

NO.	ISSUANCE	DATE	REVISION
1	DESIGN DRAWING SET	10-11-2019	
2	BID	02-16-2022	

LIST OF DRAWINGS

GENERAL:

T1 TITLE SHEET & LIST OF DRAWINGS
G1 LOCATION MAP, ABBREVIATIONS, LEGENDS, GENERAL NOTES, GENERAL WINDOW NOTES & GENERAL REMOVAL NOTES

ABATEMENT

PS29-ASB-102 ROOF ASBESTOS CONTAINING MATERIAL LOCATION DRAWING
PHS-ASB-103 ROOF ASBESTOS CONTAINING MATERIAL LOCATION DRAWING
PHS-ASB-104 ELEVATIONS ASBESTOS CONTAINING MATERIAL LOCATION DRAWING

ARCHITECTURAL

PS 29

PS29-A110 ROOF PLAN
PS29-A625 ROOF DETAILS
PS29-A626 ROOF DETAILS
PS29-A627 ROOF DETAILS
PS29-A628 ROOF DETAILS
PS29-A629 ROOF DETAILS
PS29-A630 EXTERIOR ELEVATIONS, WALL SECTIONS, WINDOW TYPES & DETAILS
PS29-A631 DOOR SCHEDULE, WINDOW DETAILS & DOOR DETAILS

PEARLS HAWTHORNE

PHS-L1 SITE PLAN
PHS-A100 BASEMENT FLOOR PLAN
PHS-A101 FIRST FLOOR PLAN
PHS-A102 SECOND FLOOR PLAN
PHS-A103 THIRD FLOOR PLAN

PHS-A110 ROOF PLAN

PHS-A300 EXTERIOR ELEVATIONS
PHS-A301 EXTERIOR ELEVATIONS
PHS-A302 EXTERIOR ELEVATIONS
PHS-A430 MASONRY DETAILS
PHS-A431 PARTIAL SITE PLAN, SITE DETAILS AND CONCRETE REPAIR NOTES
PHS-A432 CONCRETE REPAIR DETAILS, PARTIAL BASEMENT PLAN & MISCELLANEOUS DETAILS

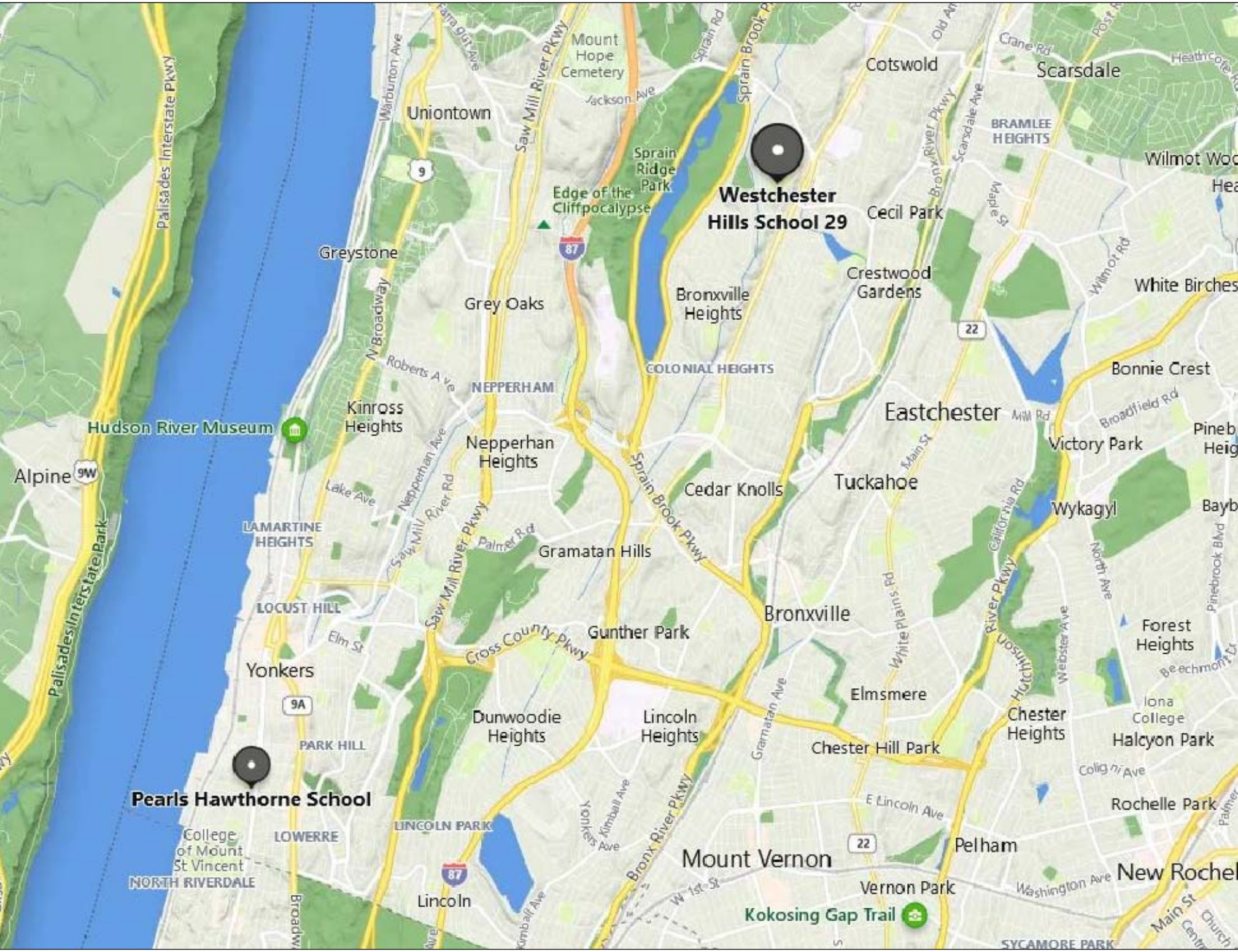
PHS-A625 ROOF DETAILS
PHS-A626 ROOF DETAILS
PHS-A627 ROOF DETAILS
PHS-A628 ROOF DETAILS

PHS-A700 DOOR SCHEDULE

PLUMBING:
PHS-P100 PARTIAL BASEMENT PLAN & DETAILS

ELECTRICAL:

PHS-E100 GENERAL NOTES & DETAILS
PHS-E101 PARTIAL BASEMENT PLAN, PARTIAL FIRST FLOOR PLAN, PARTIAL SECOND FLOOR PLAN & PARTIAL THIRD FLOOR PLAN



PROJECT LOCATION MAP

SCALE: N.T.S.

PS 29 - 47 CROYDON ROAD YONKERS, NY 10710
PEARLS HAWTHORNE - 350 HAWTHORNE AVENUE YONKERS, NY 10705

DESIGN TEAM:

ARCHITECT
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ROOF
WATSKY ASSOCIATES

20 MADISON AVENUE
VALHALLA, NY 10595
phone: 914.948.3450

SED #

PS 29
PEARLS HAWTHORNE

YPS JOB #

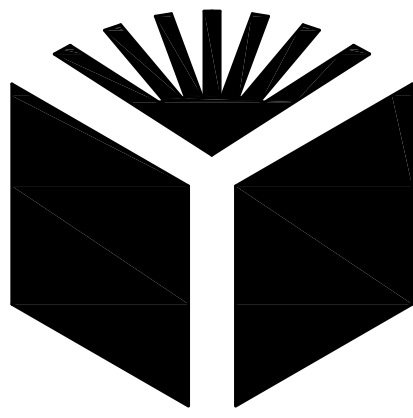
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#66-23-00-01-0-101-008

10867
10869

YONKERS PUBLIC SCHOOLS

One Larkin Center, Yonkers, New York 10701

MULTIPLE BUILDING ENVELOPE RENOVATIONS &
RELATED WORK GROUP B AT
SCHOOL 29 & PEARLS HAWTHORNE SCHOOL



YONKERS PUBLIC SCHOOLS

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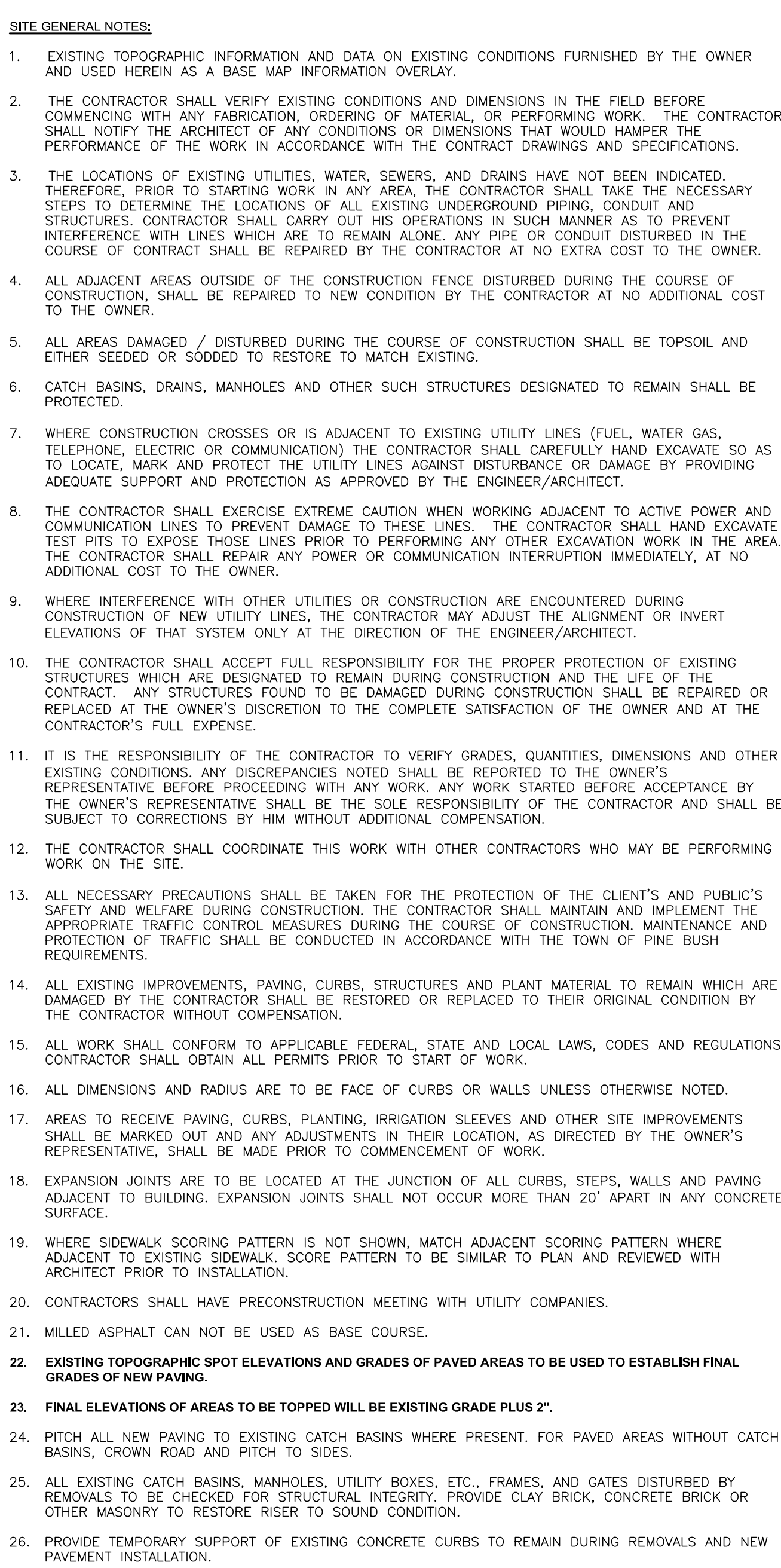
FEBRUARY 16, 2022

GENERAL SITE NOTES:

PART = PUMP(IN-LINE OR PART MOUNTED)
 PART = PARTIAL
 PB-CONTR = PLUMBING CONTRACTOR
 PB = PANEL BOX
 POC = POWER CHARGING CABINET
 PD = PRESSURE DROP
 PH = PHASE
 PLT = PLATE
 PLUMB = PLUMBING
 PLYWOOD = PLYWOOD
 PNL = PANEL
 PREFAB = PREFABRICATED
 PRESS = PRESSURE
 PROTECT = PROTECTION SCREEN
 PSI = POUNDS PER SQUARE INCH
 PT = PRESSURE TREATED
 QT = QUANTITY
 QTY = QUANTITY
 R = RISER/RADIUS
 RA = RETURN AIR
 RAD = RADIATOR
 RD = ROOF DRAIN
 RE = REFRIGERATING FAN
 REINF = REINFORCED
 RECD = RECOVERED
 RH = RELATIVE HUMIDITY
 RO = ROOM
 RM = ROOM OPENING
 RPM = REVOLUTIONS PER MINUTE
 RTU = ROOF TOP UNIT
 S = SINK
 SA = SUPPLY AIR
 SAN = SANITARY
 SCHED = SCHEDULE
 SEC = SECOND
 S.DMPR = SMOKE DAMPER
 SEF = SEWER
 SF = SQUARE FOOT
 SIM = SIMILAR
 SPEC(S) = SPECIFICATION(S)
 SQ = SQUARE
 SQ FT = SQUARE FEET
 STD = STANDARD STEEL
 STO = STANDARD
 STM = STEAM
 STOR = STORAGE
 STRUCT = STRUCTURAL
 SUSP = SUSPENDED
 T = TREAD/TOILET
 T.CP = TEMPERATURE CONTROL
 T.D = TRENCH DRAIN
 T.DIFF = TEMPERATURE DIFFERENCE
 TELP = TELEPHONE
 TEMP = TEMPERATURE
 TH = THICKNESS
 TH.O = TRIMMED OPENING
 T.O.C = TOP OF CURB
 T.O.P = TOP OF PARAPET
 T.O.S = TOP OF SLAB
 T.P = TOTAL STATIC PRESSURE
 TSTAT = THERMOSTAT
 TYP = TYPICAL
 U = URINAL
 UH = UNIT HEATER
 UL = UNDERWRITERS LABORATORY
 UNFIN = UNFINISHED
 UV = UNIT VENTILATOR
 V = VOLT
 VAV = VARIABLE AIR VOLUME
 V.C.T = VENTILATION COMPOSITION TILE
 V.D = VOLUME DAMPER
 VEL = VELOCITY
 VENT = VENTILATE
 V.F = VERIFY IN FIELD
 VALV = VALVE
 VOL = VOLUME
 V.P = VISION PANEL
 V.W.C. = VINYL WALL COVERING
 W = WOMEN/WIDENESS
 W = WITH
 WB = WET BULB
 WC = WATER CLOSET
 WD = WOOD
 WE = WALL EXHAUST FAN
 WE/WEG = WALL EXHAUST
 WG = REGISTER/GRILLE
 W.G. = INCHES OF WATER, GAGE (PRESSURE)
 W.G. = WET GLOSS
 WK = WORK
 W.P. = WOOD PITCH
 W.P. = WATER PROOF
 WR = WATER RESISTANT
 WR/WRG = WATER RESISTANT
 WSR/WSG = WALL SUPPLY
 WSR = REGISTER/GRILLE
 WTR = WATER
 W.W.F. = WELDED WIRE FABRIC
 W.W.M. = WELDED WIRE MESH
 YD = YARD DRAIN

MATERIALS LEGEND

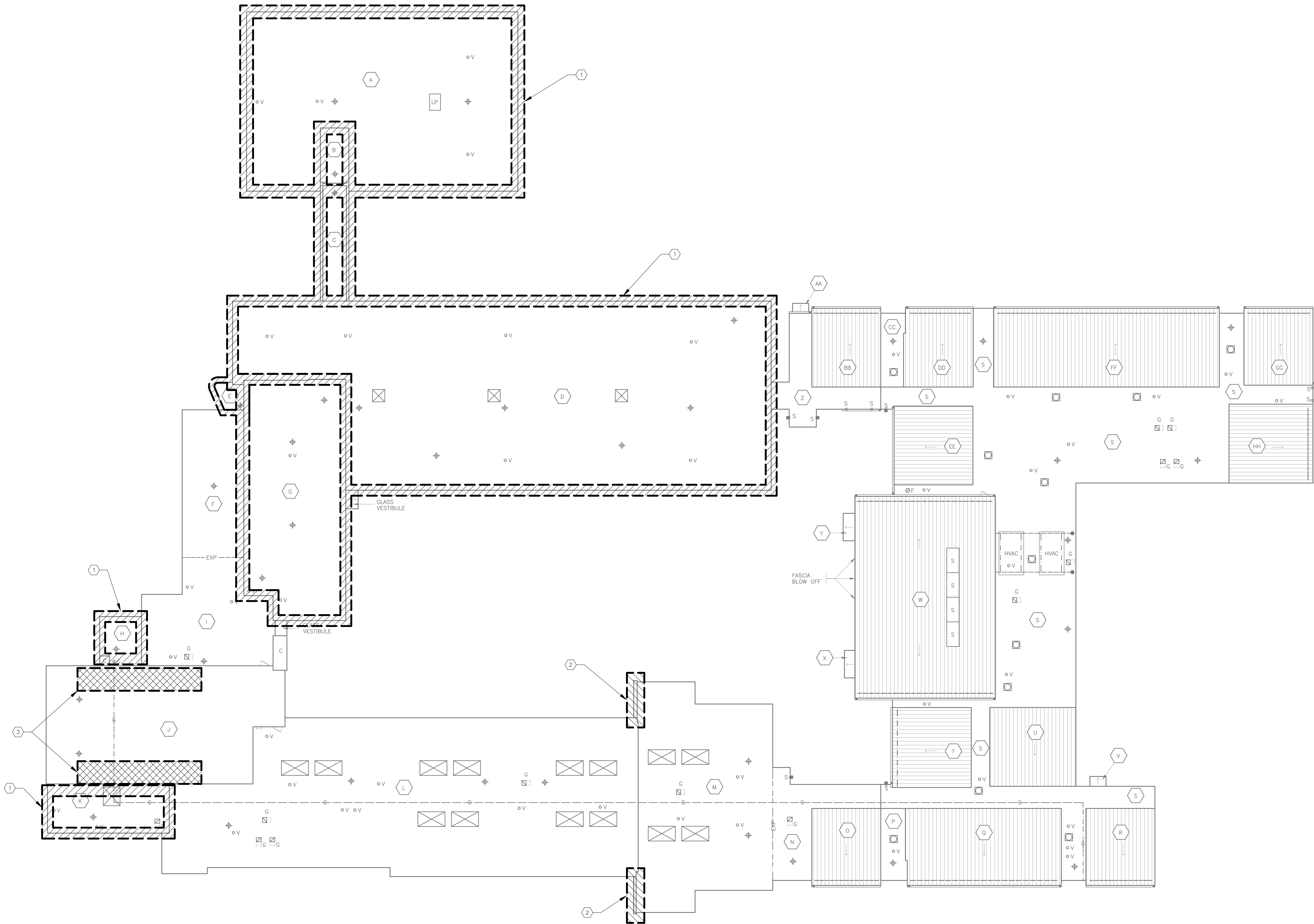
	CONCRETE		PARTICLE BOARD
	CONCRETE MASONRY UNITS		PLYWOOD
	BRICK		ACOUSTICAL TILE
	STONE		CONTINUOUS WOOD FRAMING THROUGH MEMBER
	METALS		WOOD FRAMING THROUGH INTERRUPTED MEMBER
	COMPACTED GRAVEL		FINISHED WOOD
	EARTH/UNDISTURBED SOIL		BATT INSULATION
	DRAINAGE BOARD		RIGID INSULATION



GENERAL REMOVAL NOTES:

28. FOR ALL ITEMS THAT ARE REQUIRED TO HAVE SEISMIC SUPPORTS OR RESTRAINTS, SEISMIC PLANS AND SEISMIC RESTRAINT CALCULATIONS SHALL BE PREPARED, SEALED AND SIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW YORK EMPLOYED BY THE CONTRACTOR. THE ENGINEER SHALL PROVIDE INSTALLATION SUPERVISION OF ALL SEISMIC SUPPORTS AND RESTRAINTS, UNLESS OTHERWISE NOTED.
 29. REVIEW AND COORDINATE ALL CONDITIONS (INCLUDING BUT NOT LIMITED TO PENETRATIONS, FABRICATIONS, INSTALLATIONS) FOR CONFORMANCE TO THE PLANS, SPECIFICATIONS, APPLICABLE DESIGN STANDARDS AND OTHER PROVISIONS OF THE CONTRACT DOCUMENTS, AND COORDINATE ALL WORK WITH ALL OTHER TRADES.
 30. ALL WORK MUST CONFORM TO ALL CODES HAVING JURISDICTION ANY CONFLICT OF OR BETWEEN THE MORE PROTECTIVE CODE SHALL BE SUPERSEDED BY THE MORE PROTECTIVE CODE.
 31. USE ONLY NEW MATERIALS AND EQUIPMENT, WITHOUT DEFECTS FOR THEIR INTENDED USE.
 32. CONTRACTORS SHALL PROTECT ALL AREAS OF EXISTING CONSTRUCTION AND RELATED ITEMS FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
 33. ALL OCCUPIED PORTION OF THE SCHOOL BUILDING SHALL ALWAYS COMPLY WITH THE MINIMUM REQUIREMENTS NECESSARY TO MAINTAIN A CERTIFICATE OF OCCUPANCY.
 34. ALL MEASUREMENTS AND CONDITIONS TO BE VERIFIED AT THE BUILDING BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE THEREFOR.
 35. ALL CONTRACTORS SHALL MEET THE FOLLOWING MINIMUM SAFETY AND SECURITY STANDARDS FOR CONSTRUCTION PROJECTS:
 - a) ALL CONSTRUCTION MATERIALS SHALL BE STORED IN A SAFE AND SECURE MANNER.
 - b) ALL AREAS AROUND CONSTRUCTION SURFACES AND DEBRIS SHALL BE MAINTAINED.
 - c) WORKERS SHALL BE REQUIRED TO WEAR PHOTO IDENTIFICATION BADGES AT ALL TIMES FOR IDENTIFICATION AND SECURITY PURPOSES WHILE WORKING ON SITE.
 - d) REMOVAL OF ALL DEBRIS SHALL BE THROUGH DESIGNATED, SEPARATED AND PROTECTED AREAS.
 36. THE BUILDINGS THAT SHALL BE NO MOVEMENT OF DEBRIS OR EQUIPMENT THROUGH OCCUPIED SPACES OF THE BUILDING.
 37. ALL OCCUPIED PORTIONS OF A BUILDING AFFECTED BY CONSTRUCTION ACTIVITY SHALL BE CLEANED AT THE CLOSE OF EACH WORK DAY.
 38. CONTRACTOR SHALL MAKE THE BUILDING SECURE AT THE END OF EACH WORK DAY. PROVIDE TEMPORARY PLYWOOD COVERS OVER WINDOW/ DOOR OPENINGS AS REQUIRED TO SECURE BUILDING TO THE OWNER'S SATISFACTION.
 39. CLEANING DURING WINDOW WORK:
 - PRIOR TO START OF WINDOW WORK IN A SPACE, THE CONTRACTOR WILL MOVE ALL FURNITURE, EQUIPMENT AND MATERIALS TO A SPACE OPPOSITE IN THE ROOM FROM THE WINDOW, THE FURNITURE, EQUIPMENT AND MATERIALS WILL BE COVERED WITH SHEETING AT LEAST 1 MIL. THICK.
 - THE MATERIALS ARE TO BE PROTECTED THROUGHOUT THE WORK, THROUGHOUT THE PROJECT, THROUGHOUT THE REMOVAL AND DEBRIS BOTH INSIDE AND OUTSIDE THE PANEL.
 - AT THE COMPLETION OF THE WINDOW WORK, THE MATERIALS, EQUIPMENT AND FURNITURE WILL BE RETURNED TO THE ORIGINAL LOCATION AND PROTECTED WITH SHEETING.
 - THE CONTRACTOR SHALL CLEAN MATERIALS, EQUIPMENT AND FURNITURE SURFACES AND BROOM CLEANED THE FLOORS.
- ## GENERAL REMOVAL NOTES:
1. REMOVAL DRAWINGS INDICATE ONLY MAJOR SCOPE OF REMOVALS. CONTRACTOR IS REQUIRED TO REMOVE ALL MATERIALS AND ITEMS INDICATED ON REMOVAL DRAWINGS. CONTRACTOR IS REQUIRED TO REMOVE, PROTECT AND STORE ANY AND ALL ITEMS SHOWN AS REQUIRED TO SUIT ALL NEW WORK, COORDINATE W/ OWNER FOR STAGING LOCATIONS.
 2. CONTRACTOR IS TO VERIFY ANY MAJOR DIMENSIONAL DEVIATIONS FROM DRAWINGS OR STRUCTURAL DEVIATIONS. IF ANY SUCH DEVIATIONS ARE FOUND, THE OWNER'S REPRESENTATIVE WILL ATTEND. ALL CONTRACT DRAWINGS INDICATE APPROXIMATE DIMENSIONS AND EXISTING CONDITIONS BASED ON FIELD SURVEY AND MEASUREMENTS. CONTRACTOR IS ADVISED THAT ANY DEVIATIONS FROM THE DRAWINGS, THE COST FOR ANY SUCH VARIATIONS SHALL BE INCLUDED WITHIN THE CONTRACT BID.
 3. ALL SURFACES DISTURBED BY REMOVALS SHALL BE PATCHED/ REPAIRED TO MATCH EXISTING ADJACENT FINISHES, COORDINATE AND PREPARE SURFACES TO ACCOMMODATE WITH NEW FINISH ACCORDING TO SPECS AND MANUFACTURER'S RECOMMENDATIONS.
 4. GENERAL CONTRACTOR SHALL FIRE STOP ALL TRADE RELATED EXISTING OR NEW PENETRATIONS THROUGH FLOORS, PARTITIONS AND WALLS AT ALL LOCATIONS WITH APPROVED MATERIALS AND SYSTEMS.
 5. ALWAYS WORK IN A MANNER WHICH PROVIDES CONTINUOUS SUPPORT TO STRUCTURE ABOVE. PROVIDE APPROPRIATE LINDOL FOR ALL OPENINGS UNLESS SPECIFIED OTHERWISE.
 6. REMOVE ALL WINDOW TREATMENTS AND HARDWARE WHERE WINDOWS ARE BEING REPLACED. IF REQUESTED, ADVISORY TO OWNER.
 7. GENERAL CONTRACTOR TO COORDINATE REMOVALS WITH NEW WORK.
 8. FOR ATTAINMENT OF HAZARDOUS/ TOXIC MATERIALS REFER TO HAZARDOUS MATERIALS DRAWINGS AND SPECIFICATIONS.
 9. ABATEMENT OF HAZARDOUS MATERIAL SHALL BE COORDINATED WITH REMOVAL WORK.

KEY			
ITEM	ASBESTOS CONTAINING MATERIAL	APPROXIMATE QUANTITY	LEGEND
1	FLASHING	2,000 SF	
2	TAR	24 SF	
3	WINDOW CAULKING	215 LF	



ROOF PLAN
0' 4' 8' 16'
SCALE: 1/16"=1'-0"



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FULLER
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ARCHITECTS
PLANNERS

SEAL:

S.E.D. CONTROL NUMBER:
66-23-00-01-0-029-011

PROJECT TITLE
YONKERS SCHOOL DISTRICT
PS 29
BUILDING ENVELOPE RESTORATION
47 CANTON ROAD, YONKERS, N.Y. 10710

DRAWING TITLE
ROOF
ASBESTOS CONTAINING MATERIAL
LOCATION DRAWING

SHEET SIZE
30"x42"

SCALE
AS NOTED

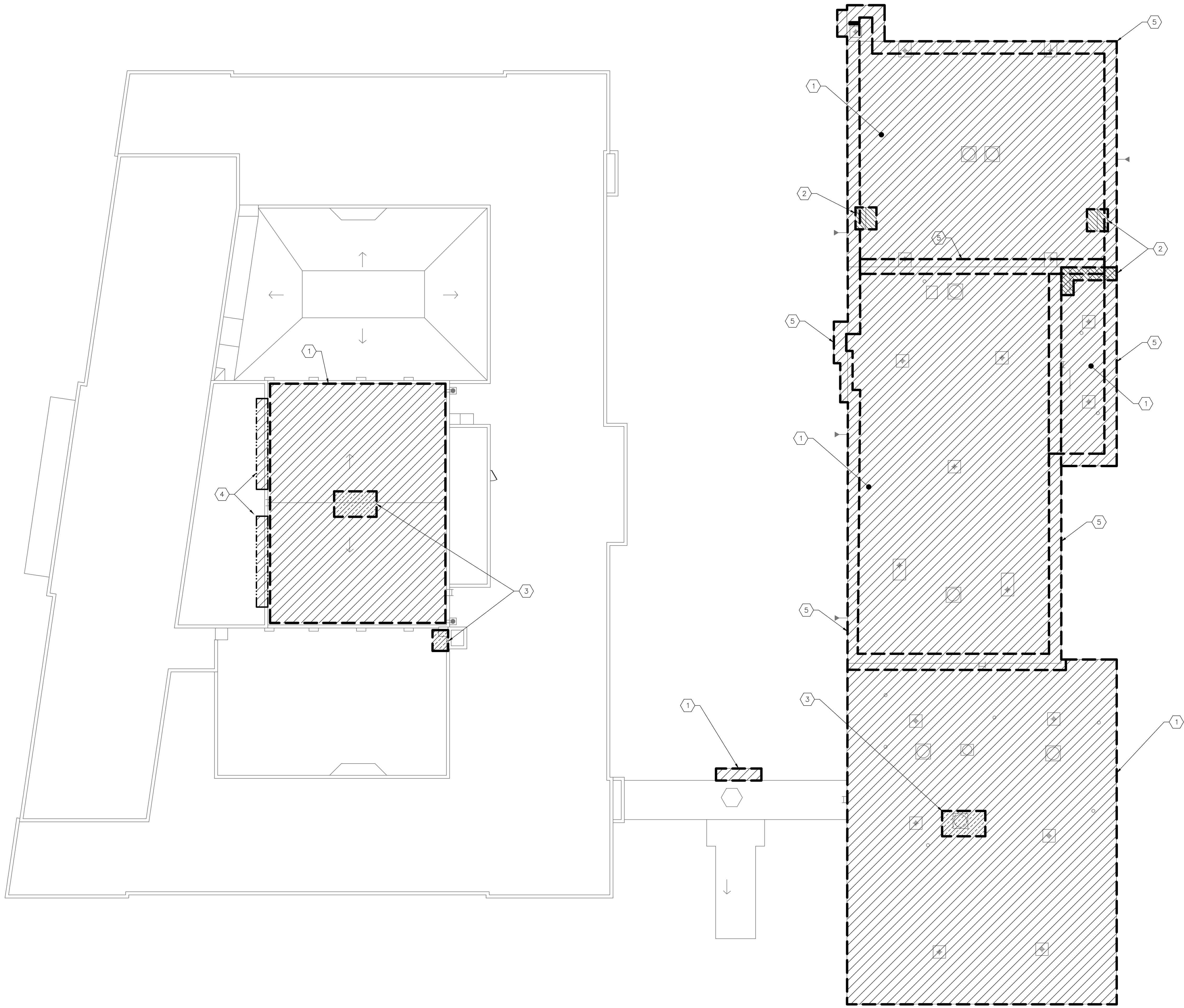
DRAWN BY
F & D

DRAWING NO.
PS29

FILE NO.
19354.01

DATE
02-16-2022

ISSUED TO
BID



ROOF PLAN
0' 4' 8' 16'
SCALE: 1/16"=1'-0"



KEY			
ITEM	ASBESTOS CONTAINING MATERIAL	APPROXIMATE QUANTITY	LEGEND
1	ROOFING MEMBRANE	29,601 SF	
2	CAULKING	42 LF	
3	TAR	27 SF	
4	LENTIL WATERPROOFING	48 LF	
5	FLASHING	2,090 SF	

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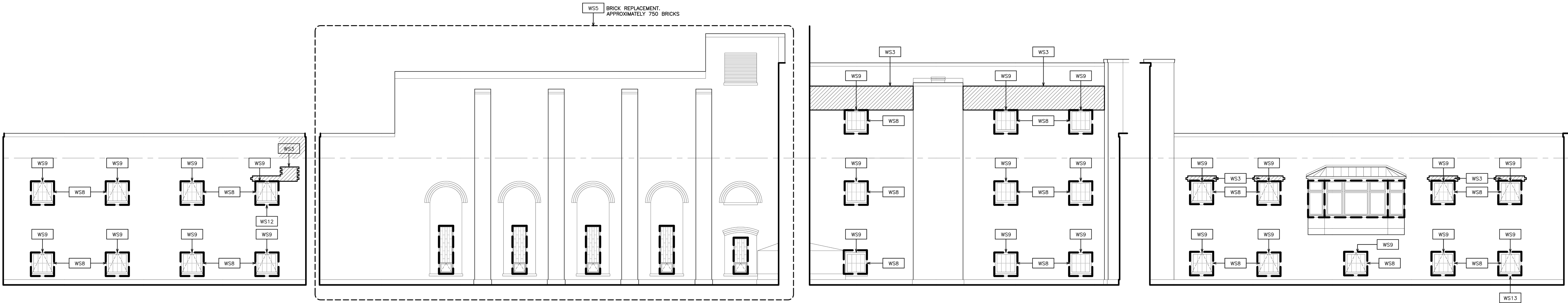
S.E.D. CONTROL NUMBER:
66-23-00-01-0-101-008

PROJECT:
YONKERS SCHOOL DISTRICT
PEARLS HAWTHORNE
BUILDING ENVELOPE RESTORATION
300 HAWTHORNE AVENUE, YONKERS NY 10505
DRAWING TITLE:
ROOF
ASBESTOS CONTAINING MATERIAL
LOCATION DRAWING

02-16-2022	BID
DATE	ISSUED TO
SHEET SIZE 30"x42"	DRAWING NO. PHS ASB-103
SCALE AS NOTED	FILE NO. 19354.03
DRAWN BY F & D	

KEY			
ITEM	ASBESTOS CONTAINING MATERIAL	APPROXIMATE QUANTITY	LEGEND
1	WINDOW CAULKING	1,100 LF	

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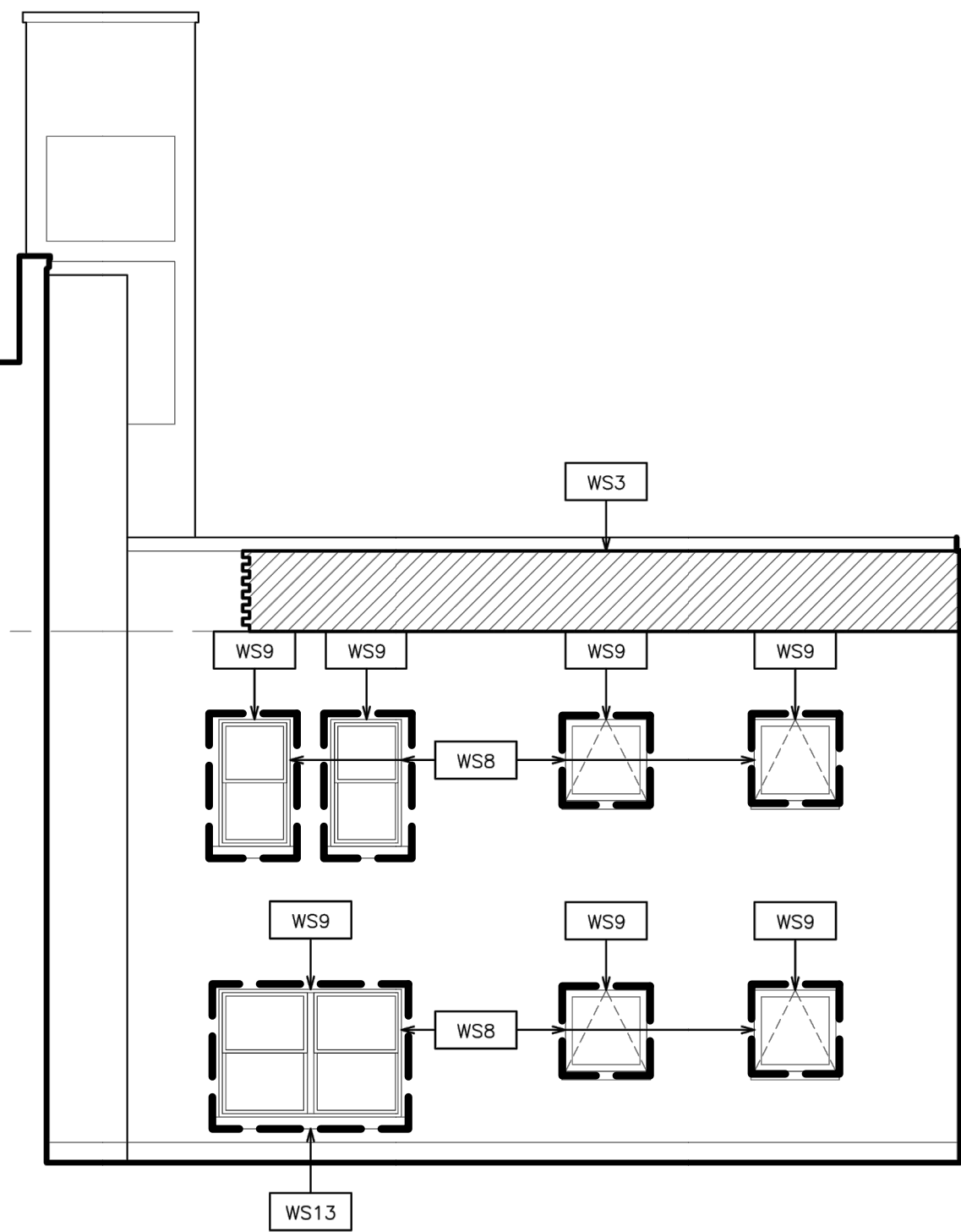


6 EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"

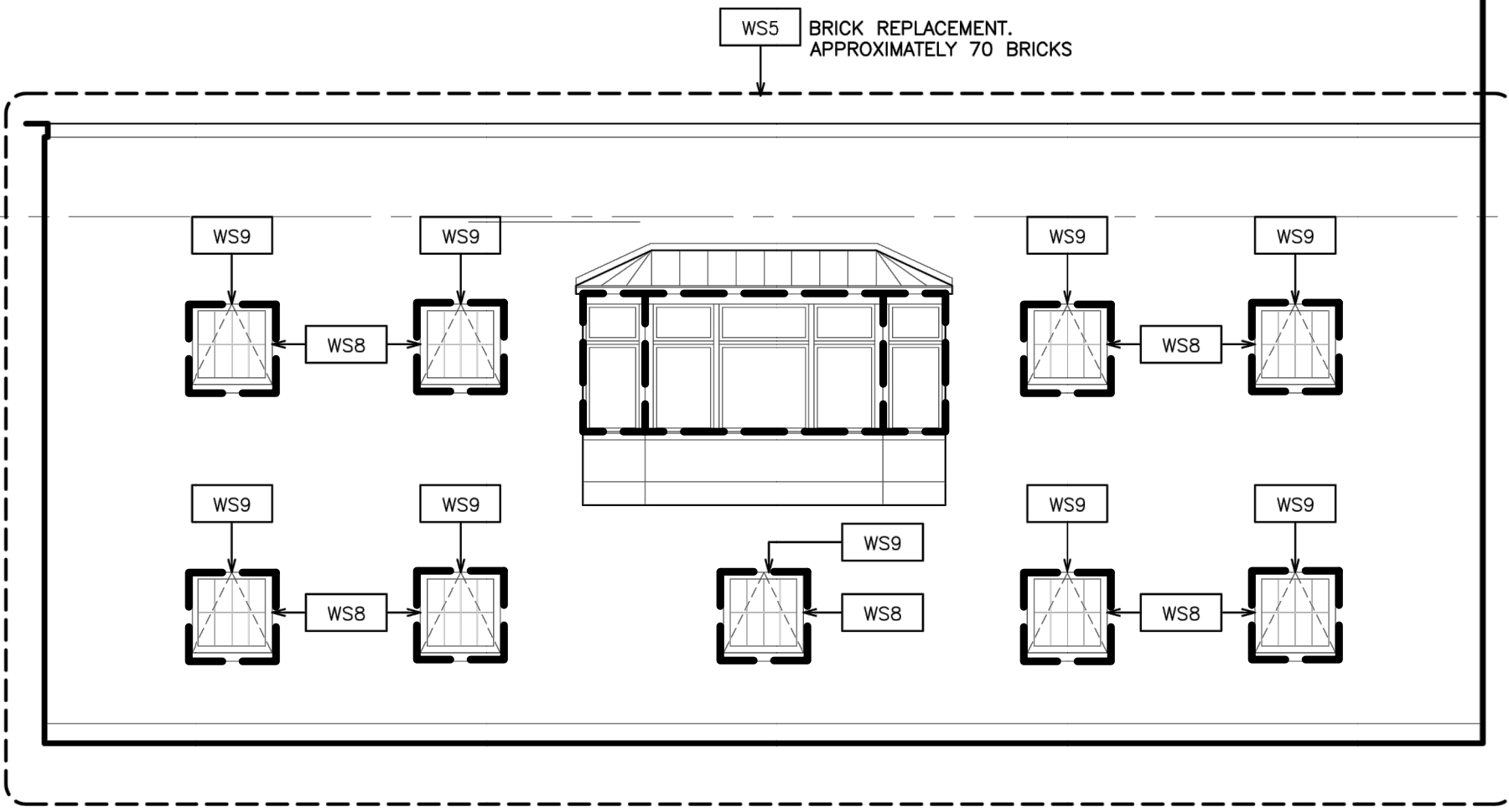
7 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

8 EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"

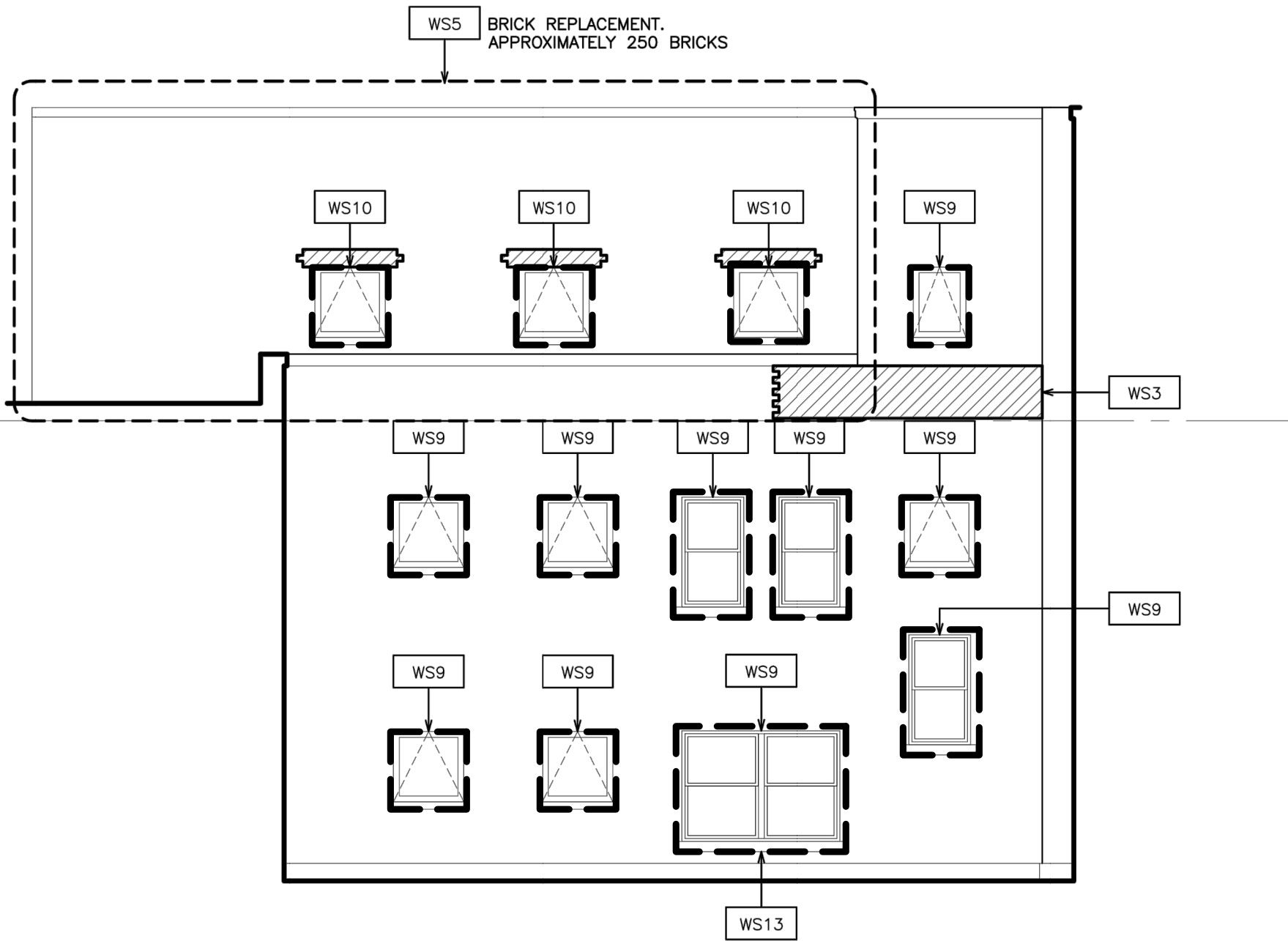
9 EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



10 EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"



11 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



12 EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"

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S.E.D. CONTROL NUMBER:
66-23-00-01-0-101-008

PROJECT:
YONKERS SCHOOL DISTRICT
PEARLS HAWTHORNE
BUILDING ENVELOPE RESTORATION
300 HAWTHORNE AVENUE, YONKERS, NY 10595
DRAWING TITLE:
ELEVATIONS
ASBESTOS CONTAINING MATERIAL
LOCATION, DRAWING

02-16-2022
DATE
ISSUED TO
BID
SHEET SIZE
30"x42"
SCALE
AS NOTED
DRAWING NO.
PHS
ASB-104
DRAWN BY
F & D
FILE NO.
19354.03

ROOF R-VALUE CALCULATIONS				
ROOF AREA	DECK TYPE	STARTING THICKNESS OF NEW INSULATION	MINIMUM R-VALUE OF NEW INSULATION	AVERAGE THICKNESS OF NEW INSULATION
A	SWF	5.5"	30	7.8"
B	SWF	1.5"	30	6.2"
C	SWF	5.5"	30	8.3"
D	GYP SUM	1.5"	30	7.9"
E	CONCRETE	1.5"	-	-
F	METAL	5.5"	30	7.4"
G	GYP SUM	5.5"	30	6.2"
H	GYP SUM	5.5"	30	6.1"
I	SWF W/ CONCRETE	5.5"	30	7.2"
J	SWF W/ CONCRETE	5.5"	30	6.2"
K	GYP SUM	5.5"	30	7"
L	SWF W/ CONCRETE	5.5"	30	7"
M	SWF W/ CONCRETE	1.5"	30	7.2"
N	METAL	2"	30	2"
O	METAL	3"	30	3"
P	METAL	2"	30	2"
Q	METAL	3"	30	3"
R	METAL	3"	30	3"
S	METAL	2"	30	2"
T	METAL	3"	30	3"
U EXISTING EPDM ROOF TO REMAIN				
V EXISTING METAL CANOPY ROOF TO REMAIN				
W EXISTING EPDM ROOF TO REMAIN				
X EXISTING METAL CANOPY ROOF TO REMAIN				
Y EXISTING METAL CANOPY ROOF TO REMAIN				
Z	METAL	2"	30	2"
AA	EXISTING METAL CANOPY ROOF TO REMAIN			
BB	METAL	3"	30	3"
CC	METAL	2"	30	2"
DD	METAL	3"	30	3"
EE	METAL	3"	30	3"
FF	METAL	3"	30	3"
GG	METAL	3"	30	3"
HH	METAL	3"	30	3"

NOTES:

- INSTALL INSULATION WITH A MINIMUM R-VALUE OF 30 FOR CONTINUOUS INSULATION ENTIRELY ABOVE THE DECK, TO MEET THE NYS ENERGY CONSERVATION CONSTRUCTION CODE, INCLUDING THE INTERNATIONAL ENERGY CONSERVATION CODE AND THE NY STATE SUPPLEMENT, FOR A BUILDING IN CLIMATE ZONE 4.
- INSTALL TAPERED ISOCYANURATE INSULATION THAT SLOPES 1/8 INCH PER FOOT; MINIMUM STARTING THICKNESS 5-1/2 INCHES UNLESS OTHERWISE NOTED. INSTALL THE ISOCYANURATE INSULATION IN MULTIPLE LAYERS, WITH THE THICKEST LAYER BEING 4 INCHES. STAGGER ALL JOINTS BETWEEN LAYERS 12 INCHES.
- ON AREA 'N', 'P', 'S', 'Z', AND 'CC' INSTALL 2" THICK FLAT ISOCYANURATE INSULATION OVER THE EXISTING TAPERED INSULATION.
- ON AREA 'O', 'Q', 'R', 'T', 'BB', 'DD', 'EE', 'FF', 'GG' AND 'HH' INSTALL 3" THICK FLAT ISOCYANURATE INSULATION OVER THE EXISTING NAILBOARD INSULATION.
- INSTALL ISOCYANURATE INSULATION CRICKETS UNDER THE TAPERED INSULATION.
- INSTALL A COVER BOARD USING LOW RISE FOAM ADHESIVE OVER THE INSULATION AND CRICKETS.
- ROOF AREA 'E' IS AN EXTERIOR CANOPY, R-VALUE CALCULATIONS ARE NOT NEEDED.
- INSTALL SLOPING CRICKETS ON THE UP-HILL SIDE OF ALL CURBS THAT ARE 30 INCHES AND WIDER.

CODE COMPLIANCE REQUIREMENTS:

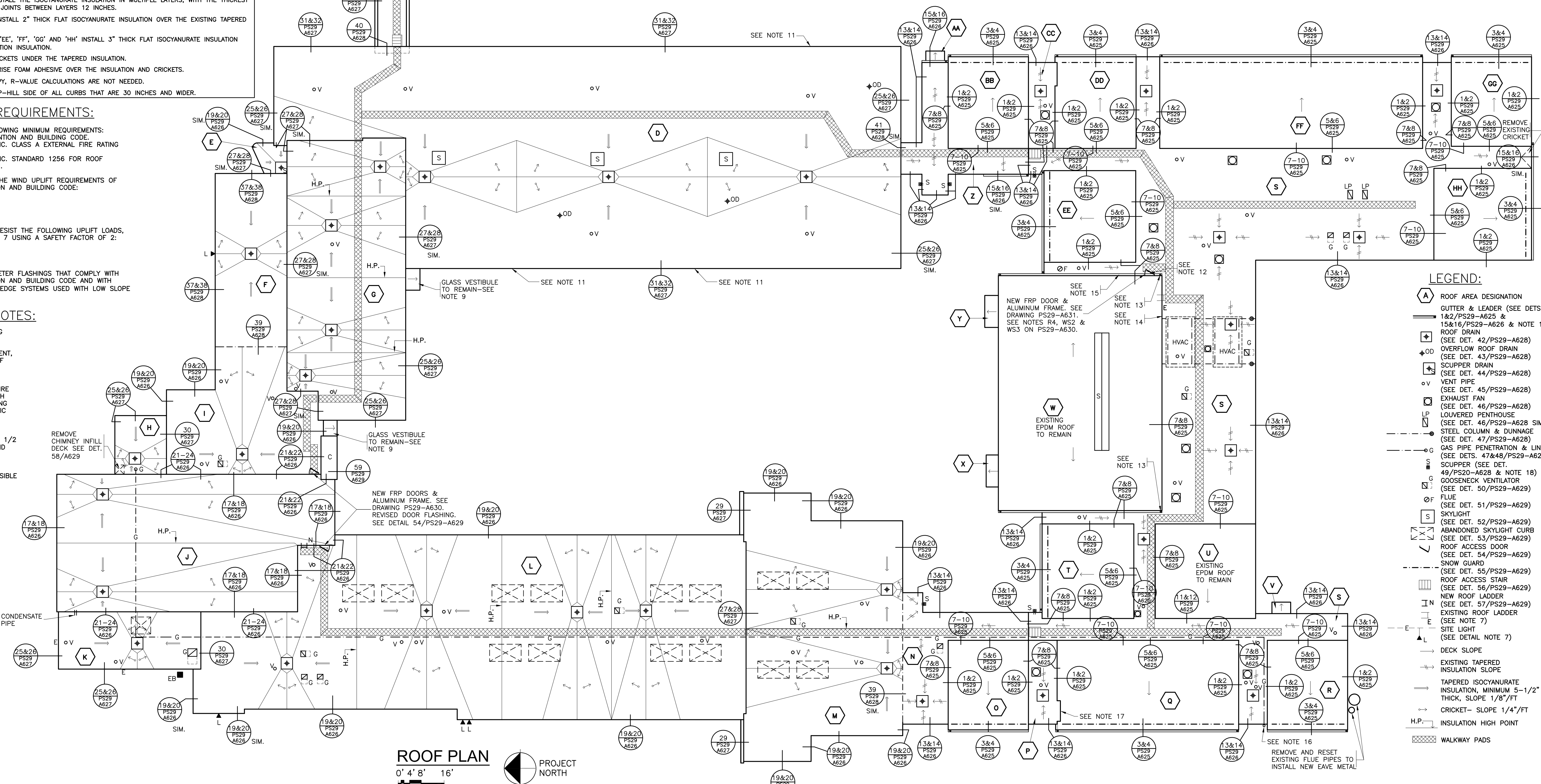
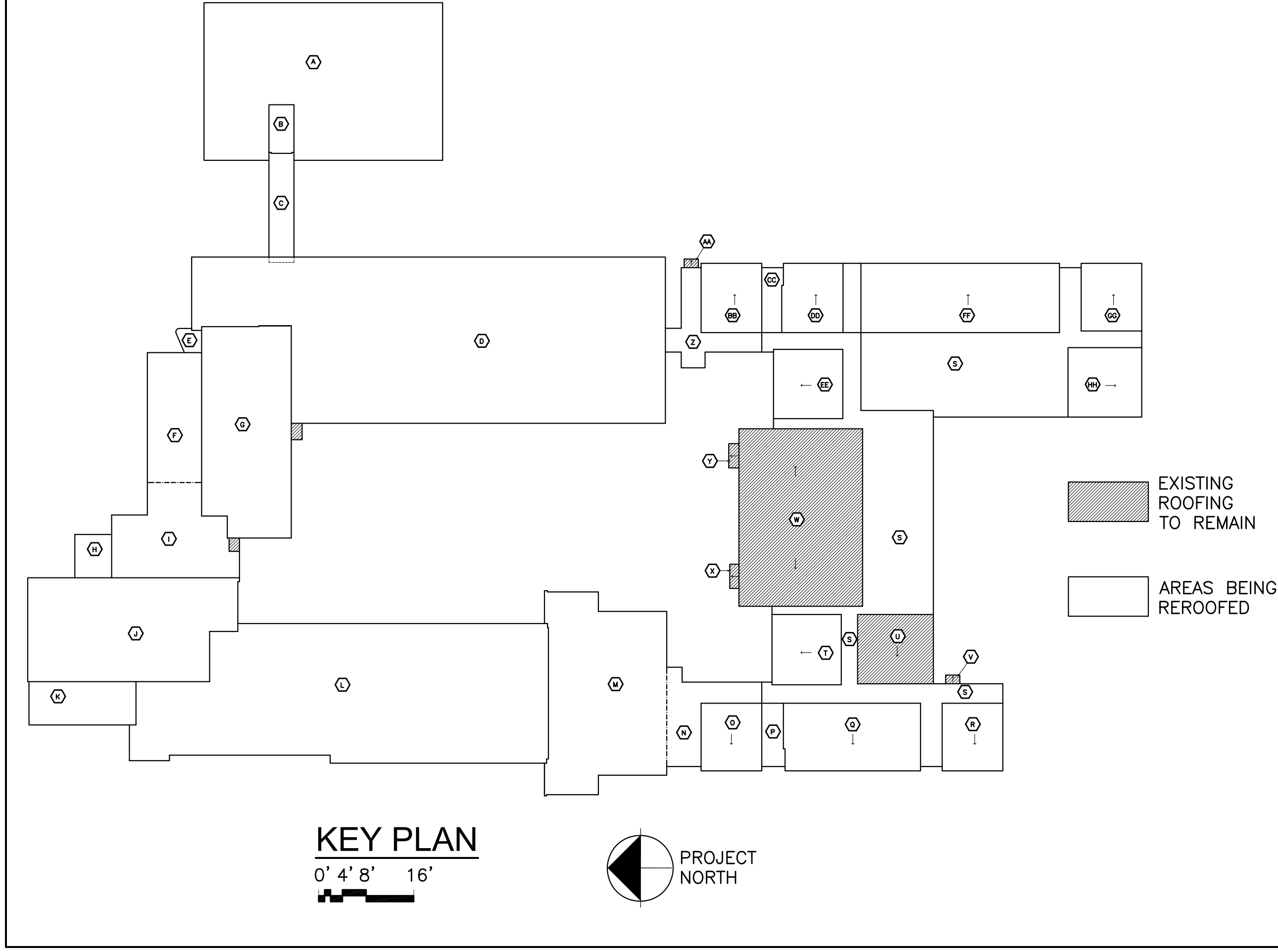
- INSTALL ROOFING TO MEET THE FOLLOWING MINIMUM REQUIREMENTS:
 - A. NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE.
 - B. UNDERWRITERS LABORATORIES INC. CLASS A EXTERNAL FIRE RATING FOR ROOF COVERING MATERIALS.
 - C. UNDERWRITERS LABORATORIES INC. STANDARD 1256 FOR ROOF ASSEMBLIES WITH FOAM INSULATION.
- INSTALL ROOFING TO COMPLY WITH THE WIND UPLIFT REQUIREMENTS OF THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE:
 - RISK CATEGORY III
 - BASIC WIND SPEED 120 MPH
 - EXPOSURE CATEGORY B
 - BUILDING HEIGHT 30 FT.
- INSTALL ROOFING AS INDICATED TO RESIST THE FOLLOWING UPLIFT LOADS, CALCULATED IN ACCORDANCE WITH ASCE 7 USING A SAFETY FACTOR OF 2:
 - FIELD ZONE: 60 PSF
 - PERIMETER ZONE: 100 PSF
 - CORNER ZONE: 150 PSF
- FABRICATE AND INSTALL ROOF PERIMETER FLASHINGS THAT COMPLY WITH THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND WITH ANSI/SPRI ES-1 "WIND STANDARD FOR EDGE SYSTEMS USED WITH LOW SLOPE ROOFING SYSTEMS".

