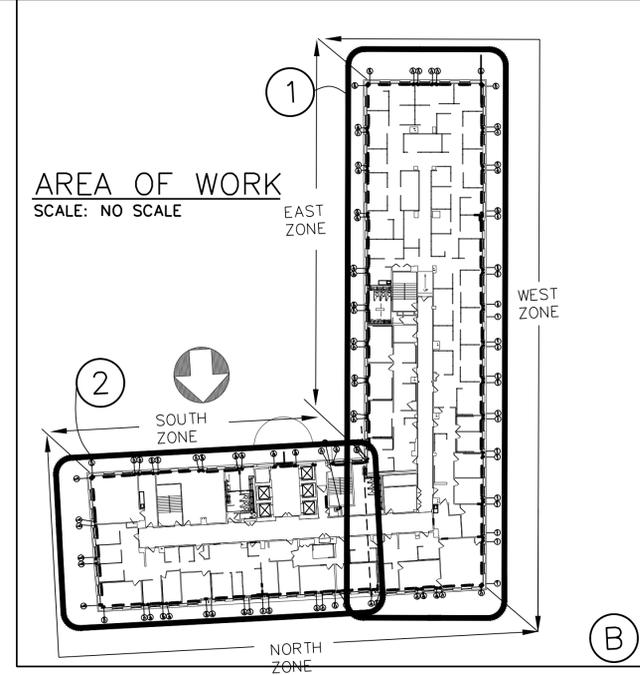
DPW FILE NO. 52-02-H-1328
REV. NO.



1 5TH FLOOR MECHANICAL PLAN - SOUTHWEST WING
SCALE: 1/8" = 1'-0"



2 5TH FLOOR MECHANICAL PLAN - NORTHEAST WING
SCALE: 1/8" = 1'-0"