ROOF PROTECTION NOTES:

- AVOID WALKING ON NEW AND EXISTING N.I.C. ROOF AREAS.
- DO NOT STORE MATERIAL OR EQUIPMENT, AND DO NOT PILE DEBRIS ON NEW ROOF AREAS.
- INSTALL 1 INCH THICK EXTRUDED POLYSTYRENE INSULATION OVER 6 MIL FIRE RETARDANT POLYETHYLENE, COVERED WITH 2x10 WOOD PLANKS TO PROTECT ROOFING WHERE CONSTRUCTION WORK AND TRAFFIC WILL OCCUR.
- NEATLY CUT AND POSITION ROOF PROTECTION COMPONENTS TO FIT WITHIN 1/2 INCH OF ROOF PENETRATIONS, EAVES AND CHANGE IN ELEVATION WALLS.
- DO NOT COVER THE ROOF DRAINS. MAINTAIN THE ROOF DRAIN STRAINERS VISIBLE AND CLEAR AT ALL TIMES.

NOTES:

- DIMENSIONS AND CONDITIONS ON THE ROOF PLAN AND DETAILS ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR. ONLY CERTAIN FASTENERS ARE SHOWN ON THE DRAWINGS, REFER TO THE SPECIFICATIONS FOR ADDITIONAL FASTENER REQUIREMENTS.
- TEST THE DRAIN LINES WITH A RUNNING HOSE FOR AT LEAST ONE HOUR PRIOR TO STARTING ANY OTHER WORK. PROVIDE A WRITTEN REPORT OF ANY CLOGGED LINES TO THE ARCHITECT & OWNER. CLOGGED DRAIN LINES WILL BE CLEANED BY THE OWNER.
- COVER & PROTECT ALL DRAIN OPENINGS AT THE BEGINNING OF EACH WORK DAY. REMOVE THE COVERS AT THE END OF EACH DAY AND BEFORE PRECIPITATION OCCURS.
- PERFORM WHATEVER WORK IS REQUIRED SO THE DRAIN LINES ARE CLEAN, CLEAR AND IN FREE FLOWING CONDITION AT THE COMPLETION OF THE PROJECT.
- REFASTEN LOOSE SECTIONS OF STRUCTURAL WOOD FIBER DECKS AS BASE BID WORK. REPAIR THE TOP SURFACE OF STRUCTURAL WOOD FIBER, GYP SUM AND CONCRETE DECKS AS BASE BID WORK. REPLACE DAMAGED OR DETERIORATED SECTIONS OF DECK IN ACCORDANCE WITH THE UNIT PRICES.
- REPAIR EXHAUST FAN AND VENTILATOR HOUSINGS SO THEY ARE WATERTIGHT.
- WIRE BRUSH, PRIME & PAINT ROOF TOP EQUIPMENT HOUSINGS, GAS LINES, STEEL DUNNAGE, DOORS, DOOR FRAMES, AND THE VENT PIPES. DO NOT PAINT OVER THE NAME PLATES AND LABELS.
- REMOVE AND RESET EXISTING LADDER AS NEEDED TO INSTALL NEW ROOFING.
- REMOVE, MODIFY AND REMOUNT EXISTING SITE LIGHTS AND CONDUITS ON THE FACADE JUST BELOW THE NEW ALUMINUM FASCIA. REFASTEN ANY LOOSE CONDUIT MOUNTED ON THE EXTERIOR WALLS AND SOFFITS WITH NEW GALVANIZED STEEL CONDUIT CLIPS.
- INSULATE THE DRAIN BOWLS, NEW PIPES AND EXISTING PIPES THAT ARE NOT CURRENTLY INSULATED. INCLUDE 500LF OF PIPE INSULATION IN THE BASE BID.
- REMOVE EXISTING SEALANT AND BACK UP MATERIAL AT TRANSITION OF GLASS VESTIBULE AND MASONRY WALLS. INSTALL NEW BACKER ROD AND SEALANT.
- SCRAPE, PRIME AND PAINT THE UNDERSIDE OF ALL THE CONCRETE OVERHANGS AND CANOPY ROOFS.
- REMOVE EXISTING LEADER HEADS AND LEADERS. OVERFLOW DRAIN LINE PIPES TO REMAIN. SCRAPE, PRIME AND PAINT THE DRAIN LINES.
- REMOVE AND RESET EXISTING METAL DOOR FLASHING AND STEEL SADDLE TO INSTALL NEW EPDM FLASHING. EXTEND NEW EPDM FLASHING UNDER THE DOOR FLASHING AND SADDLE. RESET EXISTING DOOR FLASHING AND SADDLE IN BED OF SEALANT.
- INSTALL CONCRETE SPLASH BLOCK OVER A WALKWAY PAD AT BOTTOM OF LEADER.
- REMOVE PIPE INSULATION AND INSTALL BACKER ROD AND SEALANT AROUND THE PIPE PENETRATIONS INTO THE WALL.
- WIRE BRUSH, PRIME AND PAINT PIPE COMING OUT OF WALL.
- CUT, MODIFY, RAISE AND RECONNECT EXISTING GAS LINE TO ACCOMMODATE NEW ROOFING AND EAVE METAL.
- EXTEND NEW EPDM FROM THE SLOPED ROOF UNDER THE FASCIA FOR THE FLAT ROOF.
- INSTALL A CONCRETE SPLASH BLOCK AT BOTTOM OF LEADERS THAT SPILL ONTO THE GROUND.



ROOF PLAN
0' 4' 8' 16'



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S.E.D. CONTROL NUMBER:
PS29
66-23-00-01-0-029-011

PROJECT NAME
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
SCHOOL 218 PEARLS RAVENHURST SCHOOL

DATE
2-16-2022

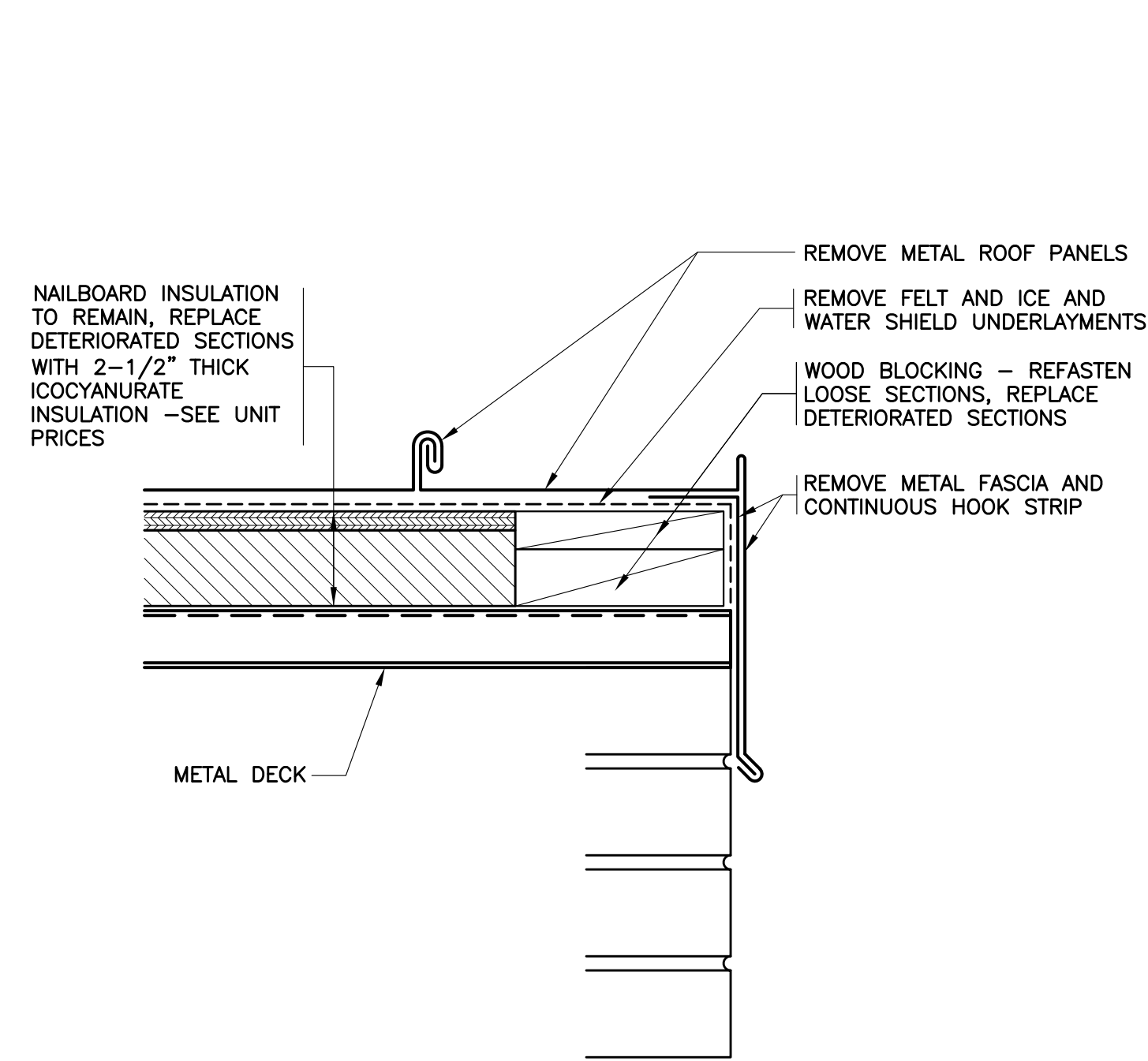
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SCALE
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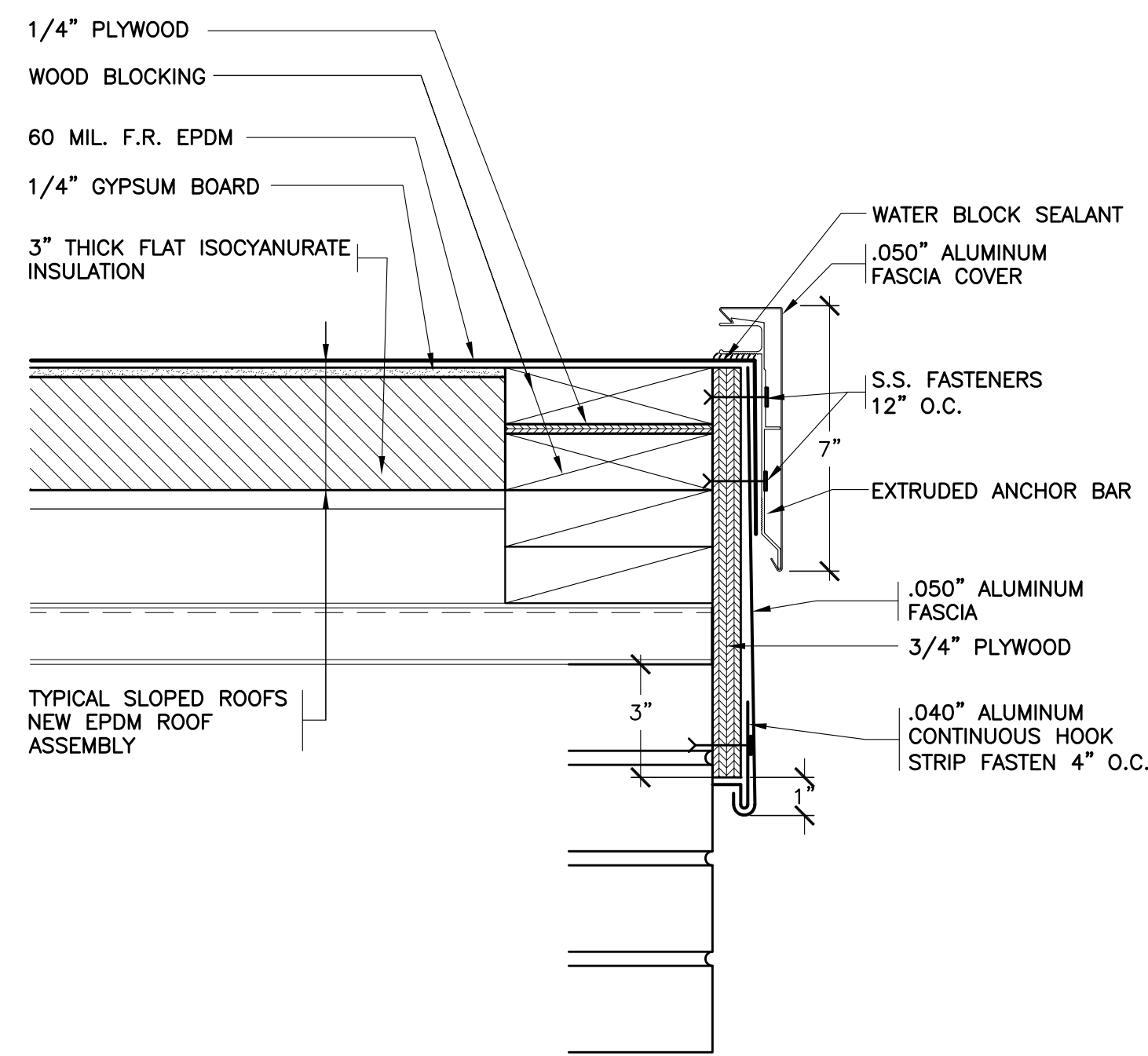
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ISSUED TO
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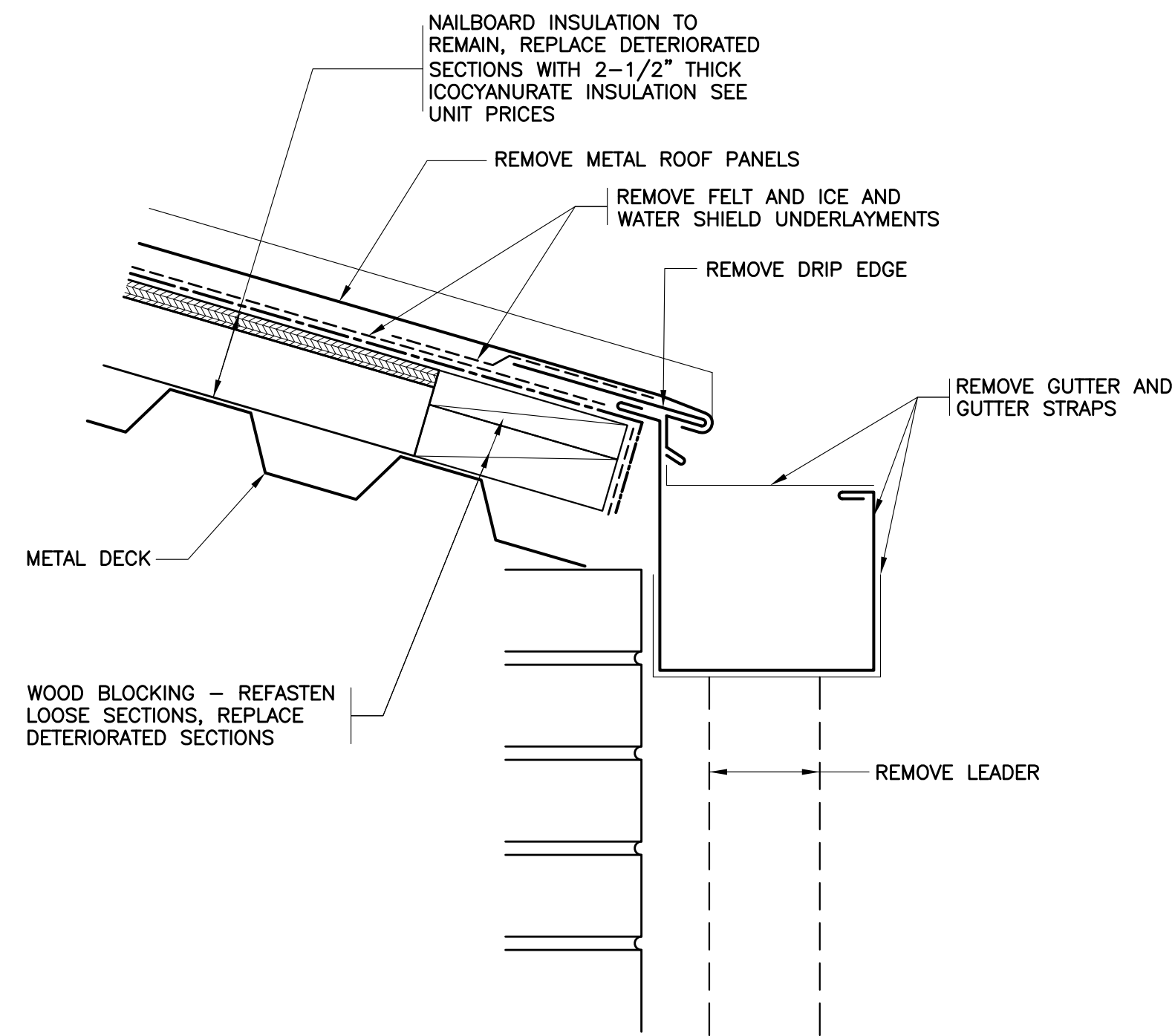
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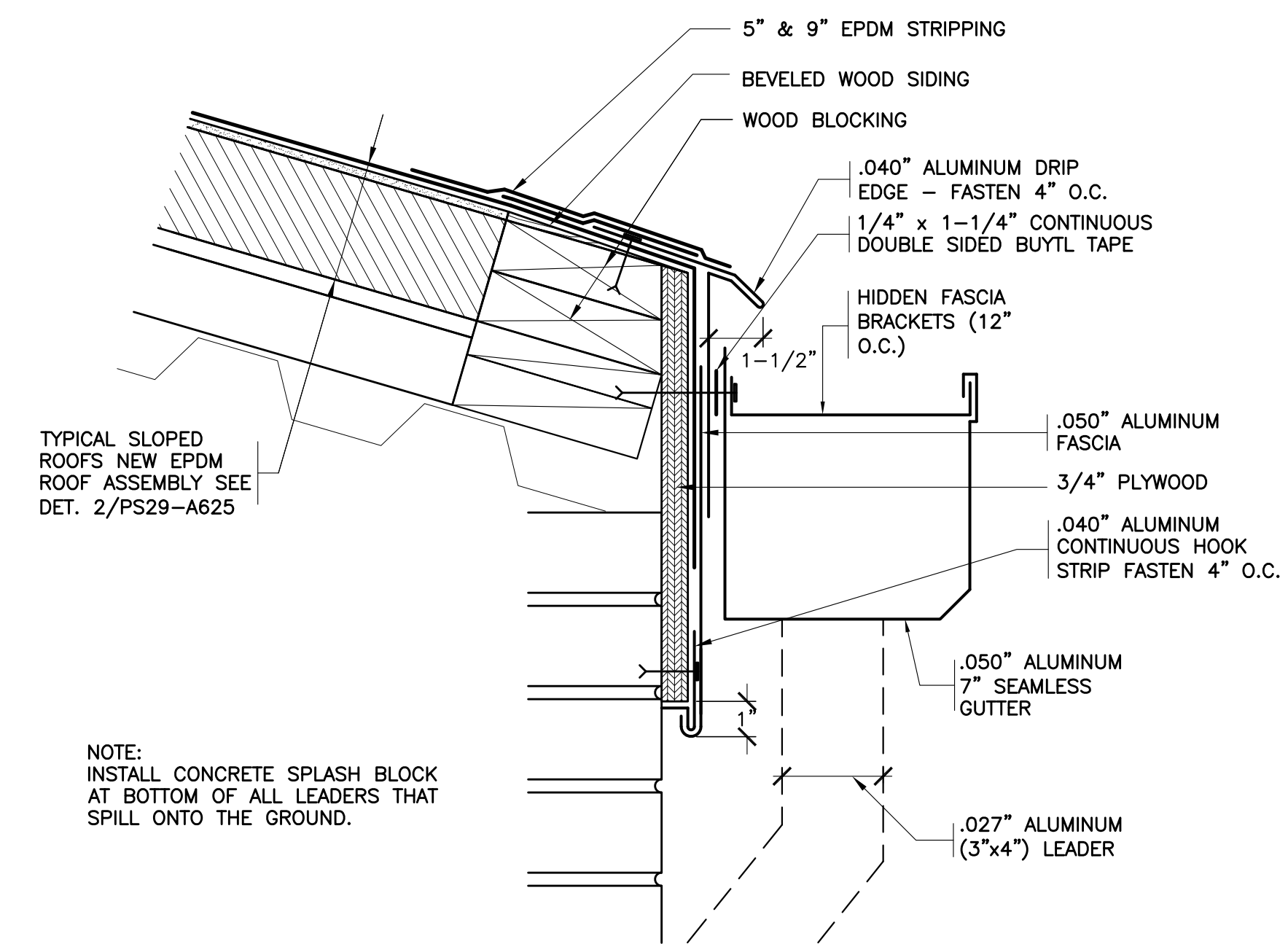
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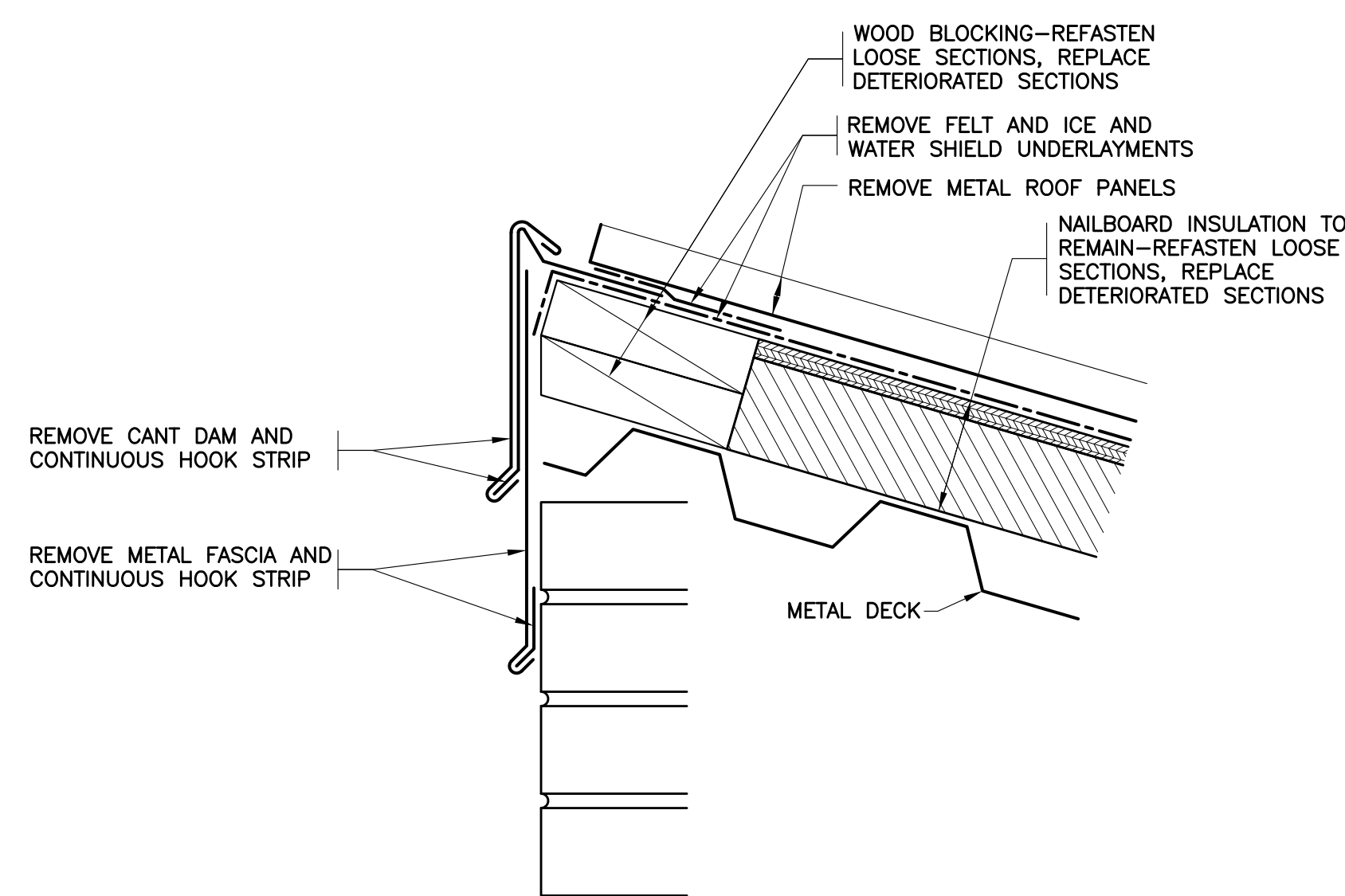
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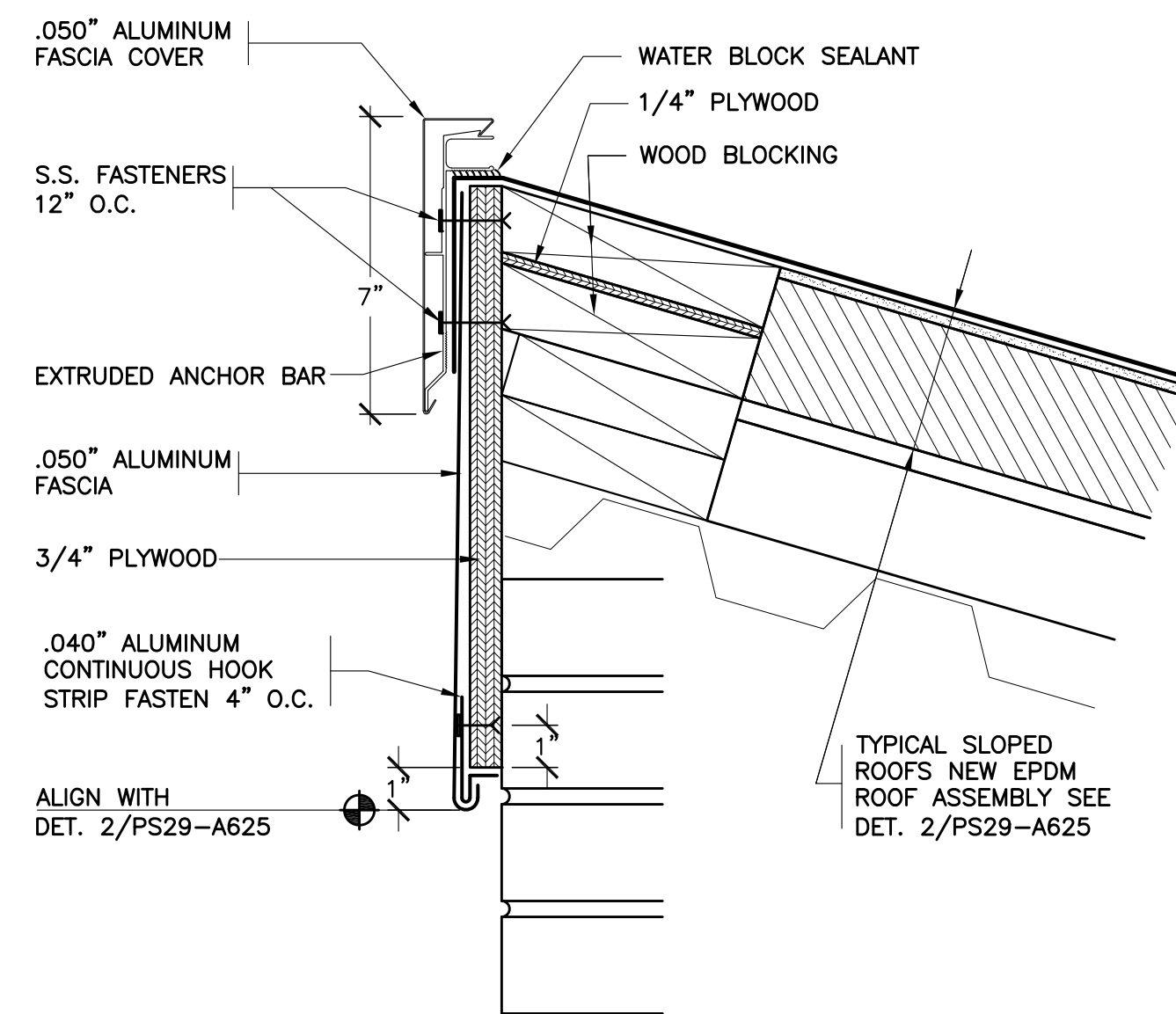
3 EXISTING GUTTER EAVE
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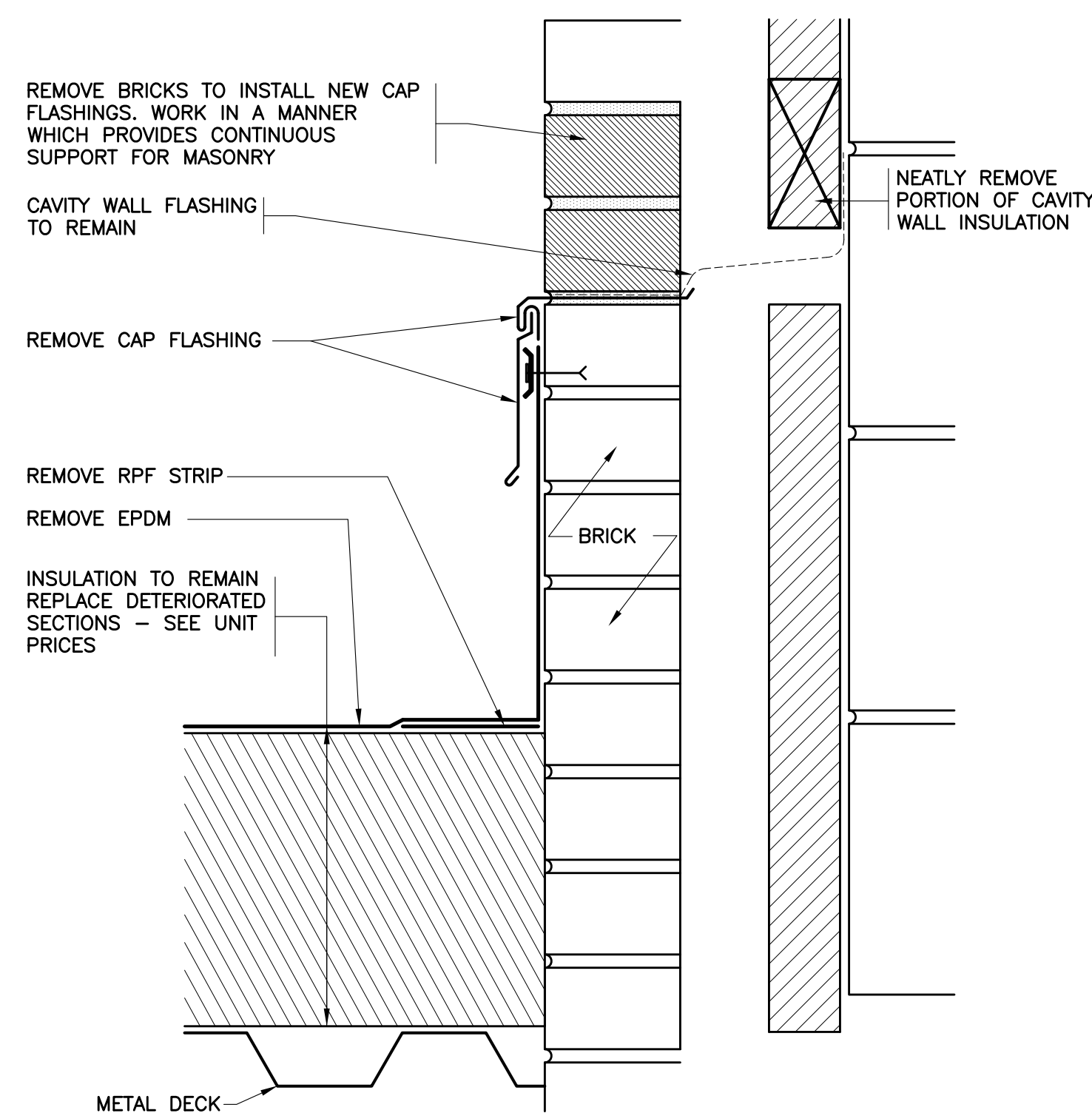
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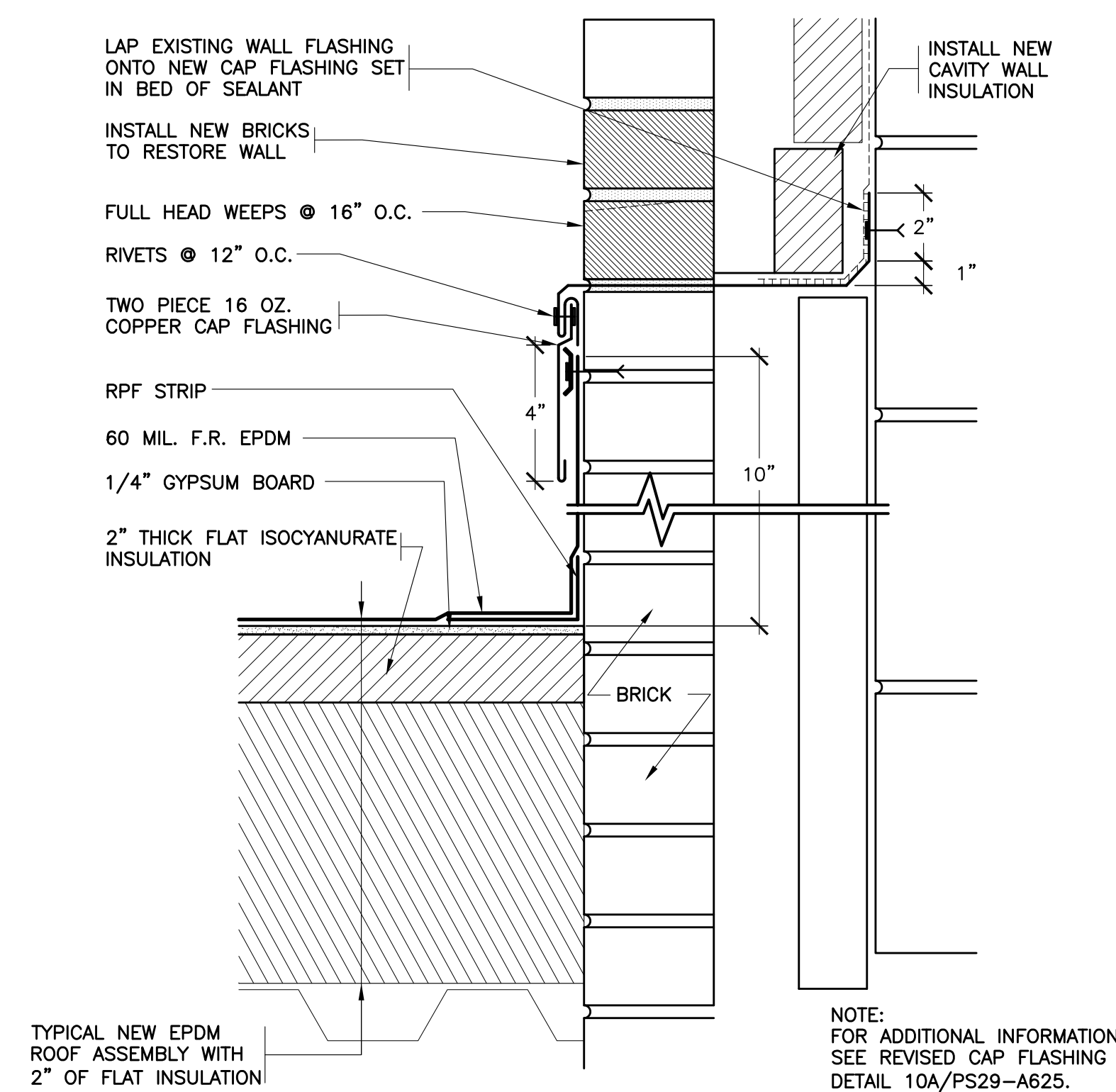
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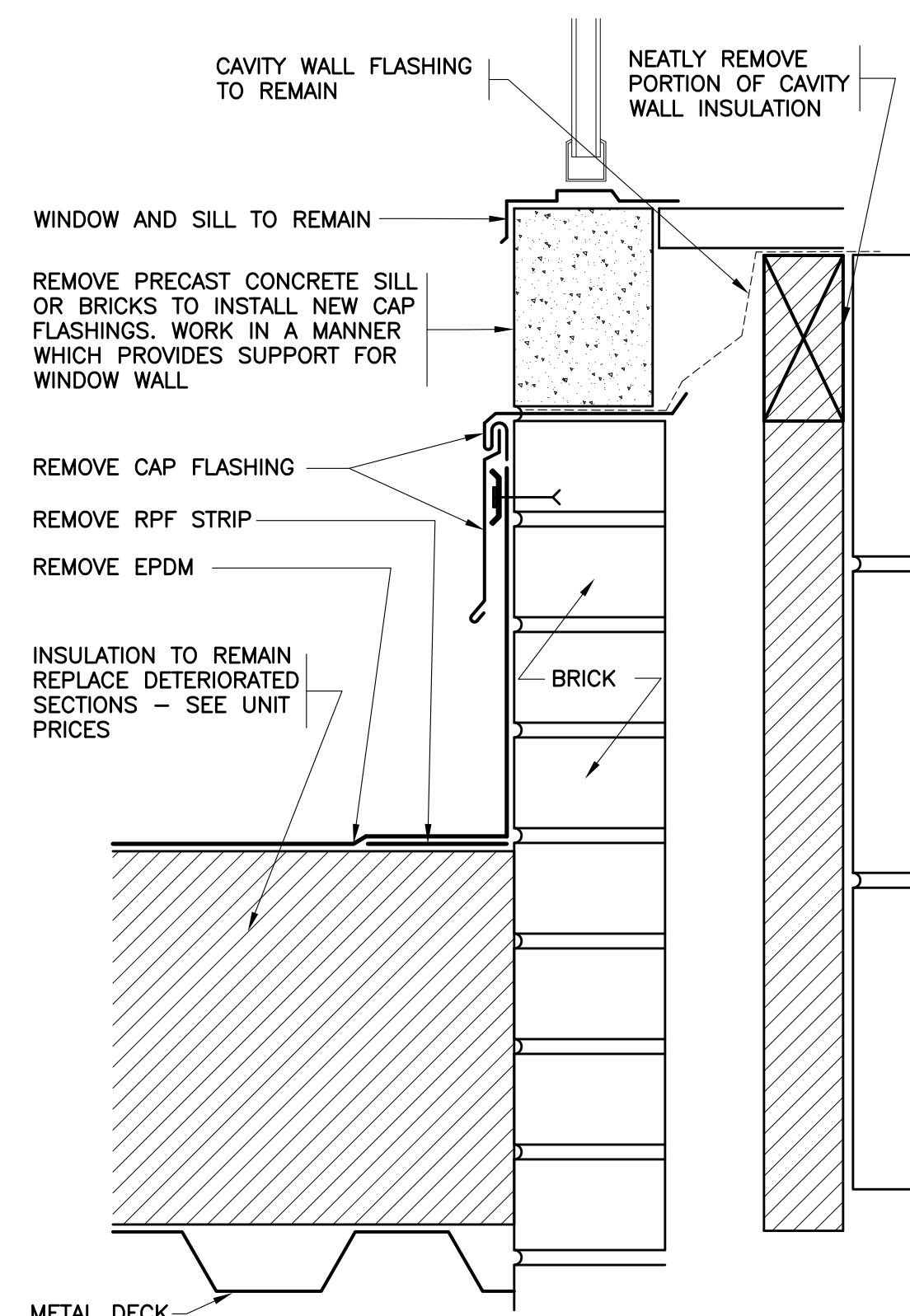
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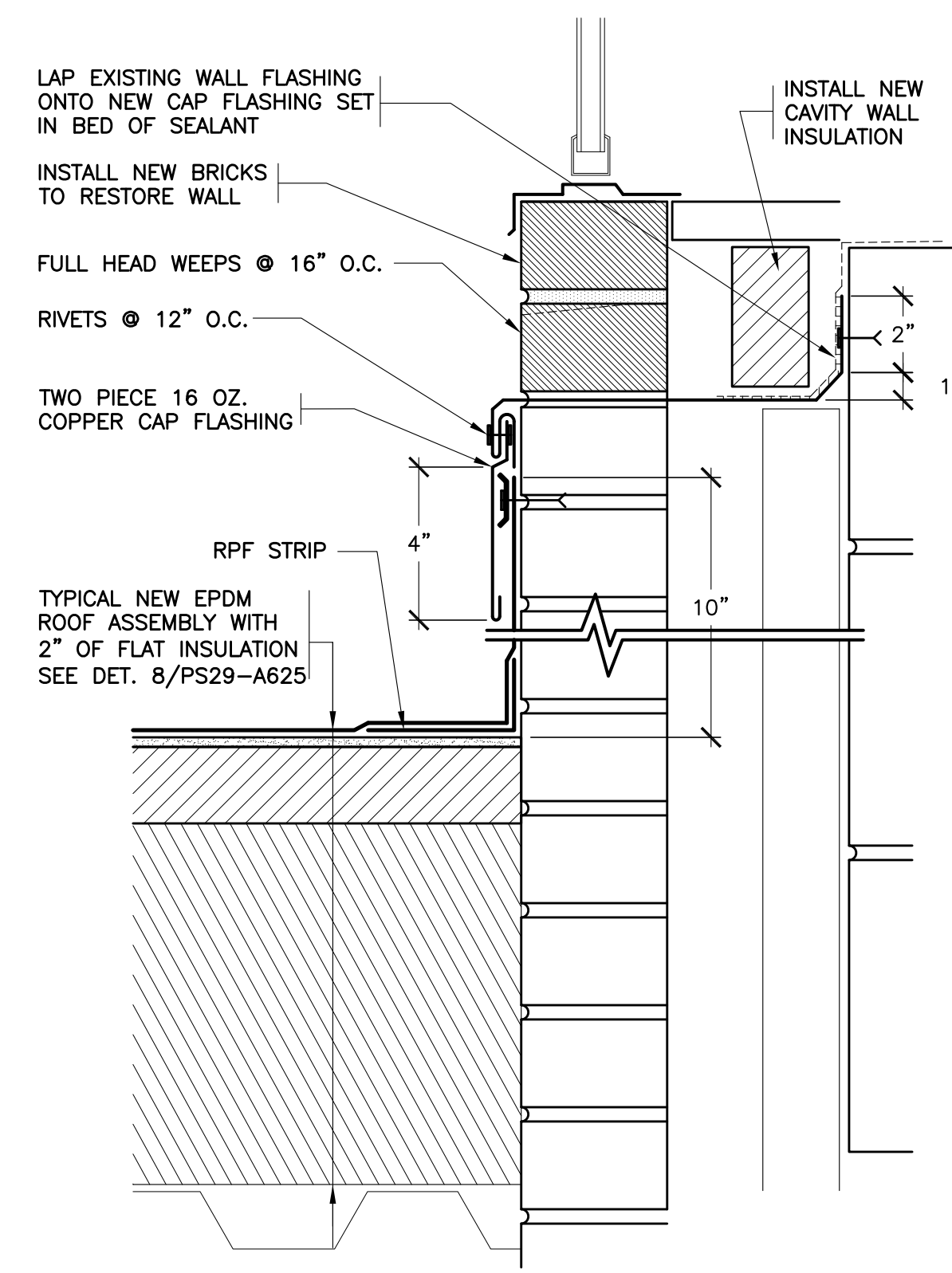
7 EXISTING BASE AT WALL
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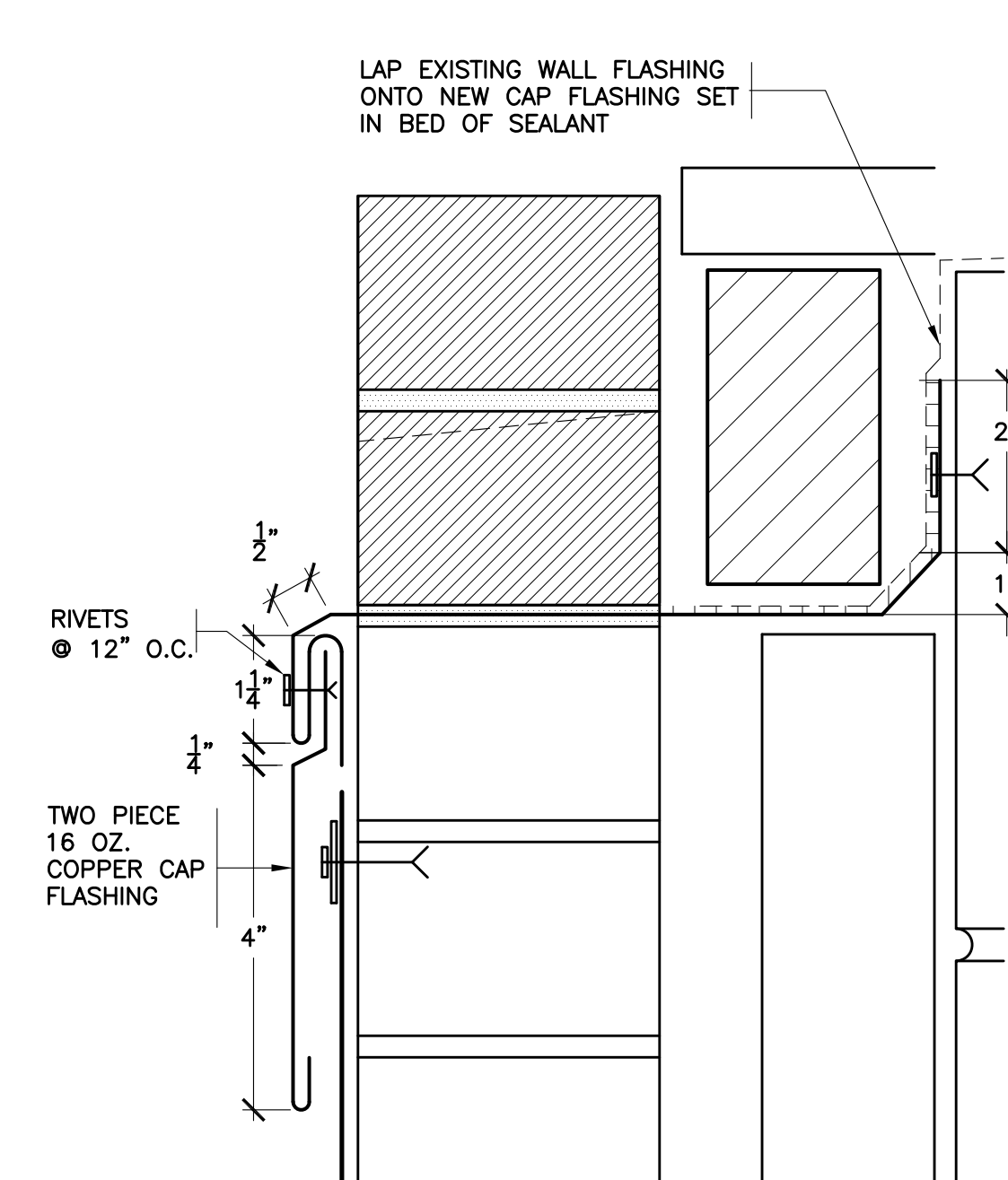
8 REVISE BASE AT WALL
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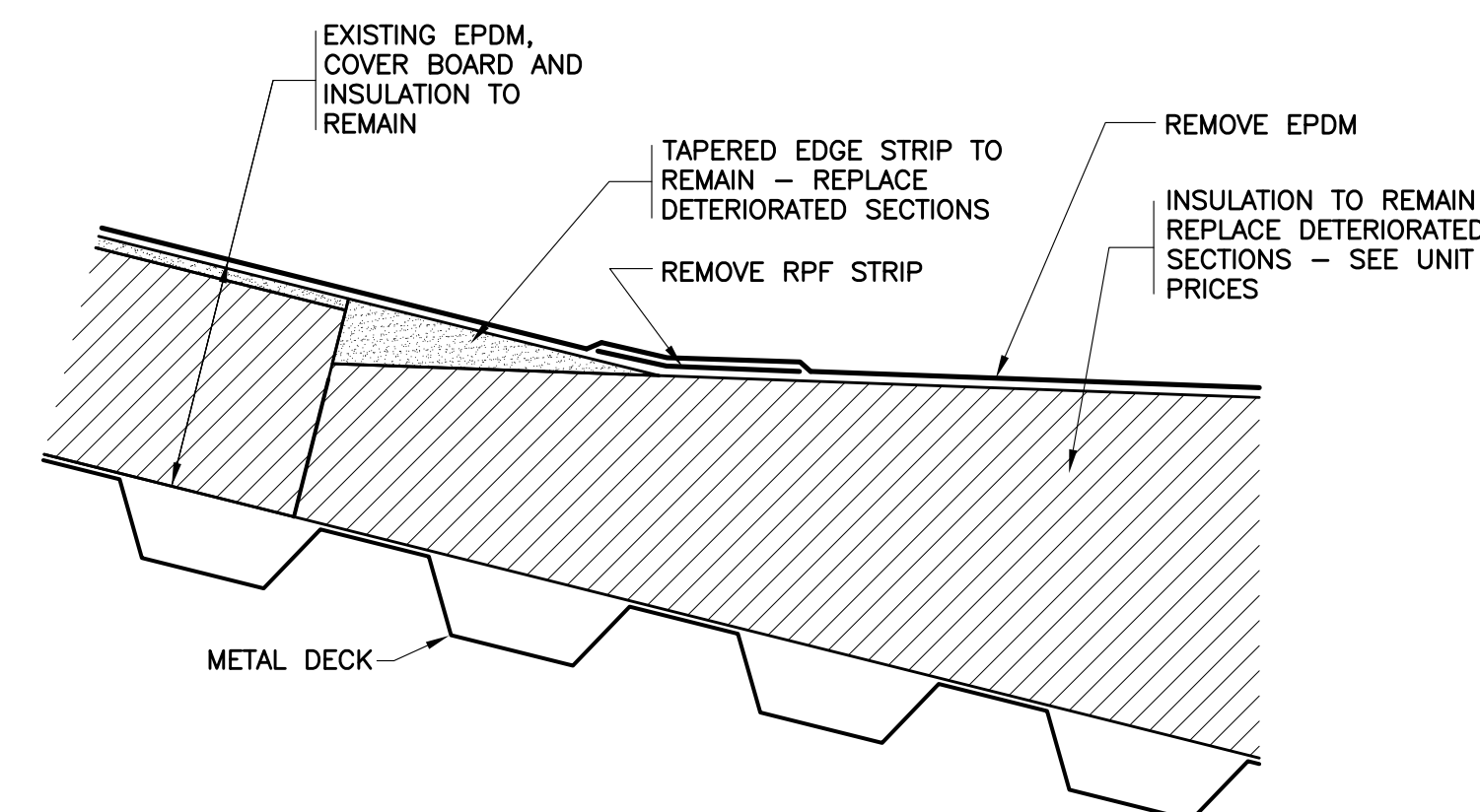
9 EXISTING BASE AT WINDOW
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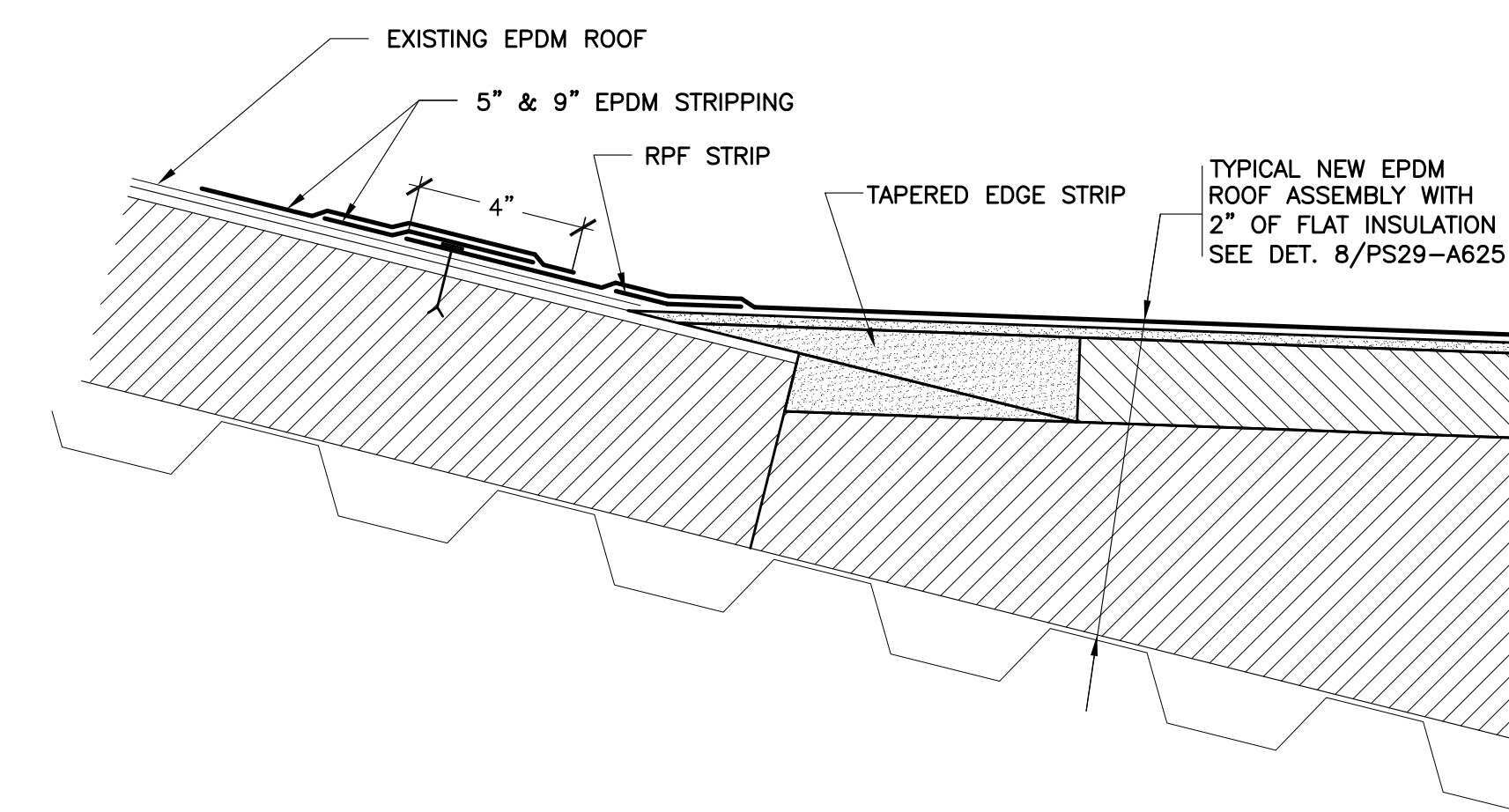
10 REVISED BASE AT WINDOW
SCALE: 0" 1" 2" 4" 8"



10A REVISED CAP FLASHING
SCALE: 0" 1" 2" 4"