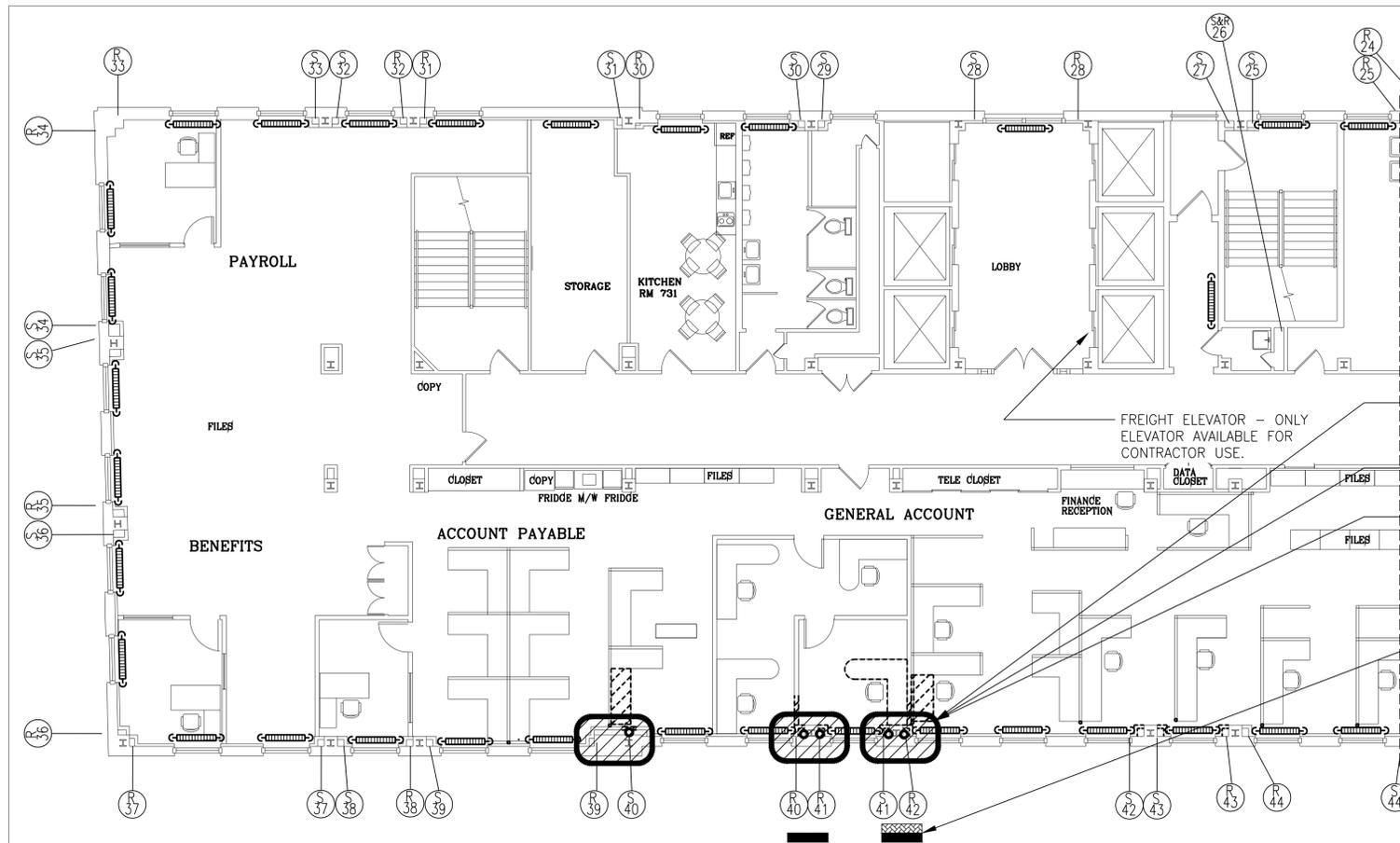


IN CHARGE OF JAI PUNNOOSE, P.E.
CHECKED BY JAI PUNNOOSE, P.E.
MADE BY VINCENT LEONE, P.E.

REMOVE, CLEAN AND REINSTALL RADIATOR COVERS ON THE 5TH FLOOR. SEE DETAILS ON DETAIL SHEETS (TYPICAL).
FURNITURE SHALL BE MOVED FOR EXPANSION JOINT WORK (REINSTALL) ITEM C

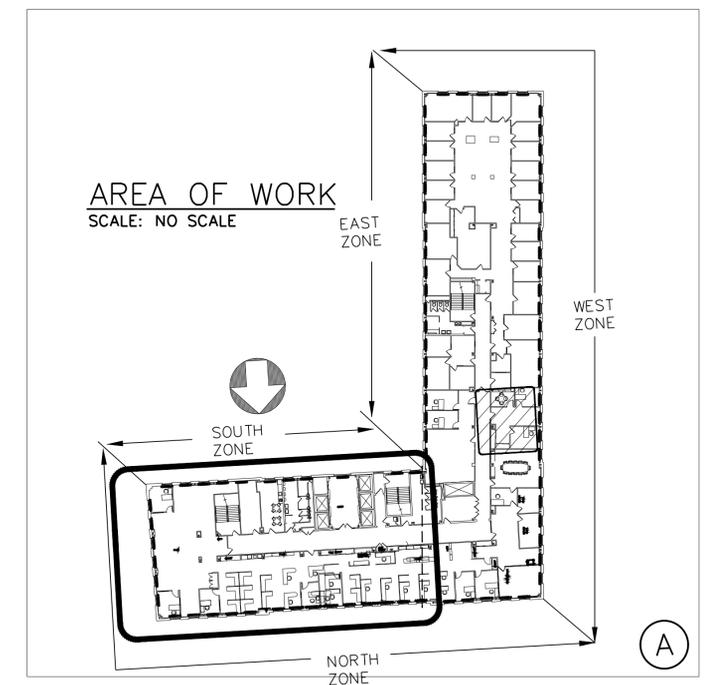
EXPANSION JOINTS FOR RISERS IN THIS PORTION OF THE BUILDING ARE LOCATED ON THE 7TH FLOOR. SEE OTHER SHEETS. ITEM A

WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING		CONTRACT NUMBER 21-528	SHEET NUMBER H-2
STEAM SYSTEM UPGRADES, PHASE II MICHAELIAN OFFICE BUILDING 148 MARTINE AVE, WHITE PLAINS, NEW YORK MOB 5TH FLOOR MECHANICAL PLAN		SHEET NO. 10 OF 12 SCALE: AS SHOWN DATE: 12/3/2021 DPW FILE NO. 52-02-H-1329	REV. NO.



- REMOVE AND PROVIDE NEW ACCESS PANELS SEE LEGEND ON **ITEM E** SHEET H-1(TYPICAL).
- REMOVE AND REPLACE EXPANSION **ITEM A** JOINTS (TYPICAL).
- PROVIDE ACCESS PANELS(TYPICAL). **ITEM E**
- PARTITION AND FURNITURE SHALL BE MOVED FOR EXPANSION JOINT WORK REINSTALL **ITEM C**

1 7TH FLOOR MECHANICAL PLAN-NORTHEAST WING
SCALE: 1/8" = 1'-0"

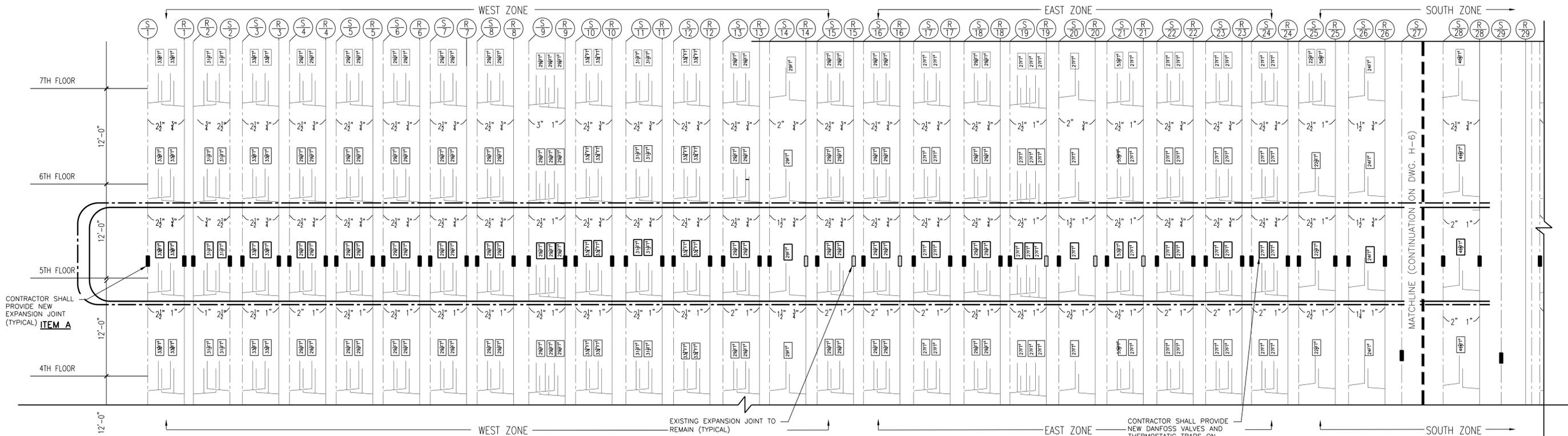


IN CHARGE OF JAI PUNNOOSE, P.E.
 CHECKED BY JAI PUNNOOSE, P.E.
 MADE BY VINCENT LEONE, P.E.