11 EXISTING TRANSITION
SCALE: 0" 1" 2" 4" 8"



12 REVISED TRANSITION
SCALE: 0" 1" 2" 4" 8"

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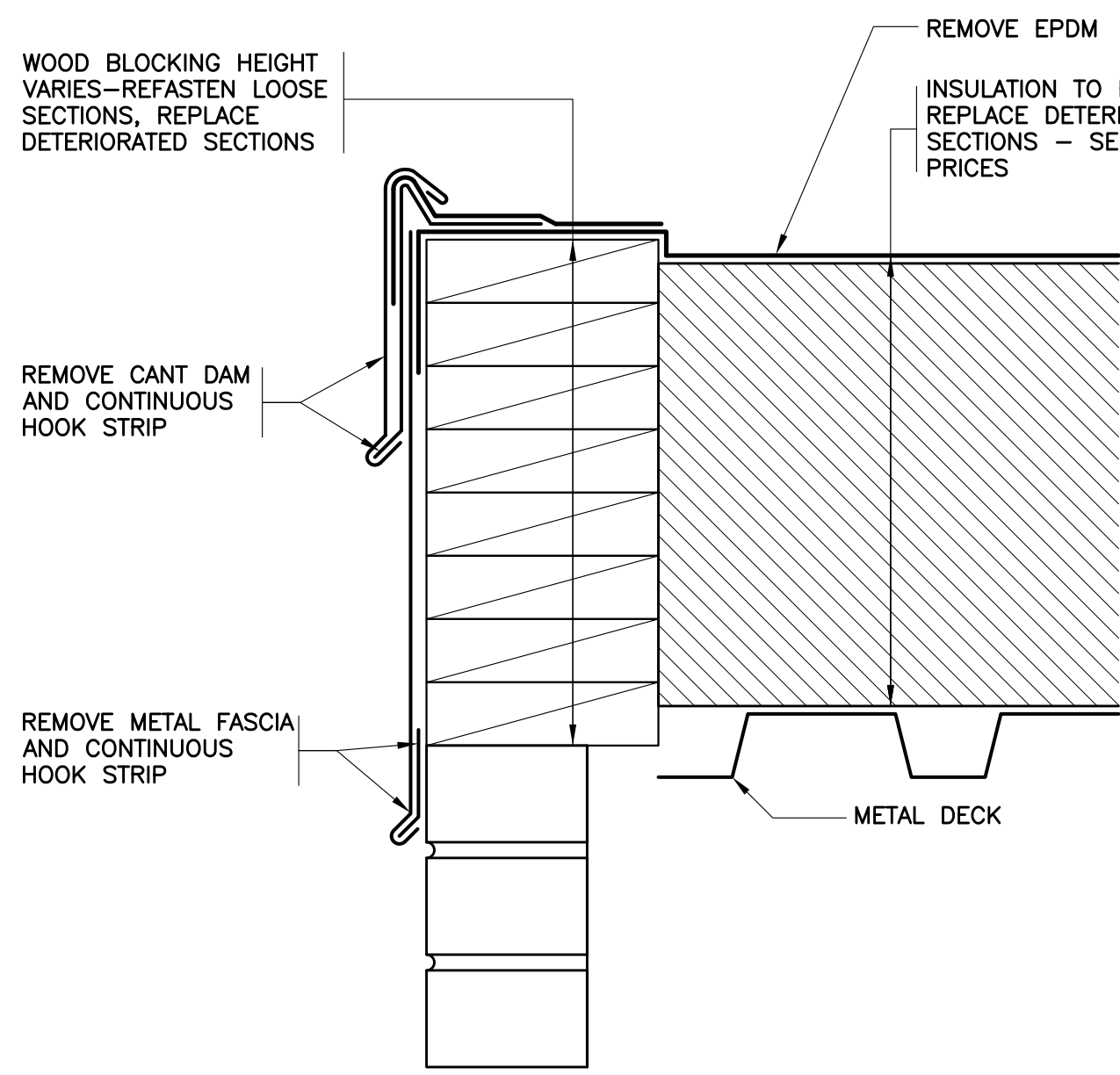
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S.E.D. CONTROL NUMBER:
PS29
66-23-00-010-029-011

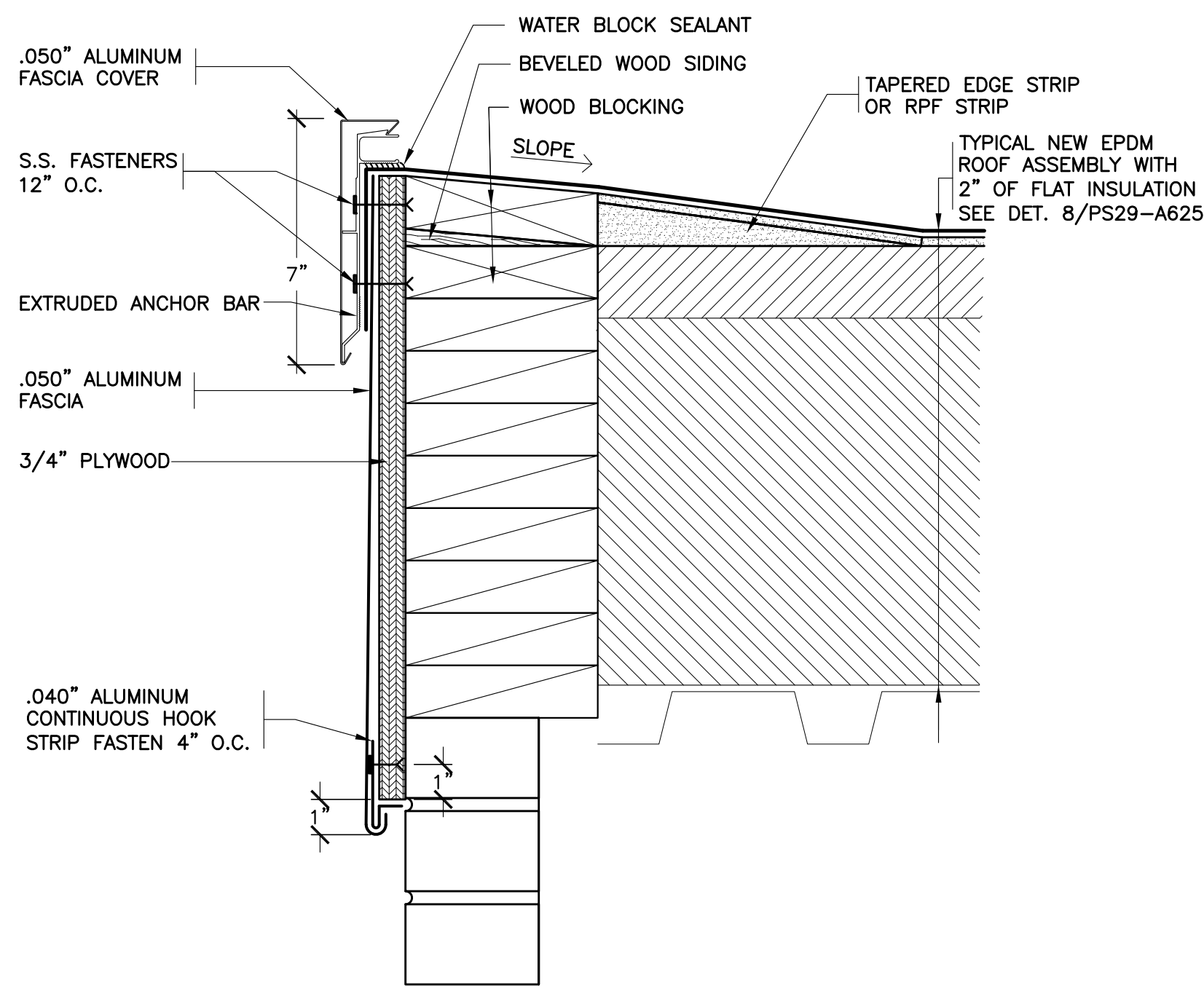
PROJECT TITLE
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
SCHOOL 29 & PEARLS HAWTHORNE SCHOOL

DRAWING TITLE
ROOF DETAILS

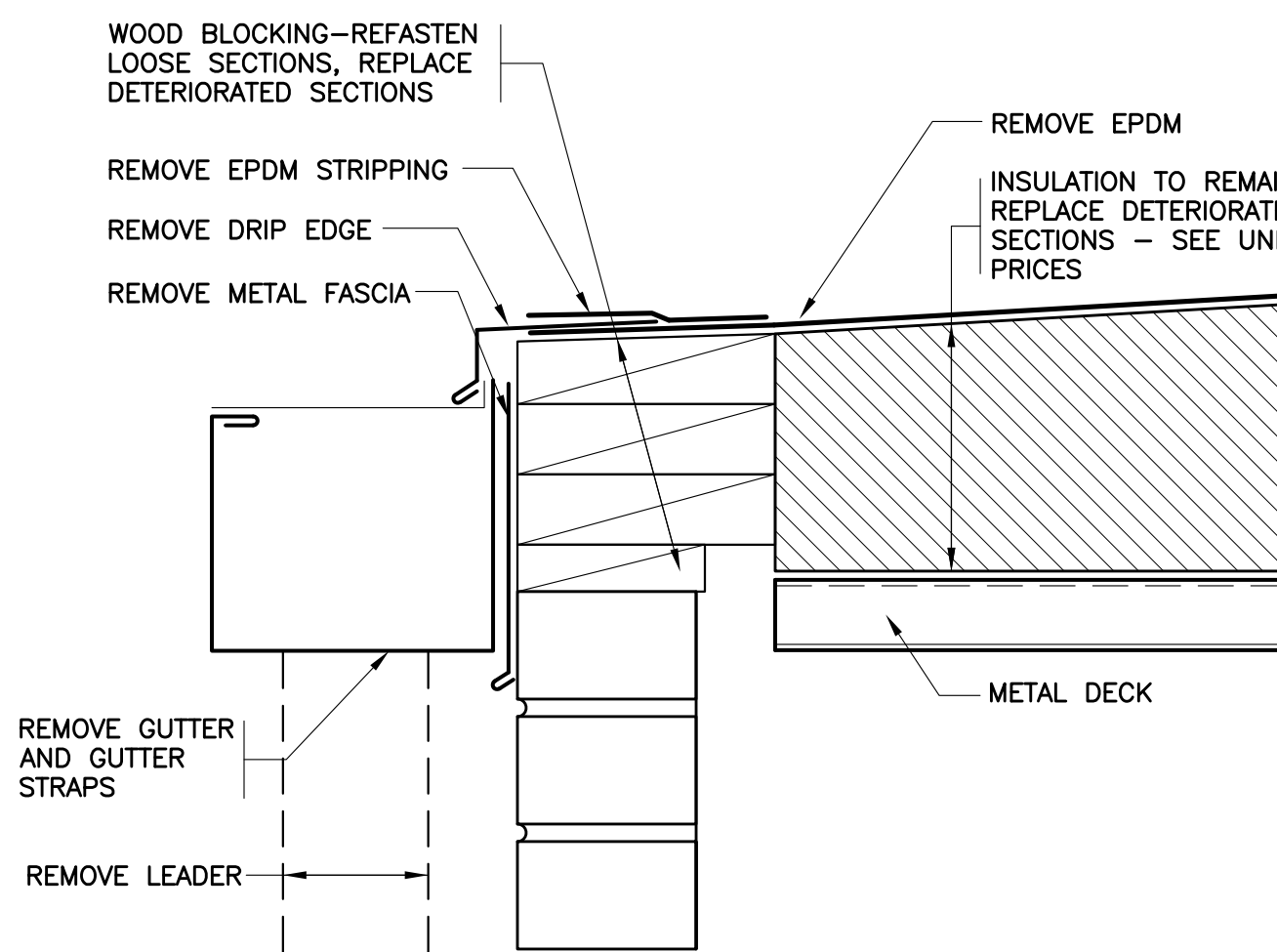
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DRAWN BY F & D	FILE NO. 19354.07



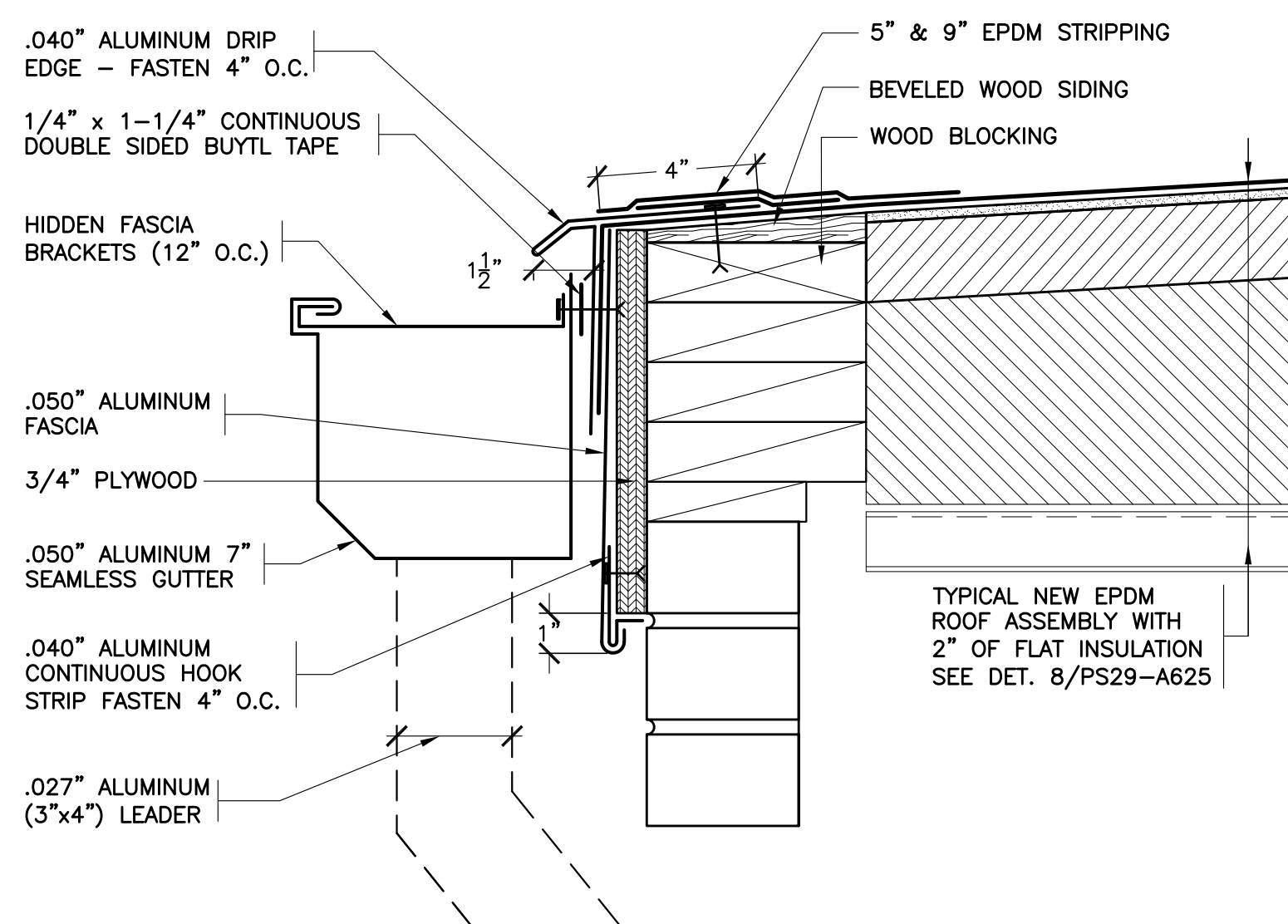
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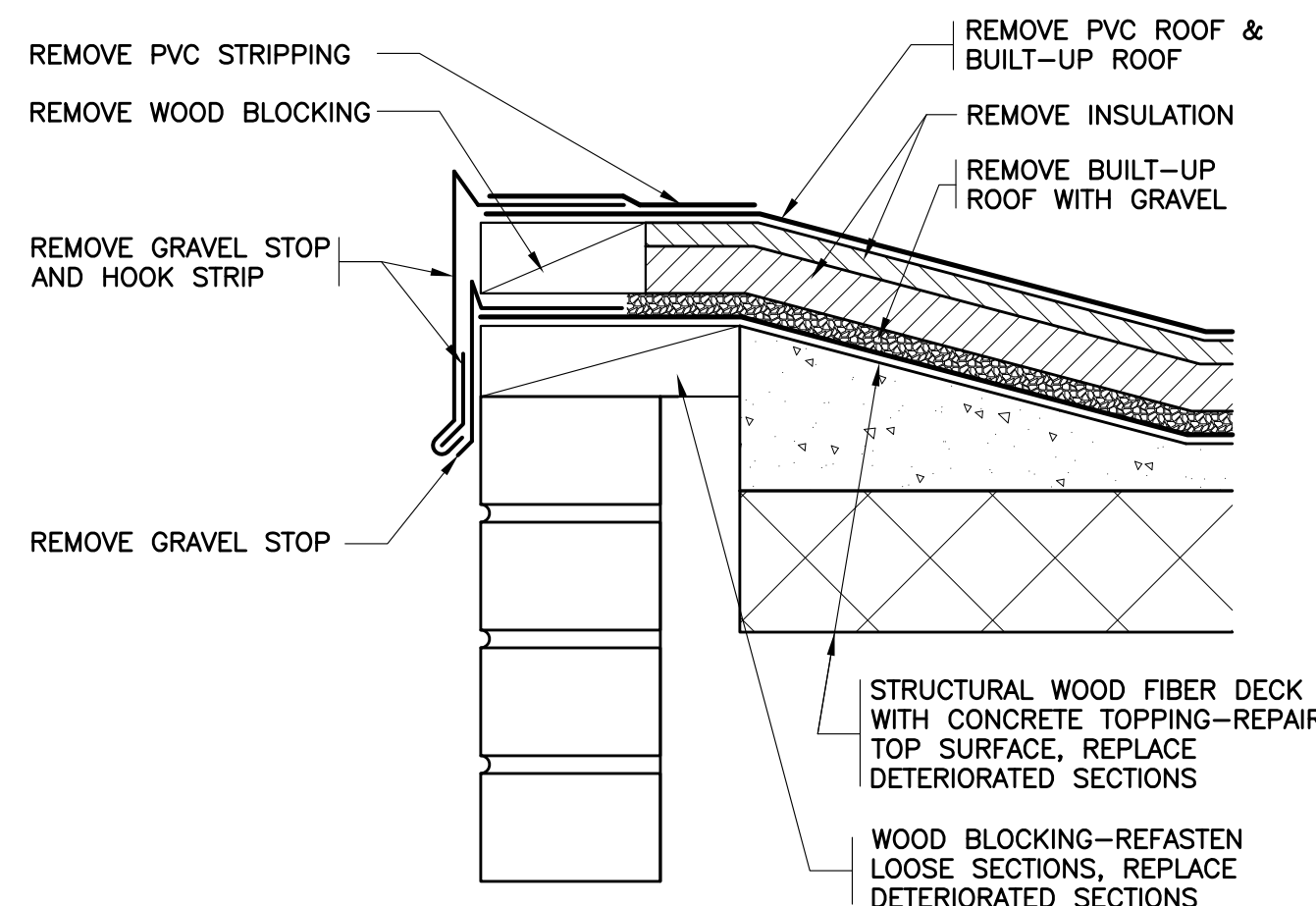
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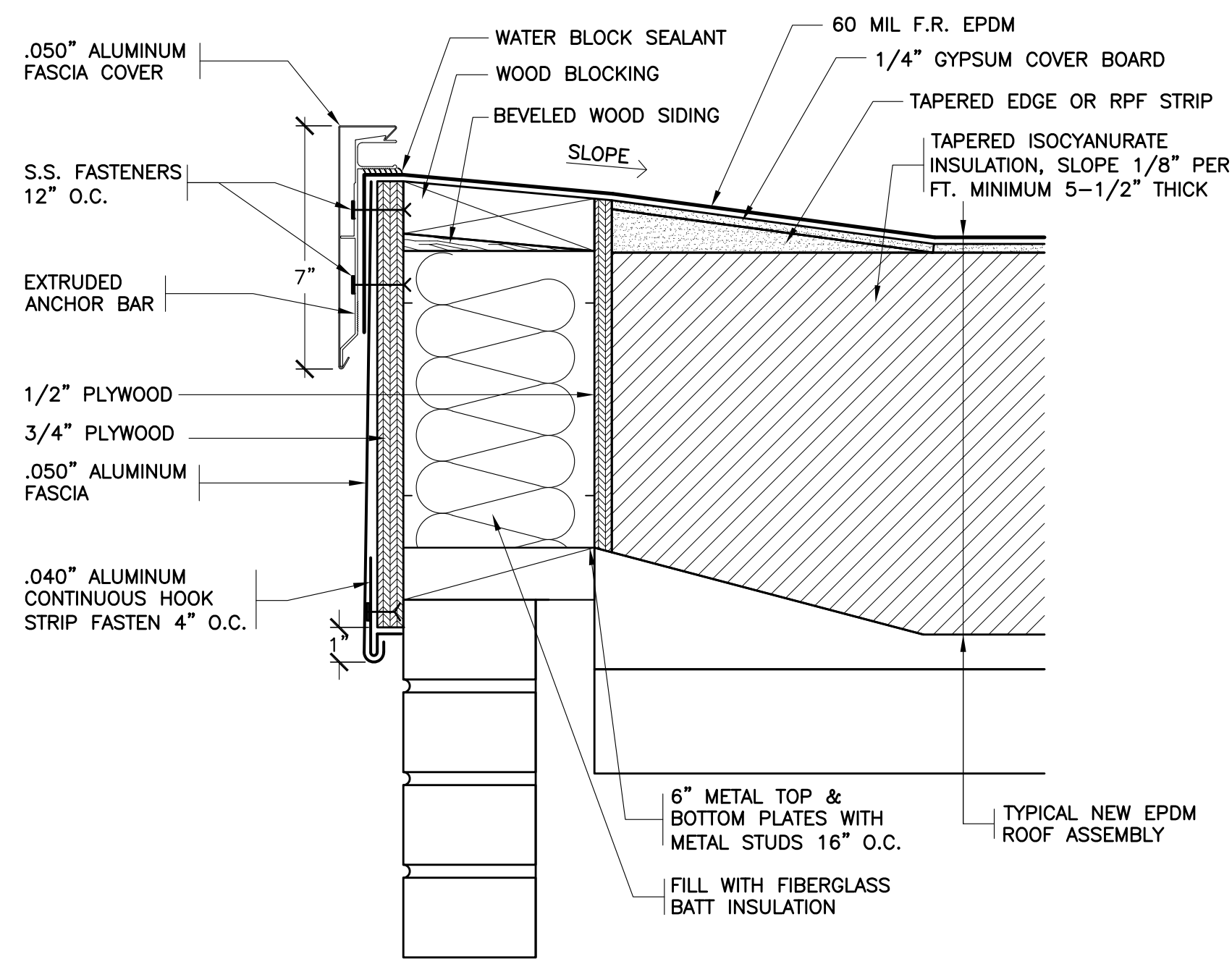
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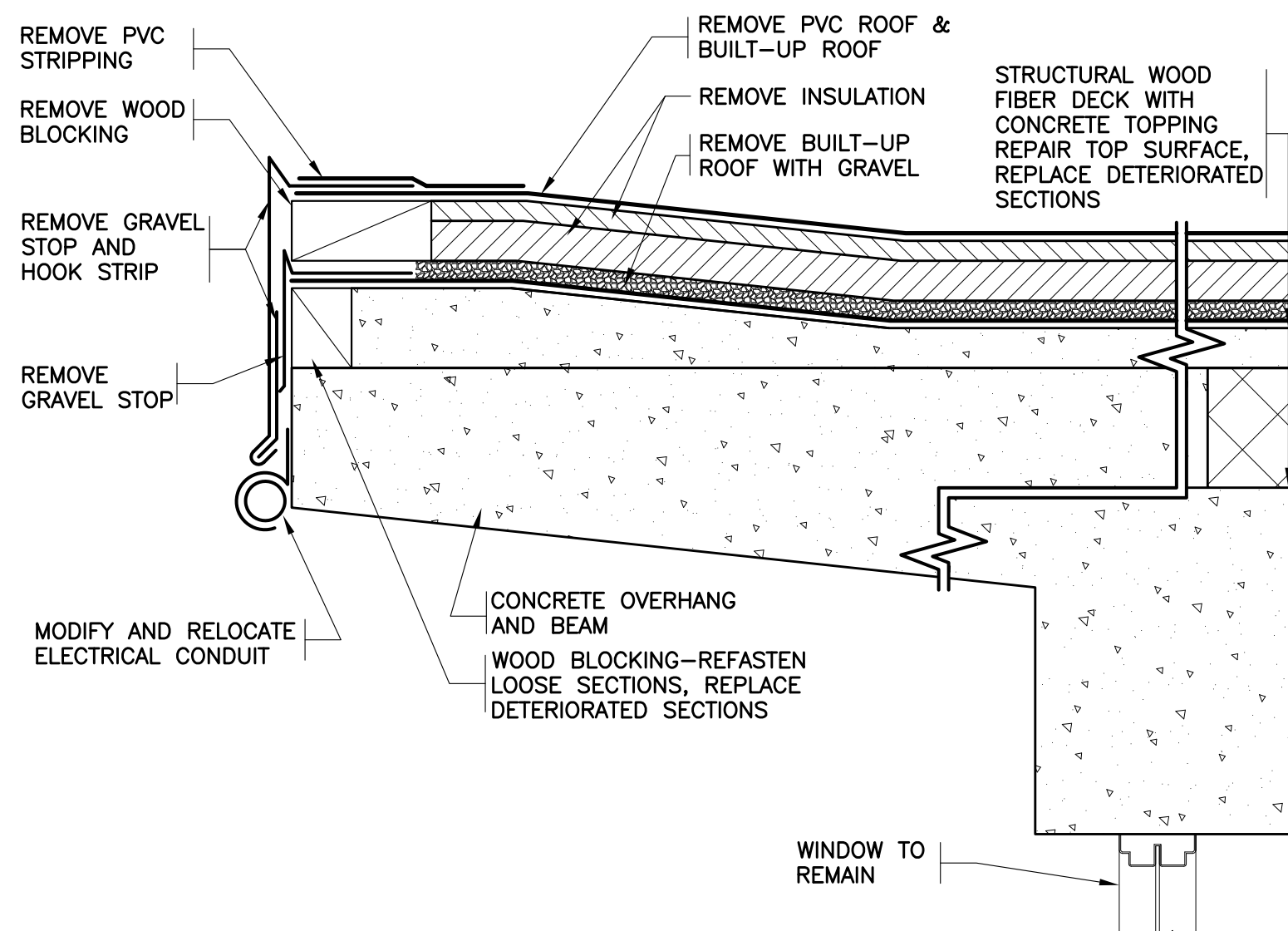
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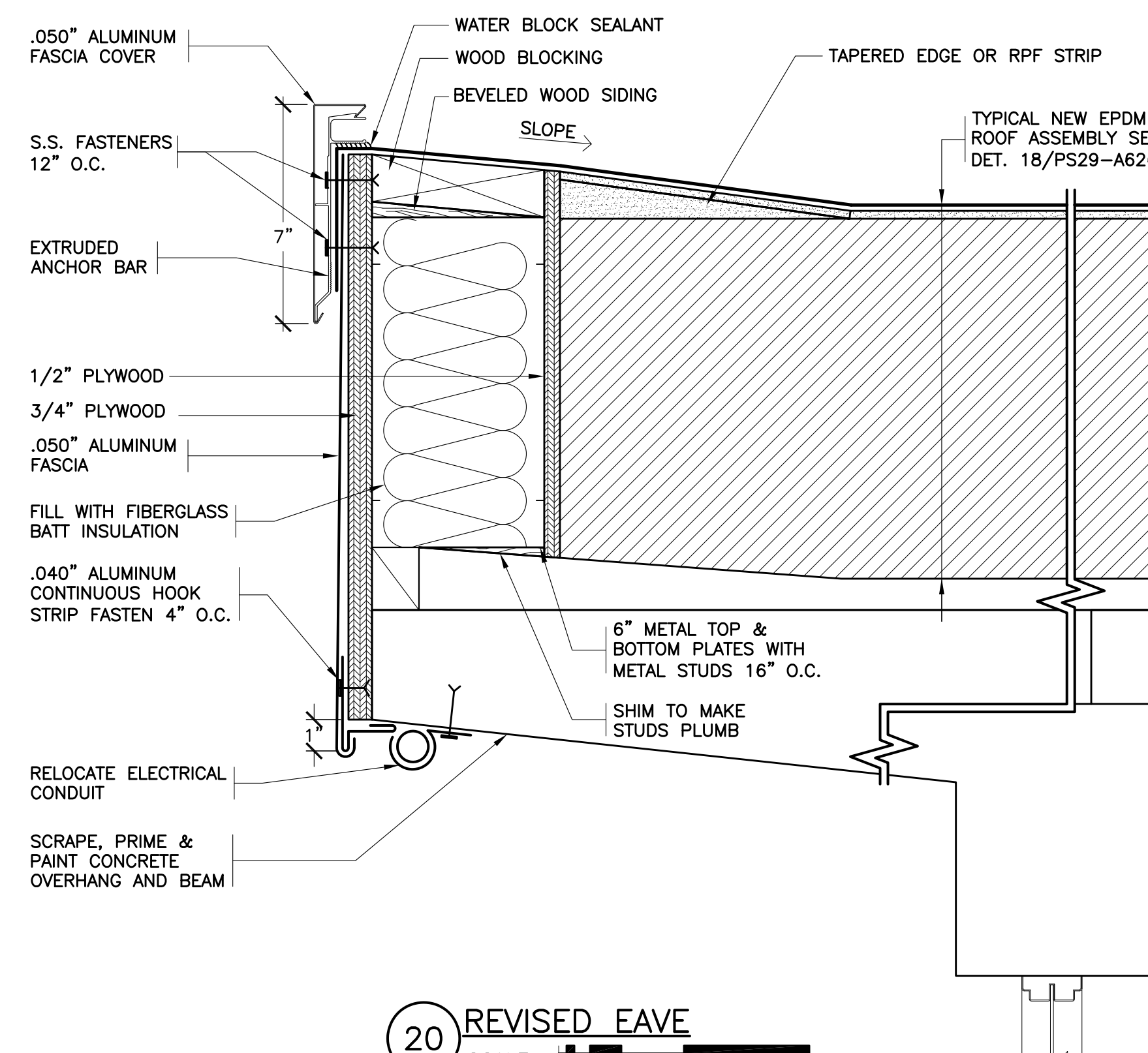
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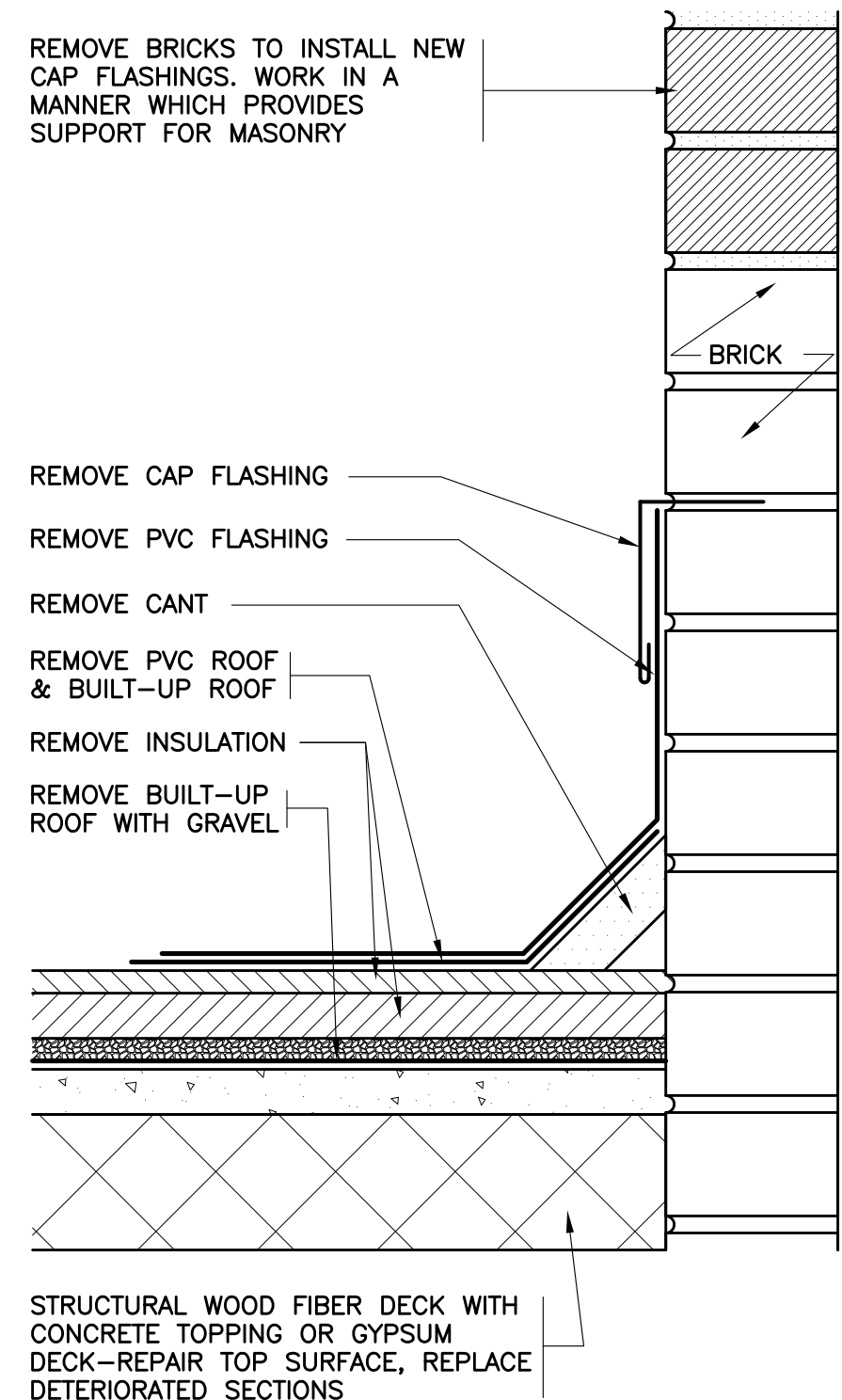
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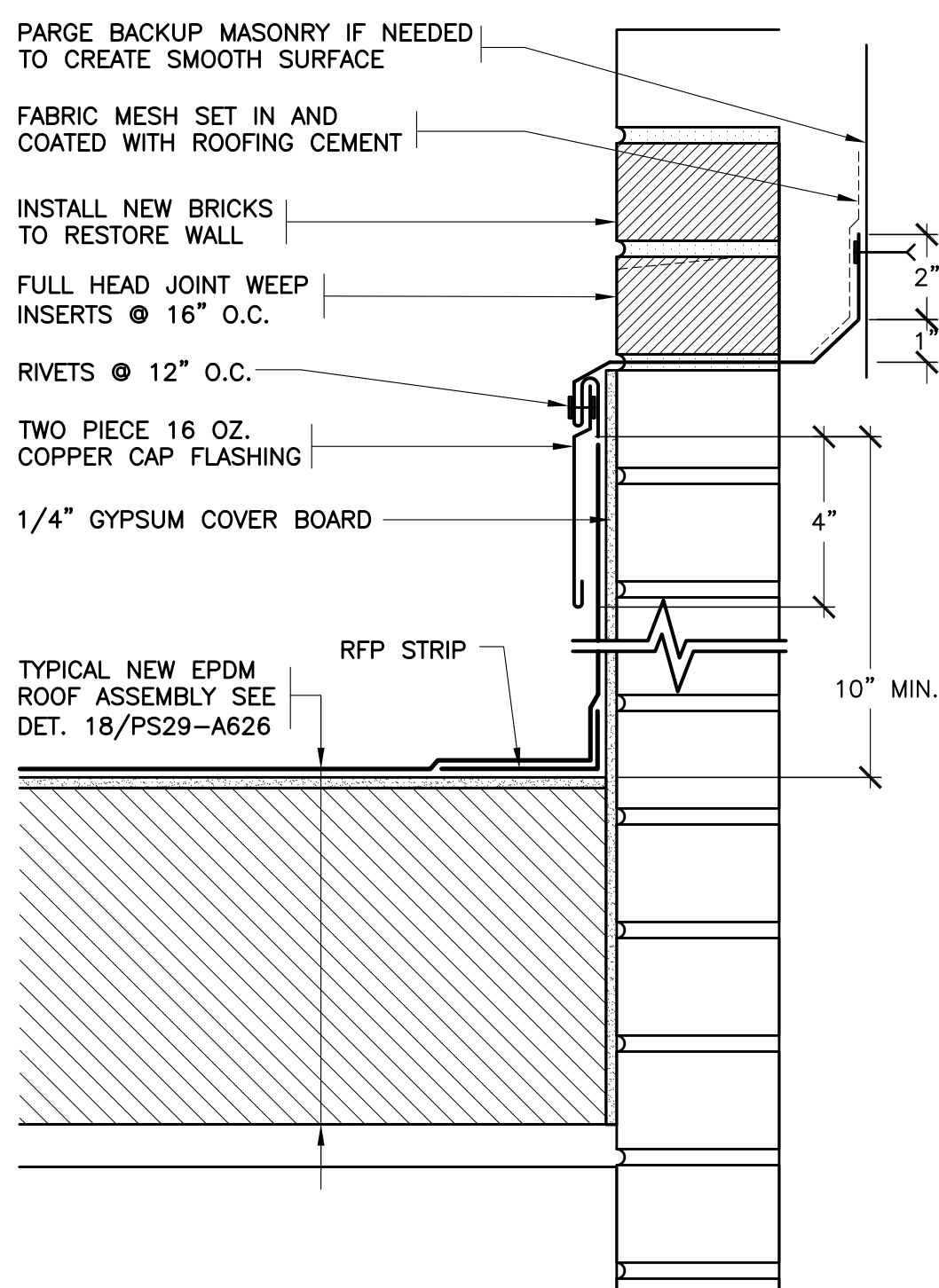
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20 REVISED EAVE
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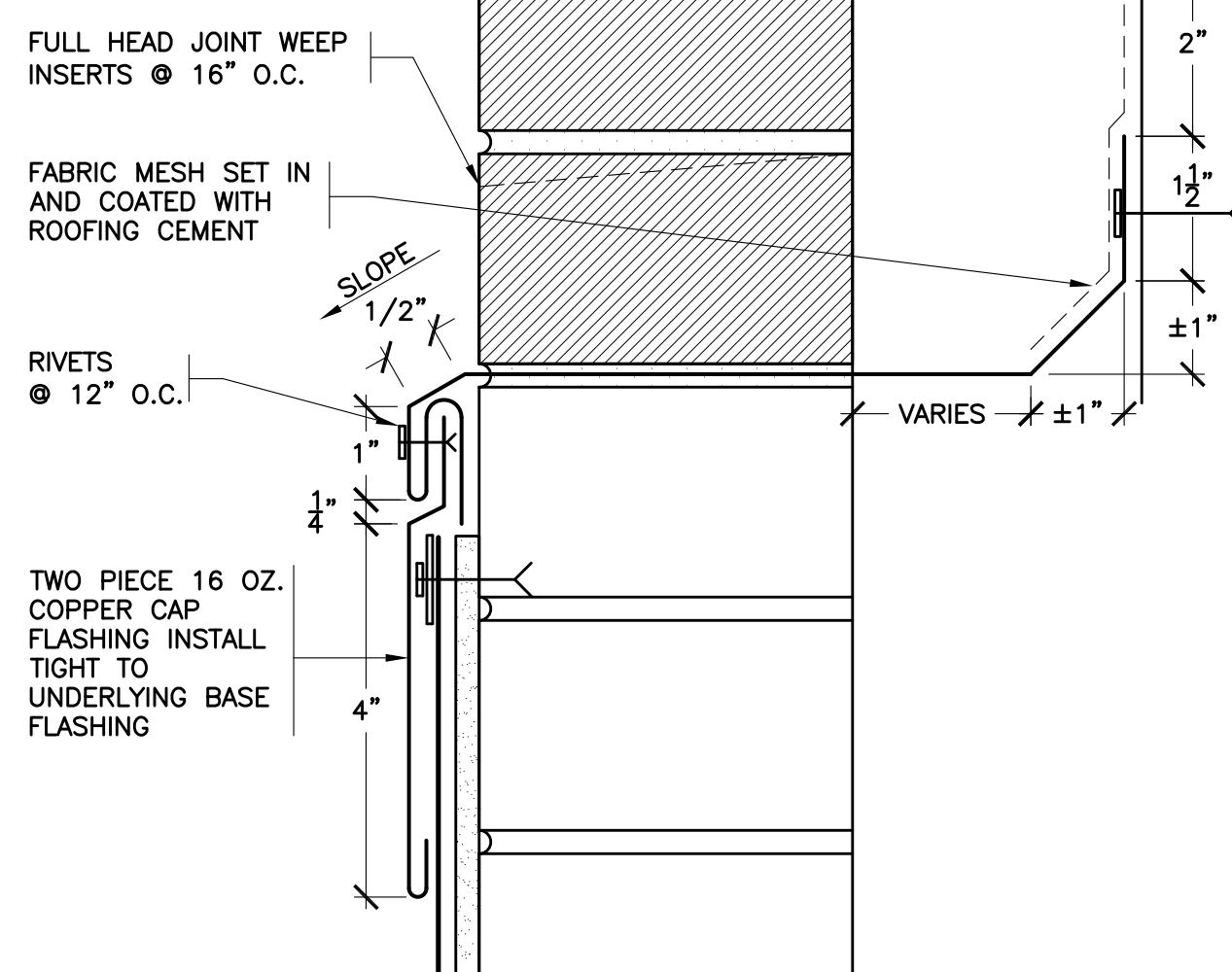


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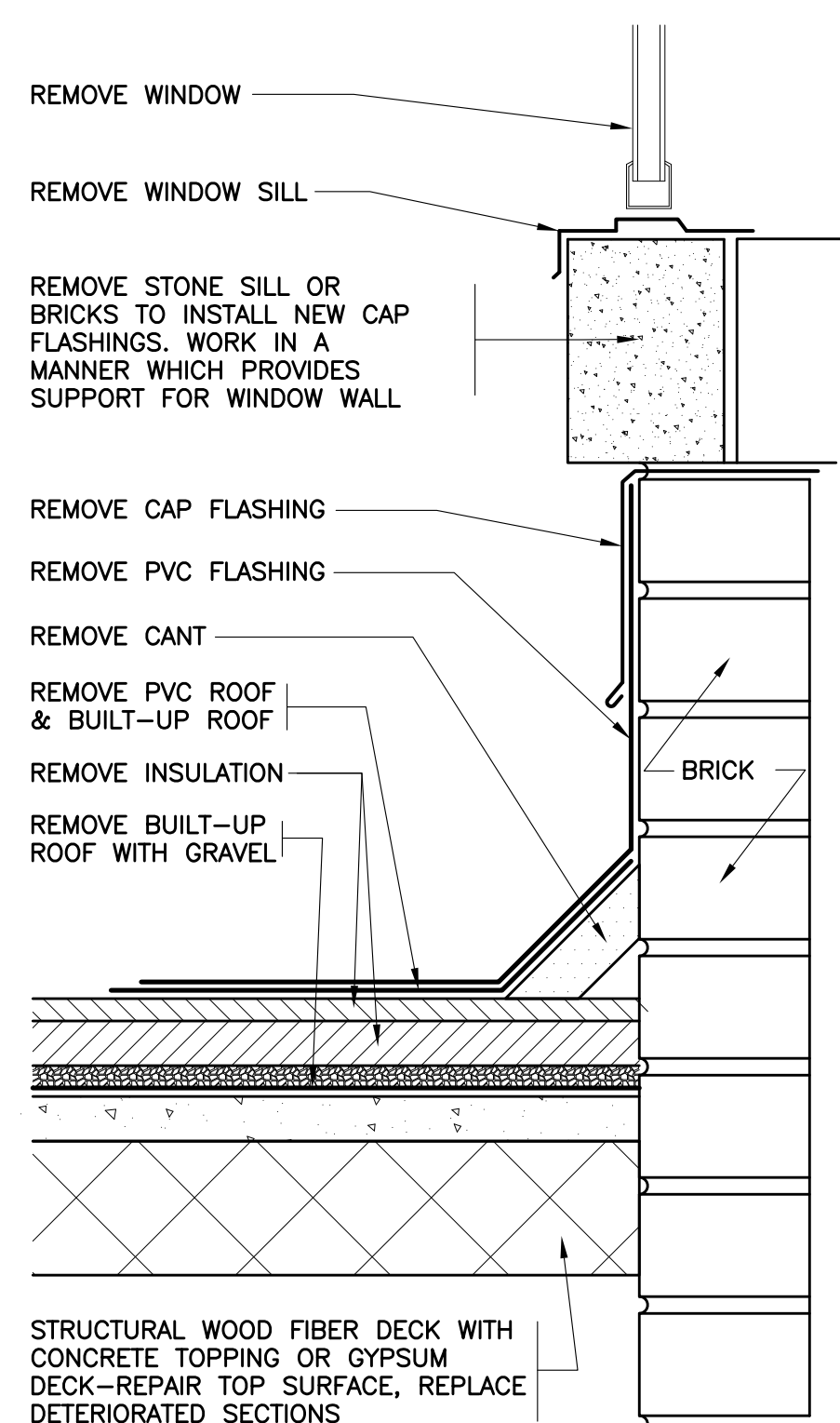


NOTES:
1. RESET LOOSE BRICKS & FILL CAVITY AS NEEDED TO CREATE CAP FLASHING SHELF.
2. SEE DETAIL 22A/PS29-A626 FOR ADDITIONAL INFORMATION.
3. INSTALL END DAMS.

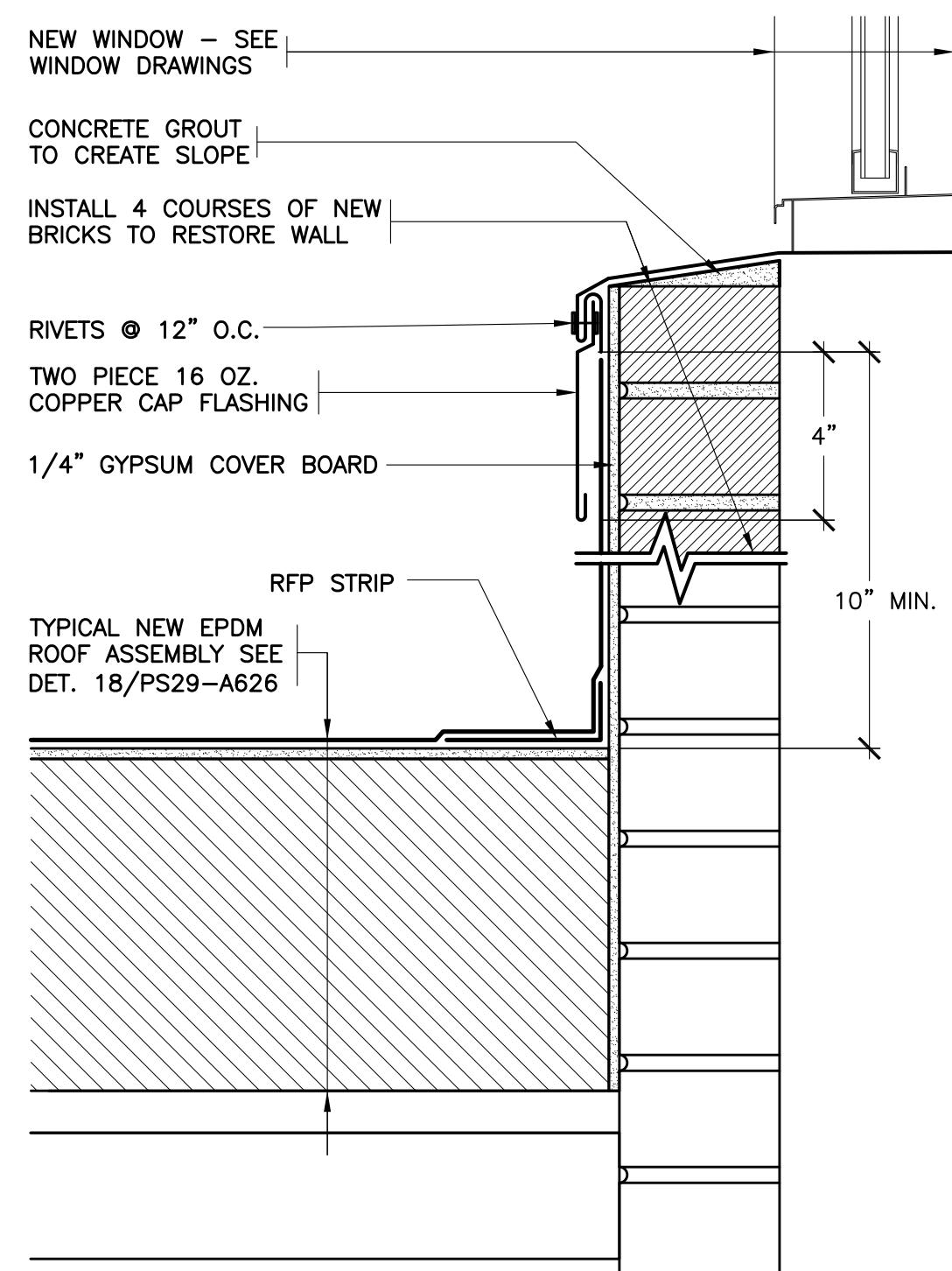
22 REVISED BASE
SCALE: 0" 1" 2" 4" 8"



22A REVISED CAP FLASHING
SCALE: 0" 1" 2" 4" 8"

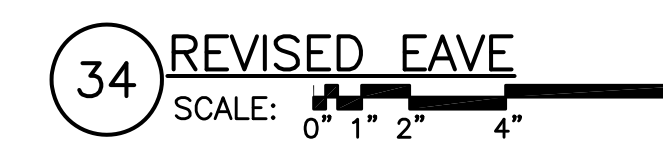
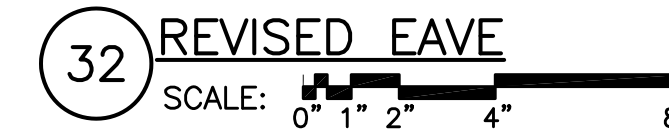
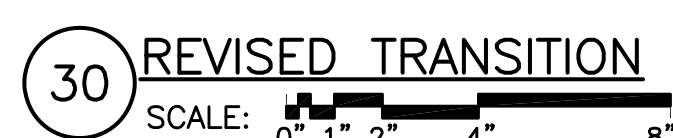
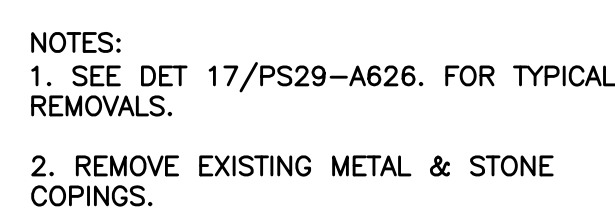
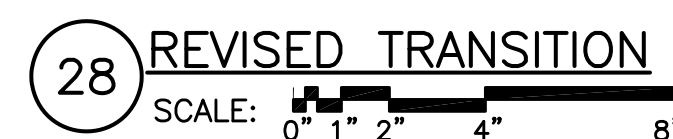
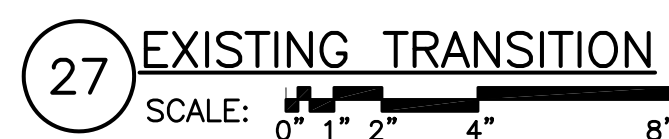
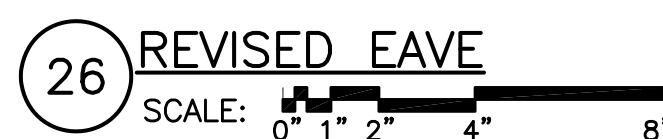


23 EXISTING BASE AT WINDOW
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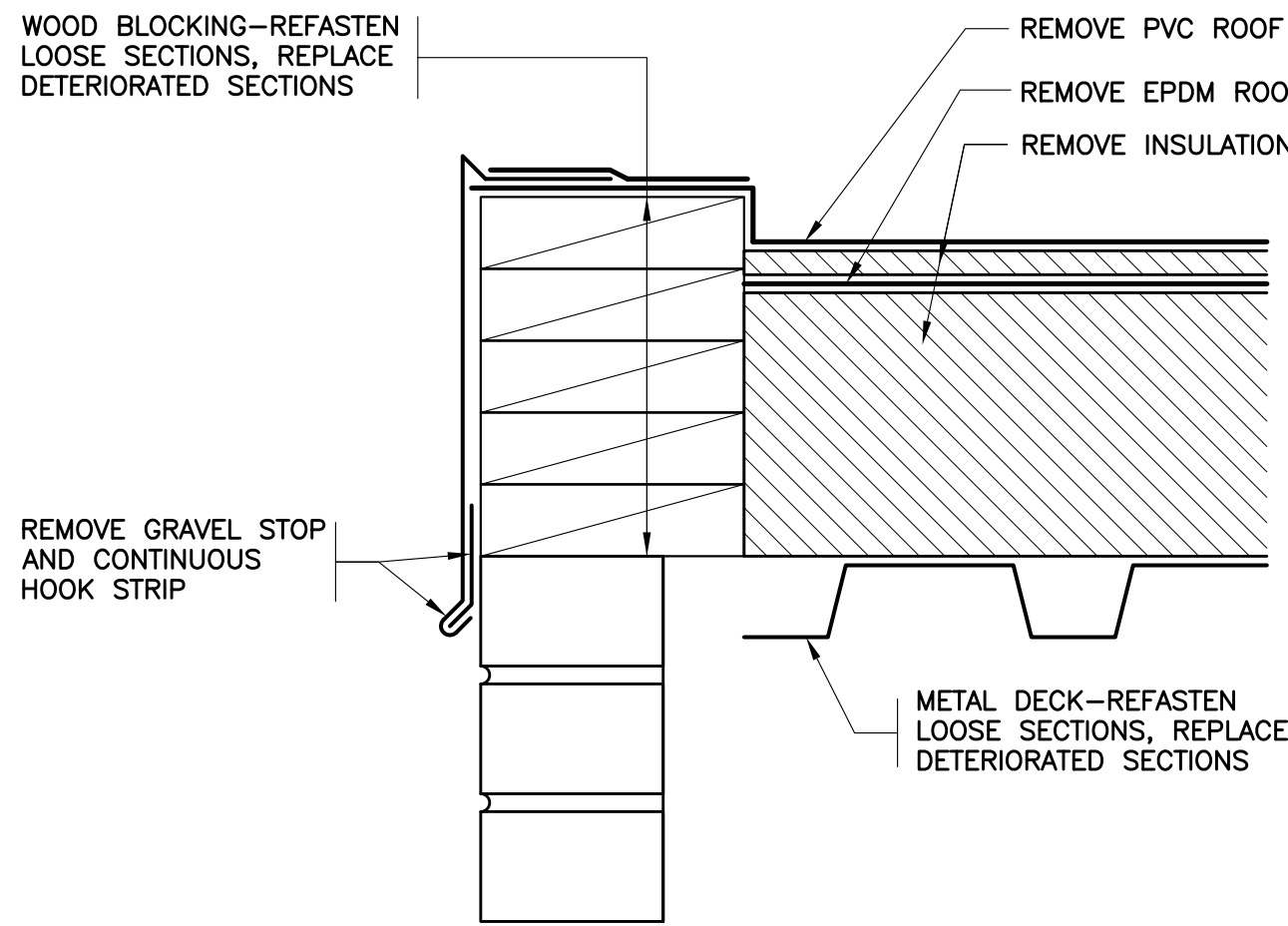


24 REVISED BASE AT WINDOW
SCALE: 0" 1" 2" 4" 8"

NOTES:
1. RESET LOOSE BRICKS & FILL CAVITY AS NEEDED TO CREATE CAP FLASHING SHELF.
2. SEE DETAIL 22A/PS29-A626 FOR ADDITIONAL INFORMATION.
3. INSTALL END DAMS.

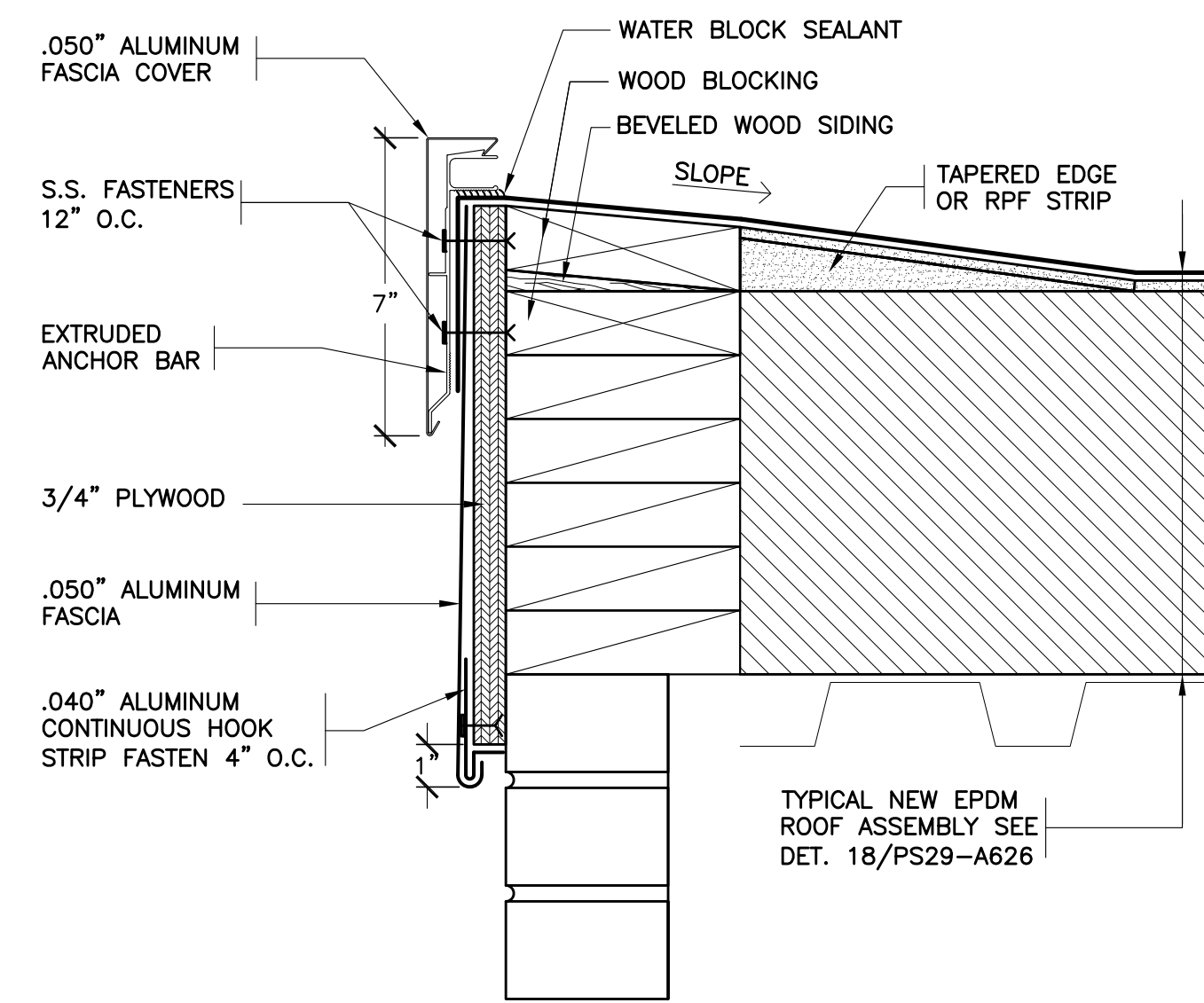


2-16-2022	BID
DATE	ISSUED TO
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SCALE AS NOTED	
DRAWN BY F & D	FILE NO. 19354.07



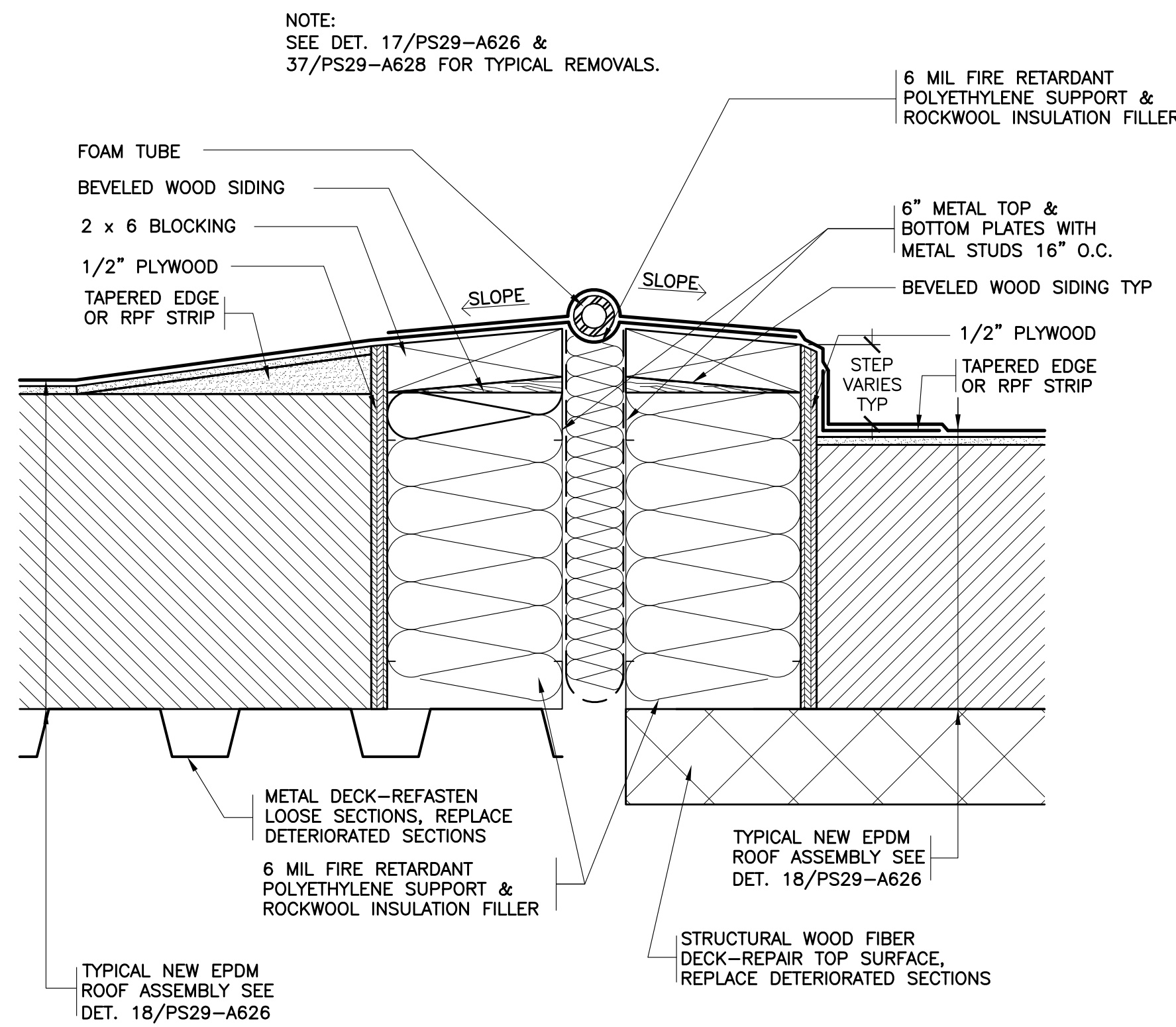
37 EXISTING EAVE

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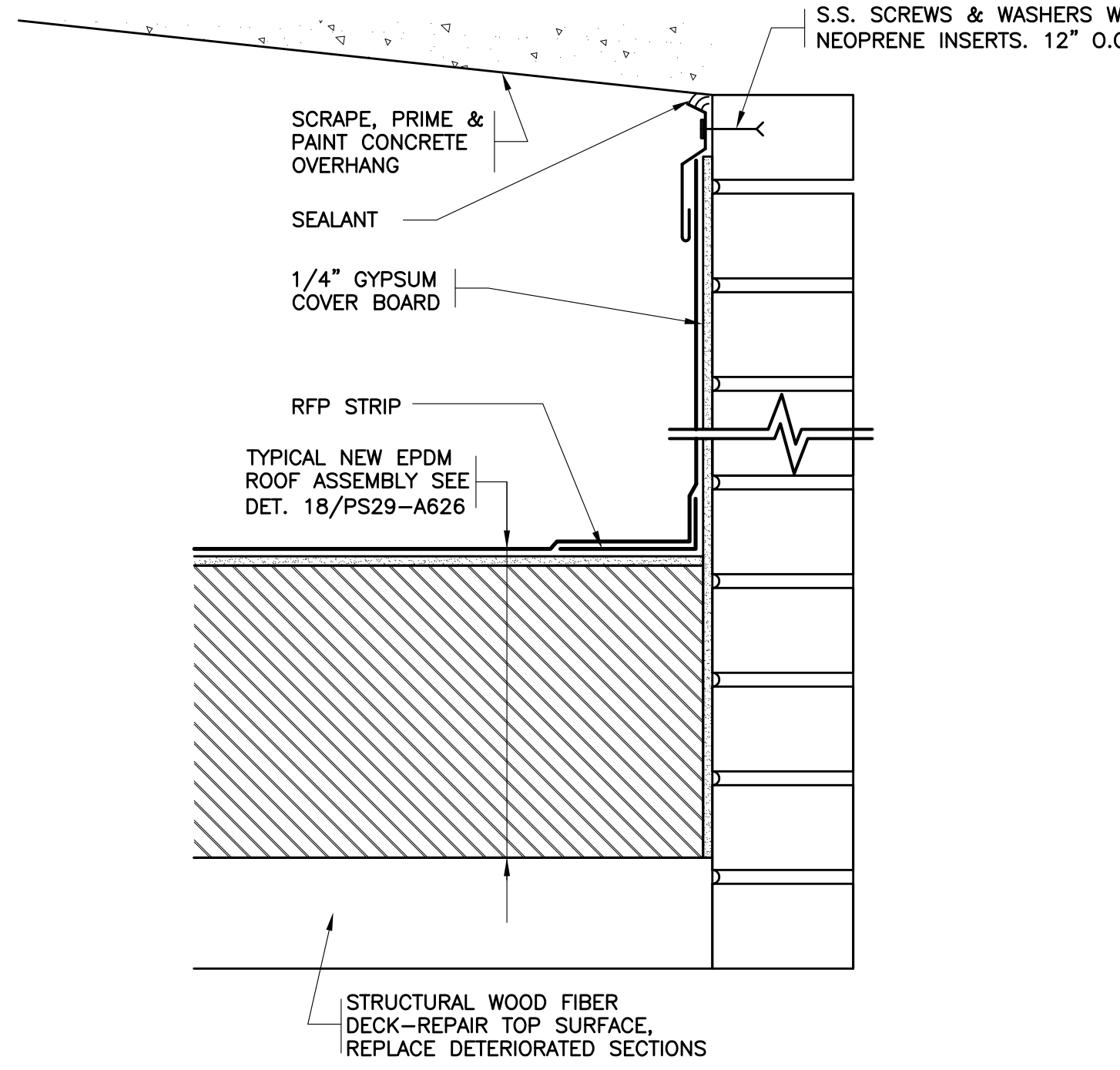
38 REVISED EAVE

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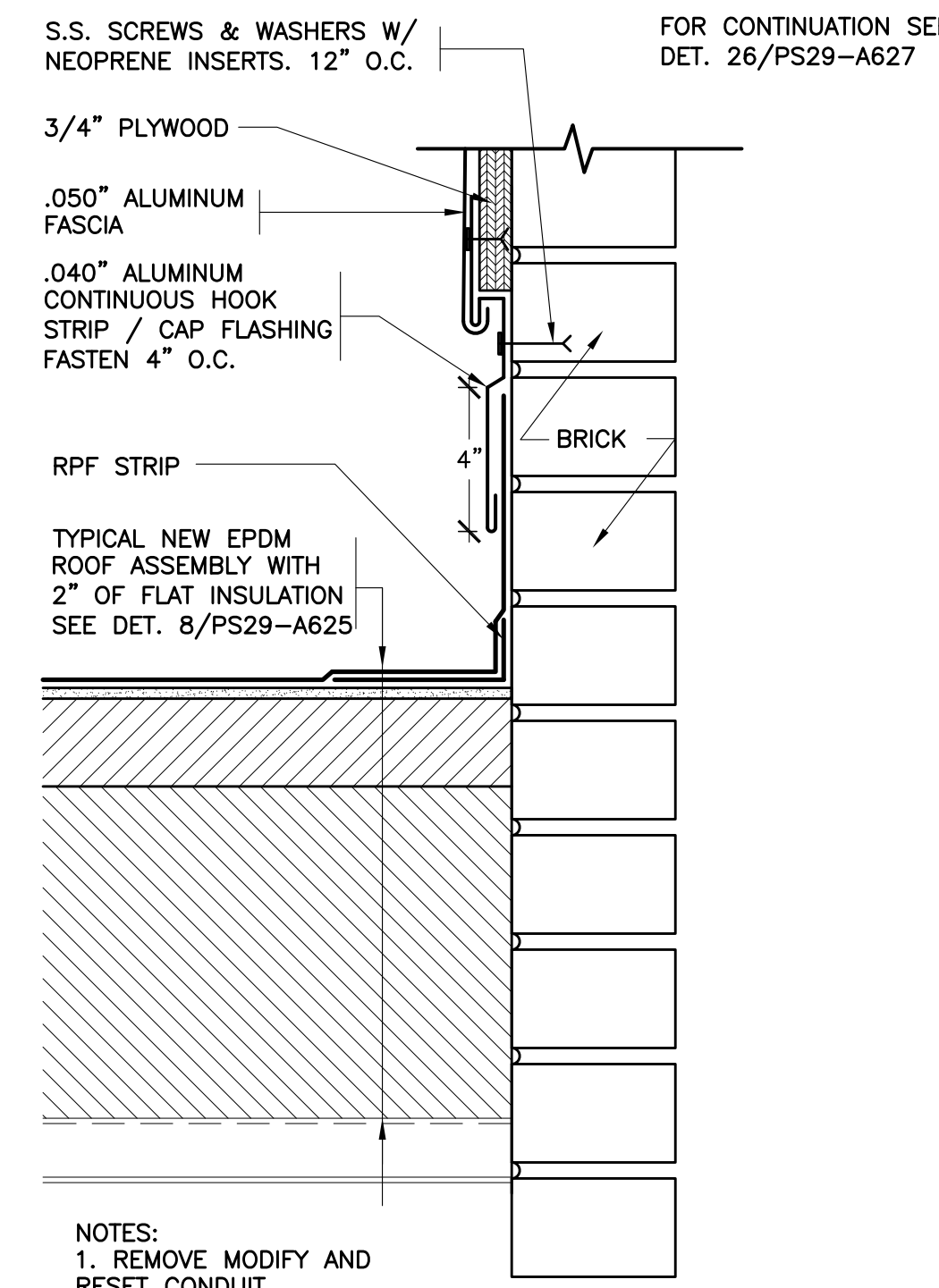
39 REVISED EAVE

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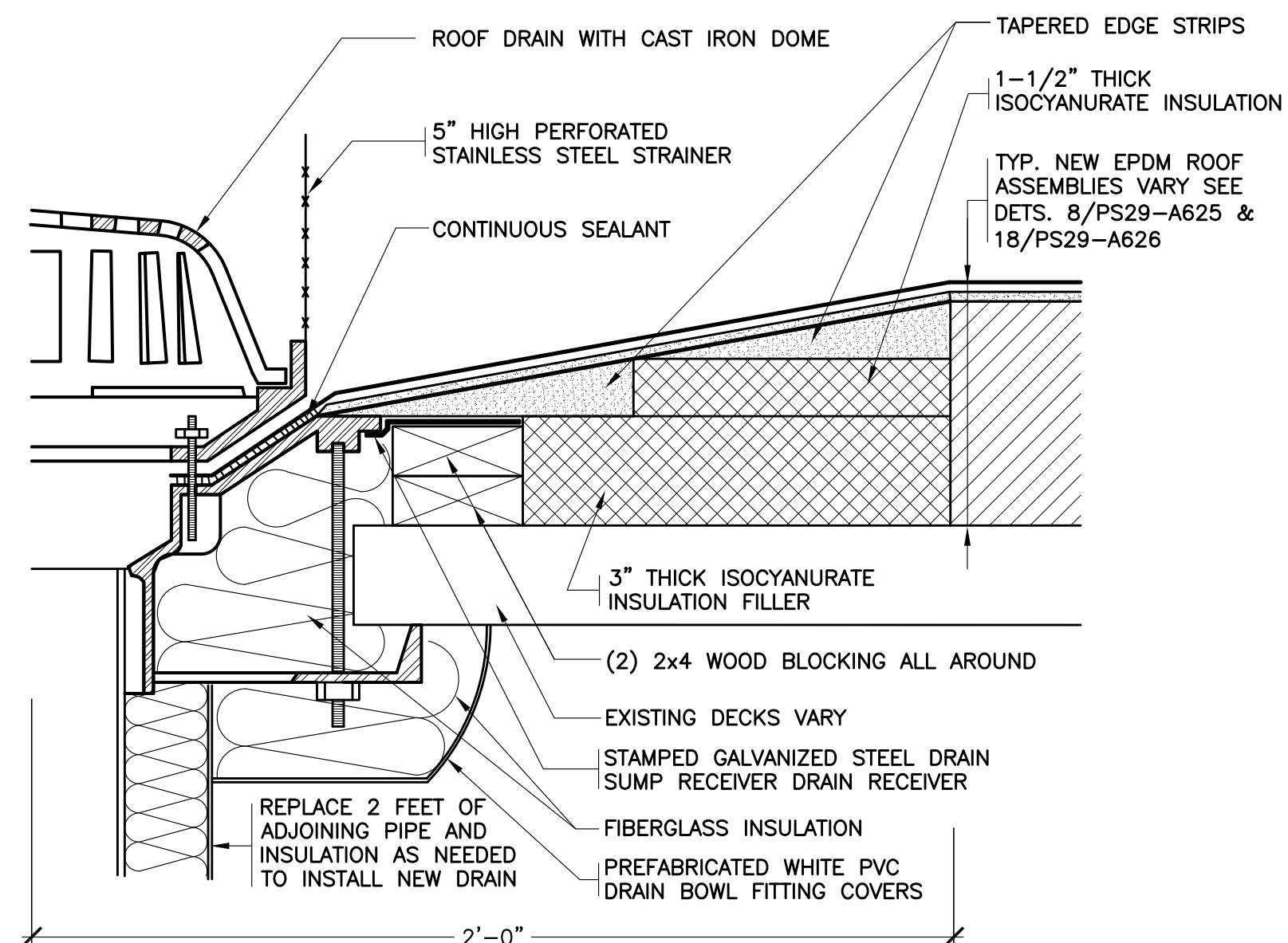
40 REVISED BASE

SCALE: 0" 1" 2" 4" 8"



41 REVISED BASE

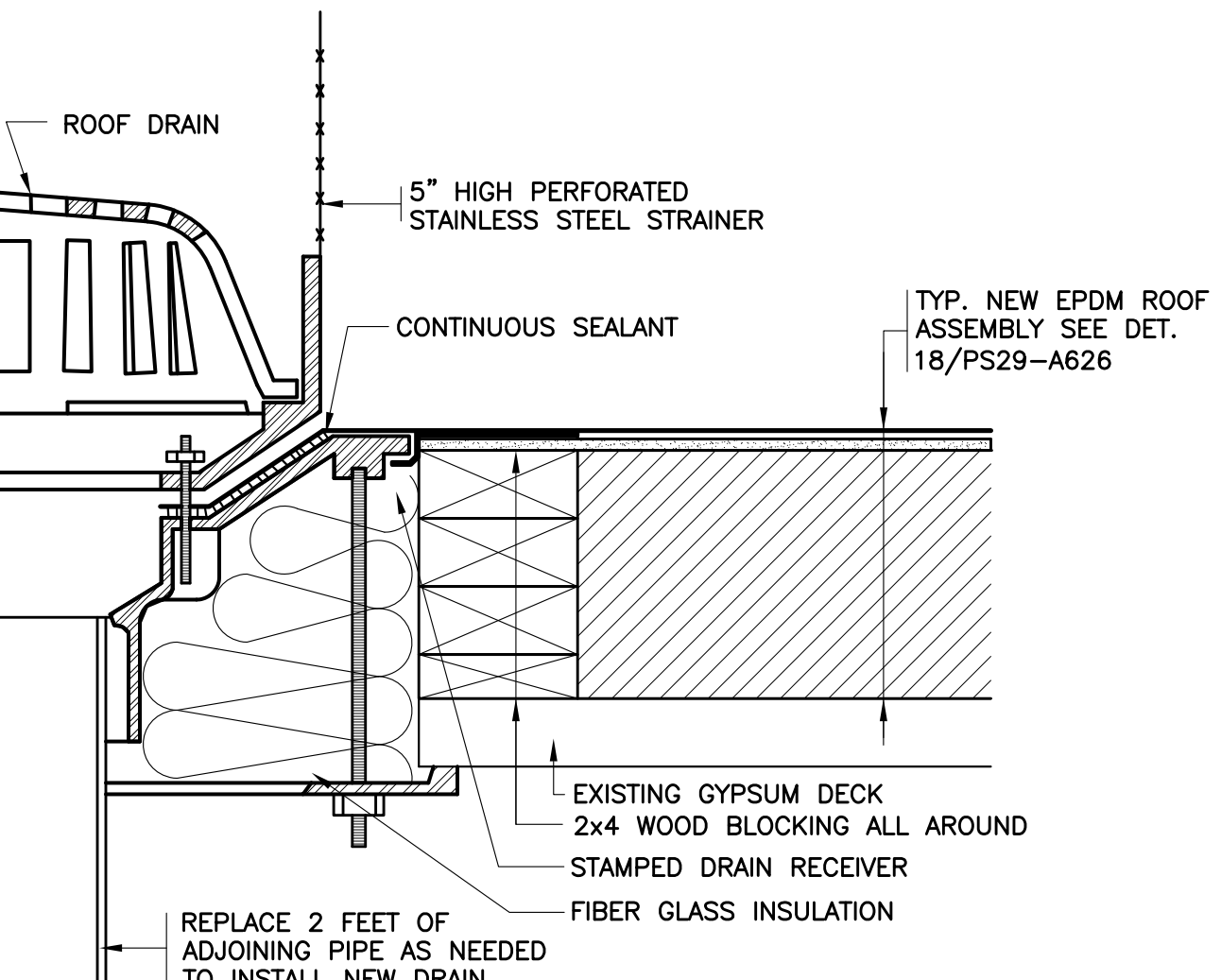
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- NOTES:
1. REMOVE EXISTING ROOF DRAINS AND RELATED FLASHINGS.
 2. INSTALL TAPERED EDGE STRIPS & INSULATION FILLERS TO CREATE A MINIMUM 4 FT. x 4 FT. SQUARE SUMP AT EACH DRAIN.
 3. INSULATE THE DRAIN BOWLS, NEW PIPES AND EXISTING PIPES THAT ARE NOT CURRENTLY INSULATED. INCLUDE 500LF OF PIPE INSULATION IN THE BASE BID.

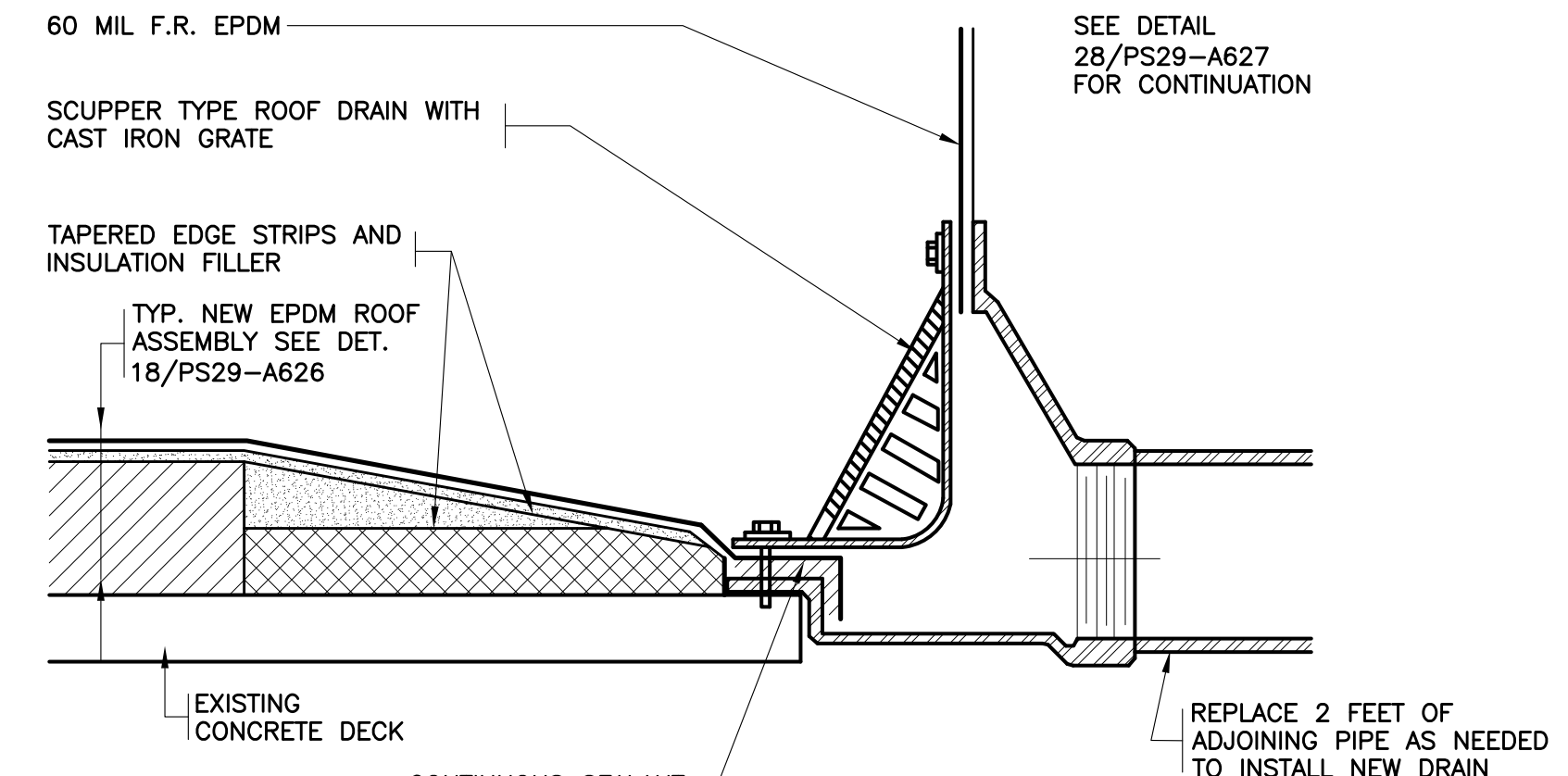
42 REVISED ROOF DRAIN

SCALE: 0" 1" 2" 4" 8"



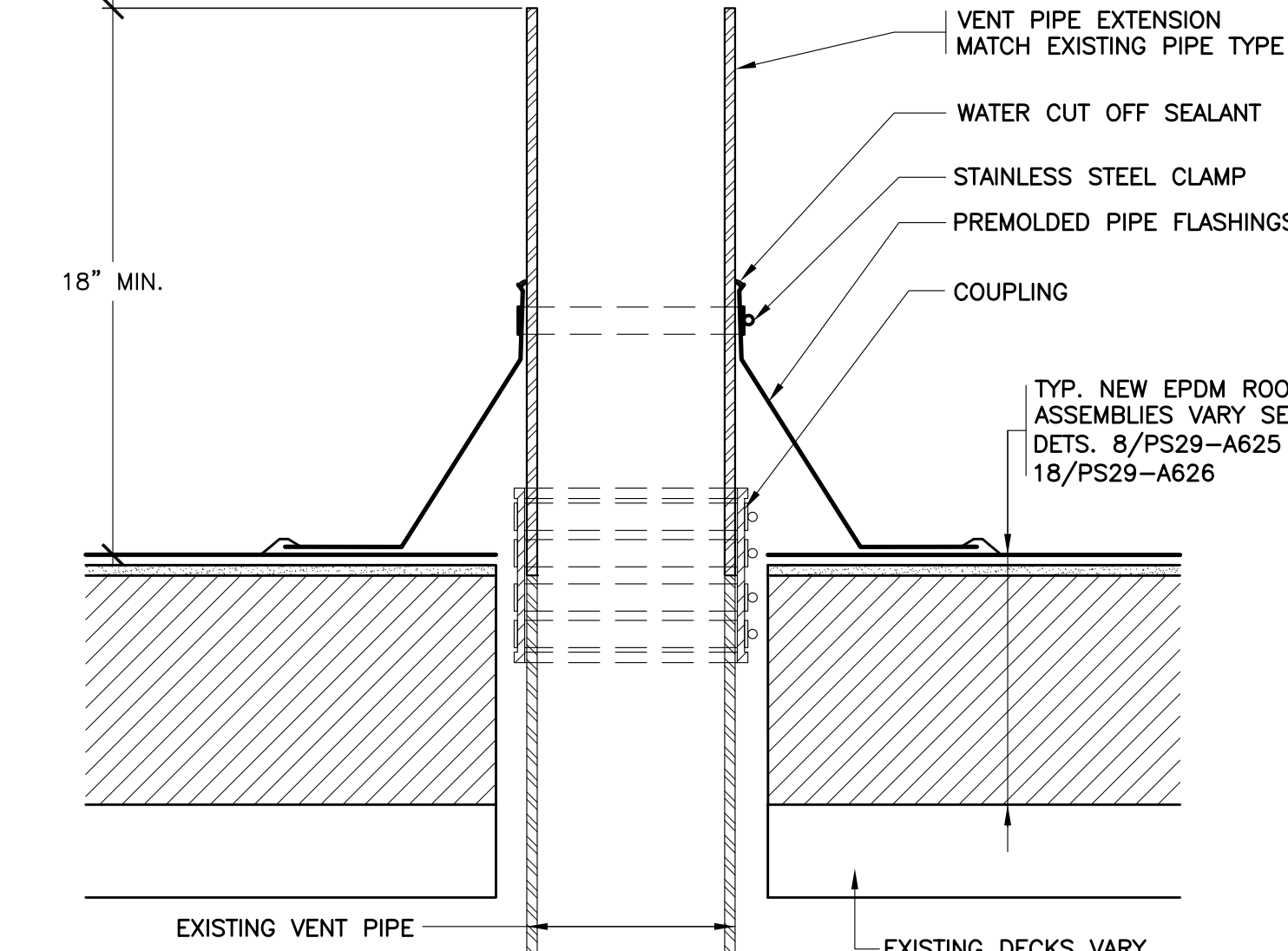
43 REVISED OVERFLOW ROOF DRAIN

SCALE: 0" 1" 2" 4" 8"



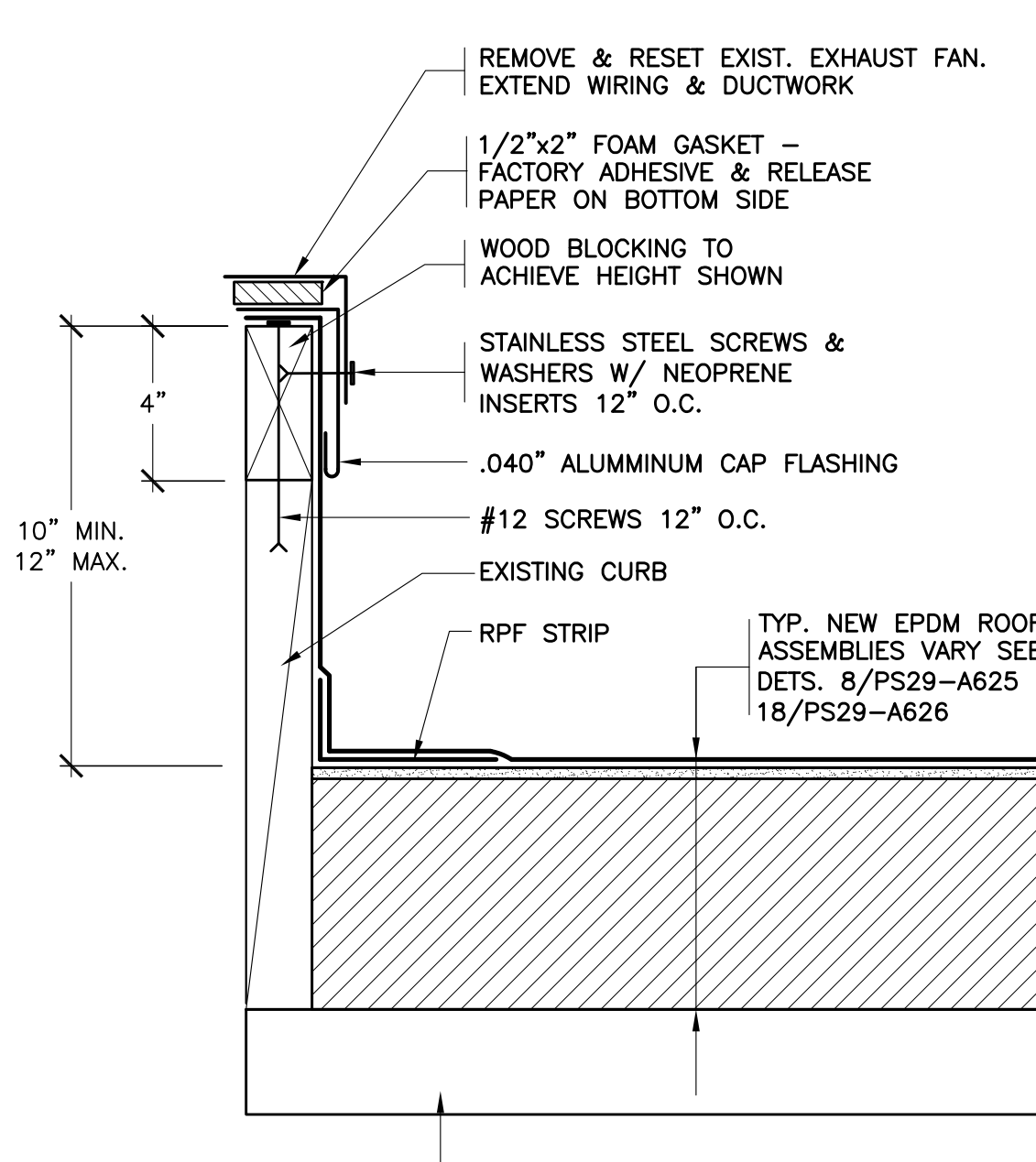
44 REVISED SCUPPER DRAIN

SCALE: 0" 1" 2" 4" 8"



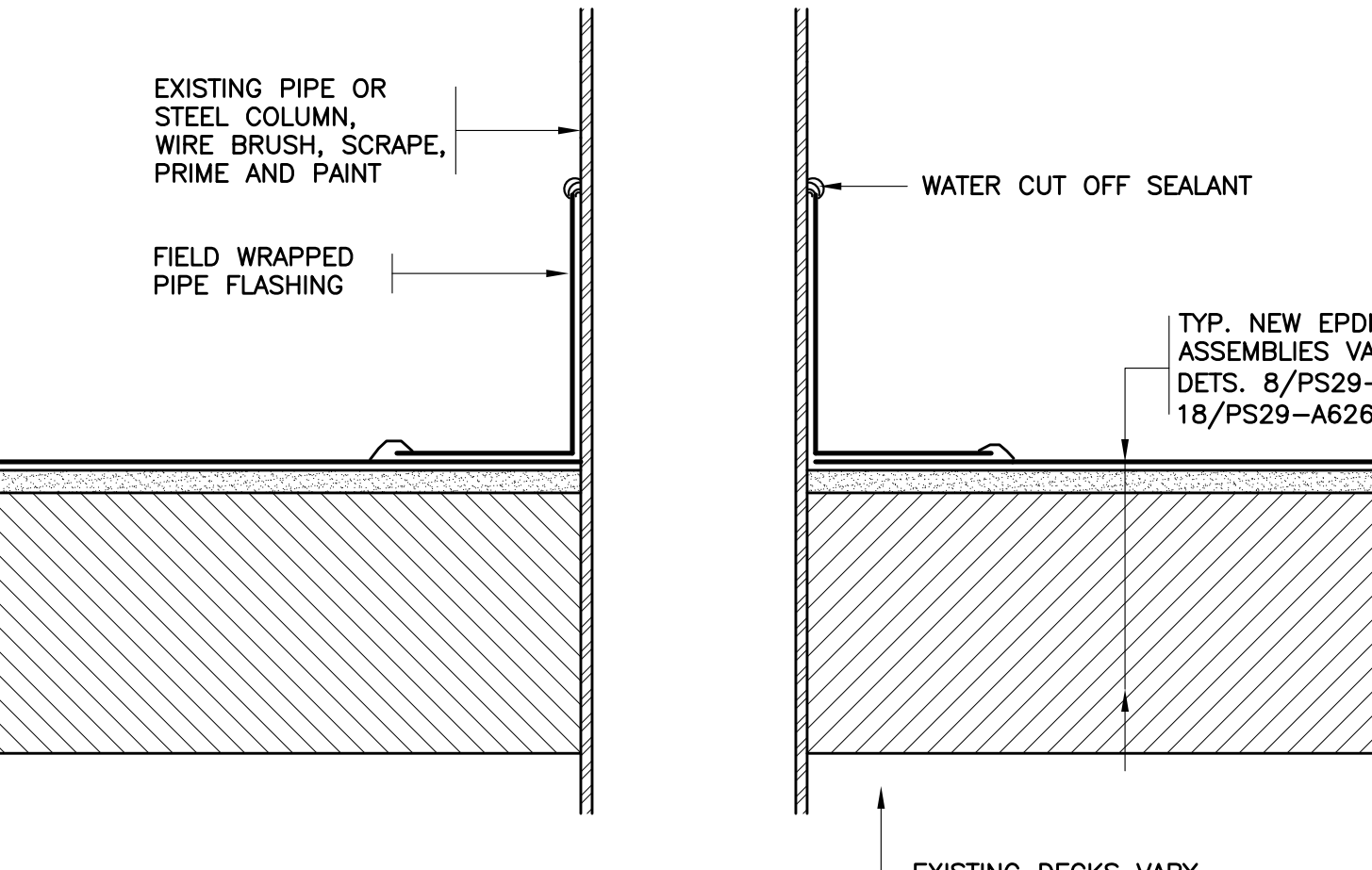
45 REVISED VENT PIPE

SCALE: 0" 1" 2" 4" 8"



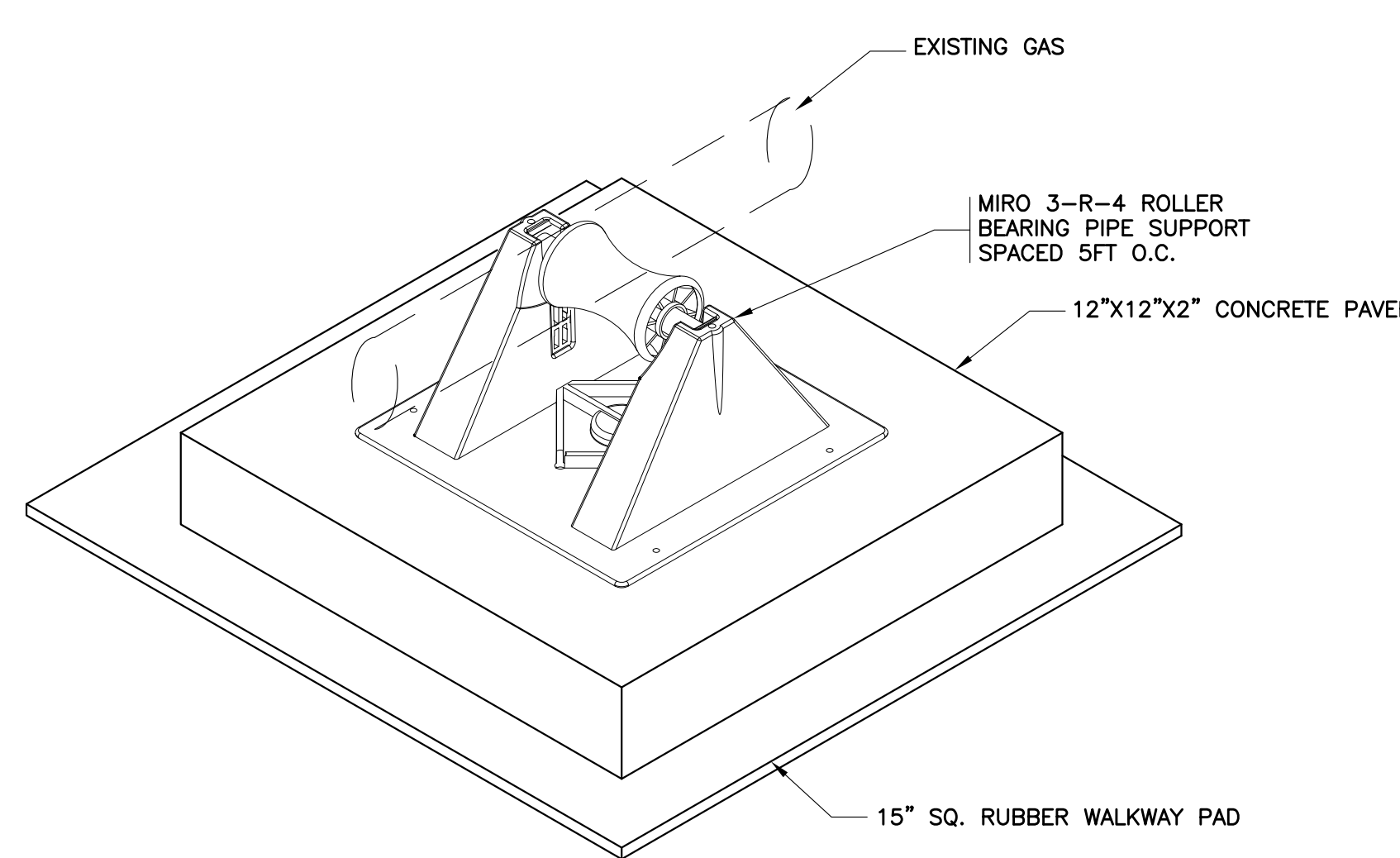
46 REVISED EXHAUST FAN CURB

SCALE: 0" 1" 2" 4" 8"



47 REVISED PIPE & STEEL COLUMN FLASHING

SCALE: 0" 1" 2" 4" 8"



48 GAS LINE SUPPORTS

SCALE: 0" 1" 2" 4" 8"

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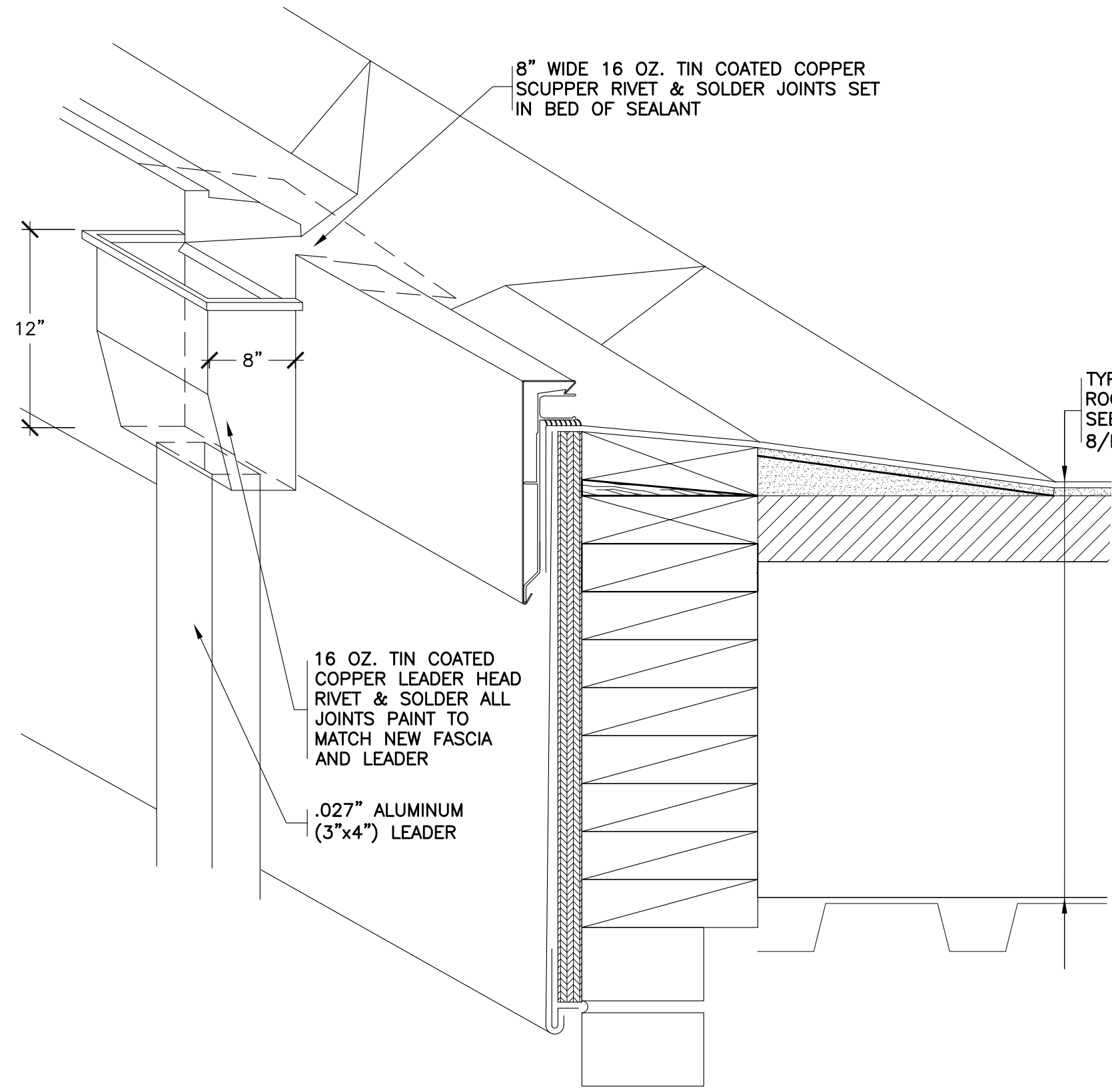
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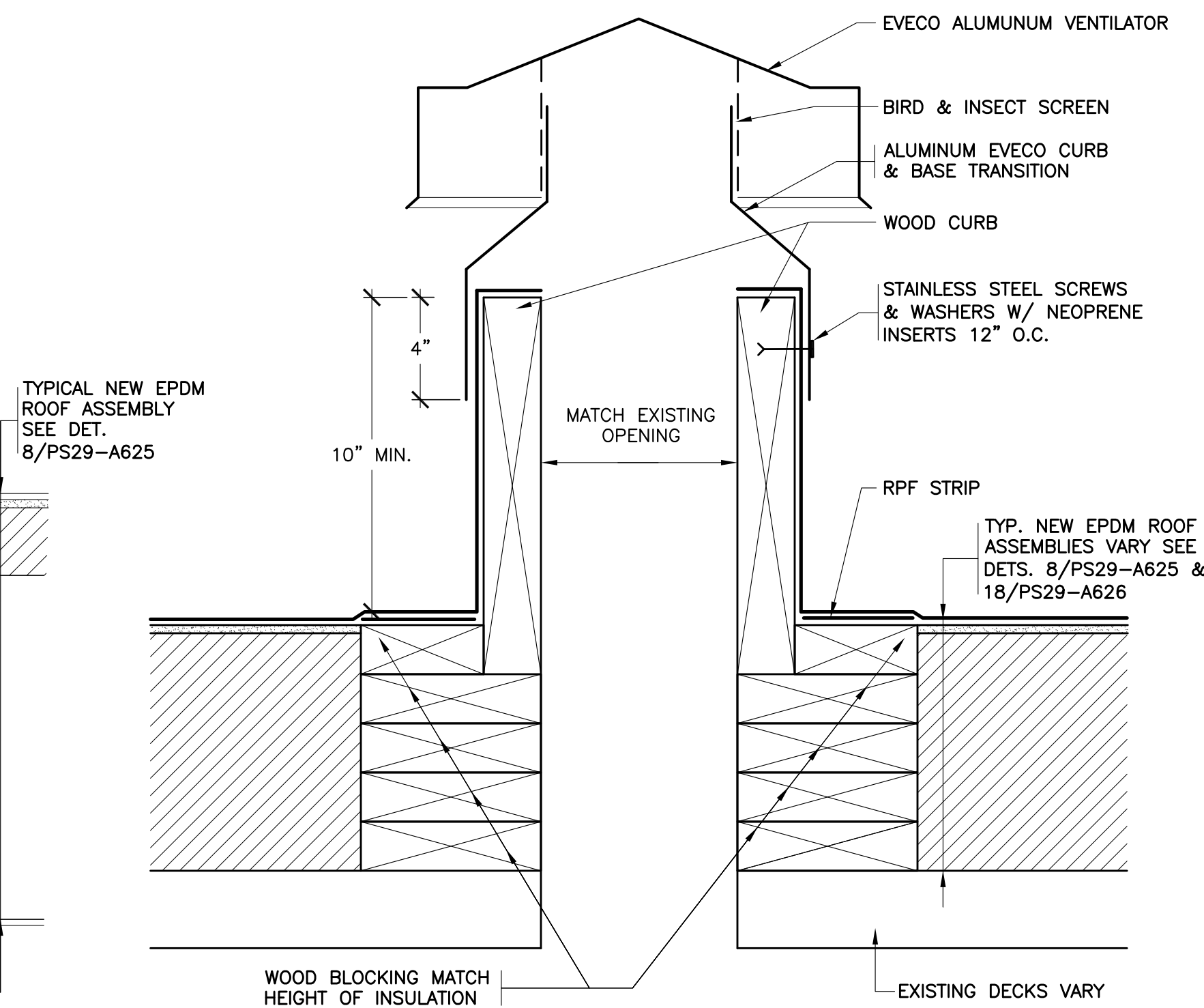
S.E.D. CONTROL NUMBER:
PS29
66-23-00-014-029-011

PROJECT TITLE
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
SCHOOL 218 PEARLS HAVTHORNE SCHOOL
DRAWING TITLE
ROOF DETAILS

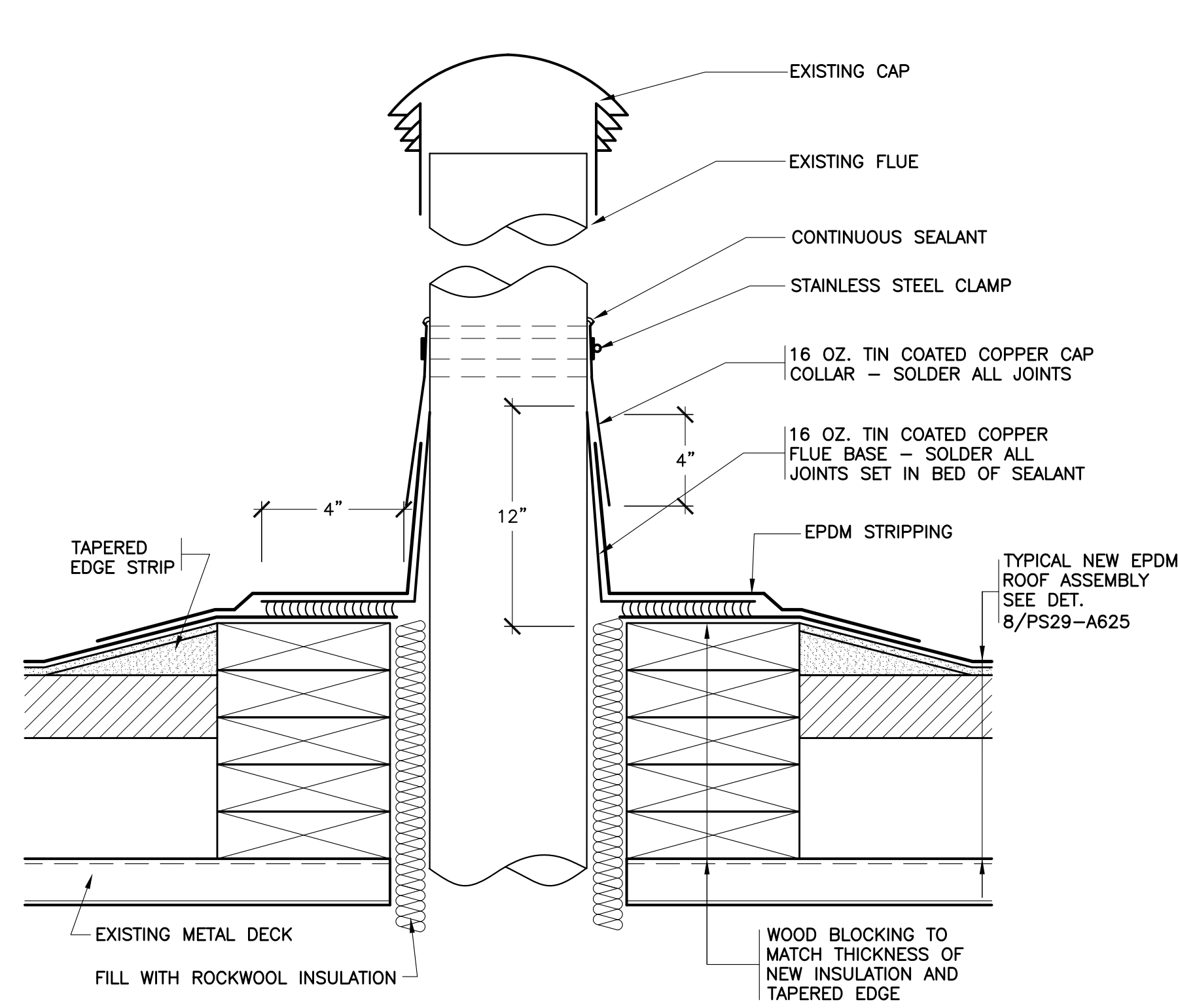
2-16-2022
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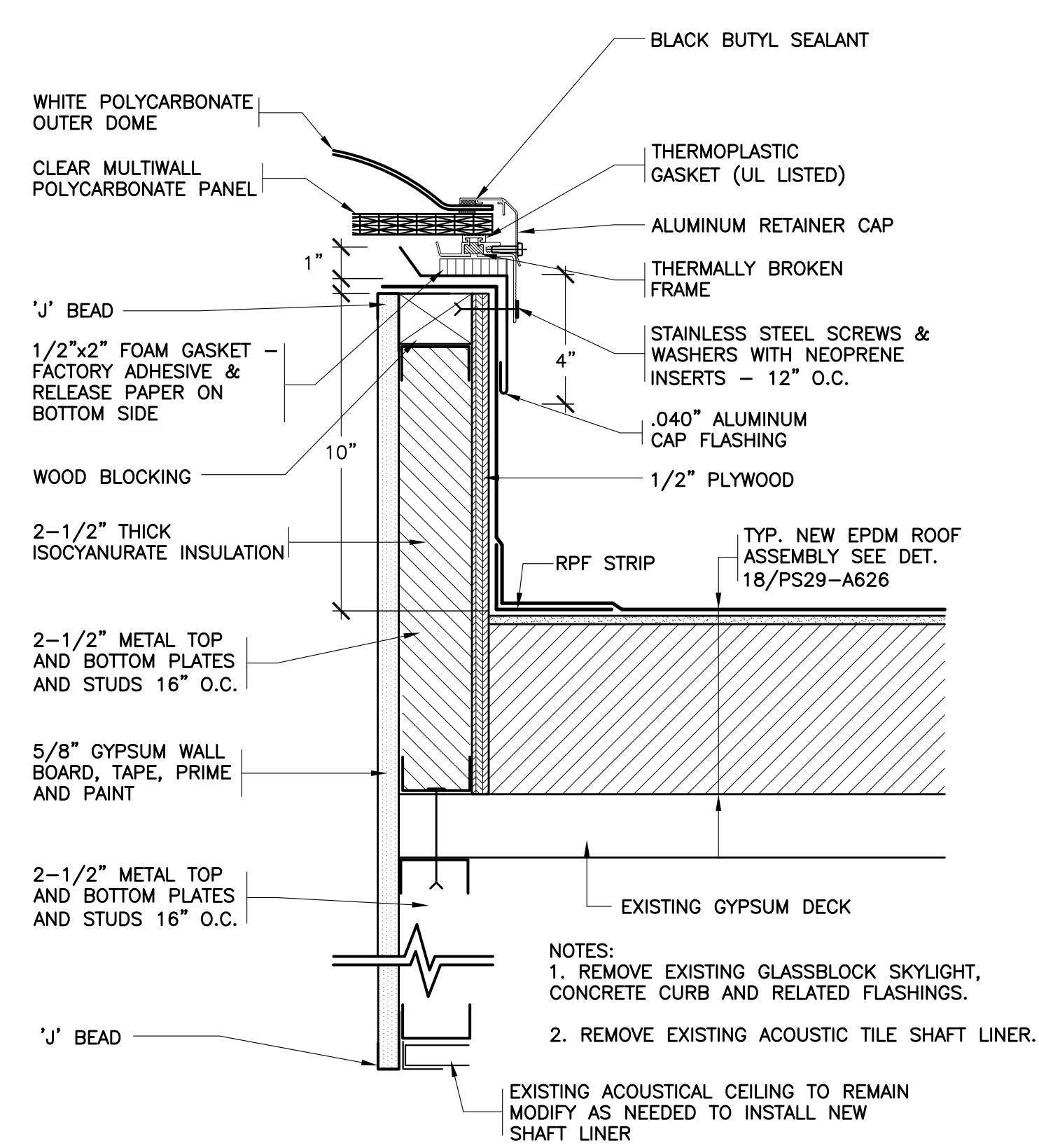
49 REVISED SCUPPER
SCALE: 0" 1" 2" 4" 8"



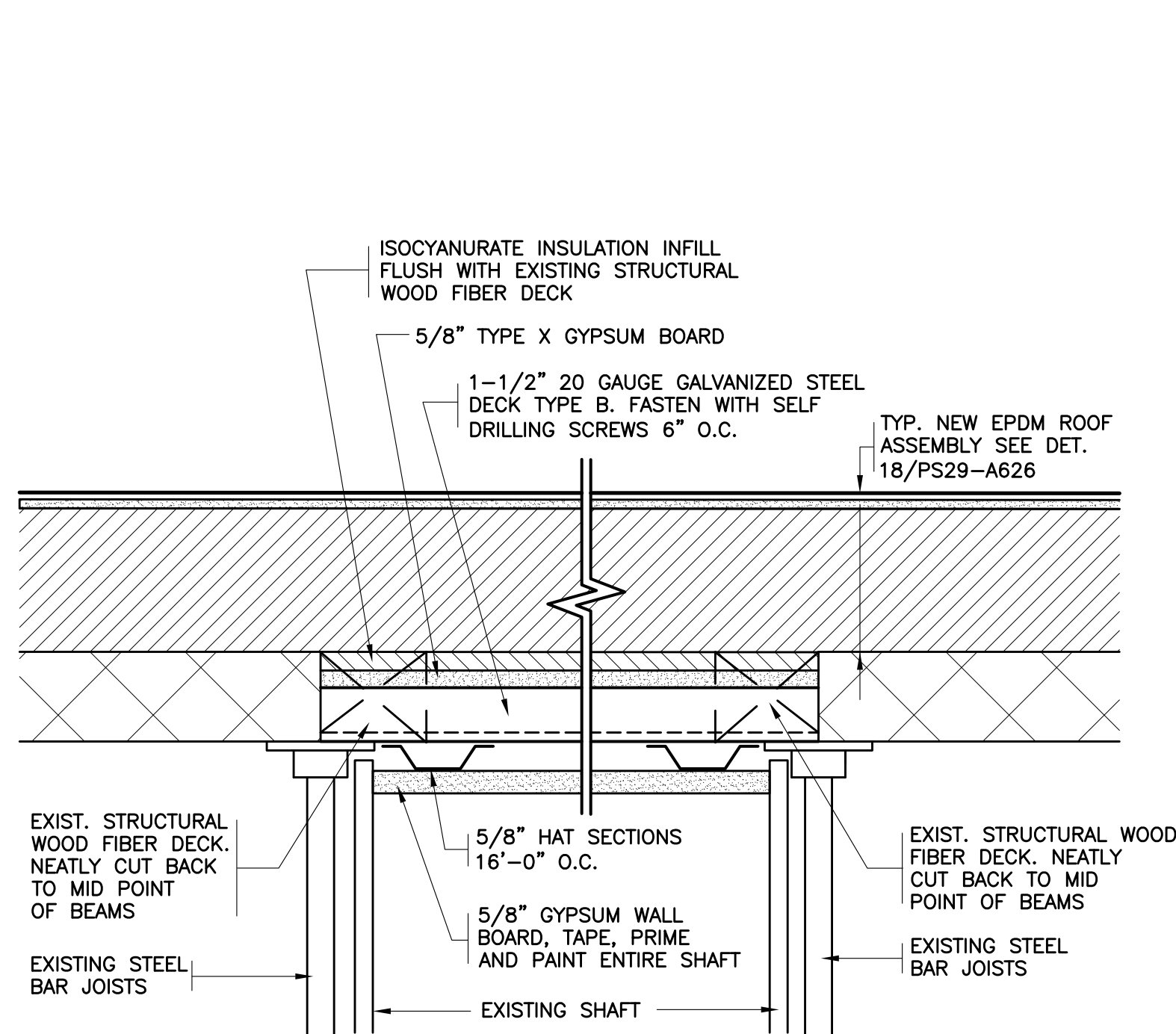
50 NEW EVECO VENTILATOR
SCALE: 0" 1" 2" 4" 8"