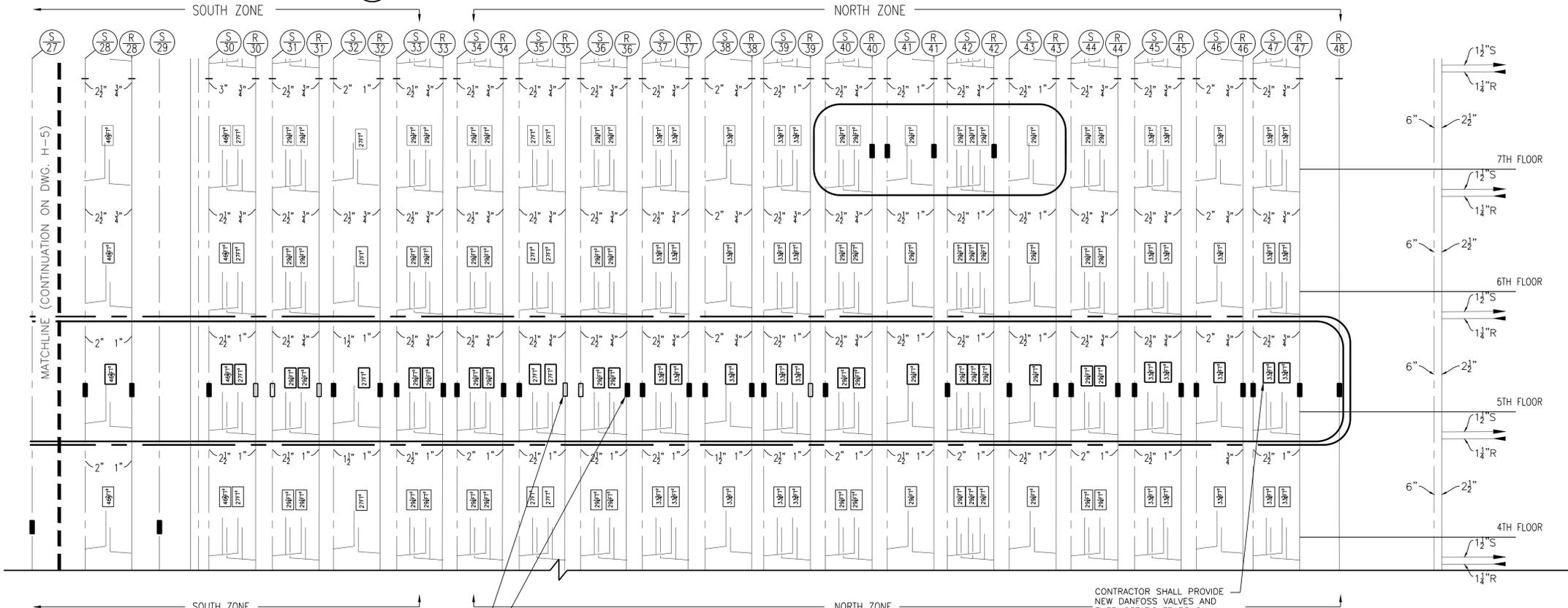
WESTCHESTER COUNTY, NEW YORK
DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION
 DIVISION OF ENGINEERING

STEAM SYSTEM UPGRADES, PHASE II
 MICHAELIAN OFFICE BUILDING
 148 MARTINE AVE, WHITE PLAINS, NEW YORK
 MOB 7TH FLOOR MECHANICAL PLAN

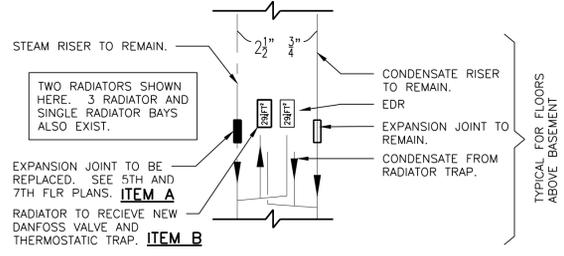
CONTRACT NUMBER 21-528	SHEET NUMBER H-3
SHEET NO. 11 OF 12	
SCALE: AS SHOWN DATE: 12/3/2021	
DPW FILE NO. 52-02-H-1330	REV. NO.



1 RISER DIAGRAM PART 1 - FLOORS 4 TO 7
SCALE: NO SCALE



2 RISER DIAGRAM PART 2 - FLOORS 4 TO 7
SCALE: NO SCALE



3 RISER DETAIL
SCALE: NO SCALE

- OFFSET IN RISER (ALL OFFSETS TO BE SWING JOINT OR EXPANSION)
- EXPANSION JOINT
- ANCHOR
- ITEM A EXPANSION JOINT REPLACEMENT WORK ON 5TH & 7TH FLOORS
- ITEM B INSTALL CONTROL VALVES AND TRAPS ON RADIATORS

IN CHARGE OF JAI PUNNOOSE, P.E.
 CHECKED BY JAI PUNNOOSE, P.E.
 MADE BY VINCENT LEONE, P.E.

WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING		CONTRACT NUMBER 21-528	SHEET NUMBER H-4
STEAM SYSTEM UPGRADES, PHASE II MICHAELIAN OFFICE BUILDING 148 MARTINE AVE, WHITE PLAINS, NEW YORK MOB STEAM RISER DIAGRAM (5TH & 7TH FLOORS)		SHEET NO. 12 OF 12	SCALE: AS SHOWN DATE: 12/3/2021
		DPW FILE NO. 52-02-H-1331	REV. NO. 0