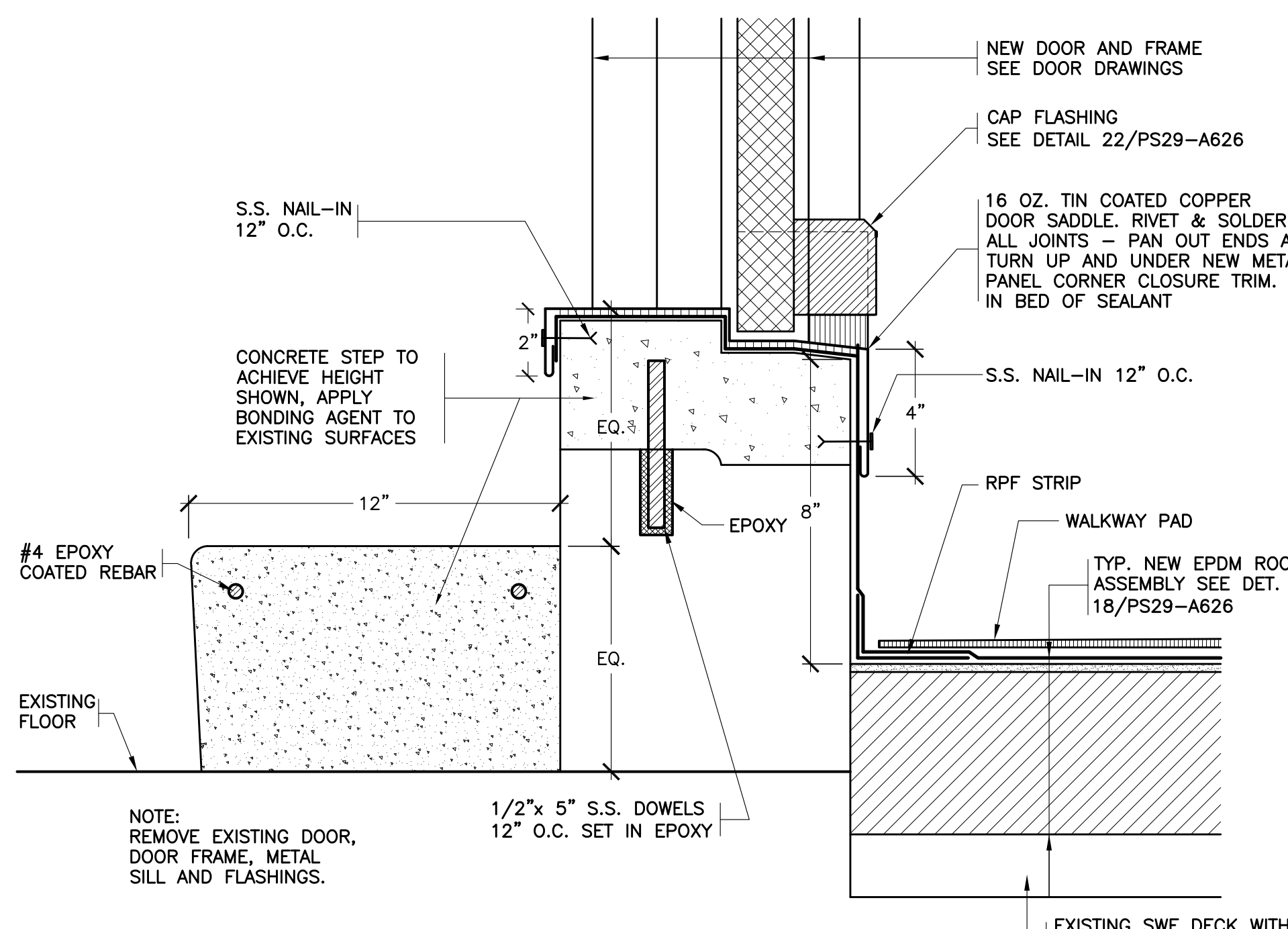
51 REVISED FLUE PIPE
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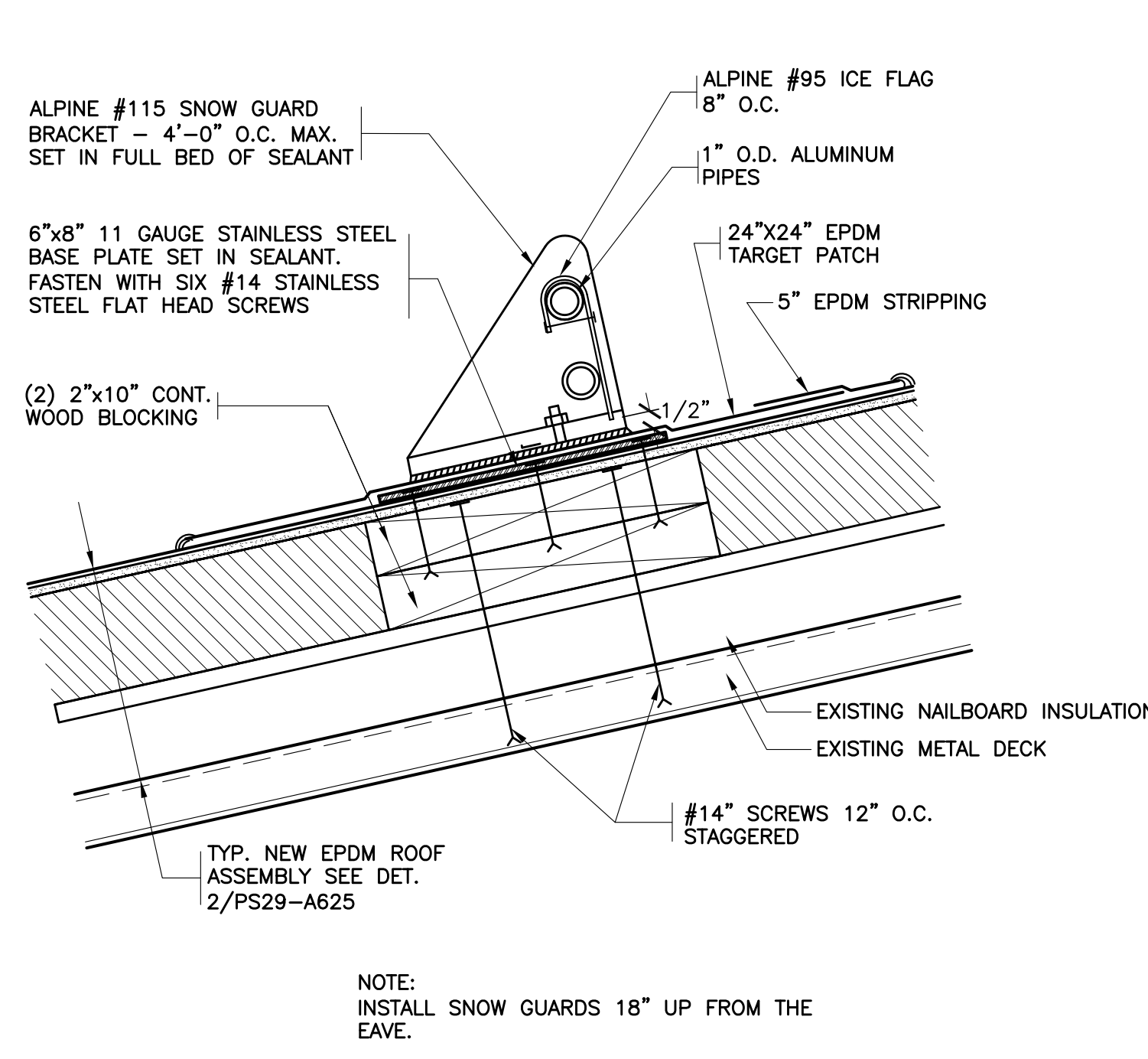
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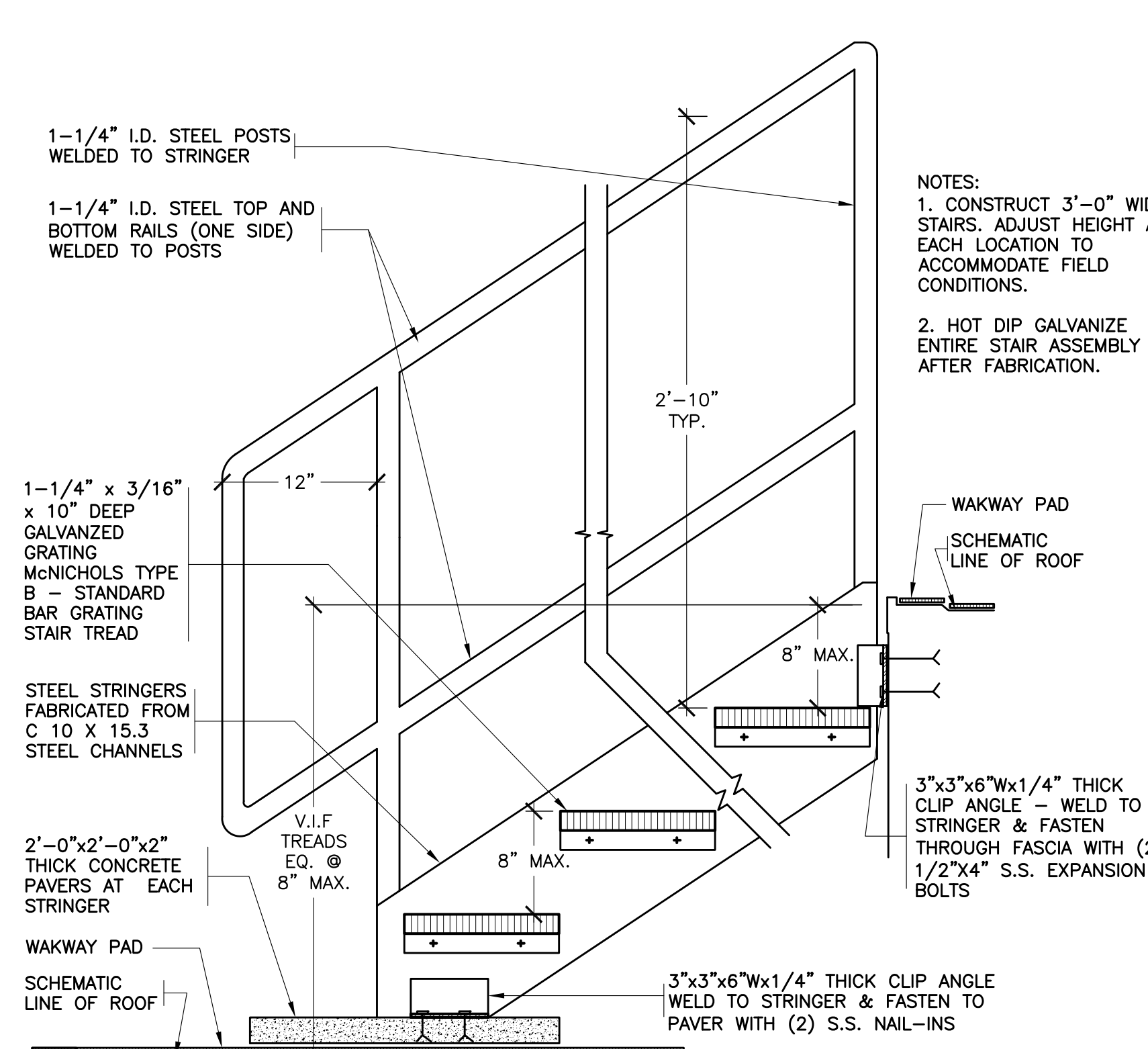
53 DECK INFILL AT ABANDONED SKYLIGHTS
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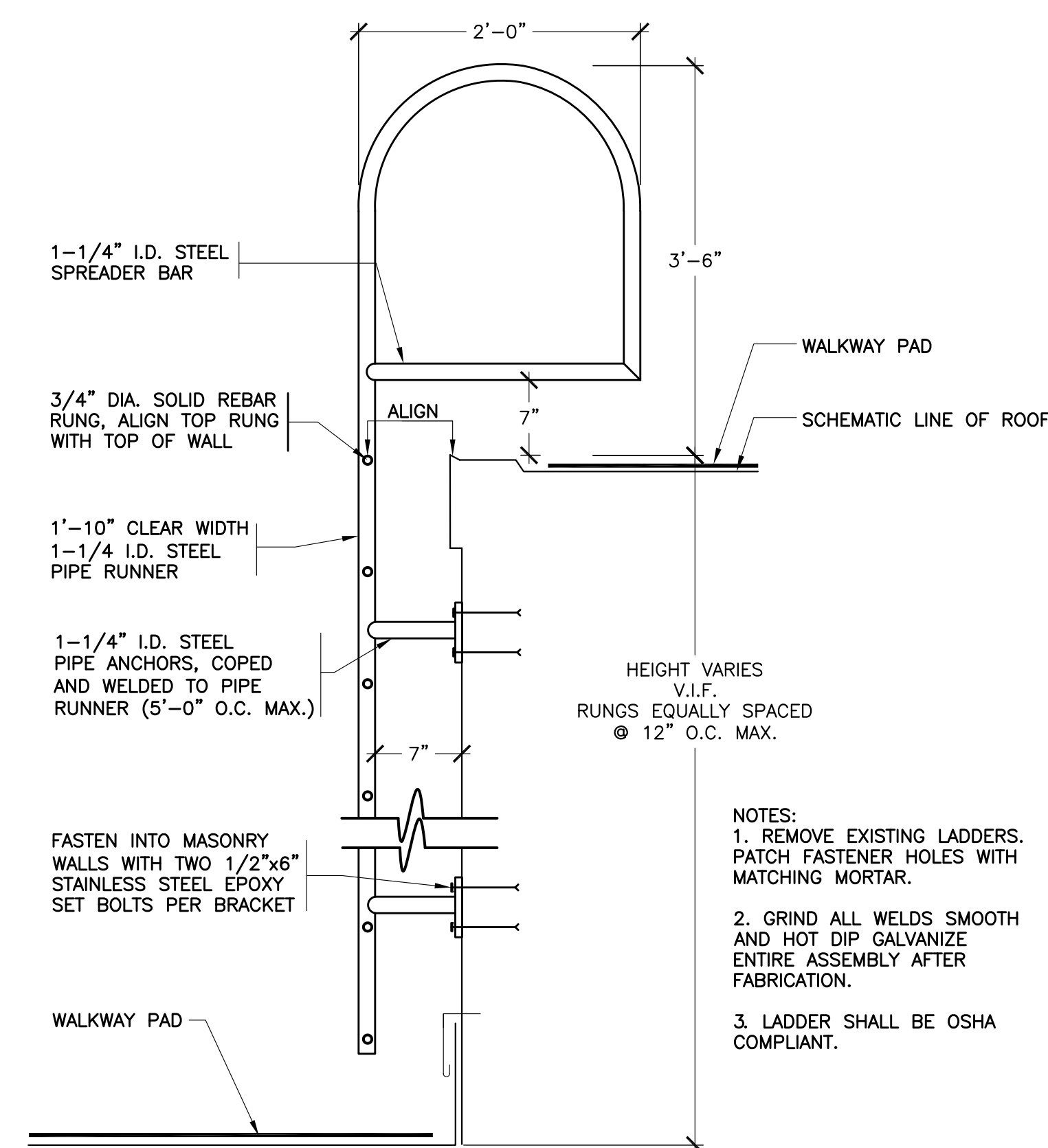
54 REVISED DOOR FLASHING
SCALE: 0" 1" 2" 4" 8"



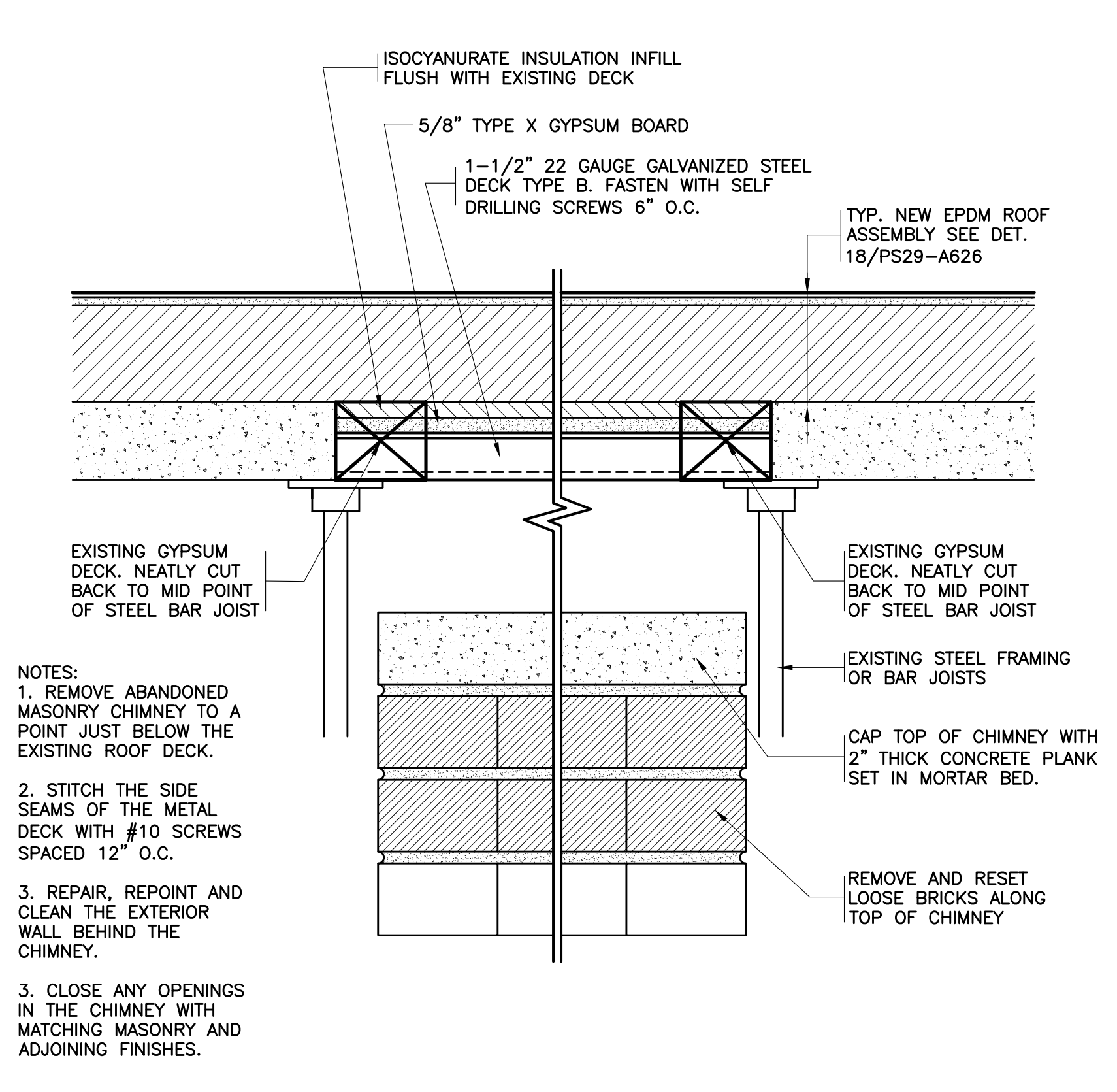
55 NEW SNOW GUARDS
SCALE: 0" 1" 2" 4" 8"



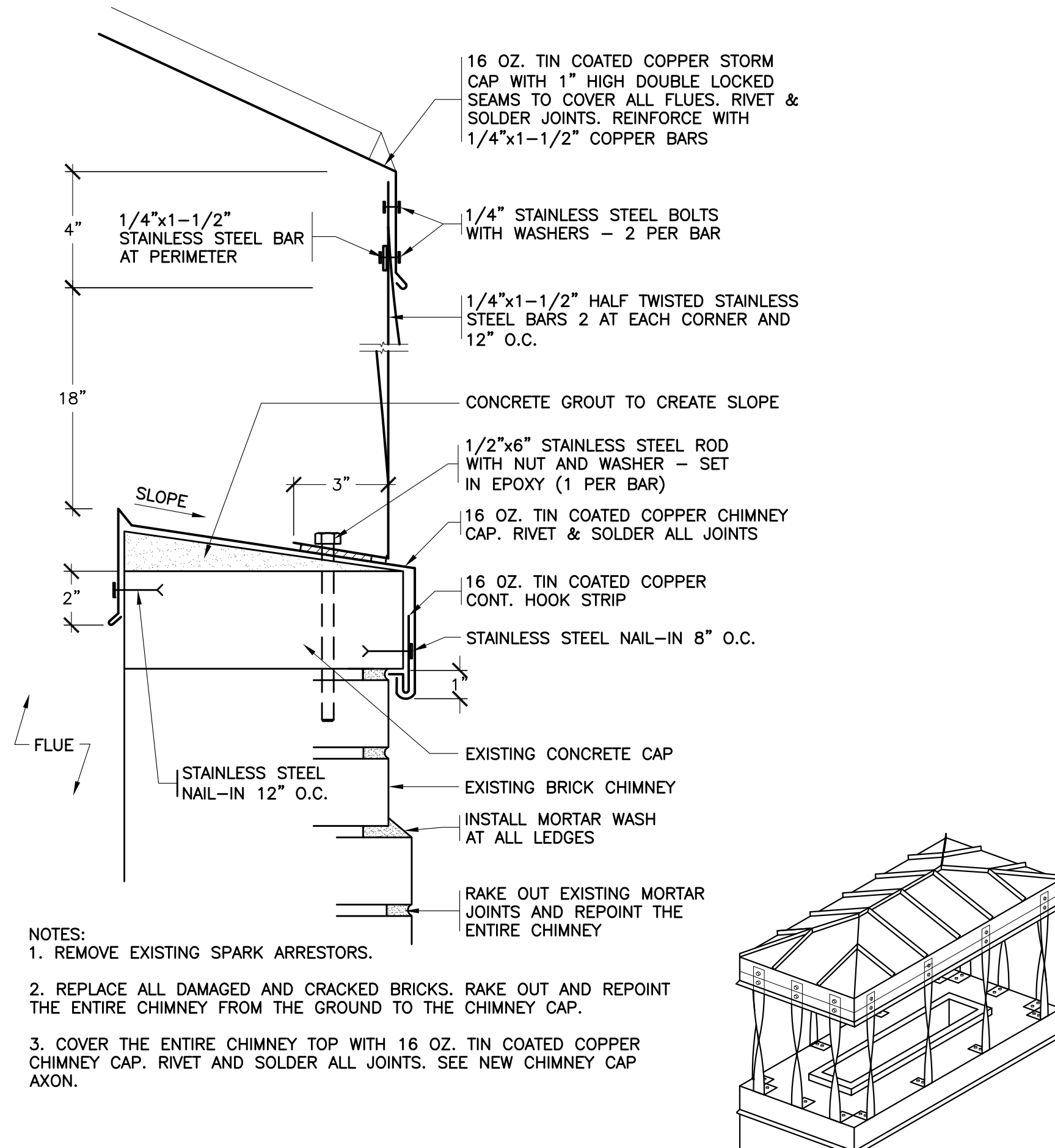
56 NEW ROOF STAIR
SCALE: 0" 1" 2" 4" 8"



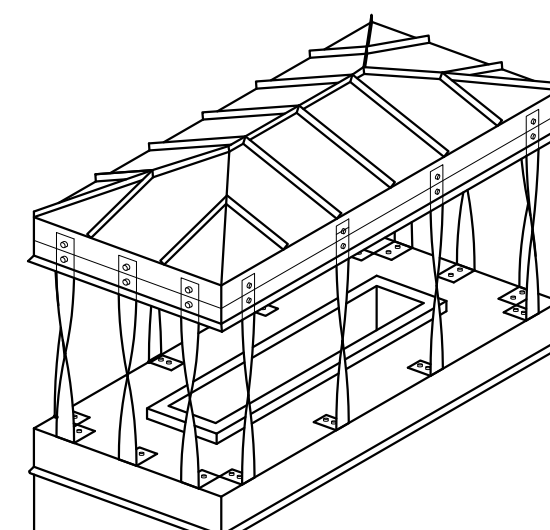
57 NEW ROOF LADDER
NOT TO SCALE



58 DECK INFILL AT ABANDONED CHIMNEY
NOT TO SCALE



59 NEW CHIMNEY CAP
NOT TO SCALE



CHIMNEY CAP AXON
SCHEMATIC: N.T.S.

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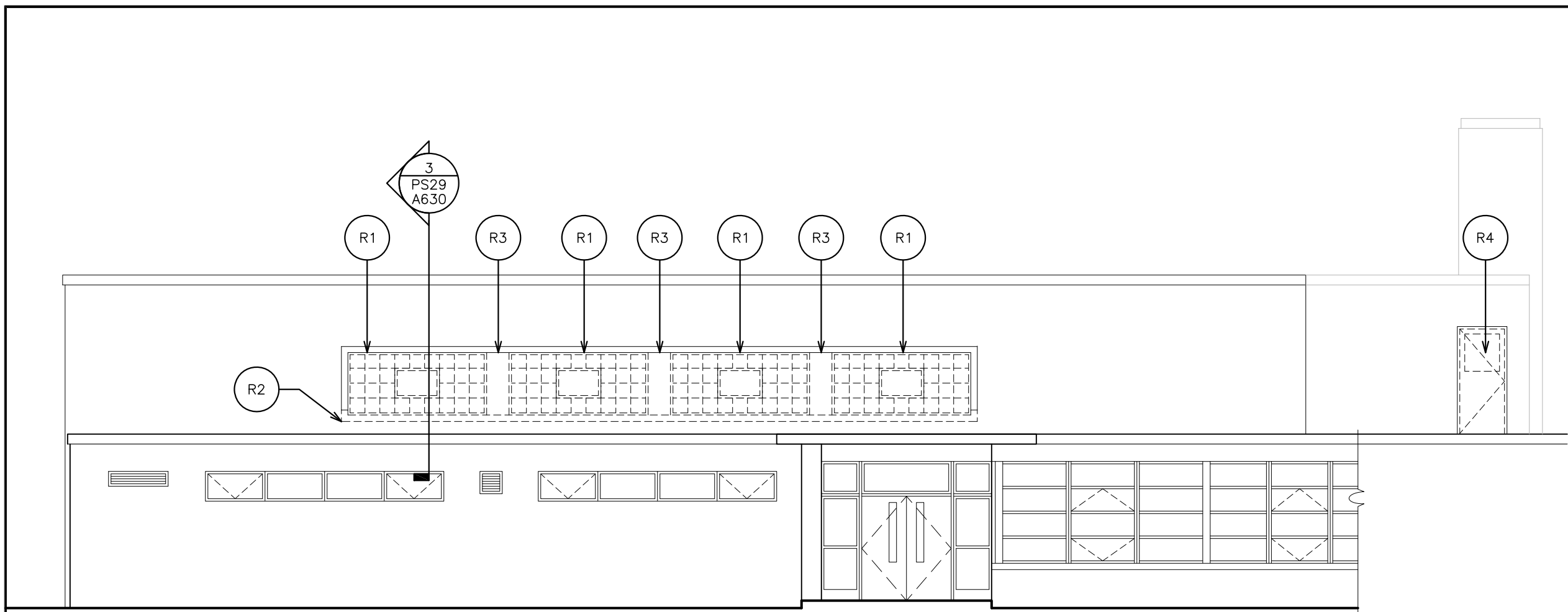
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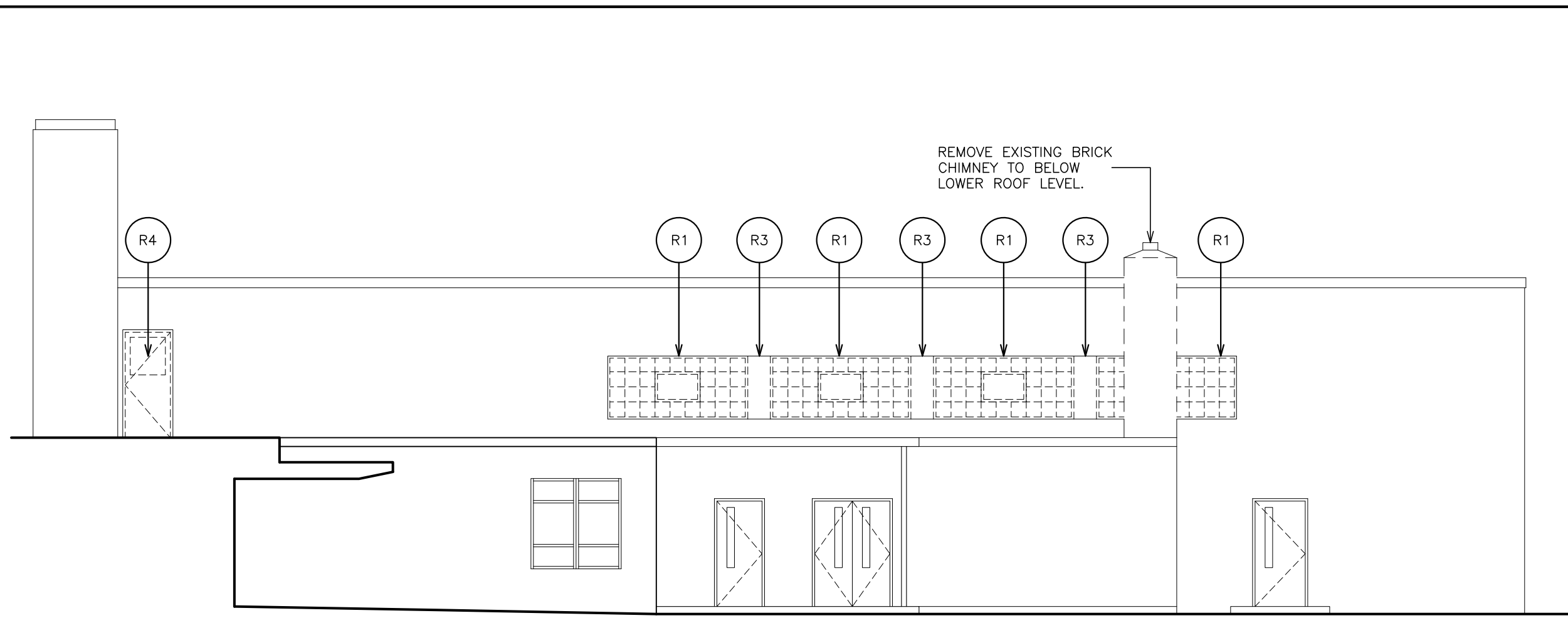
S.E.D. CONTROL NUMBER:
PS29
66-23-00-014-029-011

PROJECT TITLE
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
SCHOOL 236 PEARLS HAVEN/SHINE SCHOOL

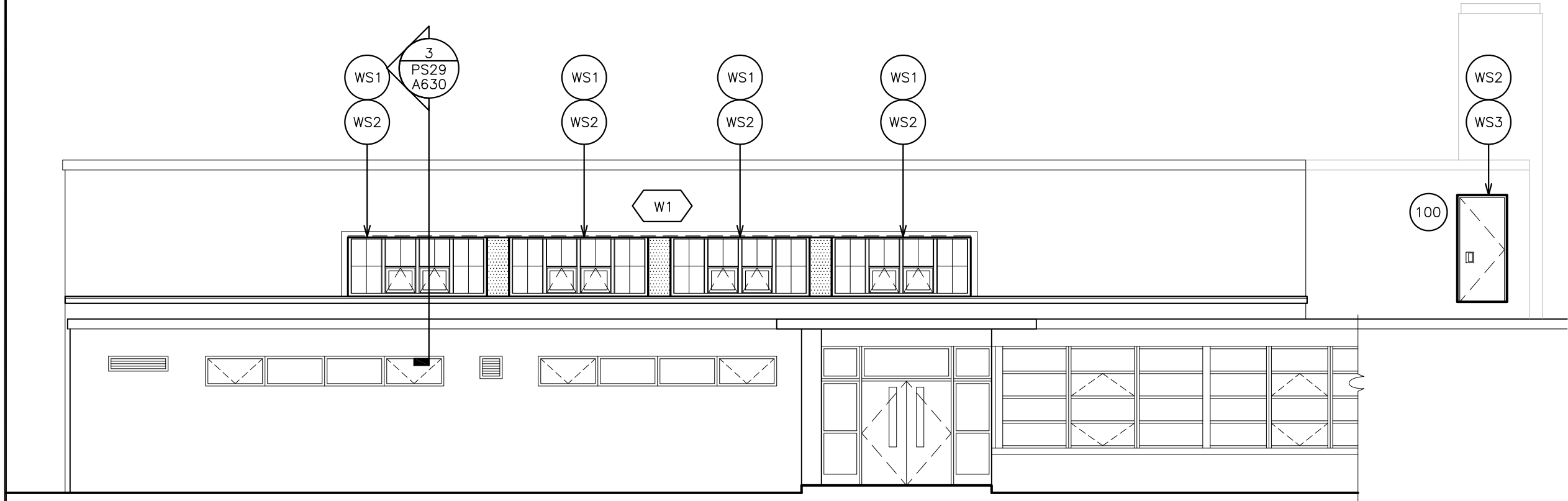
DRAWING TITLE
ROOF DETAILS
2-16-2022
DATE
30"x42"
SHEET SIZE
AS NOTED
SCALE
DRAWN BY
F & D
BID
ISSUED TO
PS29
A629
FILE NO.
19354.07



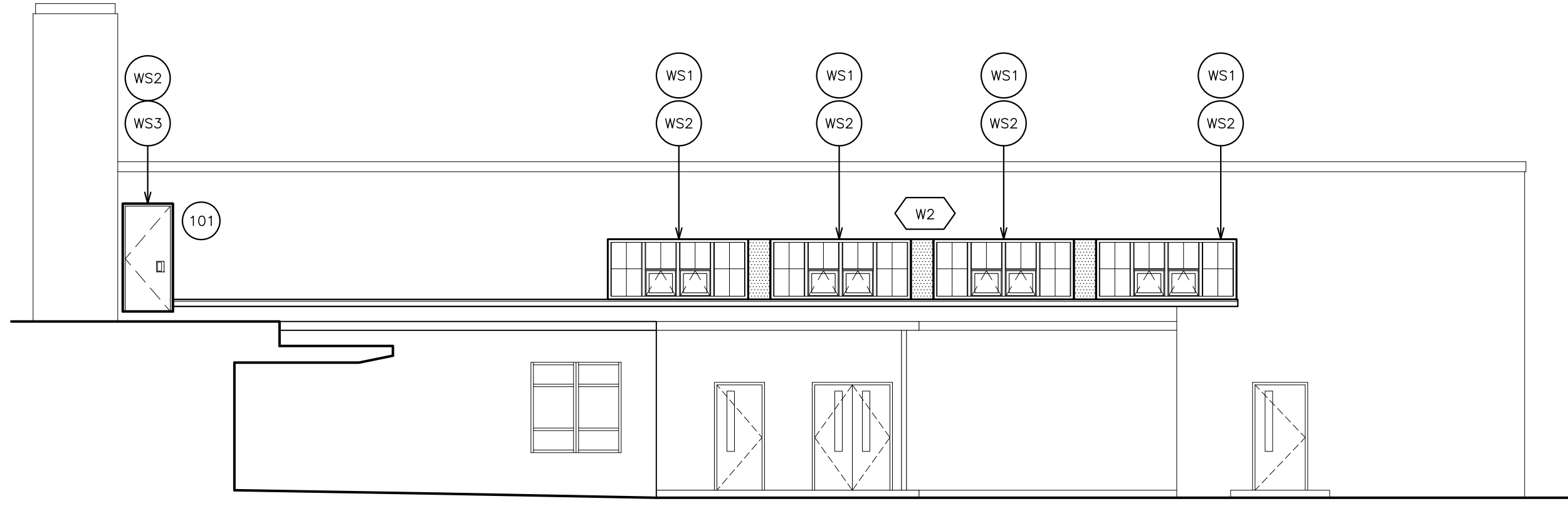
1 EXTERIOR REMOVAL GYM ELEVATION
SCALE: 1/8" = 1'-0"



2 EXTERIOR REMOVAL GYM ELEVATION
SCALE: 1/8" = 1'-0"

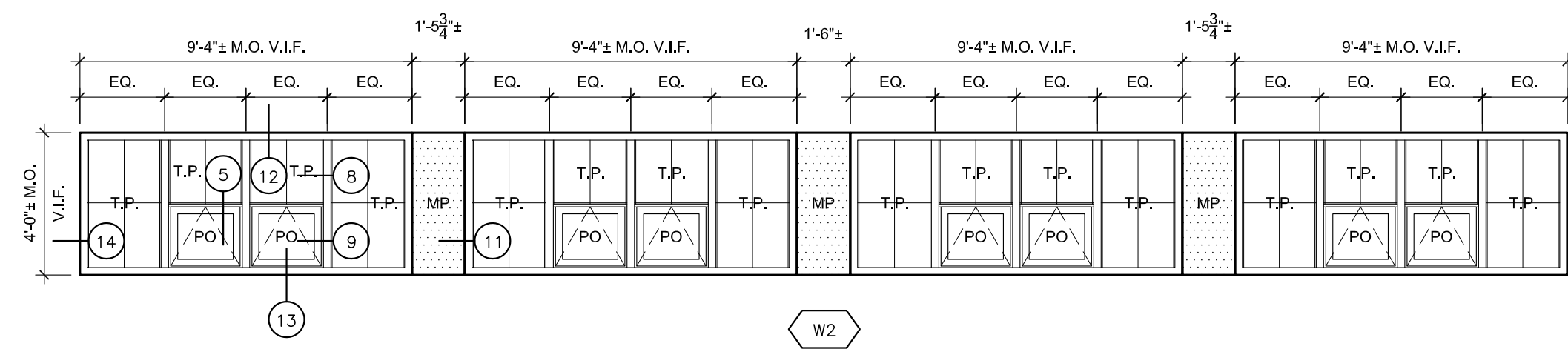
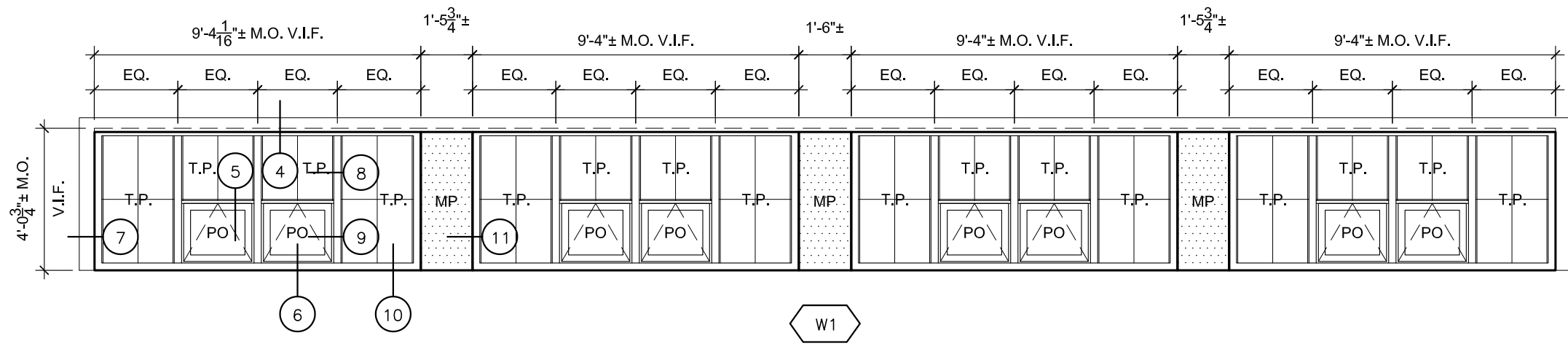


1 EXTERIOR GYM ELEVATION
SCALE: 1/8" = 1'-0"

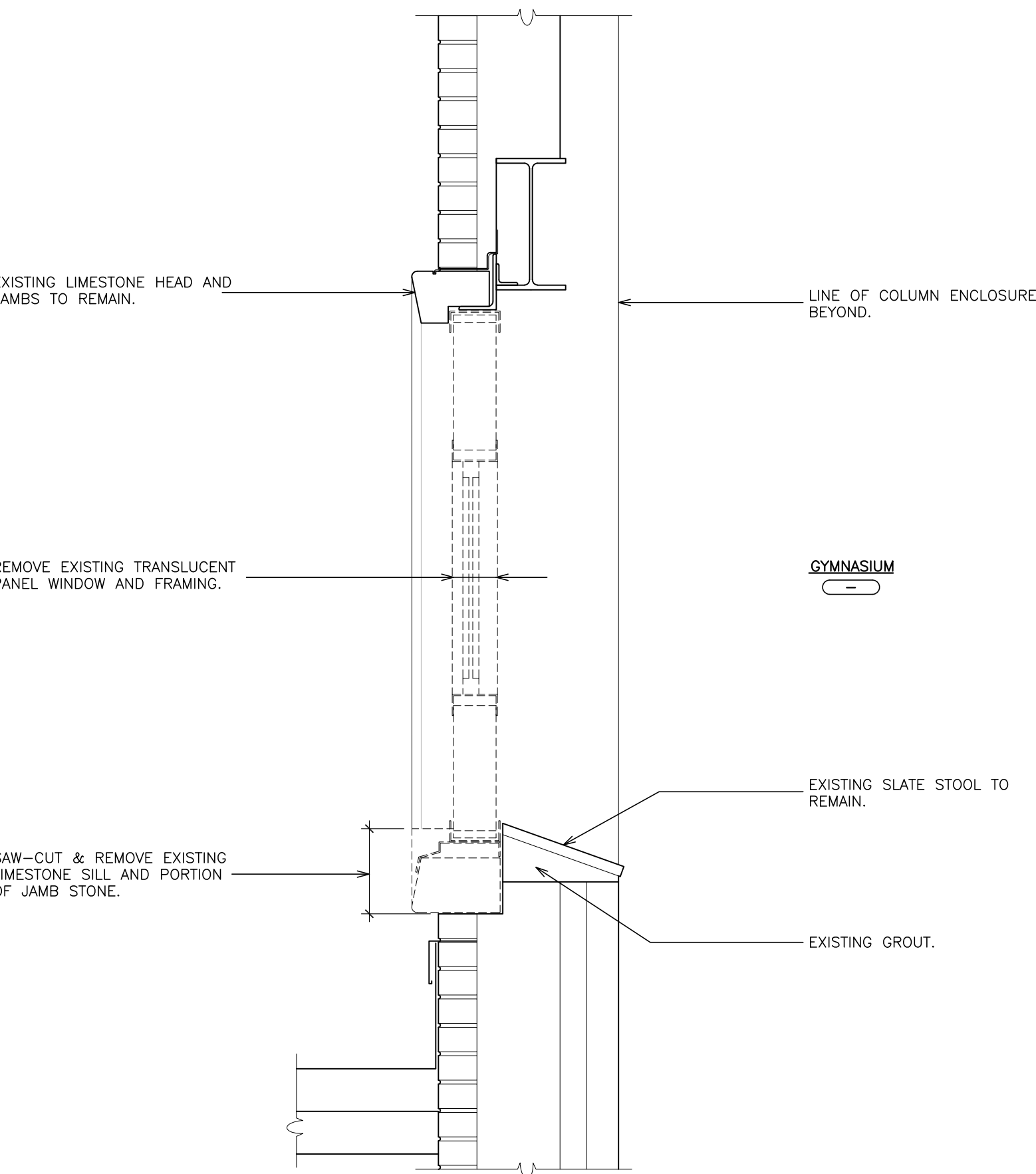


2 EXTERIOR GYM ELEVATION
SCALE: 1/8" = 1'-0"

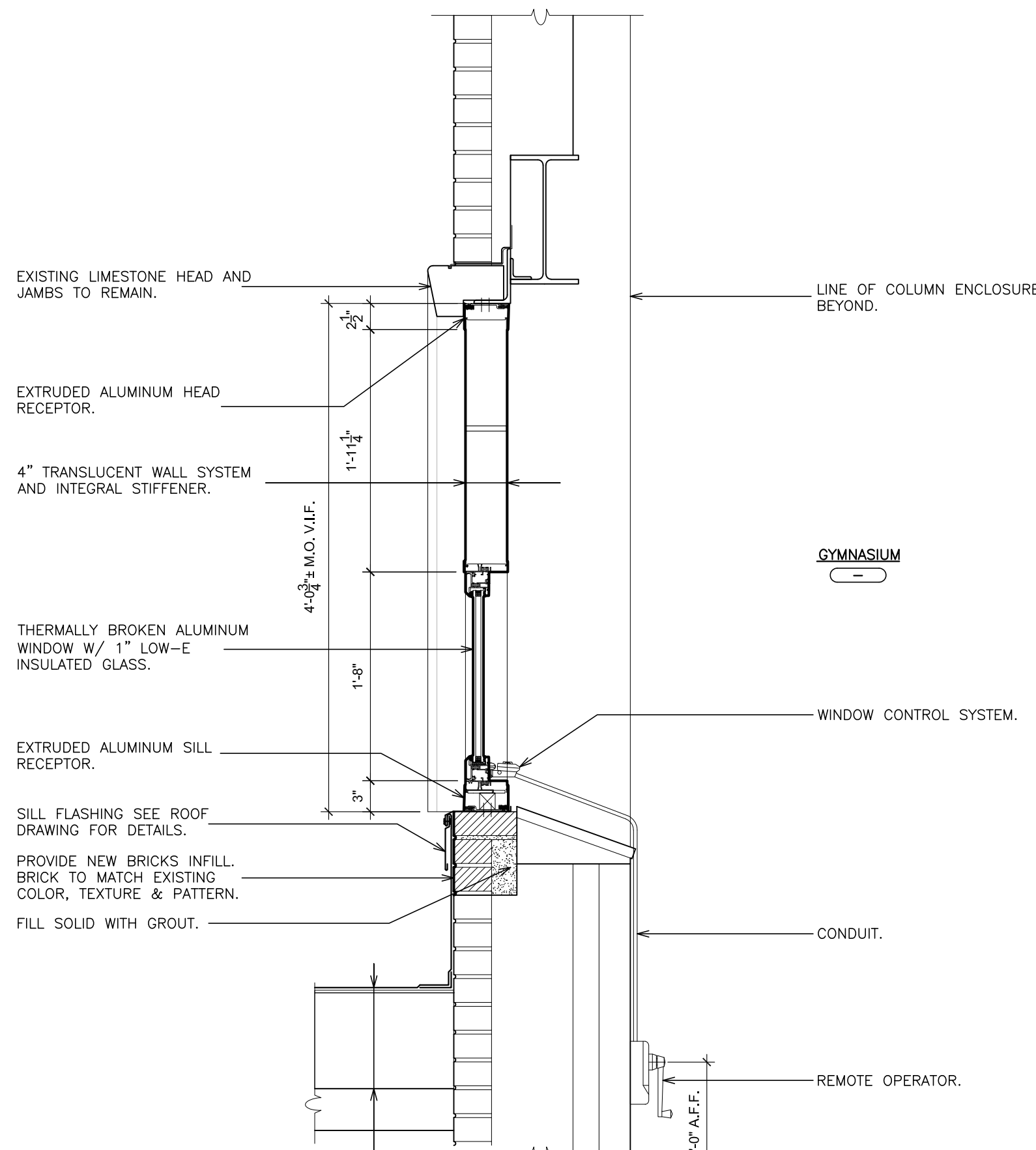
WINDOW TYPES SCALE: 1/4" = 1'-0"



WINDOW LEGEND	
F.	FIXED WINDOW
P.O.	PROJECT-OUT WINDOWS
T.P.	TRANSLUCENT PANEL
MP.	METAL PANEL



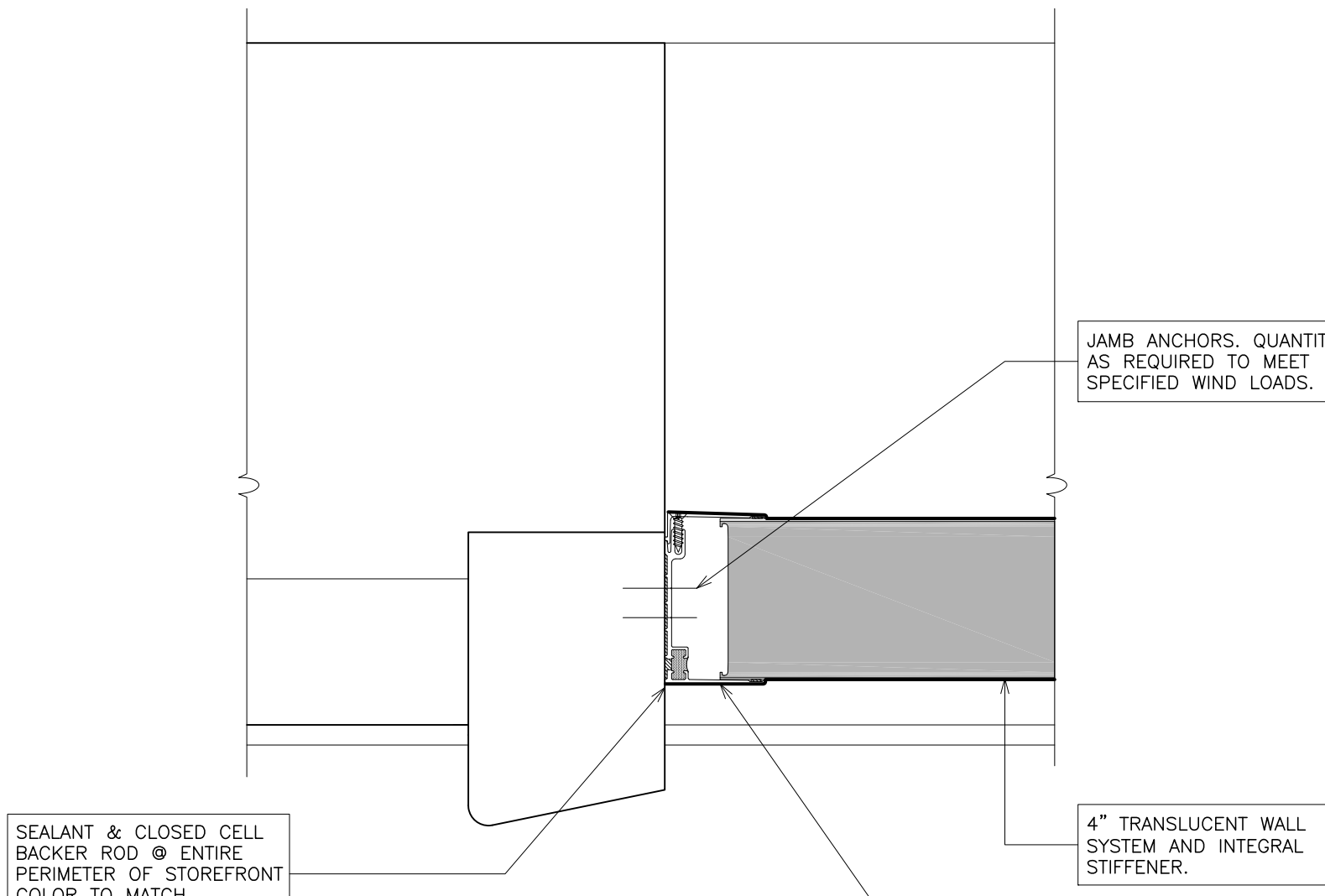
3 REMOVAL WALL SECTION
SCALE: 1" = 1'-0"



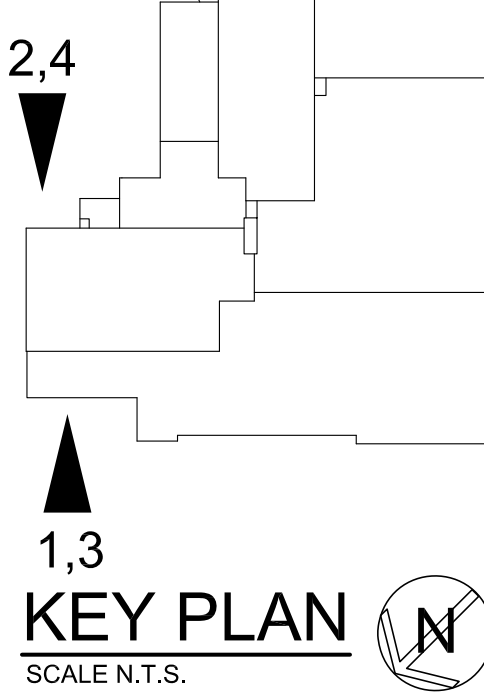
3 WALL SECTION
SCALE: 1" = 1'-0"

- REMOVAL NOTES:
(COORDINATE REMOVALS W/ ABATEMENT CONTRACTOR)
- R1 REMOVE EXISTING TRANSLUCENT WALL ASSEMBLY, OPERABLE VENTS AND ALL RELATED ITEMS. PATCH ALL DISTURBED SURFACES TO MATCH EXISTING ADJACENT SURFACES.
 - R2 SAW-CUT & REMOVE EXISTING LIMESTONE SILL AND PORTION OF JAMB STONE.
 - R3 REMOVE EXISTING METAL ENCLOSURE PANEL FOR INSTALLATION OF NEW ALUMINUM CLOSURE PANEL. SEE DETAIL 11/A631.
 - R4 REMOVE EXISTING DOORS, METAL FRAMES, TRANSOMS, HARDWARE, SADDLES, SIDE-LITES AND ALL RELATED ITEMS. PATCH ALL DISTURBED SURFACES TO MATCH EXISTING ADJACENT SURFACES.
- COORDINATE ALL REMOVALS WITH ASBESTOS AND LEAD ABATEMENT DRAWINGS AND SPECIFICATIONS.

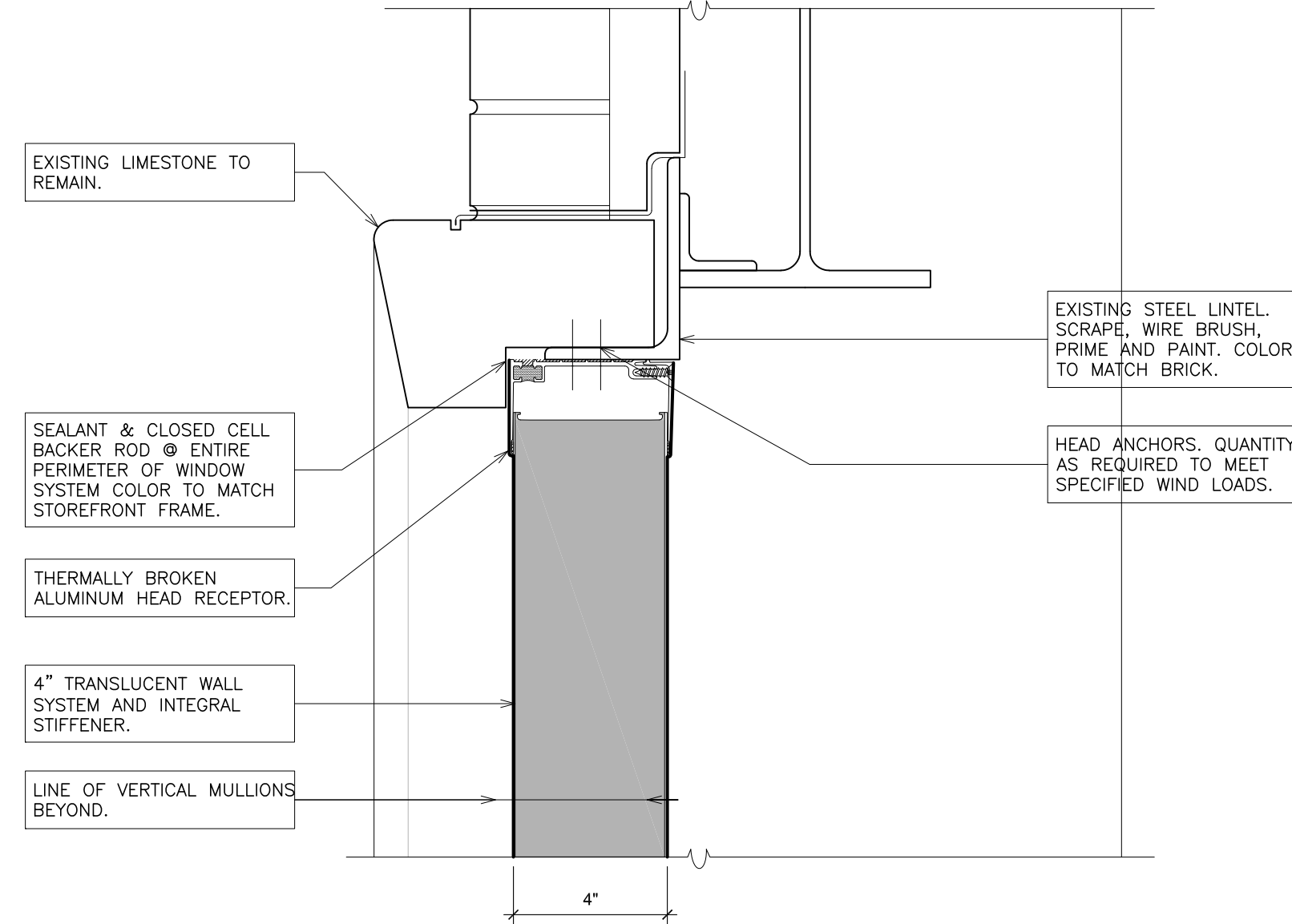
- WORKSCOPE NOTES:
- WS1 INSTALL NEW ALUMINUM TRANSLUCENT WALL SYSTEM ASSEMBLY AND RELATED ITEMS AS PER DETAILS AND SPECIFICATIONS.
 - WS2 SCRAPE, WIRE BRUSH, PRIME AND PAINT EXISTING STEEL LINTEL. COLOR TO MATCH BRICK.
 - WS3 INSTALL FRP DOOR, ALUMINUM THERMALLY BROKEN DOOR FRAME AND HARDWARE. SEE DOOR DETAILS & SCHEDULE.



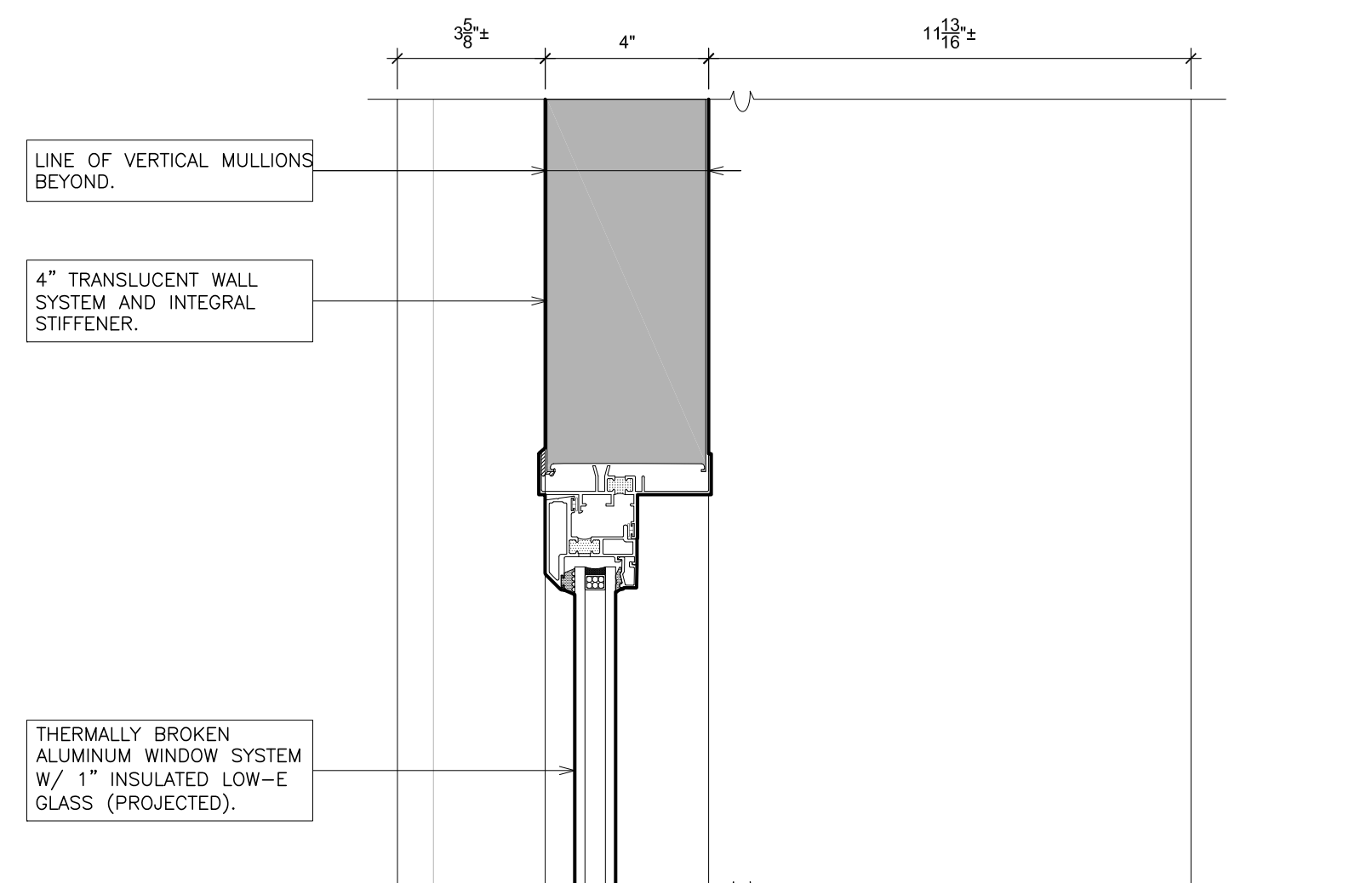
7 JAMB (fixed)
SCALE: 3" = 1'-0"



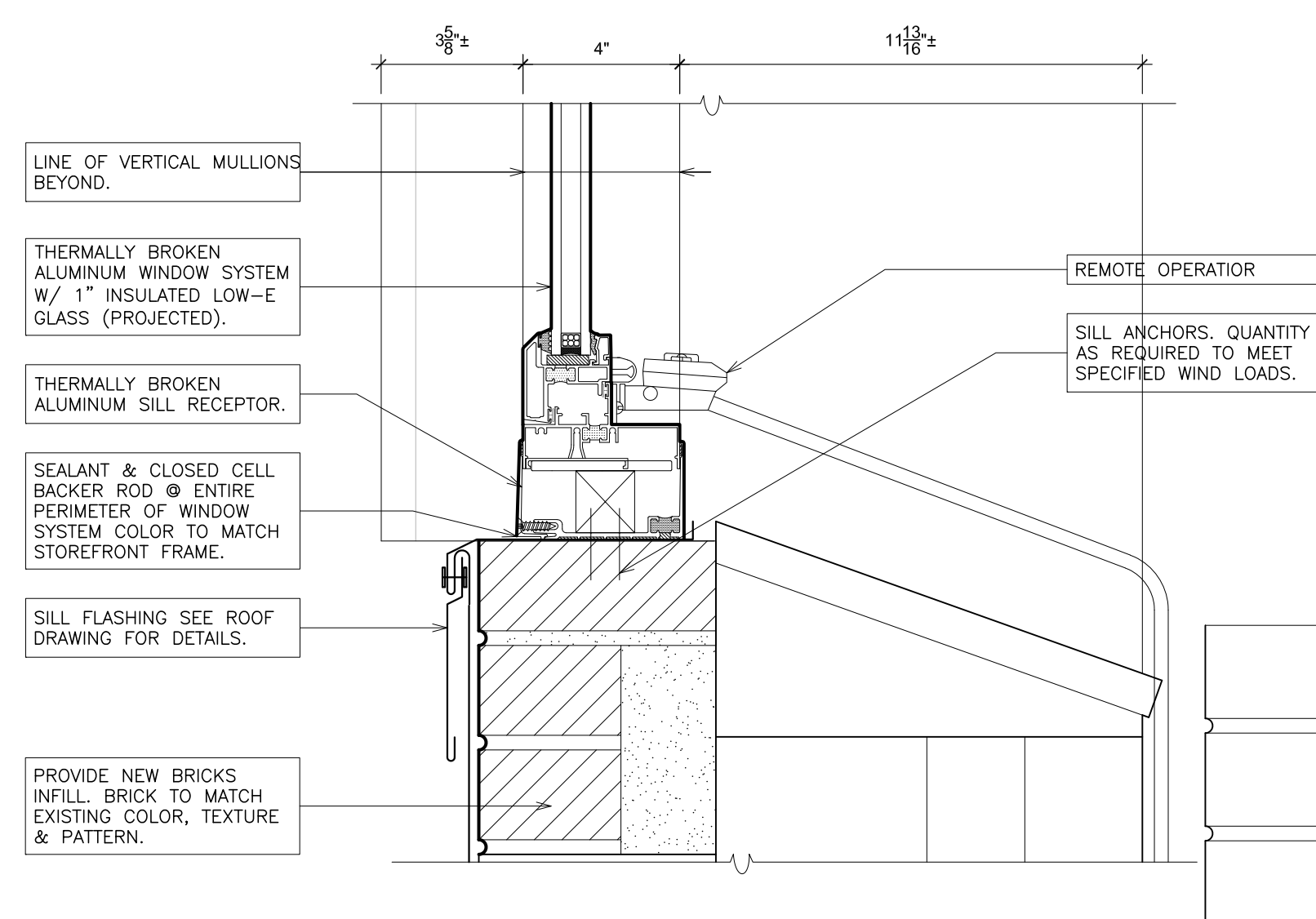
1,3 KEY PLAN
SCALE N.T.S.



4 HEAD (fixed)
SCALE: 3" = 1'-0"



5 MEETING RAIL (fixed/projected)
SCALE: 3" = 1'-0"



6 SILL (projected)
SCALE: 3" = 1'-0"

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S.E.D. CONTROL NUMBER: PS 29
66-23-00-01-0-029-011
PEARLS HAWTHORNE SCHOOL
66-23-00-01-0-101-008

PROJECT NAME YONKERS SCHOOL DISTRICT MULTIPLE BUILDING ENVELOPE RENOVATIONS SCHOOL 2018 PEARLS HAWTHORNE SCHOOL		DRAWING TITLE EXTERIOR ELEVATIONS, WALL SECTIONS, WINDOW TYPES & DETAILS	
02-16-2022	BID	10-11-2019	DESIGN DEVELOPMENT
DATE	ISSUED TO		
SHEET SIZE 30"x42"	DRAWING NO. PS29		
SCALE AS NOTED	A630		
DRAWN BY F & D	FILE NO. 19354.07		

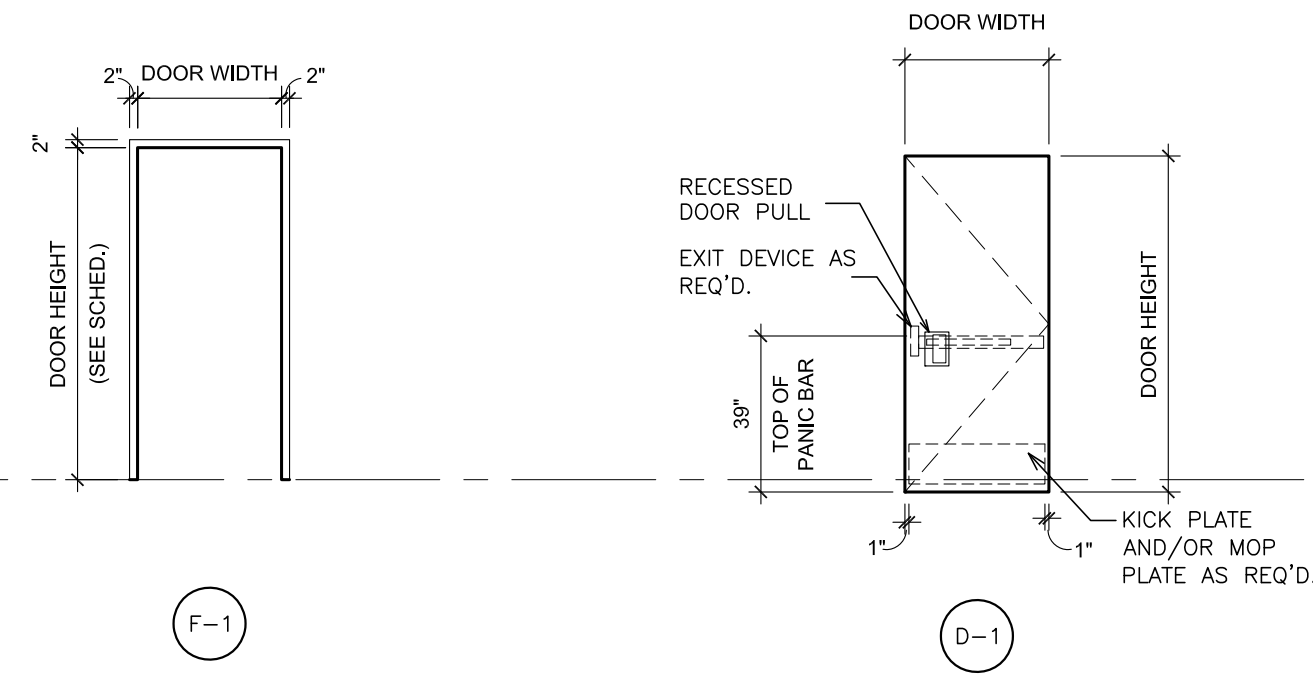
DOOR SCHEDULE

[illegible]

FRAME TYPES

SCALE: 1/4"=1'-0'

DOOR TYPES

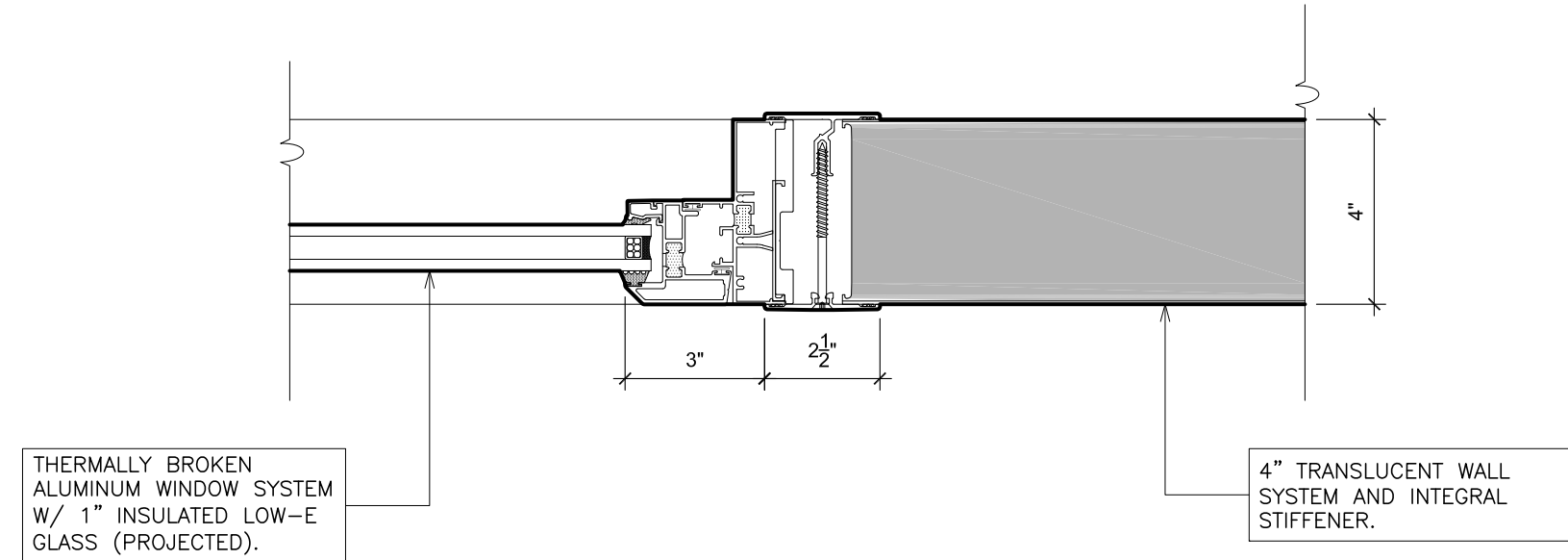


HARDWARE SET 01

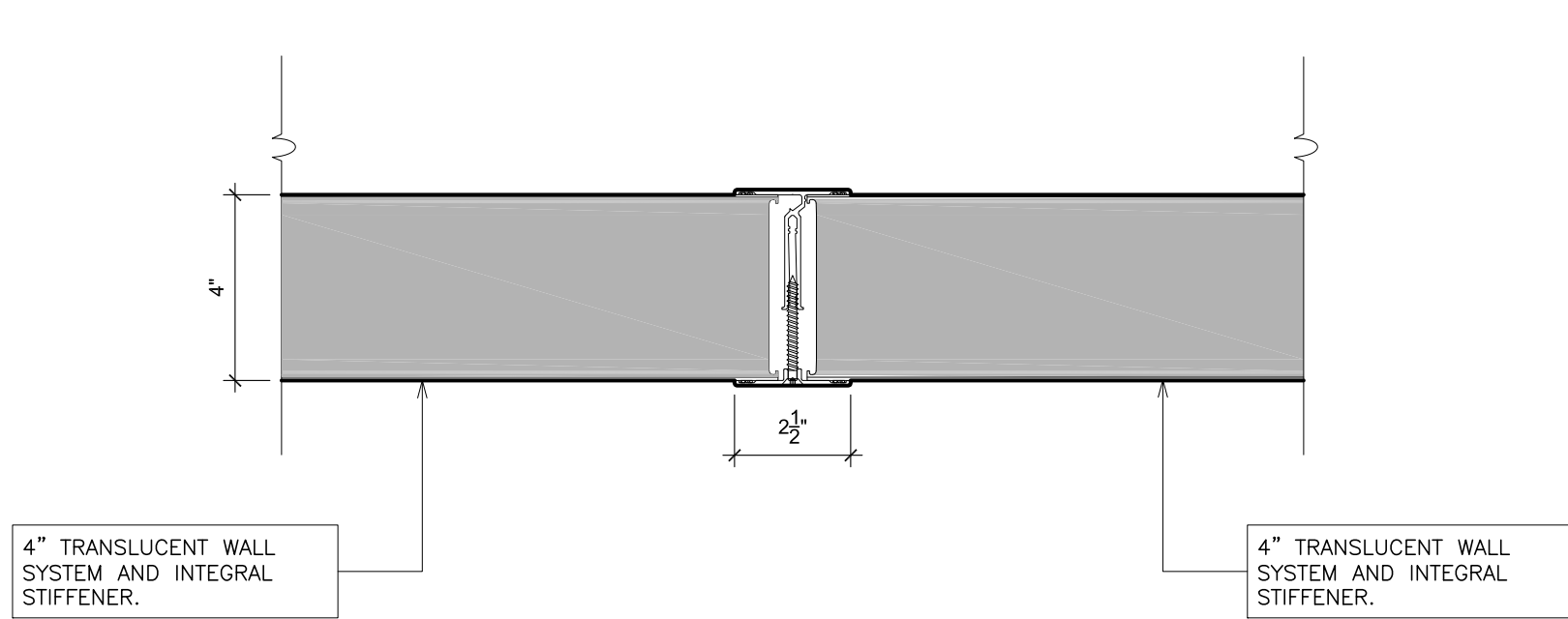
DOORS: 100, 101 & 102
1 CONTINUOUS HINGE
1 STOREROOM LOCK
1 INTERCHANGEABLE CORE
1 SURFACE CLOSER
1 SADDLE

CFMSLF-HD1
CL3357 PZD CT6B
COMPATIBLE WITH E
UNI7500-M
SEE ROOFING DRAW

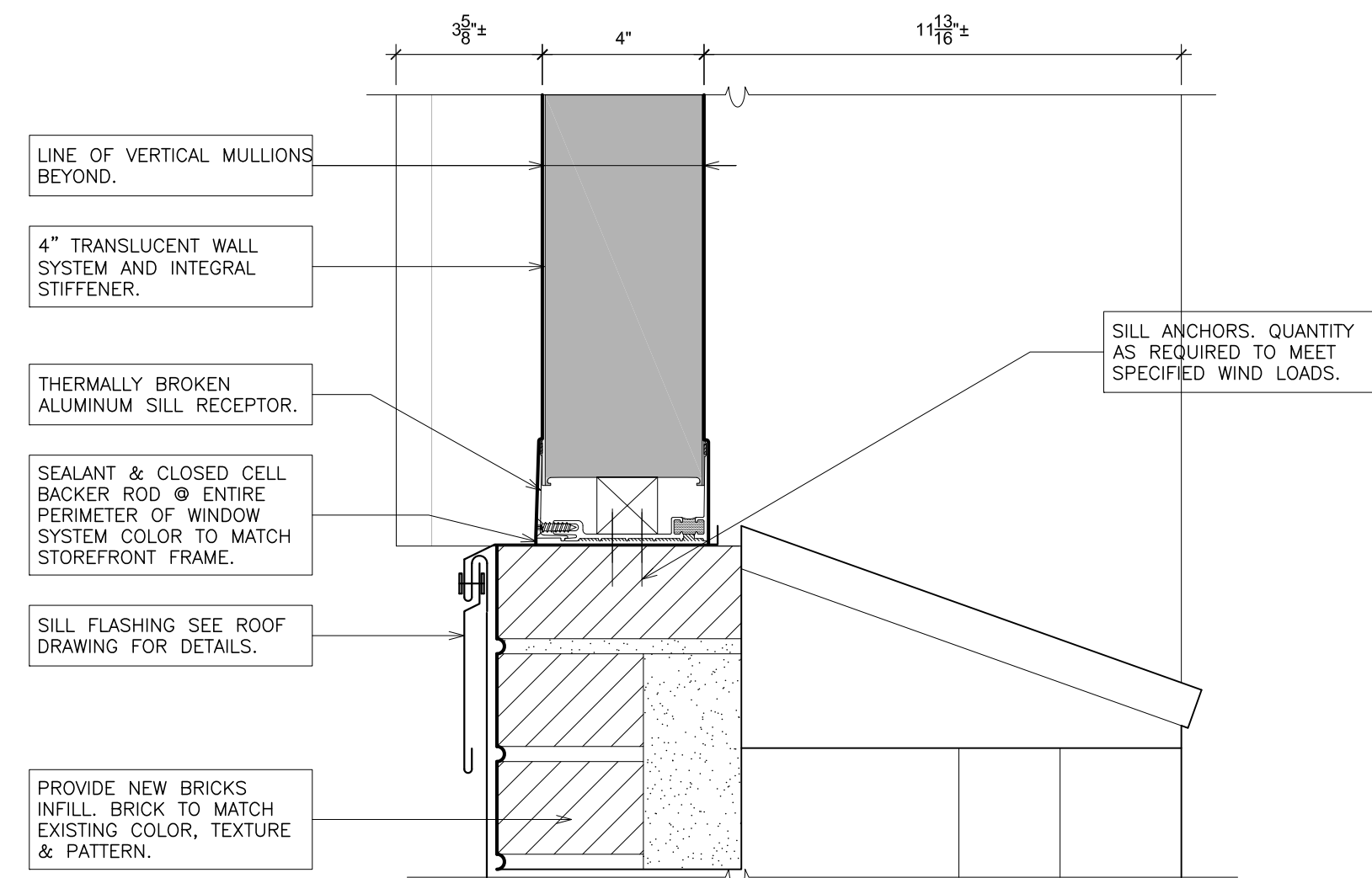
626	PEMCO	
26	CORBIN	RUSSWIN
689	MEDECO	
	NORTON	



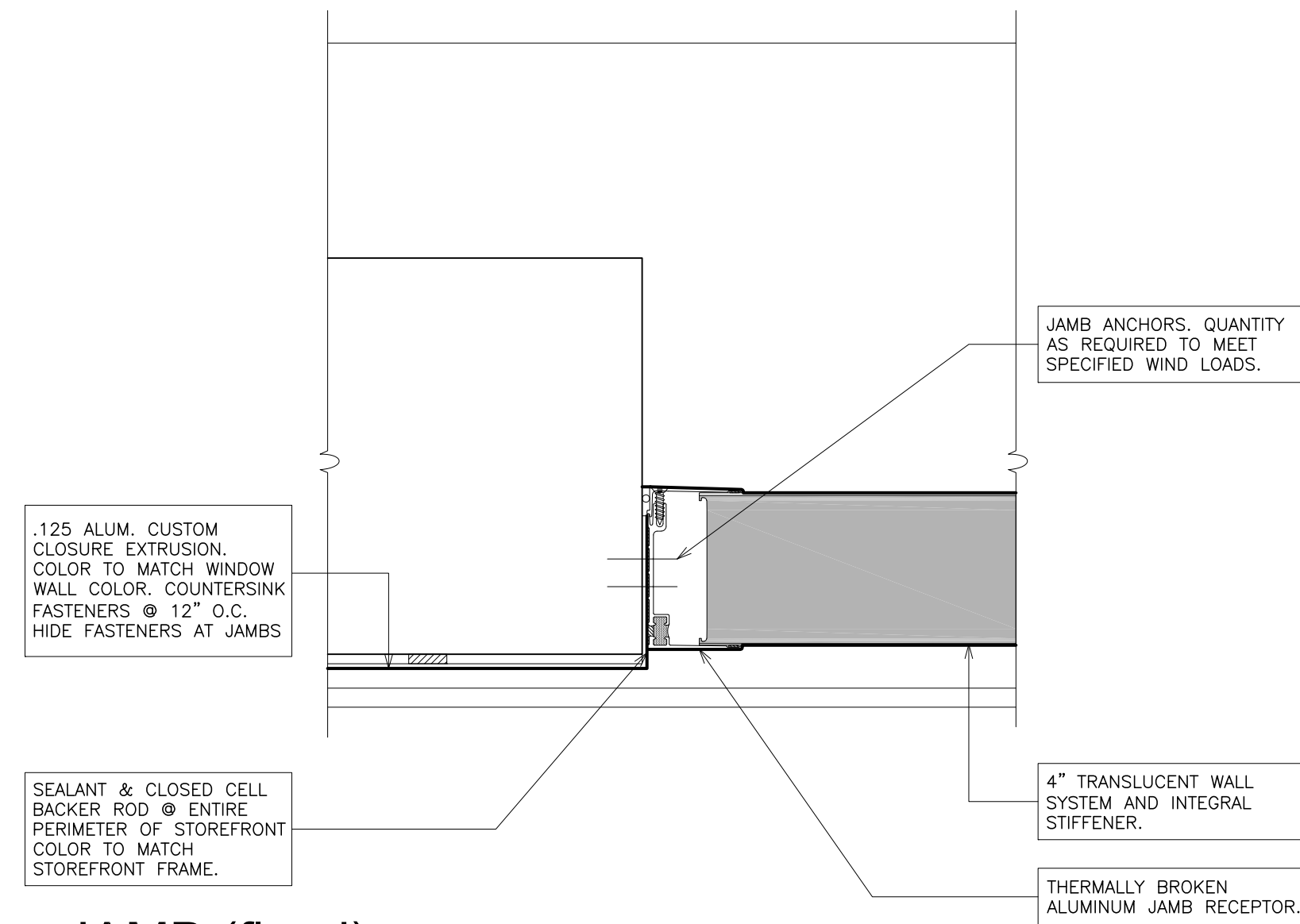
8 MULLION (projected/fixed)
SCALE: 3" = 1'-0"



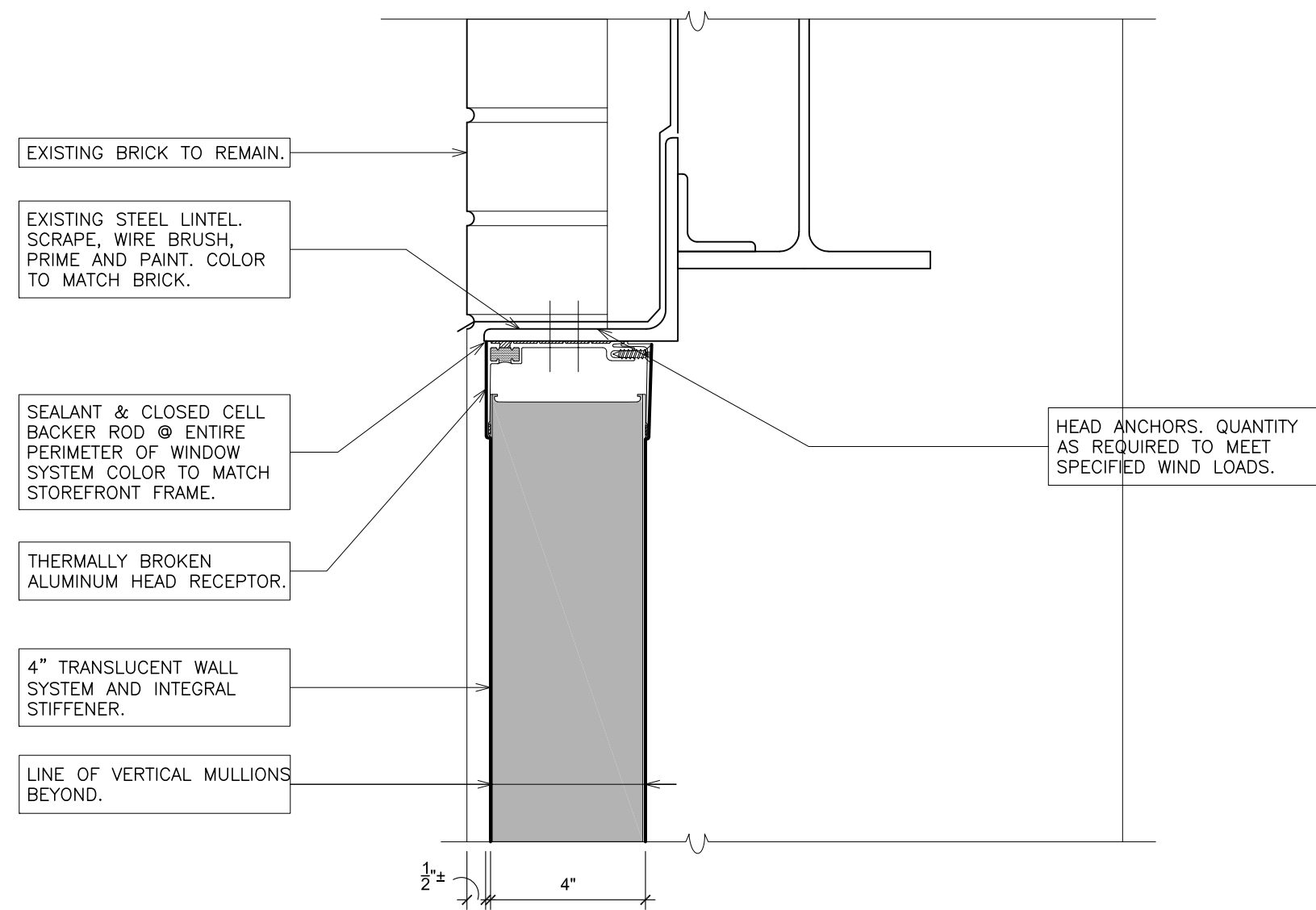
9 MULLION (fixed/fixed)
SCALE: 3" = 1'-0"



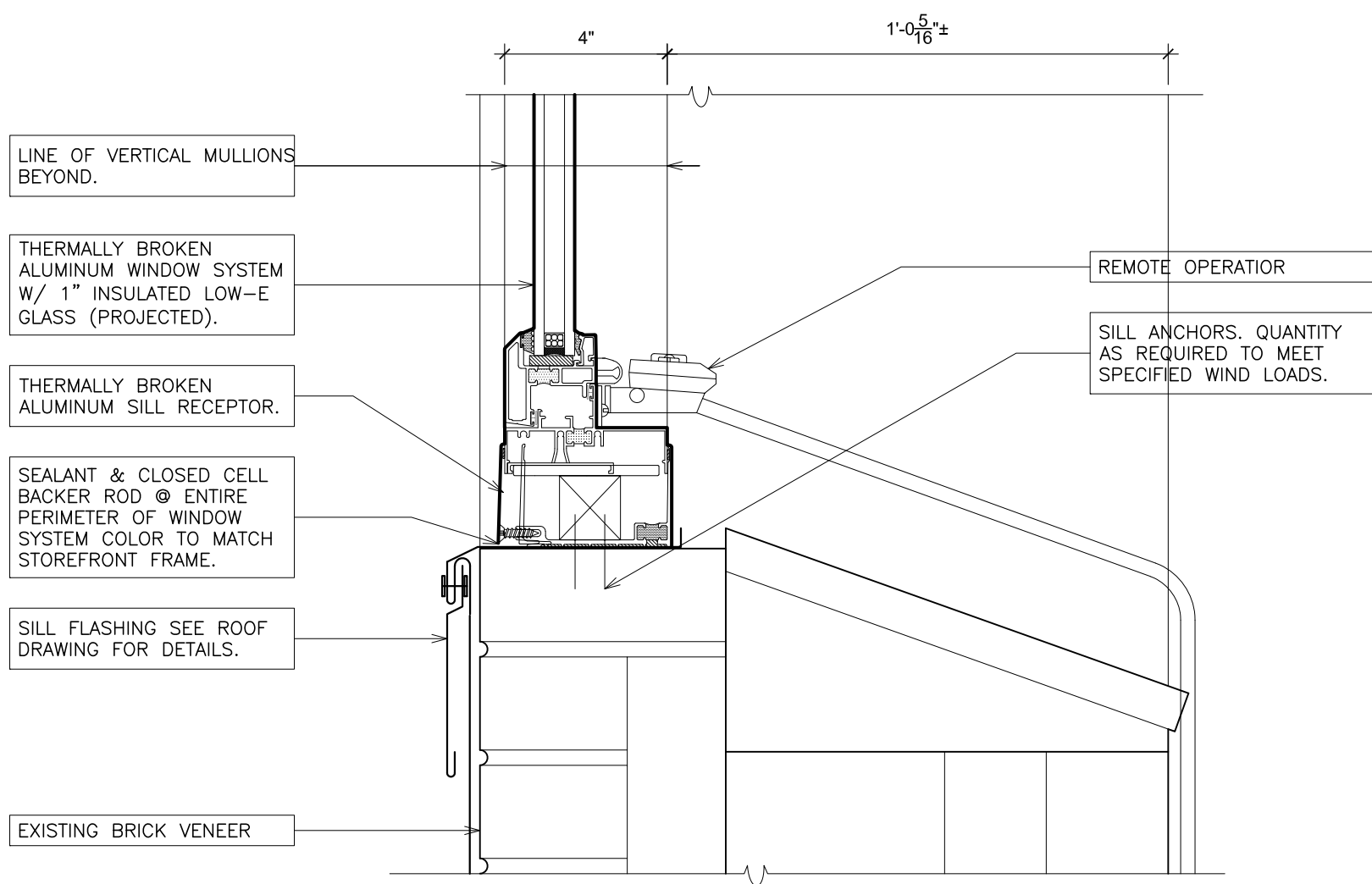
10 SILL (fixed)
SCALE: 3" = 1'-0"



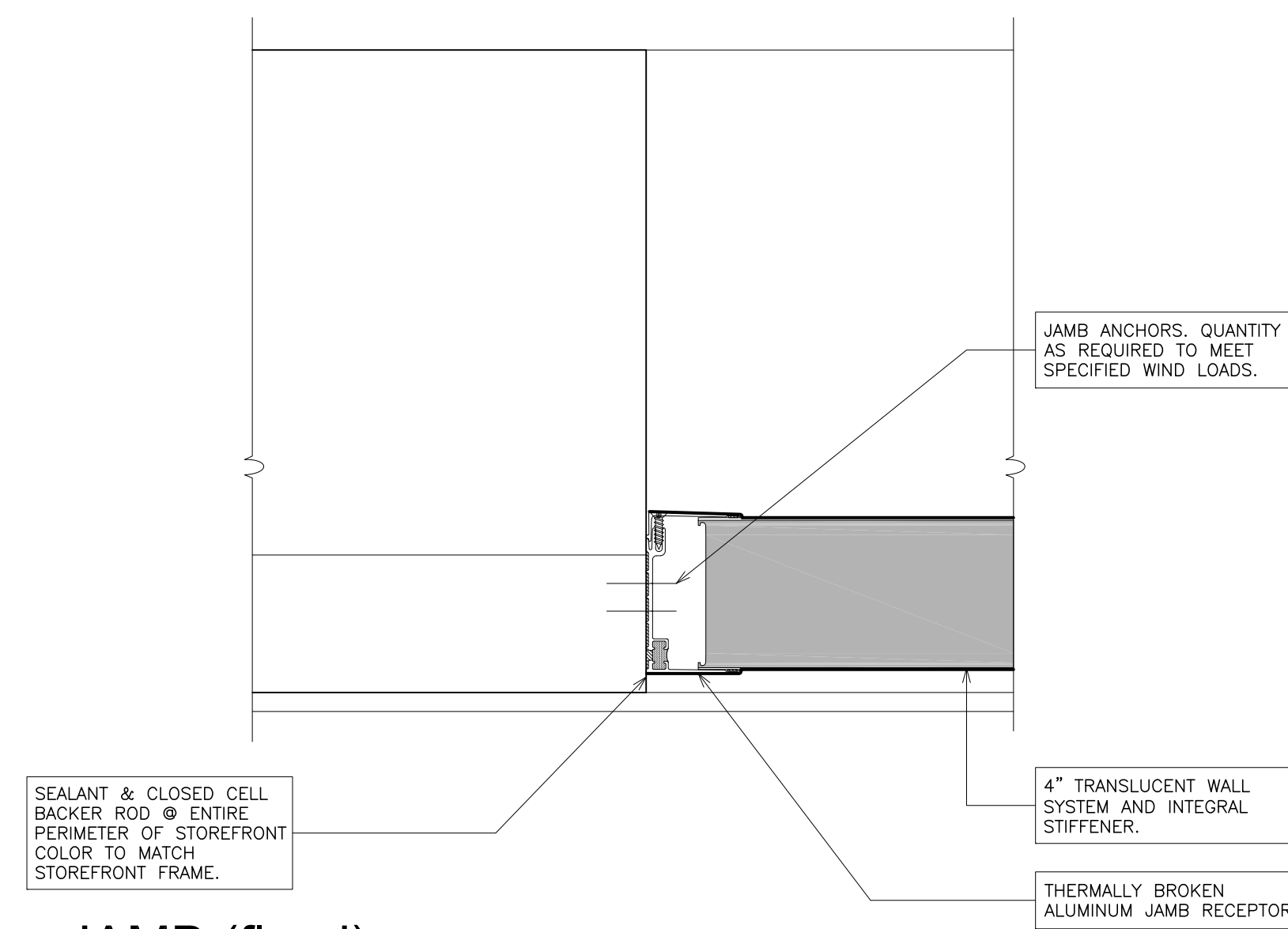
11 JAMB (fixed)
SCALE: 3" = 1'-0"



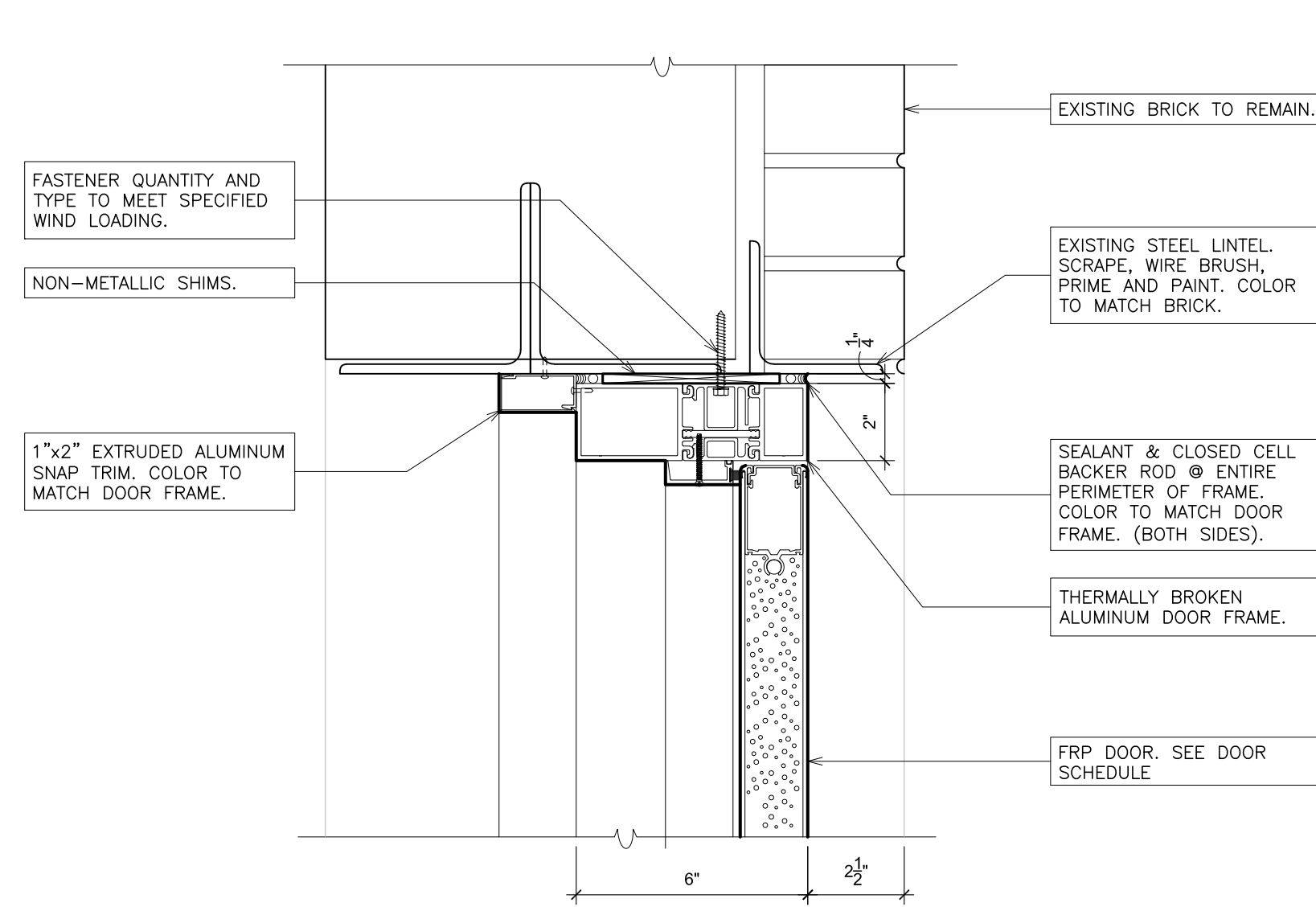
12 HEAD (fixed)
SCALE: 3" = 1'-0"



13 **SILL (projected)**
SCALE: 3" = 1'-0"

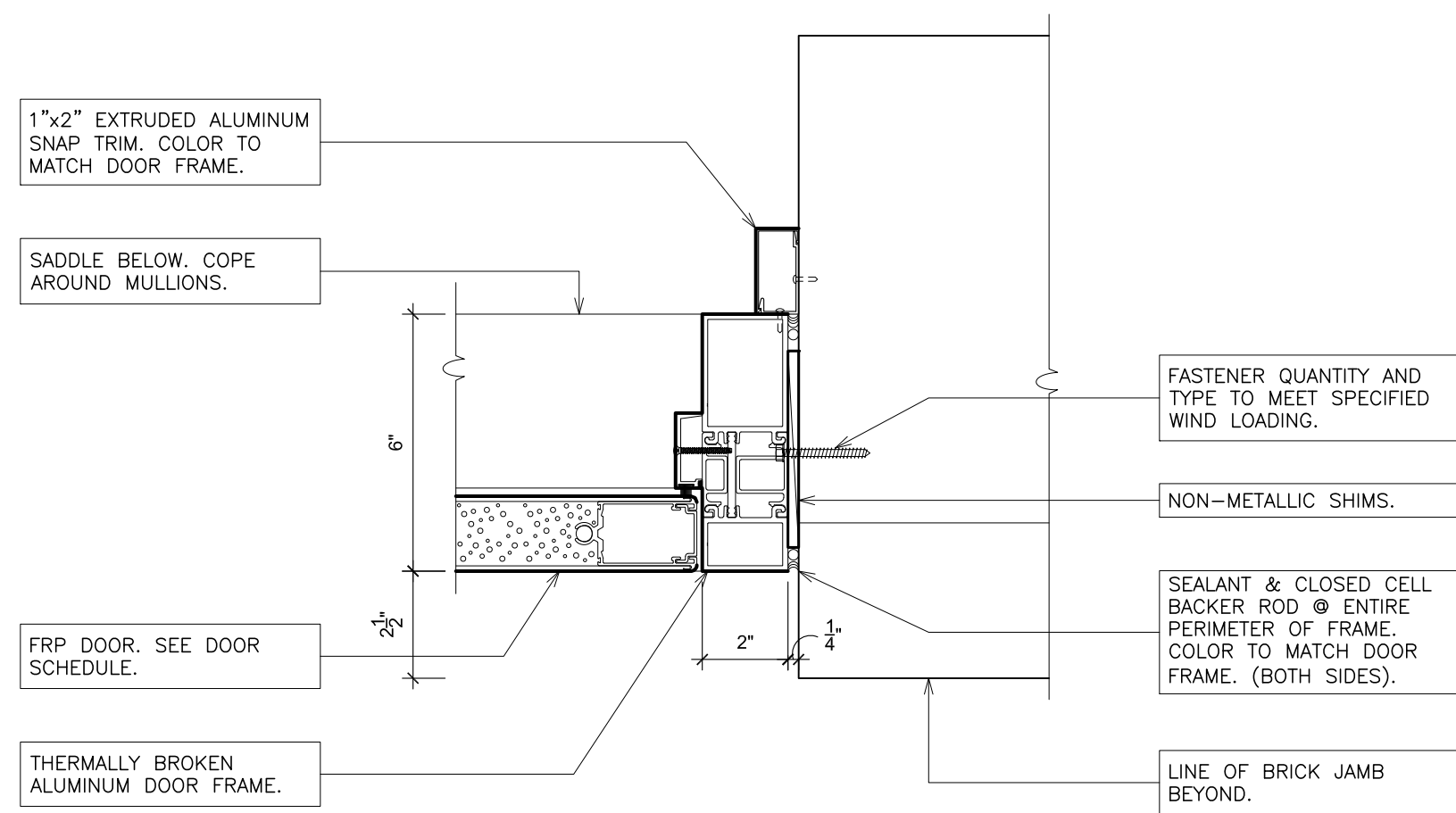


14 JAMB (fixed)
SCALE: 3" = 1'-0"

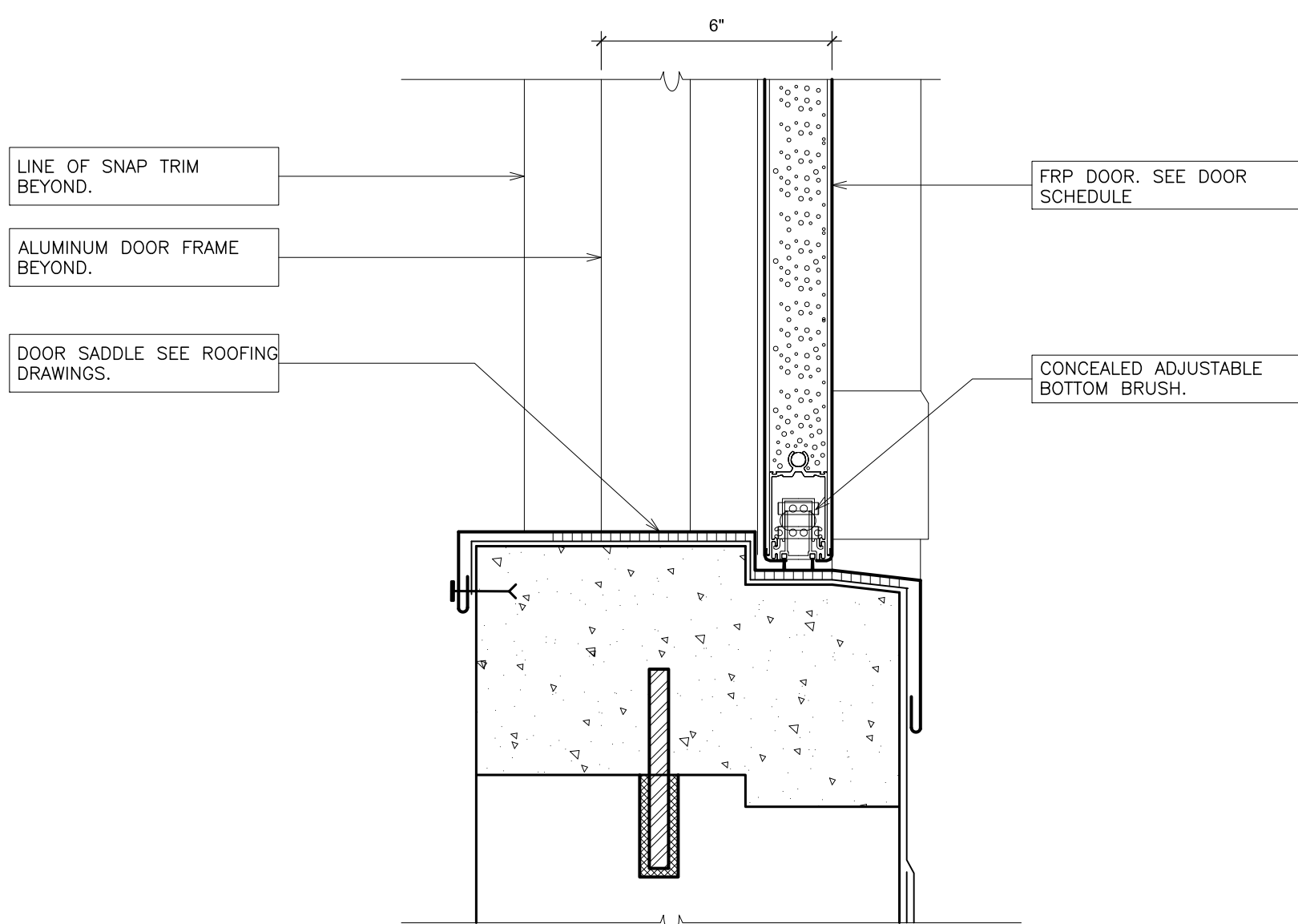


15 DOOR HEAD
SCALE: 3" = 1'-0"

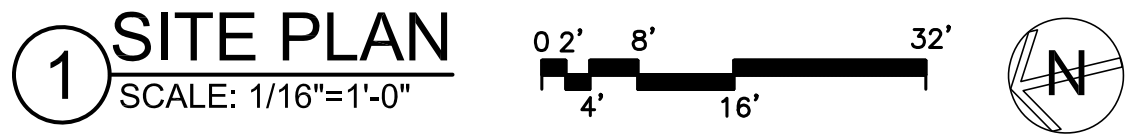
NOTE: TAP & DIE FASTENERS ONLY. ZIP SCREWS ARE NOT ACCEPTABLE.

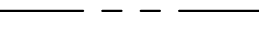
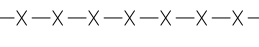






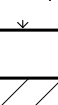








16 DOOR JAMB
SCALE: 3" = 1'-0"



17 DOOR SILL
SCALE: 3" = 1'-0"



	PROPOSED SPOT ELEVATION
	EXISTING CHAIN LINK FENCE TO BE REMOVED
	EXISTING CHAIN LINK FENCE
	NEW SEALANT & COMPRESSIBLE FILLER
	NEW STORM LINE. SEE DETAIL.
	EXISTING STORM LINE. SEE DETAIL.
	C.B. - X
	C.B. - 1
	MH - X
	MH - 1
	SITE WORKSCOPE NOTE.
	ASPHALT PITCH DIRECTION
	AREA TO RECEIVE NEW CONCRETE WALKWAY. SEE DETAIL A431.
	TOP SOIL & SEED. SEE DETAILS A431. SEE SPECIFICATIONS
	AREA TO RECEIVE NEW BITUMINOUS WALKWAY. SEE DETAILS A431.

WORK SCOPE NOTES	
WS1	SAW-CUT AND REMOVE EXISTING TERRA-COTTA & CAST STONE MORTAR JOINTS. CLEAN SURFACE PER THE SPECIFICATIONS. PROVIDE SEALANT & CLOSED-CELL BACKER ROD. SEE DETAIL #4/A30.
WS2	SAW-CUT, REMOVE AND RESET EXISTING DISPERSED CAST STONE SILLS. PROVIDE SEALANT & CLOSED-CELL BACKER ROD AND VERTICAL AND HORIZONTAL JOINTS. SEE DETAIL #4/A30.
WS3	REPORT EXISTING MASONRY JOINTS. SEE DETAIL #6/A430. (REPLACE CRACKED OR LOOSE BRICK AS REQUIRED.)
WS4	EXISTING CRACKED BRICK TO BE REPLACED. SEE DETAIL #1/A430 FOR RESTORATION METHOD.
WS5	SAW-CUT AND REMOVE 1 WYTHE OF BRICK. RESTORE BRICK COURSES. WORK IN A MANNER WHICH PROVIDES CONTINUOUS SUPPORT OF MASONRY ABOVE. SEE DETAIL #2/A430.
WS6	PATCH EXISTING TERRA-COTTA WITH REPAIR MORTAR. SEE SPECIFICATIONS AND DETAIL #8/A430.
WS7	CLEAN DIRT, MOULD, MILDEW, RUST STAINS, ETC. FROM ALL EXISTING TERRA-COTTA & CAST STONE SURFACES.
WS8	REMOVE EXISTING SEALANT FROM ENTIRE PERIMETER OF WINDOW OPENING. CLEAN RESIDUE FROM EXISTING ADJACENT SURFACES. PROVIDE NEW SEALANT AT ENTIRE PERIMETER OF WINDOW OPENING.
WS9	SCRAPE, WIRE BRUSH, PRIME AND PAINT EXPOSED PORTION OF EXISTING STEEL ANGLE. COLOR TO MATCH WINDOW FINISH.
WS10	REMOVE EXISTING DETERIORATED LINTEL AND BRICK ABOVE. INSTALL NEW GALVANIZED STEEL LINTEL ANGLE, WITH MIN. 6" BEARING EACH SIDE. PROVIDE SELF APOHERED MEMBRANE FLASHING, WEEP HOLES, REINSTALL EXISTING BRICK / STONE. SEE DETAIL #14,15,16,18/A431.
WS11	REMOVE DEBRIS FROM AREAWAY WELLS. CLEAN OUT DRAIN AND UNBLOCK AS REQUIRED. PATCH EXISTING AREAWAY DRAINAGE FOR A MINIMUM DISTANCE AS U.L.F.
WS12	PATCH EXISTING STONE WITH REPAIR MORTAR. SEE SPECIFICATIONS AND DETAIL #A30.
WS13	REMOVE EXISTING METAL SILL AND REPLACE WITH NEW EXTRUDED .125" ALUMINUM SILL COLOR AND PROFILE TO MATCH EXISTING.
WS14	PROTECT ALL NON-MASONRY ITEMS ON FACADE. CLEAN ALL SURFACES. PROVIDE WATER REPELLENT COATING ON ALL BRICK AND CAST STONE SURFACES.
WS15	CLEAN AND PREPARE EXPOSED NEW MASONRY SURFACES AND APPLY CLEAR PENETRATING WATER REPELLENT IN ACCORDANCE WITH SPECIFICATION SECTION 071900.
WS16	PREPARE EXISTING SURFACE AND APPLY MASONRY COATING IN ACCORDANCE WITH SPECIFICATION SECTION 097231
WS17	REMOVE EXISTING DETERIORATED BLUE STONE CAP AND REPLACE WITH BLUE STONE CAP THICKNESS AND SIZE TO MATCH EXISTING.

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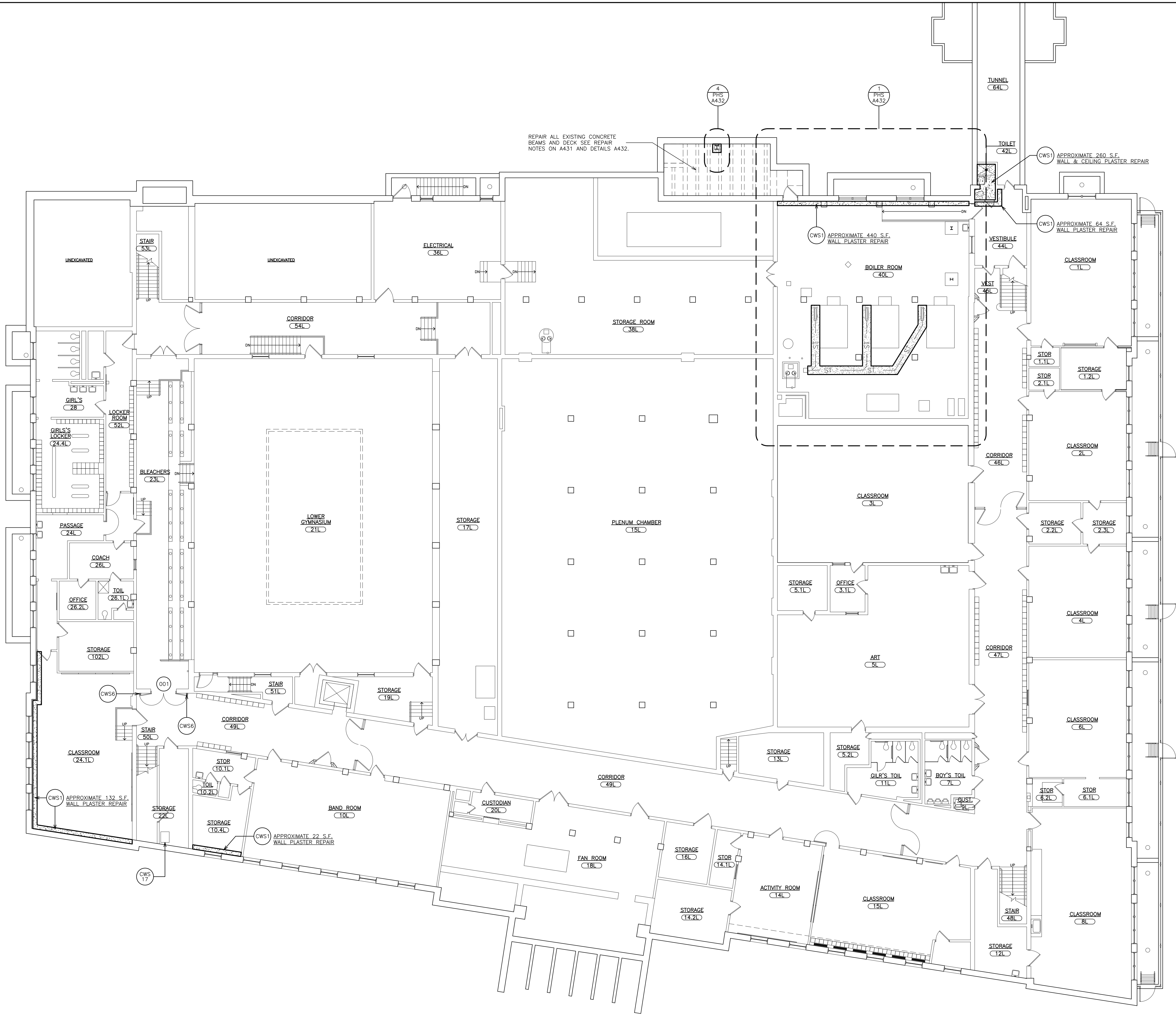
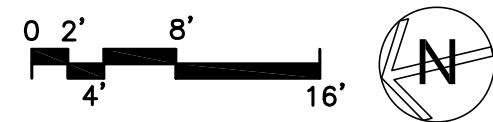
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S.E.D. CONTROL NUMBER:
PS 29
66-23-00-01-0-029-011
PEARLS HAWTHORNE SCHOOL
66-23-00-01-0-101-008

PROJECT TITLE	YONKERS SCHOOL DISTRICT MULTIPLE BUILDING ENVELOPE RENOVATIONS AND RELATED WORK GROUP 'B' AT SCHOOL 29 & PEARLS HAWTHORNE SCHOOL
DRAWING TITLE	SITE PLAN

02-16-2022	BID
10-11-2019	DESIGN DEVELOPMENT
DATE	ISSUED TO
SHEET SIZE 30"x42"	DRAWING NO. PHS L1
SCALE AS NOTED	
DRAWN BY F & D	FILE NO. 19354.07

1 BASEMENT FLOOR PLAN
SCALE: 3/32" = 1'-0"



- WORKSCOPE NOTES:**
- CWS1 REMOVE EXISTING DETERIORATED PLASTER WALL & CEILING FINISH BACK TO EXISTING SUB-STRAIGHT (CMU, BRICK, FURRING) OR SOUND PLASTER. PROVIDE NEW PLASTER WALL & CEILING FINISH (MATCH EXISTING ADJACENT DECORATIVE PLASTER PROFILES). PROVIDE BONDING AGENT BETWEEN NEW & EXISTING PLASTER. REFASTEN LOOSE FLOORING & REPLACE ANY DETERIORATED SECTIONS. PROVIDE A SMOOTH & LEVEL TRANSITION TO ADJACENT SURFACES. PRIME & PAINT. SEE SPECIFICATIONS.
 - CWS2 REMOVE ALL LOOSE & FLAKING PAINT DOWN TO EXISTING SUB-STRAIGHT. SAND SMOOTH & LEVEL ALL TRANSITION TO ADJACENT SURFACES. PRIME & PAINT ENTIRE WALL OR CEILING. SEE SPECIFICATIONS.
 - CWS3 CLEAN AND WIPE DOWN ALL WALLS & CEILING SURFACES. PATCH ANY CRACKS AND FILL HOLES. PRIME AND PAINT ENTIRE ROOM WALLS AND CEILING. SEE SPECIFICATIONS.
 - CWS4 REMOVE EXISTING DAMAGED CEILING ACOUSTICAL TILES. PROVIDE NEW ACOUSTICAL TILES TO MATCH EXISTING ADJACENT TILES. TEMPORARY SUPPORT CEILING MOUNTED DEVICE AND REINSTALL IN NEW TILE.
 - CWS5 REMOVE EXISTING WINDOW ASSEMBLY, STONE SILL, TRIM, STEEL UNTEL AND ALL RELATED ITEMS. WORK IN A MANNER WHICH PROVIDES CONTINUOUS SUPPORT OF MASONRY ABOVE. INFILL WITH TOOTH IN NEW BRICK (TO MATCH EXISTING ADJACENT COLOR, TEXTURE AND PATTERN). RIGID INSULATION, AIR MOISTURE BARRIER AND TOOTH IN NEW CMU. PROVIDE INTERIOR CMU TO MATCH EXISTING ADJACENT.
 - CWS6 PROVIDE AND INSTALL MAGNETIC HOLD OPEN, WIRES, WIREFORM V500/V700 AND ALL RELATED ITEMS. TIE INTO EXISTING FIRE ALARM SYSTEM FOR A COMPLETE AND OPERATIONAL SYSTEM. SEE SPECIFICATION FOR ADDITION INFORMATION.
 - CWS7 DISCONNECT PIPING FROM EXISTING 2" PUMP DISCHARGE PIPE BACK TO PUMP.
 - CWS8 CLEAN AND WIPE DOWN ALL WALLS & CEILING SURFACES. PATCH ANY CRACKS AND FILL HOLES. PRIME AND PAINT ENTIRE ROOM WALLS AND CEILING. SEE SPECIFICATIONS.
 - CWS9 REMOVE ALL COMPONENTS OF THE EXISTING SUMP PUMP ASSEMBLY. EXISTING STEEL SUMP TO REMAIN.
 - CWS10 DRAIN EXISTING SUMP. SCRAPE, WIRE BRUSH, PRIME AND PAINT INTERIOR AND EXTERIOR OF SUMP BODY.
 - CWS11 MODIFY / CUT EXISTING STEEL SUMP COVER TO ACCOMMODATE NEW BASIN COVER.
 - CWS12 CLEAN OUT EXISTING FLOOR DRAINS AND POWER JET CLEAN DRAIN LINES FOR A MINIMUM OF 75 LF. PROVIDE NEW METAL FLOOR DRAIN COVERS.
 - CWS13 P-CONTRACTOR TO PROVIDE A DUPLEX VSP-2A-75-4 VERTICAL SUBMERCED SUMP PUMP UNIT AS MANUFACTURED BY FEDERAL PUMP CORP. OR APPROVED EQUAL. EACH PUMP SHALL BE RATED 50 G.P.M. AT 10' TOTAL DYNAMIC HEAD. SHALL HAVE A 2" DISCHARGE AND BE BUILT FOR A BASIN OF 4'-0" x 4'-0" DEEP (V.I.F.). MOTORS SHALL BE 75 H.P. 3 PHASE, 208-230/460 (V.I.F.) AND 1750 RPM. PROVIDE PEDESTAL MOUNTED AUXILIARY FLOAT SWITCH. TYPE FS-4. PROVIDE HIGH WATER ALARM. TYPE FS-5. PROVIDE MAGNETIC LINE VOLTAGE STARTER. TYPE D1200. PROVIDE METAL SQUARE DUPLEX BASIN COVER. PAINT. BOLT TO EXISTING STEEL BASIN COVER. PROVIDE CHECK VALVES (2) AND GATE VALVES IN DISCHARGE PIPING.
 - CWS14 PROVIDE (3) #10 WIRE IN 3/4" RIGID GALVANIZED STEEL CONDUIT WITH THREADED COUPLINGS FROM MOTOR STARTER TO PUMP CONTROLS.
 - CWS15 PROVIDE BOILER BLOW-DOWN THROUGH DRAINS AT EACH BOILER. SEE PLUMBING DRAWINGS.
 - CWS16 SAW-CUT AND REMOVE PORTION OF EXISTING CONCRETE SLAB ON GRADE FOR INSTALLATION OF NEW TROUGH DRAIN PIPING. SEE DETAIL 3/A432.
 - CWS17 CLEAN ALL DEBRIS FROM EXISTING HOUSE TRAP PIT. SAW-CUT AND REMOVE PORTION OF EXISTING SANITARY PIPING FOR INSTALLATION OF BACKWATER VALVE. PROVIDE ZURN Z1095 BACKWATER VALVE FLAPPER TYPE OR APPROVED EQUAL. INLET SIZE TO MATCH EXISTING PIPE SIZE V.I.F.

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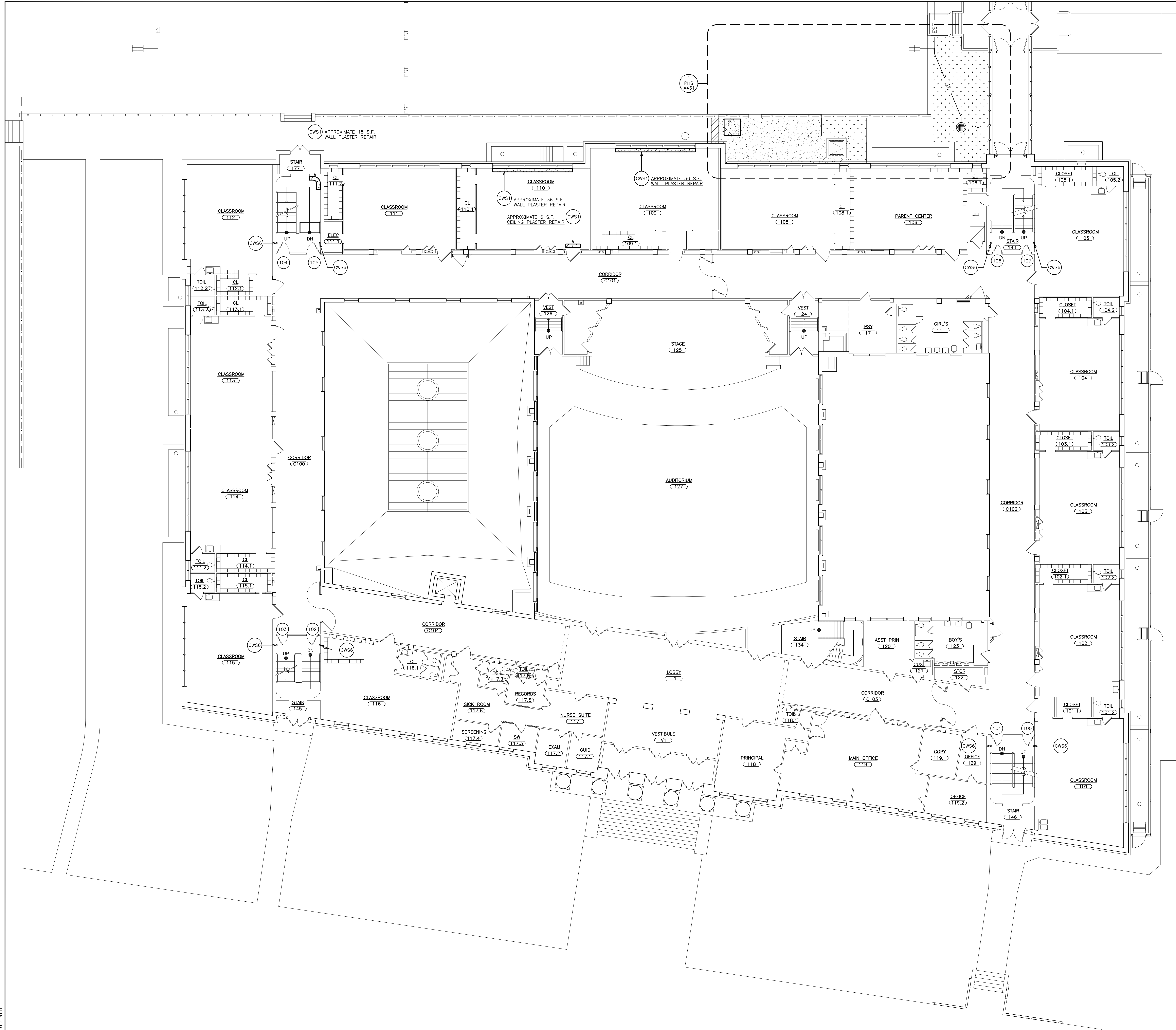
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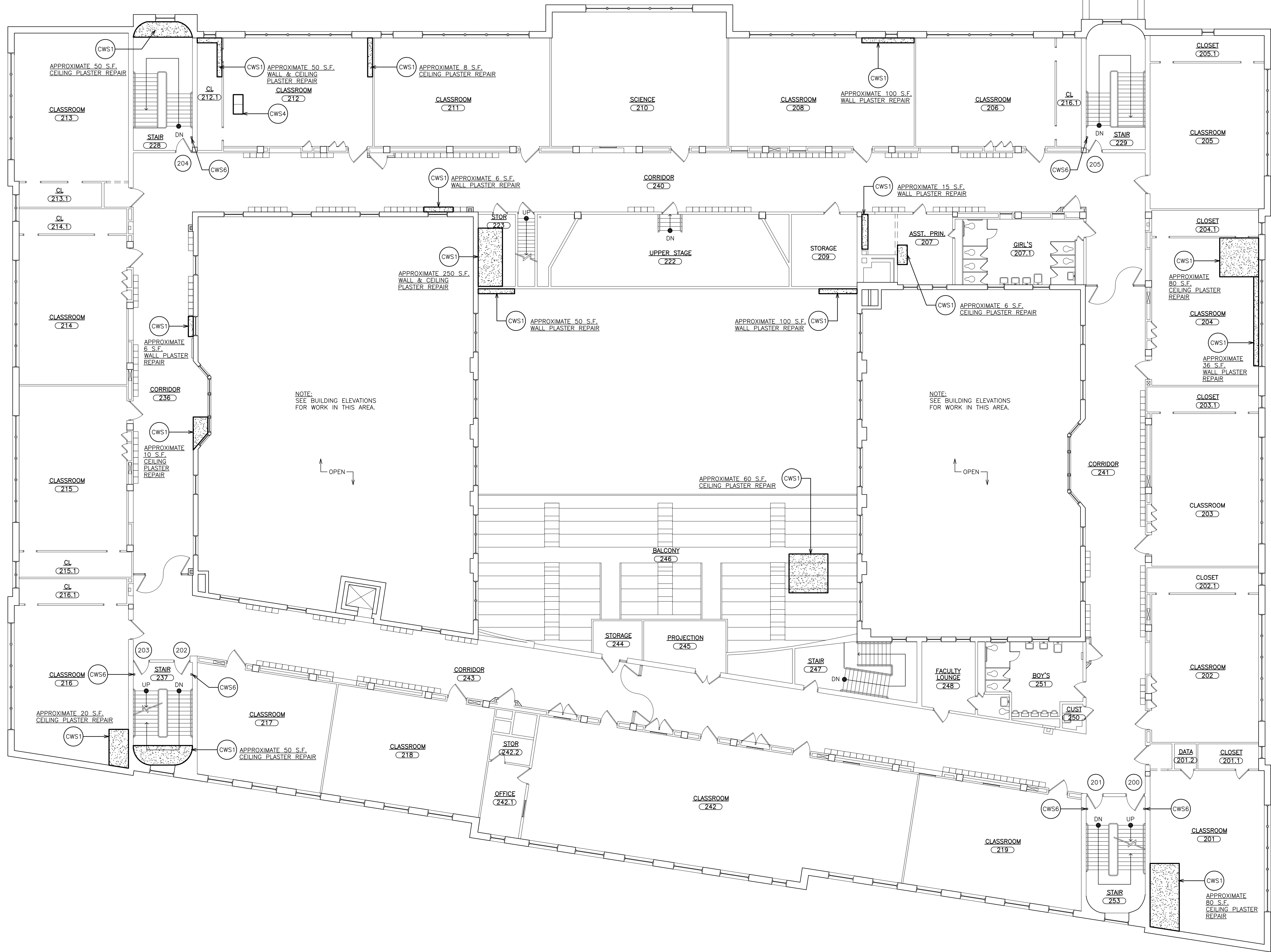
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S.E.D. CONTROL NUMBER:
PS 29
66-23-00-01-0-029-011
PEARL'S HAWTHORNE SCHOOL
66-23-00-01-0-101-008

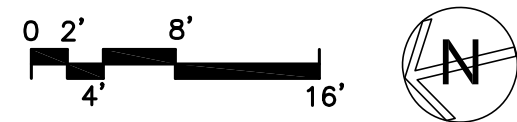
PROJECT NAME
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
SCHOOL 218 PEARL'S HAWTHORNE SCHOOL
DRAWING TITLE
BASEMENT FLOOR PLAN

02-16-2022	BID
10-11-2019	DESIGN DEVELOPMENT
DATE	ISSUED TO
SHEET SIZE 30"x42"	DRAWING NO. PS 29
SCALE AS NOTED	PHS A100
DRAWN BY F & D	FILE NO. 19354.07





1 SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"



- WORKSCOPE NOTES:**
- CWS1 REMOVE EXISTING DETERIORATED PLASTER WALL & CEILING FINISH BACK TO EXISTING SUB-STRAIGHT (CMU, BRICK, FURRING) OR SOUND PLASTER. PROVIDE NEW PLASTER WALL & CEILING FINISH (MATCH EXISTING ADJACENT DECORATIVE PLASTER PROFILES). PROVIDE BONDING AGENT BETWEEN NEW & EXISTING PLASTER. REFASTEN LOOSE FURRING & REPLACE ANY DETERIORATED SECTIONS. PROVIDE A SMOOTH & LEVEL TRANSITION TO ADJACING SURFACES. PRIME & PAINT. SEE SPECIFICATIONS.
 - CWS2 REMOVE ALL LOOSE & FLAKING PAINT DOWN TO EXISTING SUB-STRAIGHT. SAND SMOOTH & LEVEL ALL TRANSITION TO ADJACING SURFACES. PRIME & PAINT ENTIRE WALL OR CEILING. SEE SPECIFICATIONS.
 - CWS3 CLEAN AND WIPE DOWN ALL WALLS & CEILING SURFACES. PATCH ANY CRACKS AND FILL HOLES. PRIME AND PAINT ENTIRE ROOM WALLS AND CEILING. SEE SPECIFICATIONS.
 - CWS4 REMOVE EXISTING DAMAGED CEILING ACOUSTICAL TILES. PROVIDE NEW ACOUSTICAL TILES TO MATCH EXISTING ADJACENT TILES. TEMPORARY SUPPORT CEILING MOUNTED DEVICE AND REINSTALL IN NEW TILE.
 - CWS5 REMOVE EXISTING WINDOW ASSEMBLY, STONE SILL, TRIM, STEEL UNTEL AND ALL RELATED ITEMS. WORK IN A MANNER WHICH PROVIDES CONTINUOUS SUPPORT OF MASONRY ABOVE. INFILL WITH TOOTH IN NEW BRICK (TO MATCH EXISTING ADJACENT COLOR, TEXTURE AND PATTERN). RIGID INSULATION, AIR MOISTURE BARRIER AND TOOTH IN NEW CMU. PAINT INTERIOR CMU TO MATCH EXISTING ADJACENT.
 - CWS6 PROVIDE AND INSTALL MAGNETIC HOLD OPEN, WIRES, WIREMOULD V500/V700 AND ALL RELATED ITEMS. TIE INTO EXISTING FIRE ALARM SYSTEM FOR A COMPLETE AND OPERATIONAL SYSTEM. SEE SPECIFICATION FOR ADDITION INFORMATION.
 - CWS7 DISCONNECT PIPING FROM EXISTING 2" PUMP DISCHARGE PIPE BACK TO PUMP.
 - CWS8 DISCONNECT AND REMOVE PUMP POWER AND CONTROL WIRING / CONDUIT TO NEAREST JUNCTION BOX. REMOVE EXISTING PUMP CONTROLS & DISCONNECT SWITCH.
 - CWS9 REMOVE ALL COMPONENTS OF THE EXISTING SUMP PUMP ASSEMBLY. EXISTING STEEL SUMP TO REMAIN.
 - CWS10 DRAIN EXISTING SUMP. SCRAPE, WIRE BRUSH, PRIME AND PAINT INTERIOR AND EXTERIOR OF SUMP BODY.
 - CWS11 MODIFY / CUT EXISTING STEEL SUMP COVER TO ACCOMMODATE NEW BASIN COVER.
 - CWS12 CLEAN OUT EXISTING FLOOR DRAINS AND POWER JET CLEAN DRAIN LINES FOR A MINIMUM OF 75 LF. PROVIDE NEW METAL FLOOR DRAIN COVERS.
 - CWS13 P-CONTRACTOR TO PROVIDE A DUPLEX VSP-2A--75-4 VERTICAL SUBMERSIBLE SUMP PUMP UNIT AS MANUFACTURED BY FEDERAL PUMP CORP. OR APPROVED EQUAL. EACH PUMP SHALL BE RATED 50 G.P.M. AT 10' TOTAL DYNAMIC HEAD. SHALL HAVE A 2" DISCHARGE AND BE BUILT FOR A BASIN OF 4'-0" x 4'-0" DEEP (V.I.F.). MOTORS SHALL BE 75 H, 3 PHASE, 208-230/460 (V.I.F.) AND 1750 RPM. PROVIDE PEDESTAL MOUNTED AUXILIARY FLOAT SWITCH. TYPE FS-4. PROVIDE HIGH WATER ALARM. TYPE FS-5. PROVIDE MAGNETIC LINE VOLTAGE STARTER. TYPE D1200. PROVIDE METAL SQUARE DUPLEX BASIN COVER. PAINT. BOLT TO EXISTING STEEL BASIN COVER. PROVIDE CHECK VALVES (2) AND GATE VALVES IN DISCHARGE PIPING.
 - CWS14 PROVIDE (3) #10 WIRE IN 3/4" RIGID GALVANIZED STEEL CONDUIT WITH THREADED COUPLINGS FROM MOTOR STARTER TO PUMP CONTROLS.
 - CWS15 PROVIDE BOILER BLOW-DOWN THROUGH DRAINS AT EACH BOILER. SEE PLUMBING DRAWINGS.
 - CWS16 SAW-CUT AND REMOVE PORTION OF EXISTING CONCRETE SLAB ON GRADE FOR INSTALLATION OF NEW TROUGH DRAIN PIPING. SEE DETAIL 3/4A32.
 - CWS17 CLEAN ALL DEBRIS FROM EXISTING HOUSE TRAP PIT. SAW-CUT AND REMOVE PORTION OF EXISTING SANITARY PIPING FOR INSTALLATION OF BACKWATER VALVE. PROVIDE ZURN Z1095 BACKWATER VALVE FLAPPER TYPE OR APPROVED EQUAL. INLET SIZE TO MATCH EXISTING PIPE SIZE V.I.F.

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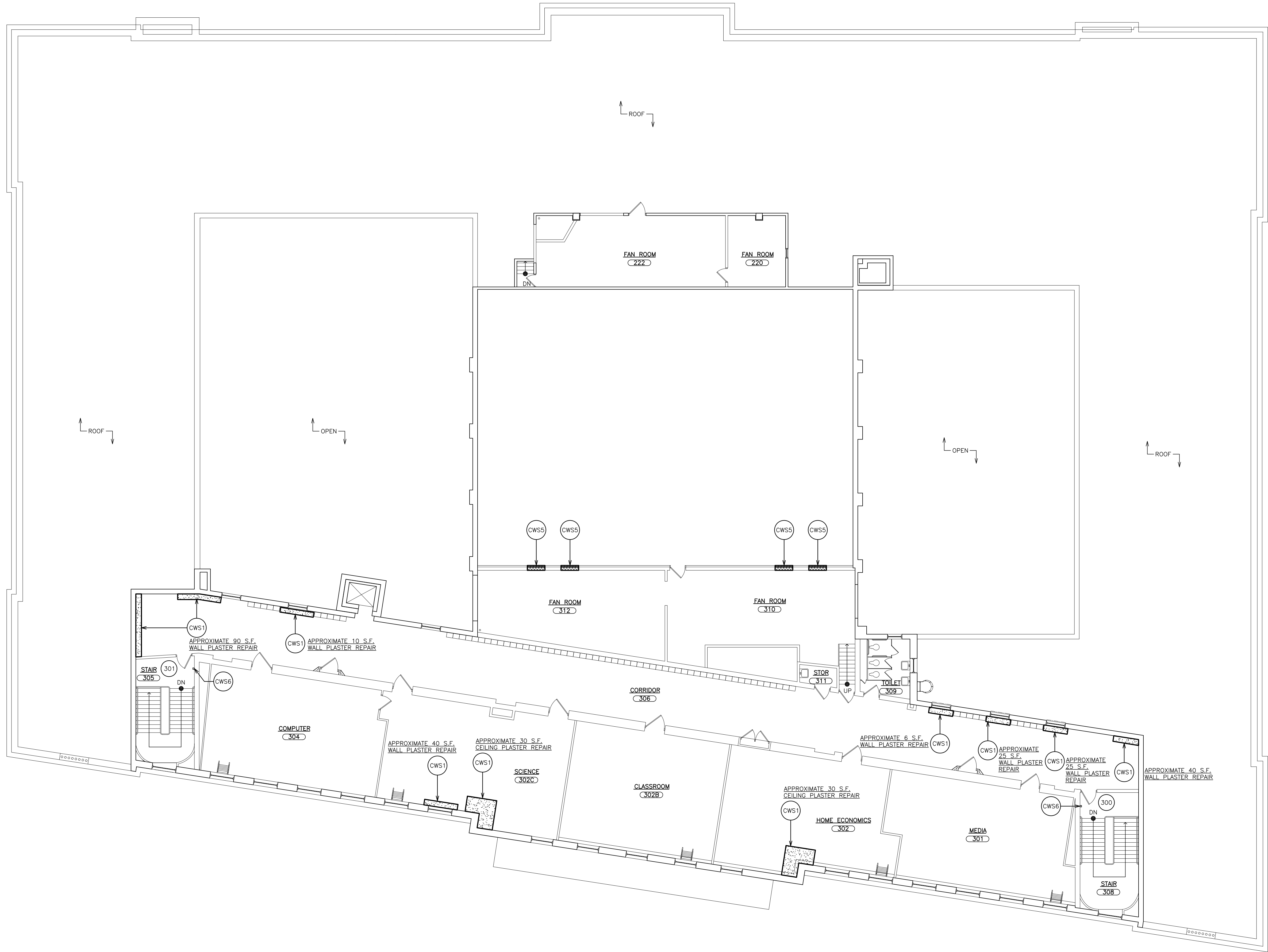
S.E.D. CONTROL NUMBER:
PS 29
66-23-00-01-0-029-011
PEARL'S HAWTHORNE SCHOOL
66-23-00-01-0-101-008

PROJECT NAME
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
SCHOOL 218 PEARL'S HAWTHORNE SCHOOL
DRAWING TITLE
SECOND FLOOR PLAN

02-16-2022 BID
10-11-2019 DESIGN DEVELOPMENT
DATE ISSUED TO

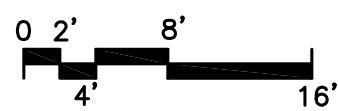
SHEET SIZE
30"x42"
SCALE
AS NOTED
DRAWING NO.
PHS
A102

DRAWN BY
F & D
FILE NO.
19354.07



- WORKSCOPE NOTES:**
- (CWS1) REMOVE EXISTING DETERIORATED PLASTER WALL & CEILING FINISH BACK TO EXISTING SUB-STRAIGHT (CMU, BRICK, FURRING) OR SOUND PLASTER. PROVIDE NEW PLASTER WALL & CEILING FINISH (MATCH EXISTING ADJACENT DECORATIVE PLASTER PROFILES). PROVIDE BONDING AGENT BETWEEN NEW & EXISTING PLASTER. REFASTEN LOOSE FURRING & REPLACE ANY DETERIORATED SECTIONS. PROVIDE A SMOOTH & LEVEL TRANSITION TO ADJACENT SURFACES. PRIME & PAINT. SEE SPECIFICATIONS.
 - (CWS2) REMOVE ALL LOOSE & FLAKING PAINT DOWN TO EXISTING SUB-STRAIGHT. SAND SMOOTH & LEVEL ALL TRANSITION TO ADJACENT SURFACES. PRIME & PAINT ENTIRE WALL OR CEILING. SEE SPECIFICATIONS.
 - (CWS3) CLEAN AND WIPE DOWN ALL WALLS & CEILING SURFACES. PATCH ANY CRACKS AND FILL HOLES. PRIME AND PAINT ENTIRE ROOM WALLS AND CEILING. SEE SPECIFICATIONS.
 - (CWS4) REMOVE EXISTING DAMAGED CEILING ACOUSTICAL TILES. PROVIDE NEW ACOUSTICAL TILES TO MATCH EXISTING ADJACENT TILES. TEMPORARY SUPPORT CEILING MOUNTED DEVICE AND REINSTALL IN NEW TILE.
 - (CWS5) REMOVE EXISTING WINDOW ASSEMBLY, STONE SILL, TRIM, STEEL UNTEL AND ALL RELATED ITEMS. WORK IN A MANNER WHICH PROVIDES CONTINUOUS SUPPORT OF MASONRY ABOVE. INFILL WITH TOOTH IN NEW BRICK (TO MATCH EXISTING ADJACENT COLOR, TEXTURE AND PATTERN). RIGID INSULATION, AIR MOISTURE BARRIER AND TOOTH IN NEW CMU. PAINT INTERIOR CMU TO MATCH EXISTING ADJACENT.
 - (CWS6) PROVIDE AND INSTALL MAGNETIC HOLD OPEN, WIRES, WIREFORM V500/V700 AND ALL RELATED ITEMS. TIE INTO EXISTING FIRE ALARM SYSTEM FOR A COMPLETE AND OPERATIONAL SYSTEM. SEE SPECIFICATION FOR ADDITION INFORMATION.
 - (CWS7) DISCONNECT PIPING FROM EXISTING 2" PUMP DISCHARGE PIPE BACK TO SUMP.
 - (CWS8) DISCONNECT AND REMOVE PUMP POWER AND CONTROL WIRING / CONDUIT TO NEAREST JUNCTION BOX. REMOVE EXISTING PUMP CONTROLS & DISCONNECT SWITCH.
 - (CWS9) REMOVE ALL COMPONENTS OF THE EXISTING SUMP PUMP ASSEMBLY. EXISTING STEEL SUMP TO REMAIN.
 - (CWS10) DRAIN EXISTING SUMP. SCRAPE, WIRE BRUSH, PRIME AND PAINT INTERIOR AND EXTERIOR OF SUMP BODY.
 - (CWS11) MODIFY / CUT EXISTING STEEL SUMP COVER TO ACCOMMODATE NEW BASIN COVER.
 - (CWS12) CLEAN OUT EXISTING FLOOR DRAINS AND POWER JET CLEAN DRAIN LINES FOR A MINIMUM OF 75 LF. PROVIDE NEW METAL FLOOR DRAIN COVERS.
 - (CWS13) P--CONTRACTOR TO PROVIDE A DUPLEX VSP--2A--75--4 VERTICAL SUBMERGED SUMP PUMP UNIT AS MANUFACTURED BY FEDERAL PUMP CORP. OR APPROVED EQUAL. EACH PUMP SHALL BE RATED 50 G.P.M. AT 10' TOTAL DYNAMIC HEAD. SHALL HAVE A 2" DISCHARGE AND BE BUILT FOR A BASIN OF 4'-0" x 4'-0" DEEP (V.I.F.). MOTORS SHALL BE 75 H, 3 PHASE, 208-230/460 (V.I.F.) AND 1750 RPM. PROVIDE PEDESTAL MOUNTED AUXILIARY FLOAT SWITCH. TYPE FS-4. PROVIDE HIGH WATER ALARM. TYPE FS-5. PROVIDE MAGNETIC LINE VOLTAGE STARTER. TYPE D1200. PROVIDE METAL SQUARE DUPLEX BASIN COVER. PAINT. BOLT TO EXISTING STEEL BASIN COVER. PROVIDE CHECK VALVES (2) AND GATE VALVES IN DISCHARGE PIPING.
 - (CWS14) PROVIDE (3) #10 WIRE IN 3/4" RIGID GALVANIZED STEEL CONDUIT WITH THREADED COUPLINGS FROM MOTOR STARTER TO PUMP CONTROLS.
 - (CWS15) PROVIDE BOILER BLOW-DOWN THROUGH DRAINS AT EACH BOILER. SEE PLUMBING DRAWINGS.
 - (CWS16) SAW-CUT AND REMOVE PORTION OF EXISTING CONCRETE SLAB ON GRADE FOR INSTALLATION OF NEW TROUGH DRAIN PIPING. SEE DETAIL 3/A432.
 - (CWS17) CLEAN ALL DEBRIS FROM EXISTING HOUSE TRAP PIT. SAW-CUT AND REMOVE PORTION OF EXISTING SANITARY PIPING FOR INSTALLATION OF BACKWATER VALVE. PROVIDE ZURN Z1095 BACKWATER VALVE FLAPPER TYPE OR APPROVED EQUAL. INLET SIZE TO MATCH EXISTING PIPE SIZE V.I.F.

1 THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"



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PLANNERS**

S.E.D. CONTROL NUMBER:
PS 29
66-23-00-01-0-029-011
PEARLS HAWTHORNE SCHOOL
66-23-00-01-0-101-008

PROJECT NAME
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
SCHOOL 208 PEARLS HAWTHORNE SCHOOL
DRAWING TITLE
THIRD FLOOR PLAN

02-16-2022 BID
10-11-2019 DESIGN DEVELOPMENT
DATE ISSUED TO

SHEET SIZE
30"x42"
SCALE
AS NOTED
DRAWING NO.
**PHS
A103**

DRAWN BY
F & D
FILE NO.
19354.07

ROOF R-VALUE CALCULATIONS					
ROOF AREA	DECK TYPE	STARTING THICKNESS OF NEW INSULATION	MINIMUM R-VALUE OF NEW INSULATION	AVERAGE THICKNESS OF NEW INSULATION	AVERAGE R-VALUE OF NEW INSULATION
K	CONCRETE	5.5"	30	5.5"	32.2
N	METAL	1.5"	—	—	SEE NOTE 3
O	EXISTING EPDM ROOF TO REMAIN				
P	CONCRETE	1.5"	—	—	—
Q	SWF	5.5"	30	6.6"	38.6
R	SWF	5.5"	30	6.8"	39.8
S	SWF	5.5"	30	7.7"	45.3
T	SWF	5.5"	30	6.5"	38
U	CONCRETE	1.5"	—	—	—
V	CONCRETE	1.5"	—	—	—
W	SWF	5.5"	30	5.9"	34.4

- NOTES:**
1. INSTALL INSULATION WITH A MINIMUM R-VALUE OF 30 FOR CONTINUOUS INSULATION ENTIRELY ABOVE THE DECK, TO MEET THE NYS ENERGY CONSERVATION CONSTRUCTION CODE, INCLUDING THE INTERNATIONAL ENERGY CONSERVATION CODE AND THE NY STATE SUPPLEMENT, FOR A BUILDING IN CLIMATE ZONE 4.
 2. INSTALL TAPERED ISO-CYANURATE INSULATION THAT SLOPES 1/8 INCH PER FOOT; MINIMUM STARTING THICKNESS 5-1/2 INCHES UNLESS OTHERWISE NOTED. INSTALL THE ISO-CYANURATE INSULATION IN MULTIPLE LAYERS, WITH THE THICKEST LAYER BEING 4 INCHES. STAGGER ALL JOINTS BETWEEN LAYERS 12 INCHES.
 3. ON AREA "K" INSTALL 3" THICK FLAT ISO-CYANURATE INSULATION OVER 2-1/2" THICK FLAT ISO-CYANURATE INSULATION.
 4. ON THE SLOPED PORTIONS OF AREA "N" INSTALL 1-1/2" THICK FLAT ISO-CYANURATE INSULATION OVER 2-1/2" THICK FLAT ISO-CYANURATE NAILBOARD INSULATION.
 5. INSTALL ISO-CYANURATE INSULATION CRICKETS UNDER THE TAPERED INSULATION.
 6. INSTALL A COVER BOARD USING LOW RISE FOAM ADHESIVE OVER THE INSULATION AND CRICKETS.
 7. ROOF AREAS "N", "P", "U" AND "W" ARE EXTERIOR CANOPIES, R-VALUE CALCULATIONS ARE NOT NEEDED.
 8. INSTALL SLOPING CRICKETS ON THE UP-HILL SIDE OF ALL CURBS THAT ARE 30 INCHES AND WIDER.

ROOF PROTECTION NOTES:

1. AVOID WALKING ON NEW AND EXISTING N.I.C. ROOF AREAS.
2. DO NOT STORE MATERIAL OR EQUIPMENT, AND DO NOT PILE DEBRIS ON NEW ROOF AREAS.
3. INSTALL 1 INCH THICK EXTRUDED POLYSTYRENE INSULATION OVER 6 MIL FIRE RETARDANT POLYETHYLENE, COVERED WITH 2x10 WOOD PLANKS TO PROTECT ROOFING WHERE CONSTRUCTION WORK AND TRAFFIC WILL OCCUR.
4. NEATLY CUT AND POSITION ROOF PROTECTION COMPONENTS TO FIT WITHIN 1/2 INCH OF ROOF PENETRATIONS, EAVES AND CHANGE IN ELEVATION WALLS.
5. DO NOT COVER THE ROOF DRAINS. MAINTAIN THE ROOF DRAIN STRAINERS VISIBLE AND CLEAR AT ALL TIMES.

CODE COMPLIANCE REQUIREMENTS:

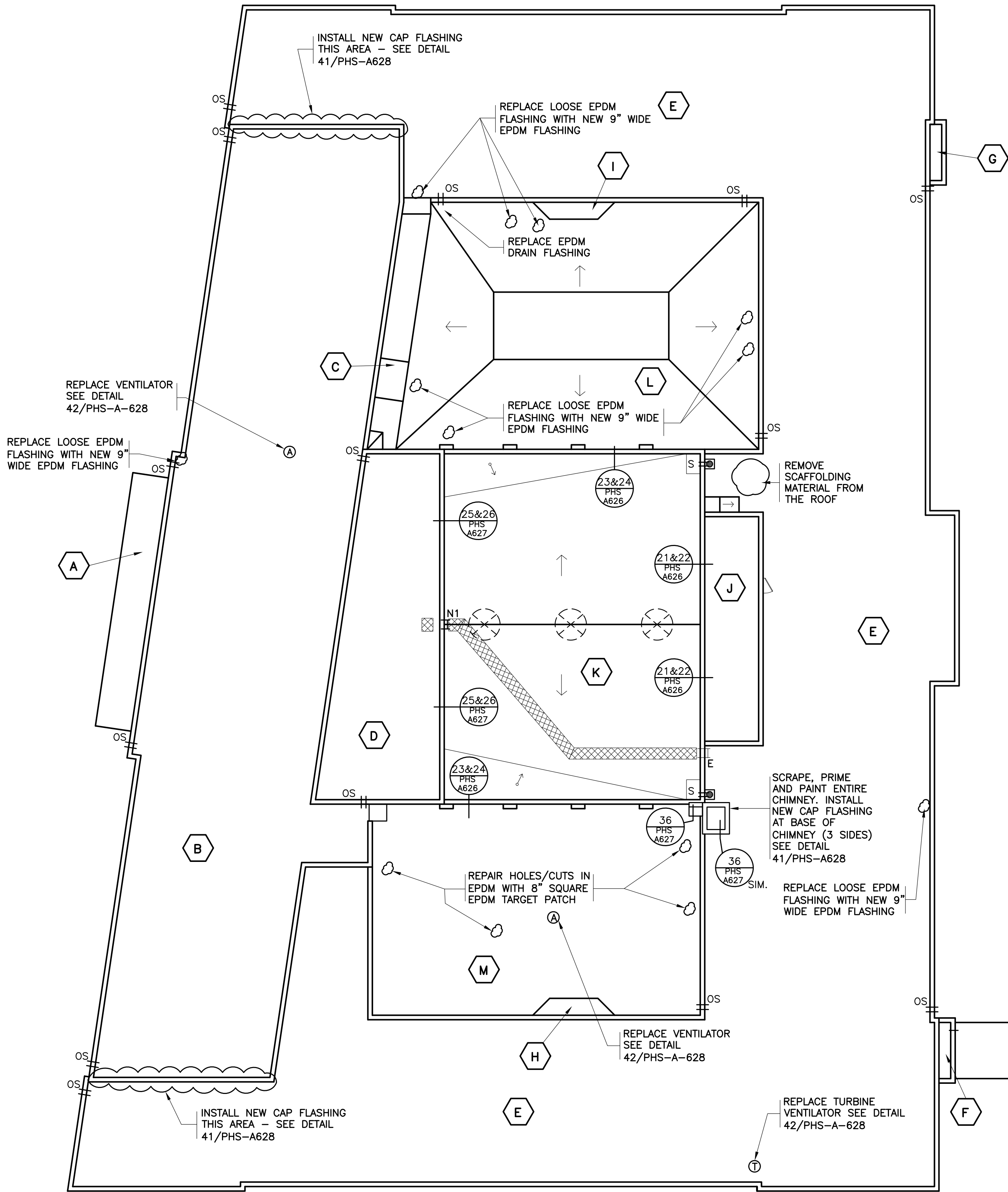
1. INSTALL ROOFING TO MEET THE FOLLOWING MINIMUM REQUIREMENTS:
A. NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE.
B. UNDERWRITERS LABORATORIES INC. CLASS A EXTERNAL FIRE RATING FOR ROOF COVERING MATERIALS.
C. UNDERWRITERS LABORATORIES INC. STANDARD 1256 FOR ROOF ASSEMBLIES WITH FOAM INSULATION.
2. INSTALL ROOFING TO COMPLY WITH THE WIND UPLIFT REQUIREMENTS OF THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE:
RISK CATEGORY III
BASIC WIND SPEED 120 MPH
EXPOSURE CATEGORY B
BUILDING HEIGHT 30 FT.
3. INSTALL ROOFING AS INDICATED TO RESIST THE FOLLOWING UPLIFT LOADS, CALCULATED IN ACCORDANCE WITH ASCE 7 USING A SAFETY FACTOR OF 2:
FIELD ZONE: 60 PSF
PERIMETER ZONE: 100 PSF
CORNER ZONE: 150 PSF
4. FABRICATE AND INSTALL ROOF PERIMETER FLASHINGS THAT COMPLY WITH THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND WITH ANSI/SPRI ES-1 "WIND STANDARD FOR EDGE SYSTEMS USED WITH LOW SLOPE ROOFING SYSTEMS".

LEGEND:

- LEGEND:**
- ROOF AREA DESIGNATION
 - ROOF DRAIN (SEE DETAIL 27/PHS-A627)
 - VENT PIPE (SEE DETAIL 28/PHS-A627)
 - EXHAUST FAN (SEE DETAIL 29/PHS-A627)
 - ROOF HATCH (SEE DETAIL 30/PHS-A627)
 - SEALANT POCKET (SEE DETAIL 31/PHS-A627)
 - WALL LOUVER (SEE DETAIL 32/PHS-A627)
 - SCUPPER (SEE DETAIL 33/PHS-A627)
 - ABANDONED SKYLIGHT OR CAPPED CURB (SEE DETAIL 34/PHS-A627)
 - NEW ROOF LADDER (SEE DETAIL 35/PHS-A627)
 - NEW ROOF LADDER (SEE DETAIL 36/PHS-A627)
 - LOUVERED PENTHOUSE (SEE DETAIL 39/PHS-A628)
 - NEW OVERFLOW SCUPPER ON EXISTING ROOFS (SEE DETAIL 40/PHS-A628)
 - EXISTING ROOF LADDER (SEE NOTE 6)
 - NEW UNDERGROUND DRAIN LINE (SEE NOTE 7)
 - EXISTING CATCH BASIN
 - SITE LIGHT (SEE DETAIL NOTE 8)
 - DECK SLOPE
 - TAPERED ISO-CYANURATE INSULATION, MINIMUM 5-1/2" THICK, SLOPE 1/8" PER FT
 - CRICKET- SLOPE 1/4" PER FT
 - INSULATION HIGH POINT
 - WALKWAY PADS

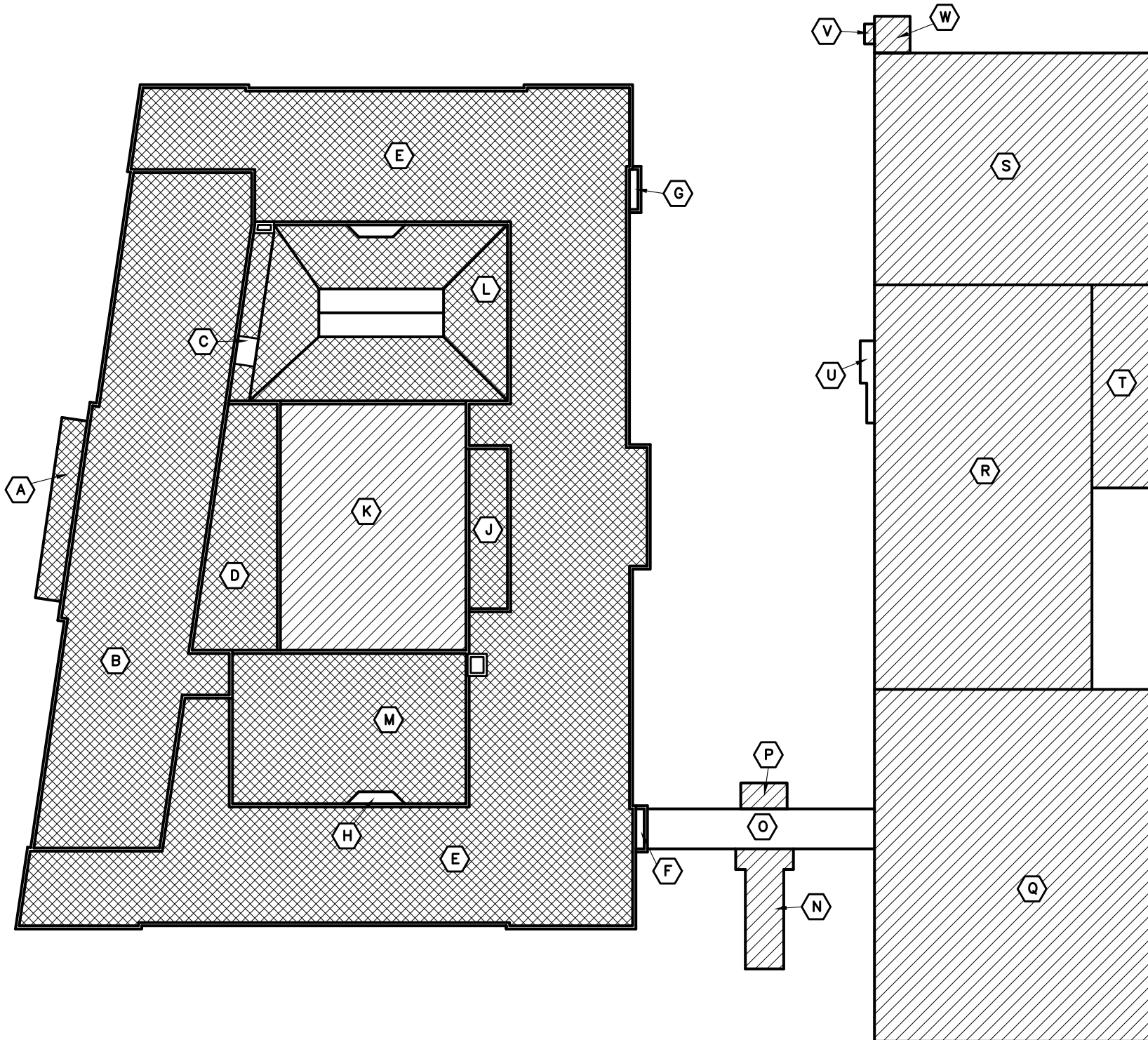
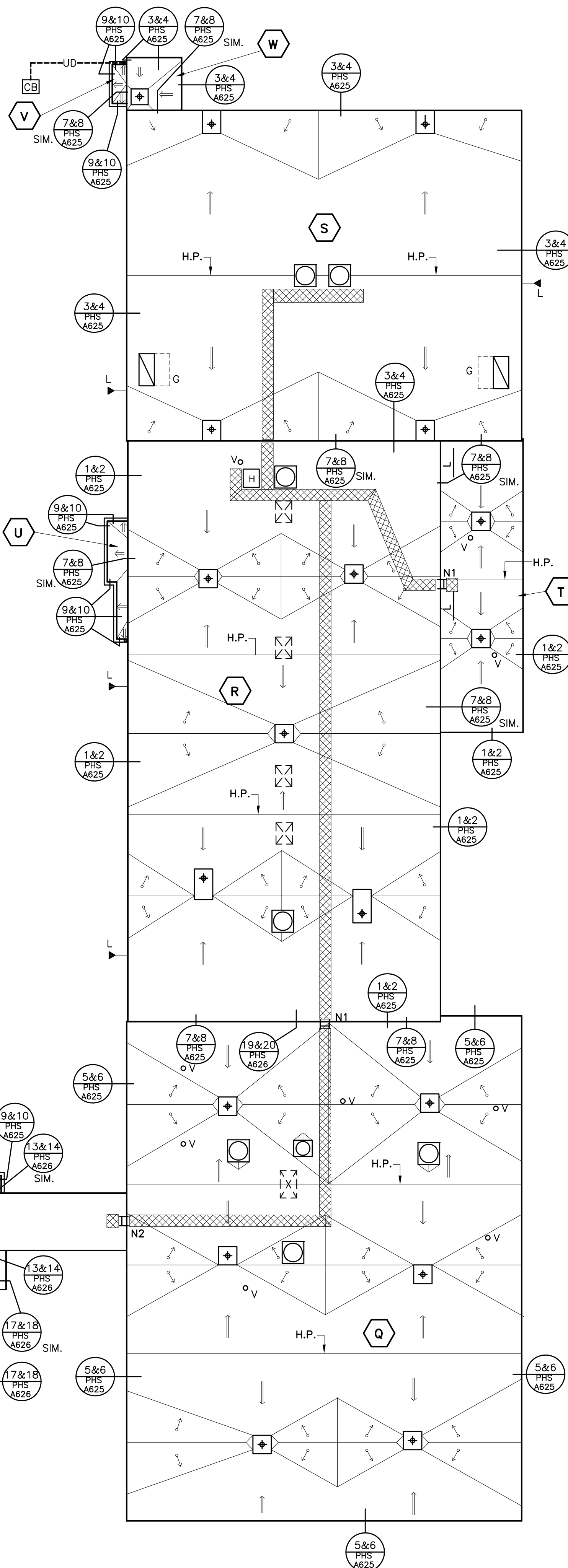
NOTES:

1. DIMENSIONS AND CONDITIONS ON THE ROOF PLAN AND DETAILS ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR. ONLY CERTAIN FASTENERS ARE SHOWN ON THE DRAWINGS. REFER TO THE SPECIFICATIONS FOR ADDITIONAL FASTENER REQUIREMENTS.
2. TEST THE DRAIN LINES WITH A RUNNING HOSE FOR AT LEAST ONE HOUR PRIOR TO STARTING ANY OTHER WORK. PROVIDE A WRITTEN REPORT OF ANY CLOGGED LINES TO THE ARCHITECT & OWNER. CLOGGED DRAIN LINES WILL BE CLEANED BY THE OWNER.
A. COVER & PROTECT ALL DRAIN OPENINGS AT THE BEGINNING OF EACH WORK DAY. REMOVE THE COVERS AT THE END OF EACH DAY AND BEFORE PRECIPITATION OCCURS.
B. PERFORM WHATEVER WORK IS REQUIRED SO THE DRAIN LINES ARE CLEAN, CLEAR AND IN FREE FLOWING CONDITION AT THE COMPLETION OF THE PROJECT.
3. REFASTEN LOOSE SECTIONS OF STRUCTURAL WOOD FIBER DECKS AS BASE BID WORK. REPAIR THE TOP SURFACE OF STRUCTURAL WOOD FIBER AND CONCRETE DECKS AS BASE BID WORK. REPLACE DAMAGED OR DETERIORATED SECTIONS OF DECK IN ACCORDANCE WITH THE UNIT PRICES.
4. REPAIR EXHAUST FAN AND VENTILATOR HOUSINGS SO THEY ARE WATERTIGHT.
5. WIRE BRUSH, PRIME & PAINT ROOF TOP EQUIPMENT HOUSINGS, AND THE VENT PIPES. DO NOT PAINT OVER THE NAME PLATES AND LABELS.
6. REMOVE MODIFY AND REMOUNT EXISTING LADDER. REMOVE PORTION OF EIFS TO INSTALL NEW SOLID WOOD BLOCKING TO FASTEN LADDER. COVER WOOD BLOCKING WITH EIFS. SCRAPE, PRIME AND PAINT LADDER.
7. INSTALL NEW 4" DIAMETER SCHEDULE 80 PVC UNDERGROUND DRAIN LINE TO CONNECTED THE NEW LEADERS TO THE EXISTING CATCH BASIN AND STORM DRAIN PIPE. REMOVE AND RESTORE CONCRETE SIDEWALKS, ASPHALT PAVEMENT AND GRASS AREAS TO INSTALL THE NEW DRAIN LINES. SET THE PIPE ON A 4" BED OF PEA GRAVEL AND SURROUND THE PIPE WITH 4" OF PEA GRAVEL.
8. REMOVE, MODIFY AND REMOUNT EXISTING SITE LIGHTS ONTO THE FACADE JUST BELOW THE NEW ALUMINUM FASCIA.
9. PERFORM ISOLATED WORK ON THE EXISTING EPDM ROOFS TO REHABILITATE THE EXISTING ROOFS AND CORRECT LEAKS. INCLUDE 250 LINEAL FEET OF 9" WIDE EPDM FLASHINGS IN THE BASE BID IN ADDITION TO WHAT IS SHOWN ON THE ROOF PLAN. ALL WORK SHALL BE PERFORMED BY AN AUTHORIZED VERSICO ROOFING SYSTEM APPLICATION TO MAINTAIN THE EXISTING WARRANTY.



ROOF PLAN

0' 4' 8' 16'



KEY PLAN

NTS



LEGEND:

- AREAS BEING REPLACED
- EXISTING ROOFING TO BE REHABILITATED
- EXISTING ROOFING TO REMAIN

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FULLER & D'ANGELO
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ARCHITECTS
PLANNERS

S.E.D. CONTROL NUMBER:
66-23-00-01-0-101-008

YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
SCHOOL 2018 PEARLS HAWTHORNE SCHOOL

ROOF PLAN

02-16-2022
DATE
30"x42"
SHEET SIZE
AS NOTED
SCALE
DRAWN BY
F & D
ISSUED TO
BID
DRAWING NO.
PHS
A110
FILE NO.
19354.07

PLOT DATE: February 12, 2022 -- 11:26am

FILE: I:\19354.07 Yonkers Group B Phase 2 Roofs PS 29 and Pearls\DRAWINGS\CURRENT\1-F&D\19354.03-A300-302.dwg



1 EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"



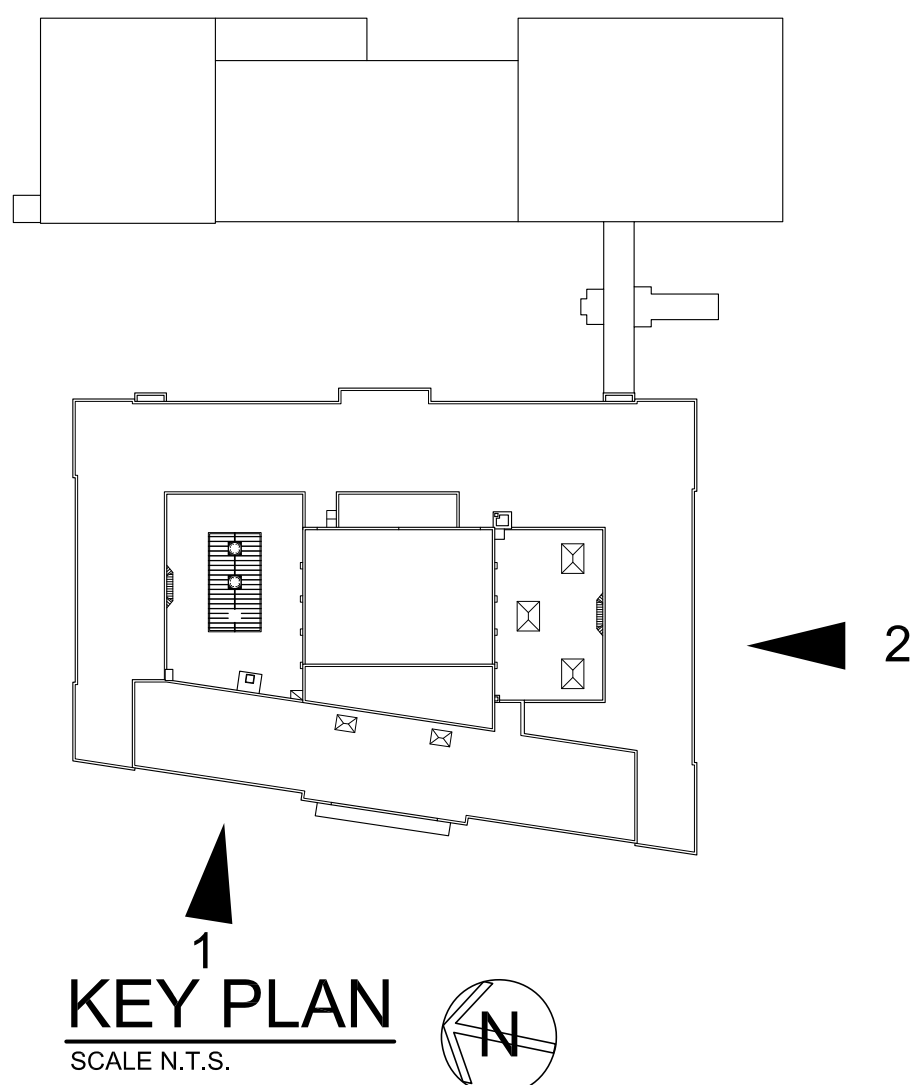
2 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

WORK SCOPE NOTES

- WS1 SAW-CUT AND REMOVE EXISTING TERRA-COTTA & CAST STONE MORTAR JOINTS. CLEAN STONE AS PER THE SPECIFICATIONS. PROVIDE SEALANT & CLOSED-CELL BACKER ROD. SEE DETAIL 4/A430.
- WS2 SAW-CUT, REMOVE AND RESET EXISTING DISPLACED CAST STONE SILLS. PROVIDE SEALANT & CLOSED-CELL BACKER ROD AND VERTICAL AND HORIZONTAL JOINTS. SEE DETAIL 4/A430.
- WS3 REPOINT EXISTING MASONRY JOINTS. SEE DETAIL 6/A430. (REPLACE CRACKED OR LOOSE BRICK AS REQUIRED.)
- WS4 EXISTING CRACKED BRICK TO BE REPLACED. SEE DETAIL 1/A430 FOR RESTORATION METHOD.
- WS5 SAW-CUT AND REMOVE 1 WYTHE OF BRICK. RESTORE BRICK COURSES. WORK IN A MANNER WHICH PROVIDES CONTINUOUS SUPPORT OF MASONRY ABOVE. SEE DETAIL 2/A430.
- WS6 PATCH EXISTING TERRA-COTTA WITH REPAIR MORTAR. SEE SPECIFICATIONS AND DETAIL 8,9/A430.
- WS7 CLEAN DIRT, MOLD, MILDEW, RUST STAINS, ETC. FROM ALL EXISTING TERRA-COTTA & CAST STONE SURFACES.
- WS8 REMOVE EXISTING SEALANT FROM ENTIRE PERIMETER OF WINDOW OPENING. CLEAN RESIDUE FROM EXISTING ADJACENT SURFACES. PROVIDE NEW SEALANT AT ENTIRE PERIMETER OF WINDOW OPENING.
- WS9 SCRAPE, WIRE BRUSH, PRIME AND PAINT EXPOSED PORTION OF EXISTING STEEL ANGLE. COLOR TO MATCH WINDOW COLOR.
- WS10 REMOVE EXISTING DETERIORATED LINTEL AND BRICK ABOVE. INSTALL NEW GALVANIZED STEEL LINTEL ANGLE WITH MIN. 6" BEARING EACH SIDE. PROVIDE SELF ADHERED MEMBRANE FLASHING, WEEP HOLES, REINSTALL EXISTING BRICK / STONE. SEE DETAIL 14,15,16,18/A431.
- WS11 REMOVE DEBRIS FROM AREAWAY WELLS. CLEAN OUT DRAIN AND UNOCLOG AS REQUIRED. POWER JET CLEAN EXISTING AREAWAY DRAINS FOR A MINIMUM DISTANCE OF 75 LF.
- WS12 PATCH EXISTING STONE WITH REPAIR MORTAR. SEE SPECIFICATIONS AND DETAIL A430.
- WS13 REMOVE EXISTING METAL SILL AND REPLACE WITH NEW EXTRUDED .125" ALUMINUM SILL. COLOR AND PROFILE TO MATCH EXISTING.
- WS14 PROTECT ALL NON-MASONRY ITEMS ON FACADE. CLEAN ALL SURFACES. PROVIDE WATER REPELLENT COATING ON ALL BRICK AND CAST STONE SURFACES.
- WS15 CLEAN AND PREPARE EXISTING OR NEW MASONRY SURFACES AND APPLY CLEAR PENETRATING WATER REPELLENT IN ACCORDANCE WITH SPECIFICATION SECTION 071900.
- WS16 PREPARE EXISTING SURFACE AND APPLY MASONRY COATING IN ACCORDANCE WITH SPECIFICATION SECTION 099723.
- WS17 REMOVE EXISTING DETERIORATED BLUE STONE CAP AND REPLACE WITH BLUE STONE CAP THICKNESS AND SIZE TO MATCH EXISTING.

LEGEND:

- EXISTING CRACK BRICK. SEE WORKSCOPE NOTE WS-4.
- EXISTING CRACK MORTAR JOINT & BRICK. SEE WORKSCOPE NOTES WS-4.
- BRICK RESTORATION. SEE WORKSCOPE NOTE WS-3.
- EXISTING TERRA-COTTA. SEE WORKSCOPE NOTE WS-6.
- EXISTING TERRA-COTTA. SEE WORKSCOPE NOTE WS-.



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S.E.D. CONTROL NUMBER:
PS 29
66-23-00-01-0-029-011

PEARLS HAWTHORNE SCHOOL
66-23-00-01-0-101-008

PROJECT NAME
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
SCHOOL 208 PEARLS HAWTHORNE SCHOOL
DRAWING TITLE
EXTERIOR ELEVATIONS

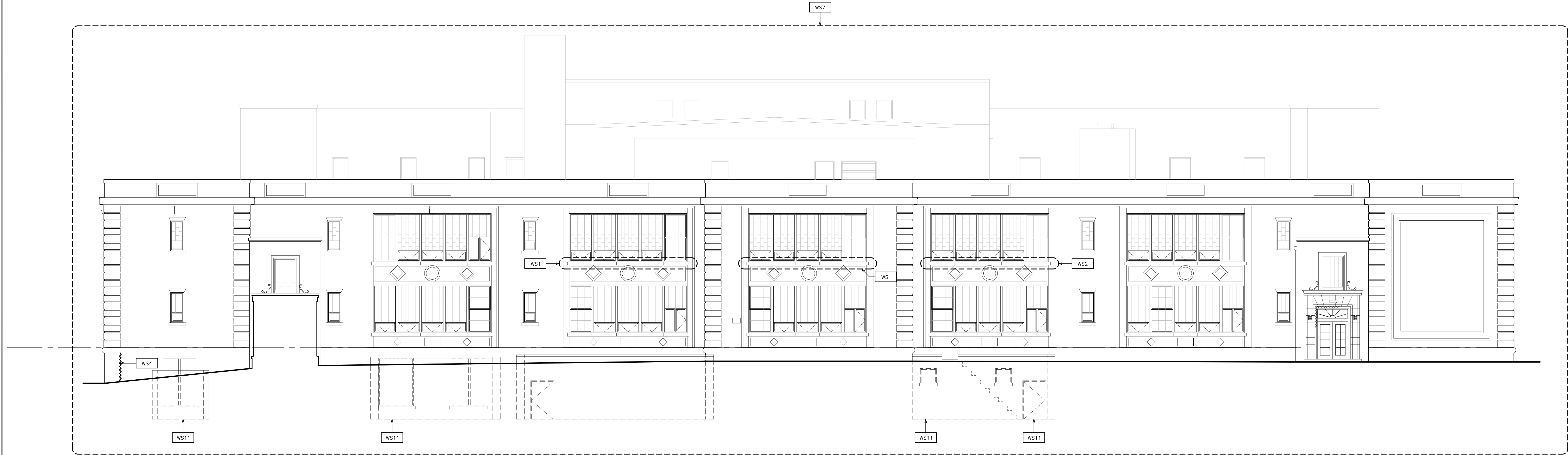
02-16-2022 BID
10-11-2019 DESIGN DEVELOPMENT
DATE ISSUED TO

SHEET SIZE 30"x42"
SCALE AS NOTED
DRAWN BY F & D

DRAWING NO. PHS A300
FILE NO. 19354.07

PLOT DATE: February 12, 2022 -- 11:26am

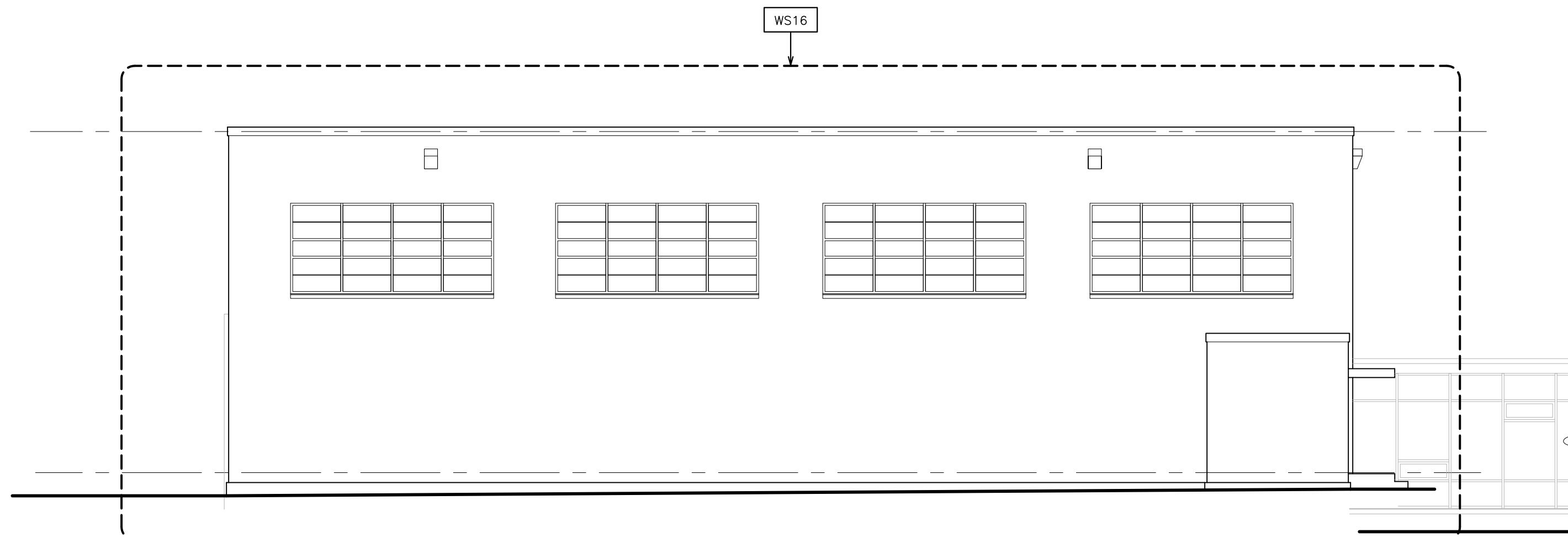
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3 EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"

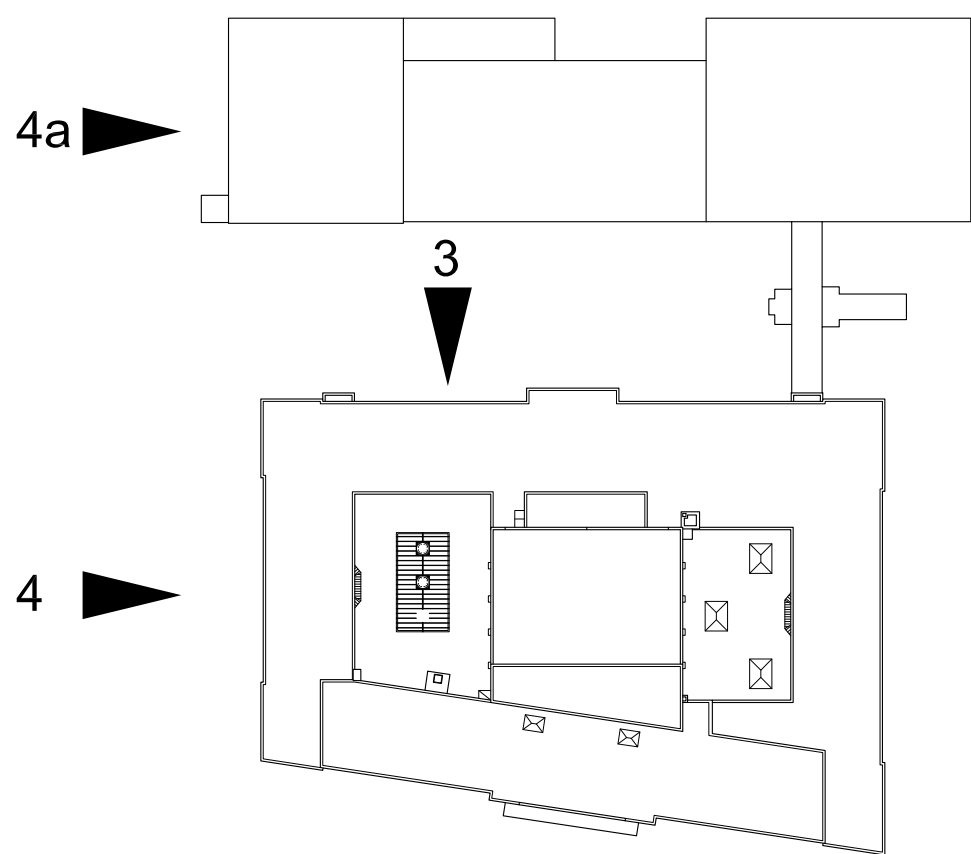


4 EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



4a EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

- WORK SCOPE NOTES**
- WS1 SAW-CUT AND REMOVE EXISTING TERRA-COTTA & CAST STONE MORTAR JOINTS. CLEAN STONE AS PER THE SPECIFICATIONS. PROVIDE SEALANT & CLOSED-CELL BACKER ROD. SEE DETAIL 4/A430.
 - WS2 SAW-CUT, REMOVE AND RESET EXISTING DISPLACED CAST STONE SILLS. PROVIDE SEALANT & CLOSED-CELL BACKER ROD AND VERTICAL AND HORIZONTAL JOINTS. SEE DETAIL 4/A430.
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 - WS4 EXISTING CRACKED BRICK TO BE REPLACED. SEE DETAIL 1/A430 FOR RESTORATION METHOD.
 - WS5 SAW-CUT AND REMOVE 1 WYTHE OF BRICK. RESTORE BRICK COURSES. WORK IN A MANNER WHICH PROVIDES CONTINUOUS SUPPORT OF MASONRY ABOVE. SEE DETAIL 2/A430.
 - WS6 PATCH EXISTING TERRA-COTTA WITH REPAIR MORTAR. SEE SPECIFICATIONS AND DETAIL 8,9/A430.
 - WS7 CLEAN DIRT, MOLD, MILDEW, RUST STAINS, ETC. FROM ALL EXISTING TERRA-COTTA & CAST STONE SURFACES.
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KEY PLAN
SCALE N.T.S.

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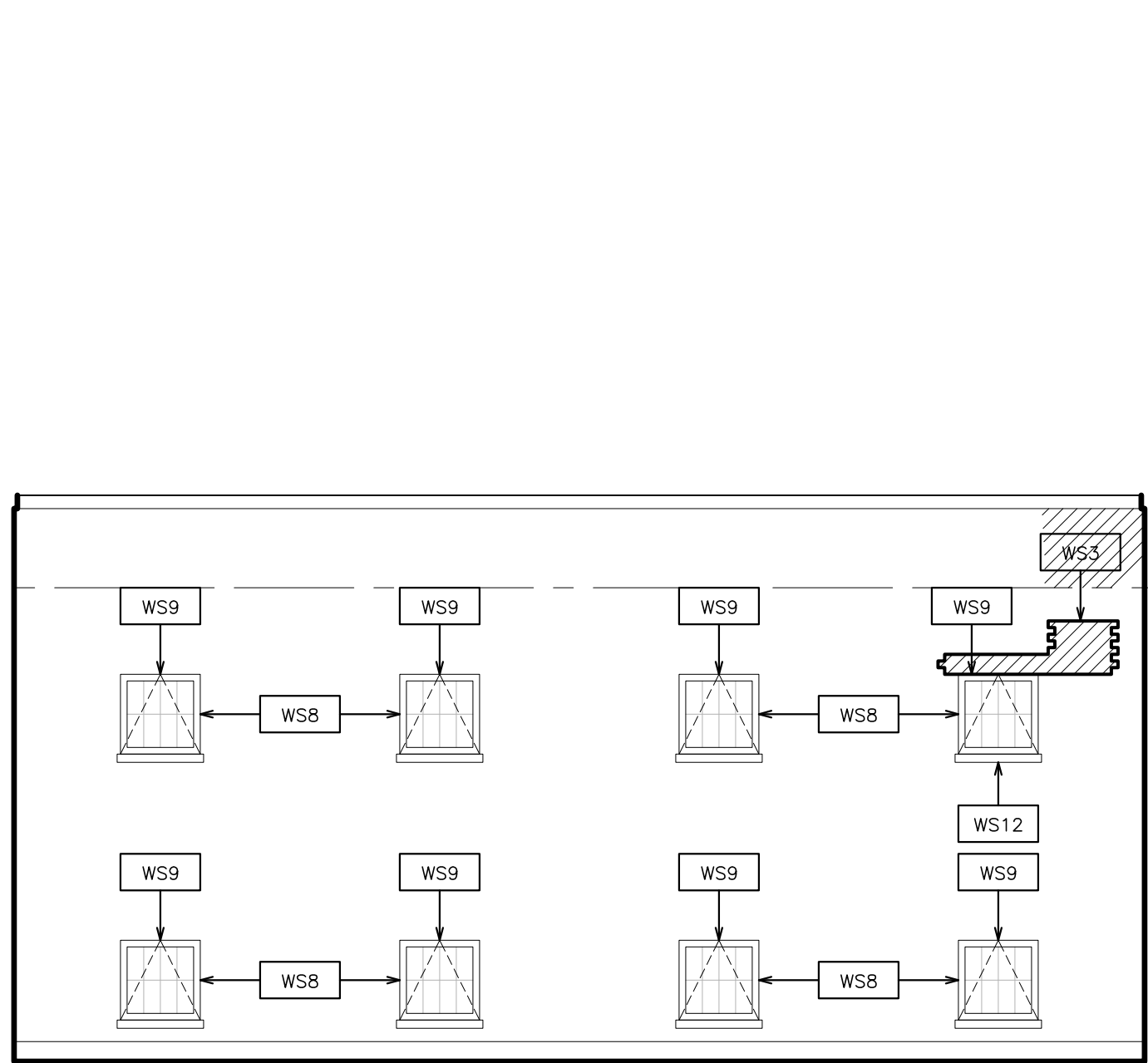
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S.I.D. CONTROL NUMBER:
PS 29
66-23-00-01-0-029-011
PEARLS HAWTHORNE SCHOOL
66-23-00-01-0-101-008

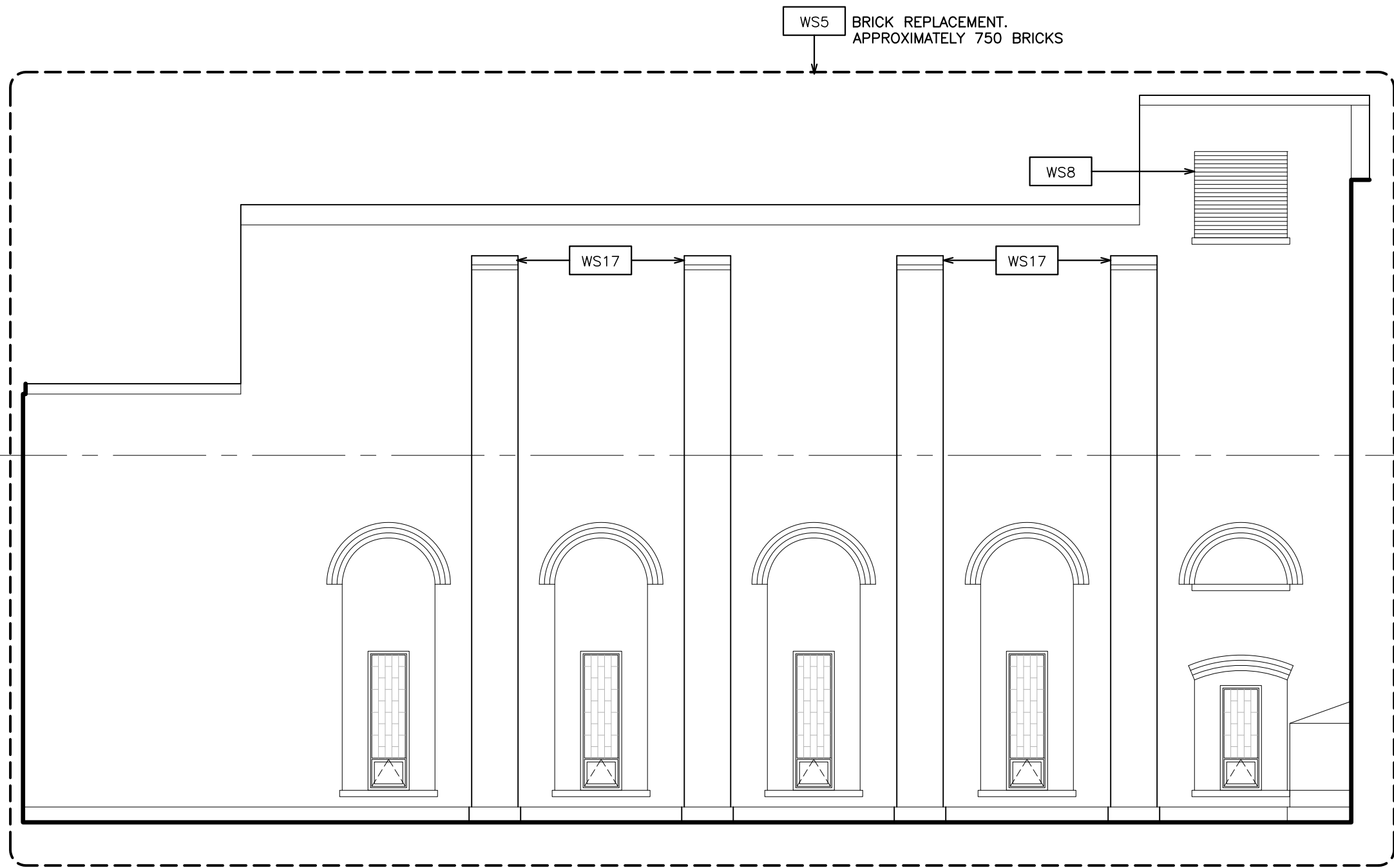
PROJECT NAME
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
PEARLS HAWTHORNE SCHOOL
SCHOOL 2018 PEARLS HAWTHORNE SCHOOL
DRAWING TITLE
EXTERIOR ELEVATIONS

02-16-2022 BID
10-11-2019 DESIGN DEVELOPMENT
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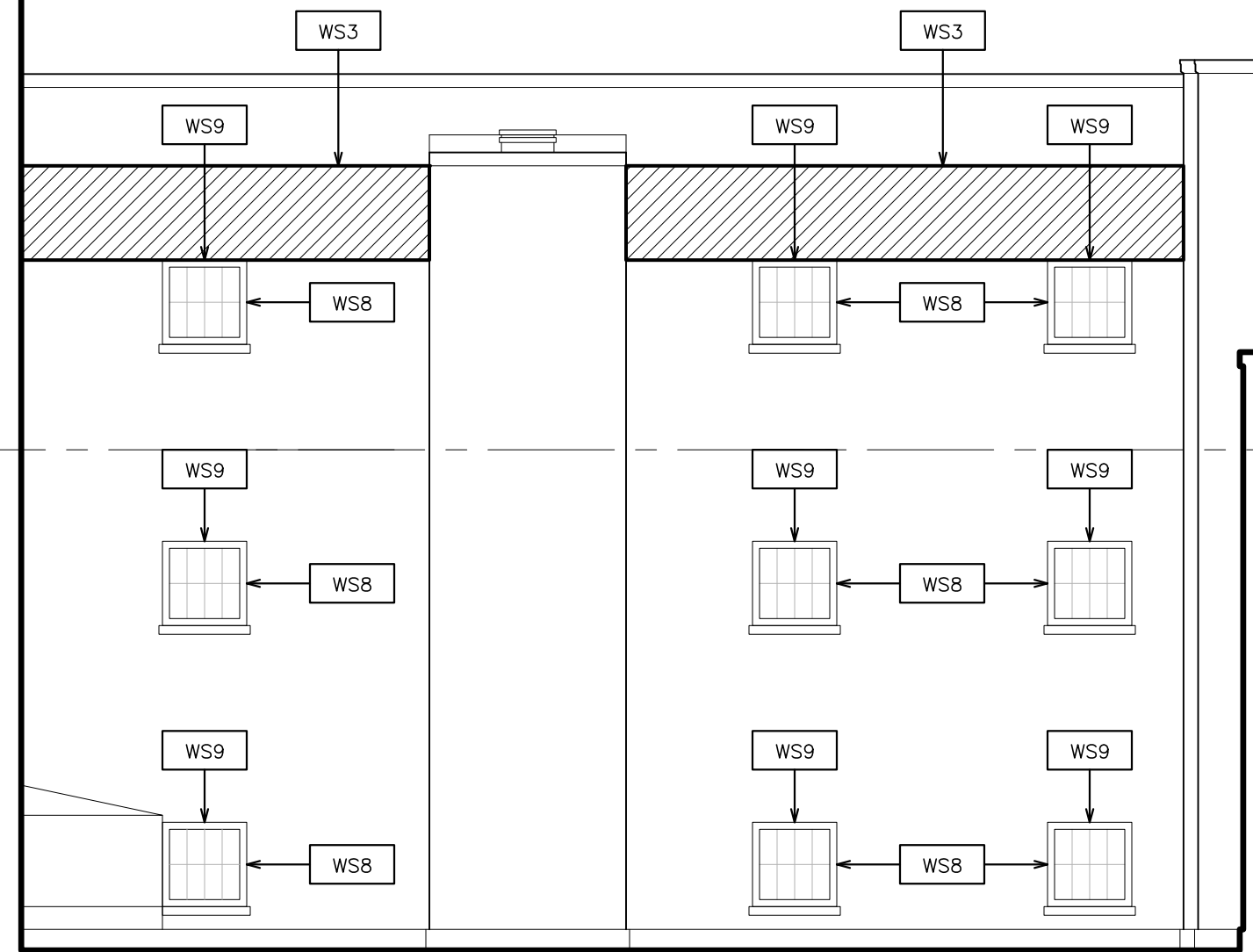
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30"x42"
SCALE
AS NOTED
DRAWN BY
F & D
DRAWING NO.
PHS
A301
FILE NO.
19354.07



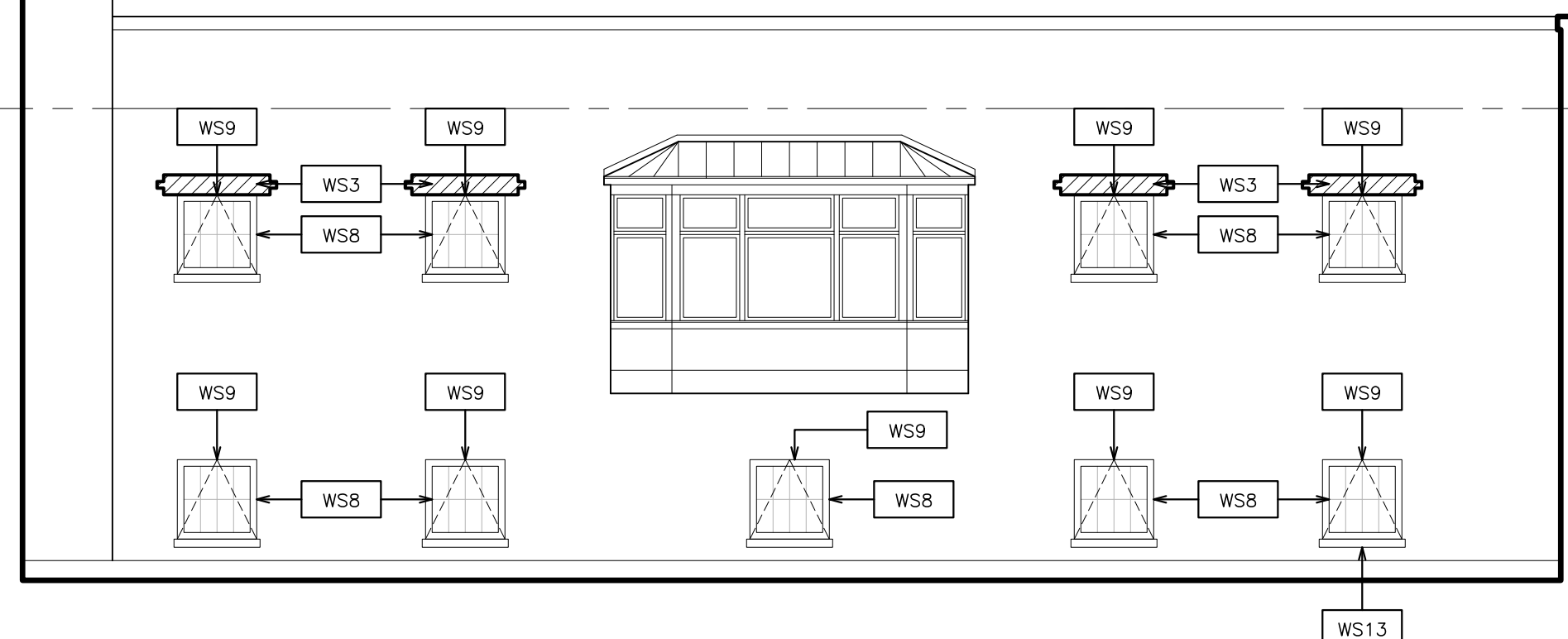
6 EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"



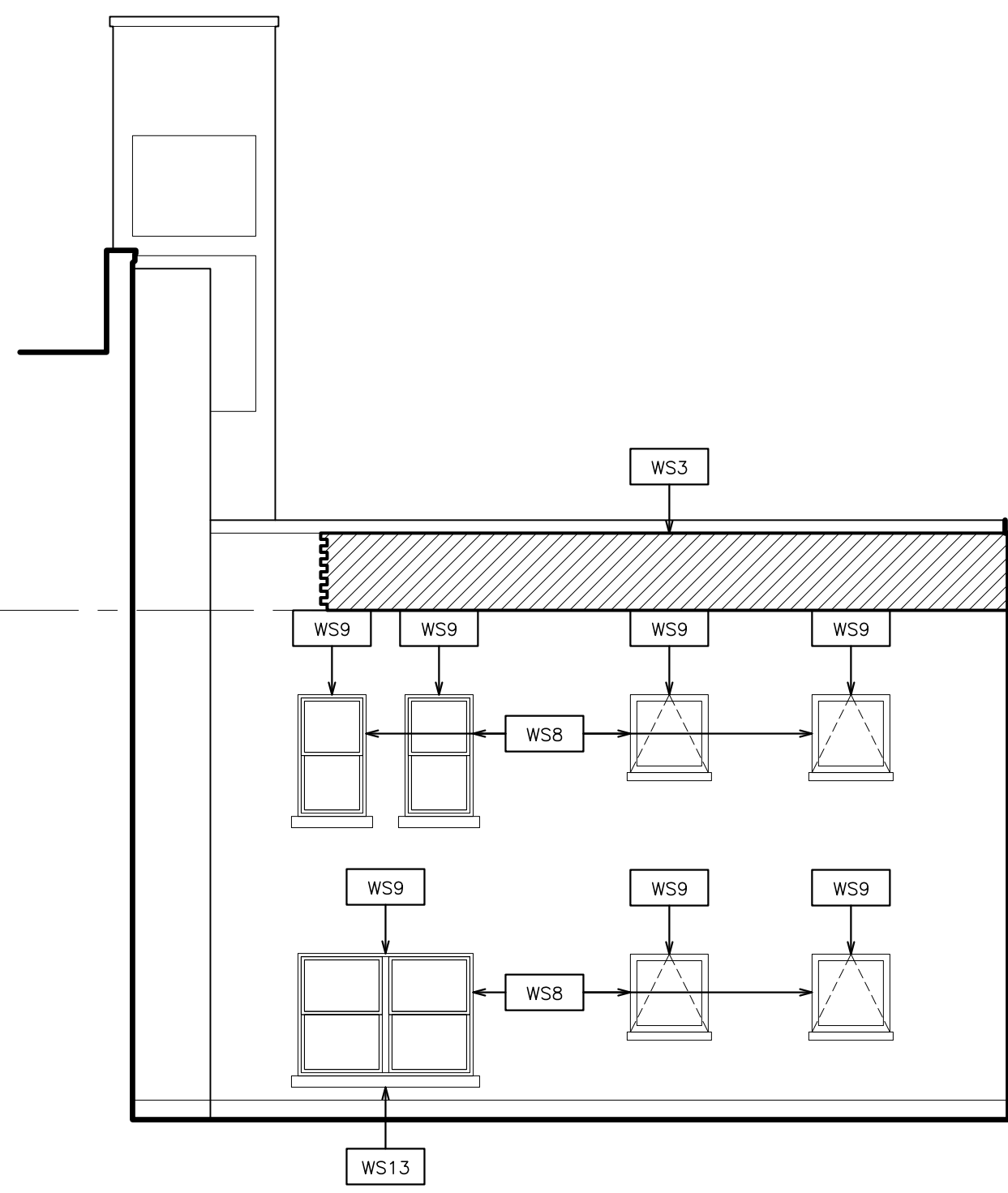
7 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



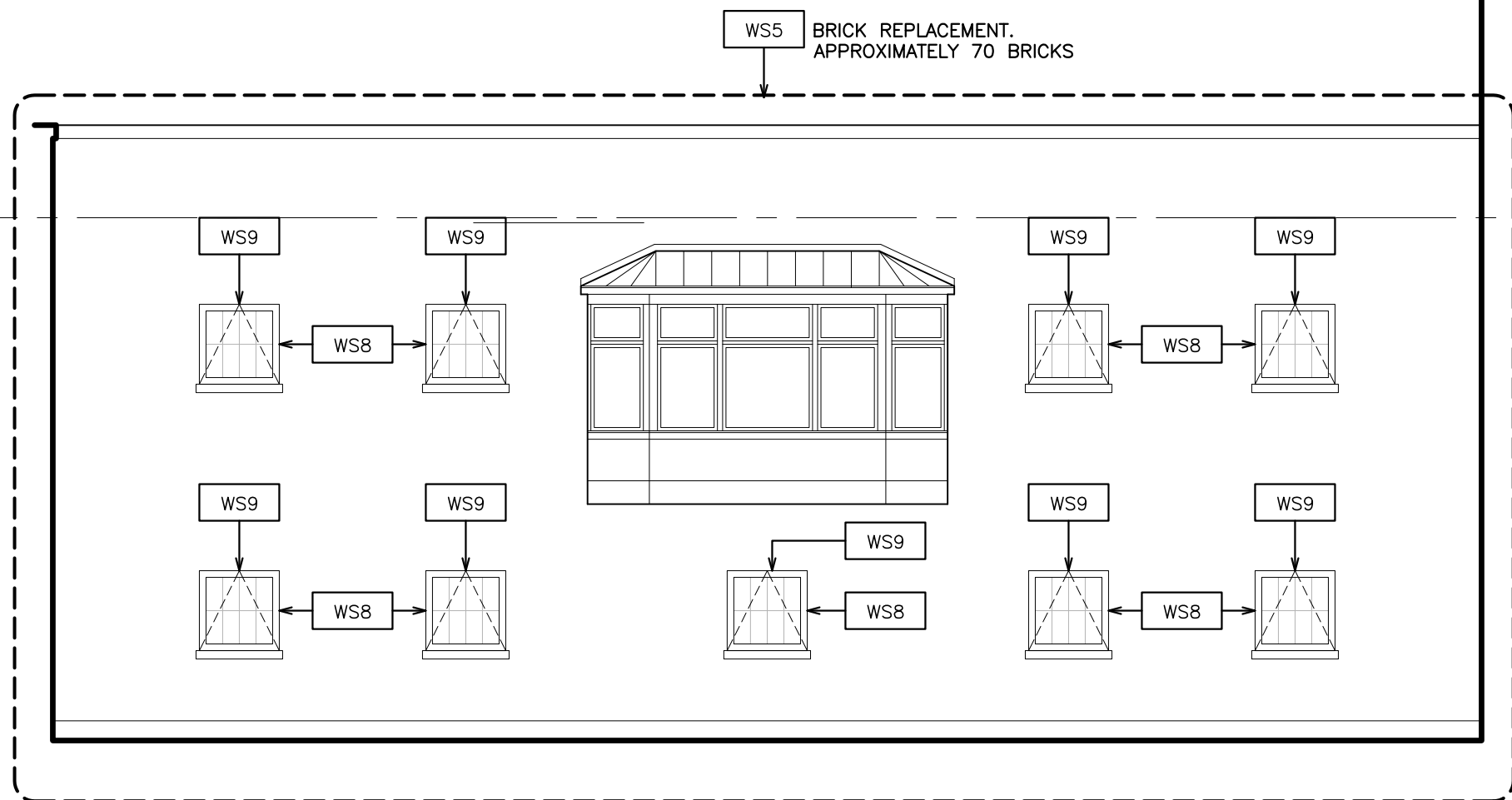
8 EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"



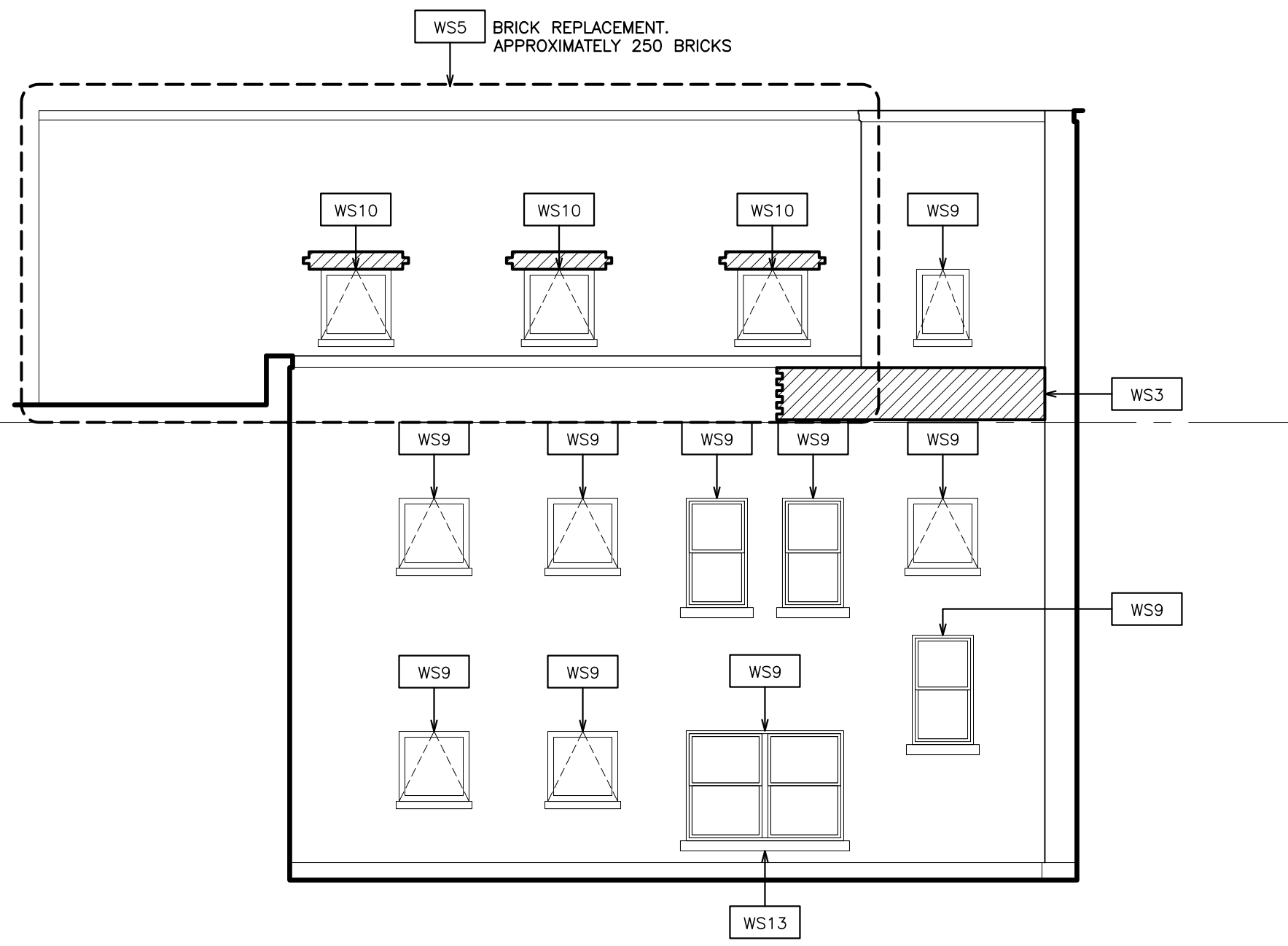
9 EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



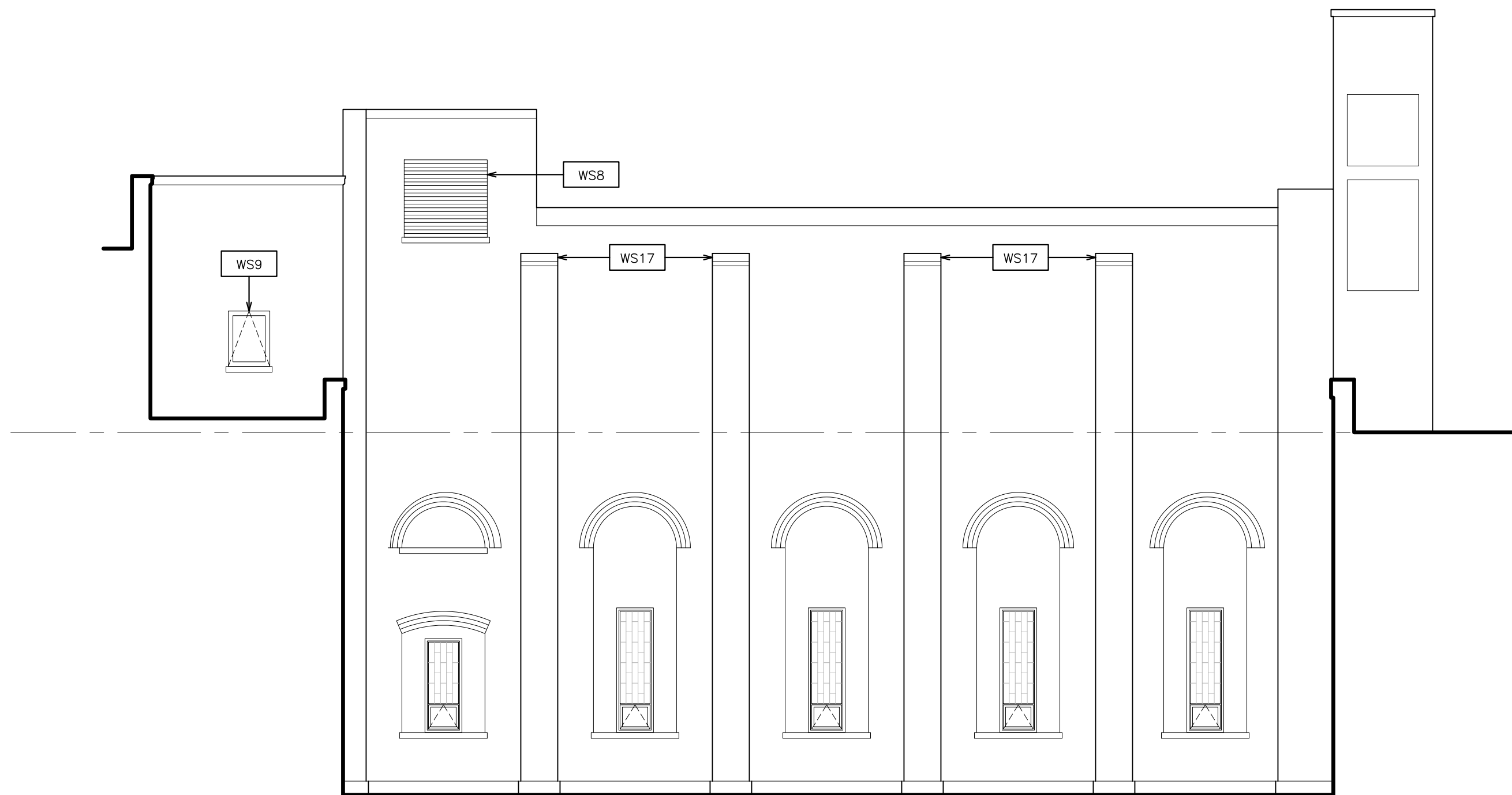
10 EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"



11 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

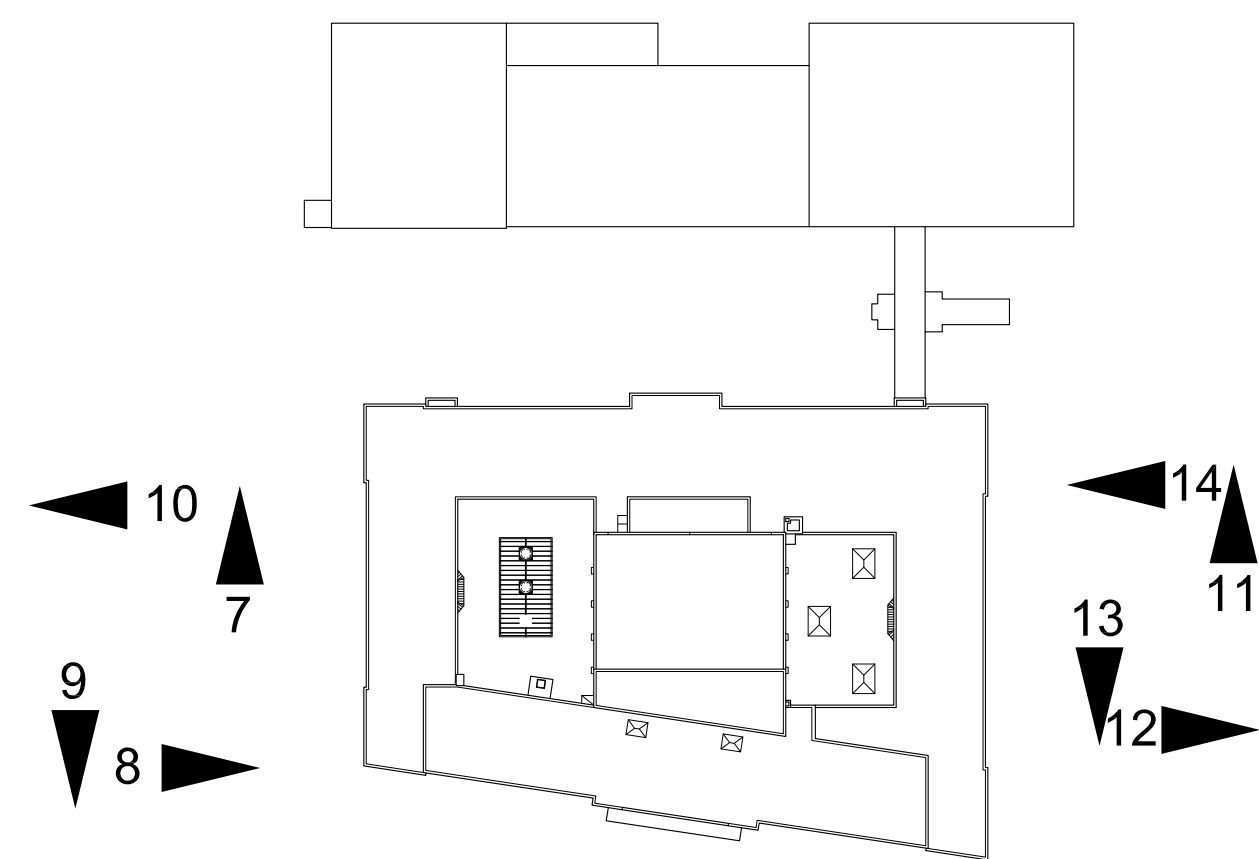


12 EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"



13 EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

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 - WS13 REMOVE EXISTING METAL SILL AND REPLACE WITH NEW EXTRUDED .125" ALUMINUM SILL. COLOR AND PROFILE TO MATCH EXISTING.
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S.E.D. CONTROL NUMBER:
PS 29
66-23-00-01-0-029-011
PEARLS HAWTHORNE SCHOOL
66-23-00-01-0-101-008

PROJECT NAME
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
SCHOOL 208 PEARLS HAWTHORNE SCHOOL
DRAWING TITLE
EXTERIOR ELEVATIONS

02-16-2022	BID
10-11-2019	DESIGN DEVELOPMENT
DATE	ISSUED TO
SHEET SIZE 30"x42"	DRAWING NO. PHS A302
SCALE AS NOTED	FILE NO. 19354.07
DRAWN BY F & D	

PLOT DATE: February 12, 2022 -- 11:27am

FILE: I:\19354.07 Yonkers Group B Phase 2 Roofs PS 29 and Pearls\DRAWINGS\CURRENT\1-F&D\19354.03-A-430-431.dwg

LINE OF CRACK

1. AT HORIZONTAL CRACK, THE REPLACEMENT OF BRICKS SHALL BE PERFORMED IN SECTIONS OF 3'-0" MAX. EACH. WORK IN A MANNER WHICH PROVIDE CONTINUOUS SUPPORT OF MASONRY ABOVE.

2. IF LINTEL FLASHING IS DISCOVERED @ HORIZONTAL CRACK, REMOVE EXISTING AND INSTALL NEW FABRIC FLASHING AND WEEP HOLES @ 24" O.C.

HORIZONTAL CRACK

LINE OF CRACK

REPOINT (FULL DEPTH OF BRICK) AND INSTALL S.S. MESH JOINT REINFORCEMENT.

VERTICAL CRACK

LINE OF CRACK

4" MIN.

EXISTING BRICK (TYP.)

REPOINT AND EXTEND S.S. MESH 8" INTO EXISTING ADJOINING MASONRY (TYP.)

JOINT CRACK

LINE OF CRACK

REPOINT AND EXTEND S.S. MESH 8" INTO EXISTING ADJOINING MASONRY (TYP.)

FOR BRICK REINFORCEMENT, SEE DETAIL 8/A430 (TYP.)

ZIG-ZAG CRACK

NOTES:

- LINE OF CRACK SHOWN DIAGRAMATICALLY TO ESTABLISH RELATIONSHIP BETWEEN CRACK PATTERN AND REQUIRED RECONSTRUCTION OF SURROUNDING BRICK.
- REPLACE HATCHED BRICKS WITH NEW BRICKS PER REPLACEMENT DETAIL.
- DO NOT REPLACE HEADER BRICKS IF NOT CRACKED.
- PATCH ALL CRACKS IN BRICK BEHIND FACE BRICK W/ MORTAR.

DETAIL- BRICK STITCHING PATTERNS

SCALE: 1 1/2" = 1'-0"

S.S. RESTORATION TIES SPACED 16" O.C. VERTICALLY. PATCH ENTRY HOLES FINISH TO MATCH EXISTING BRICK.

EXIST. BACK-UP MASONRY

EXIST. FACE BRICK

4"

SEE PLAN/ELEVATION FOR DIMENSION

SAW CUT & PROVIDE 3/8" WIDE CONTROL JOINT BETWEEN NEW AND EXIST. FACE BRICKS. SEE BLOW-UP DETAIL.

REPLACE HATCHED BRICKS WITH NEW BRICKS AS PER FACE BRICK REPLACEMENT DETAIL.

S.S. RESTORATION TIES SPACED 16" O.C. VERTICALLY. PATCH ENTRY HOLES FINISH TO MATCH EXISTING BRICKS. SEE DETAIL 1&2/A431

NEW FACE BRICKS

COMPRESSIBLE FILLER (NEOPRENE)

3/8"

7 A430

DETAIL- CORNER FACE BRICK REPLACEMENT WITH CORNER JOINT (FOR FULL HT. OF BLDG.)

SCALE: N.T.S.

S.S. MESH REINFORCEMENT TO EXTEND 8" INTO EXISTING MASONRY (TYP.)

EXISTING BRICKS TO REMAIN

FOR DIMENSION SEE ELEVATION

2 A430

REPLACE HATCHED BRICKS WITH NEW BRICKS AS PER DETAIL 7/A430.

DETAIL- CORNER FACE BRICK REPLACEMENT (PARTIAL REPLACEMENT)

SCALE: N.T.S.

SEALANT DEPTH (AT MIDPOINT)

JOINT WIDTH

SEALANT: PROVIDE CONCAVE JOINT. TOOL SEALANT TO ELIMINATE AIR POCKETS AND TO PROVIDE CONTACT OF SEALANT TO SIDES OF JOINT.

BACKER ROD

MASONRY SUBSTRATE

JOINT WIDTH	1/4"	3/8"	1/2"	5/8"	3/4"	7/8"	1"	1 1/2"	1 3/4"
SEALANT DEPTH	1/4"	1/4"	1/4"	1"-8"	8"-1"	8"-1"	8"-1"	1/2"	1/2"
BACKER ROD DIAMETER	3/8"	1/2"	5/8"	3/4"	1"	1 1/2"	1 1/2"	1 3/4"	2"

SEALANT JOINTS

SCALE: N.T.S.

MAXIMUM CLEAR MASONRY OPENING	WALL TYPE					
	6" & 12" CMU	MIN. BEARING LENGTH ON MASONRY	4" & 8" CMU	MIN. BEARING LENGTH ON MASONRY	10" CMU	MIN. BEARING LENGTH ON MASONRY
4'-0" OR LESS	2-L5X5X5/16	6"	2-L4X3X5/16 (3@0.S.L.)	6"	2-L4X4X5/16	6"
4'-0" ~ 6'-0"	2-L5X5X5/16	6"	2-L5X3X5/16 (3@0.S.L.)	6"	2-L6X4X5/16 (4@0.S.L.)	6"
6'-0" ~ 8'-0"	2-L6X6X5/16	6"	2-L5X3X5/16 (3@0.S.L.)	6"	2-L6X4X5/16 (4@0.S.L.)	6"

NOTES:

- ALL LINTELS IN THIS TABLE ARE LOOSE LINTELS BEARING ON MASONRY. ALL BEARING MASONRY MUST BE 100% SOLID BRICK OR BLOCK. SEE ARCH. DRAWINGS FOR OPENING LOCATION, FIELD VERIFY DIMENSIONS.
- ALL LINTELS SHALL BE GALVANIZED.
- EXPOSED TO VIEW LINTELS SHALL BE PAINTED TO MATCH EXISTING WINDOW AND/OR DOOR FRAMES.

STEEL LINTEL SCHEDULE

CUT AND REMOVE ONLY DAMAGED HEADERS.

REPAIR ANY CRACKS IN BRICK BACK-UP AND PARGE FACE OF EXISTING MASONRY W/ MORTAR AND APPLY DAMPROOFING.

STAINLESS STEEL BRICK ANCHOR AND FASTENERS 16" O.C. VERTICAL AND HORIZONTAL

REMOVE EXISTING BRICK DOWN TO SOUND SUBSTRATE AND REPLACE WITH NEW BRICK. STITCH BRICK INTO EXISTING BRICK ADJACENT PATTERN

EXISTING BACK-UP MASONRY

1" MIN.

NOTES:

- REFER TO GENERAL RESTORATION NOTES FOR ADDITIONAL INFORMATION.
- REFER TO BUILDING ELEVATIONS FOR LOCATION OF THIS WORK.
- RE-BUILD NOTED AREAS FLUSH WITH EXISTING ADJACENT SURFACES.

DETAIL- CORNER FACE BRICK REPLACEMENT

SCALE: 6" = 1'-0"

CUT AND REMOVE ONLY DAMAGED HEADERS.

REPAIR ANY CRACKS IN BRICK BACK-UP AND PARGE FACE OF EXISTING MASONRY W/ MORTAR AND APPLY DAMPROOFING.

STAINLESS STEEL BRICK ANCHOR AND FASTENERS 16" O.C. VERTICAL AND HORIZONTAL

REMOVE EXISTING BRICK DOWN TO SOUND SUBSTRATE AND REPLACE WITH NEW BRICK. STITCH BRICK INTO EXISTING BRICK ADJACENT PATTERN

2" WIDE S.S. MESH SET IN MORTAR JOINT @ EACH JOINT.

EXISTING BACK-UP MASONRY

1" MIN.

S.S. MESH EACH SIDE OF ANCHOR.

NOTES:

- REFER TO GENERAL RESTORATION NOTES FOR ADDITIONAL INFORMATION.
- REFER TO BUILDING ELEVATIONS FOR LOCATION OF THIS WORK.
- RE-BUILD NOTED AREAS FLUSH WITH EXISTING ADJACENT SURFACES.

DETAIL- BRICK REPLACEMENT @ CRACKED AREAS

SCALE: 6" = 1'-0"

GENERAL RESTORATION NOTES

CAST STONE

- RESTORE EXISTING CAST STONE COMPONENTS. TAP TEST SPALLED AND CRACKED AREAS.

REINFORCEMENT SPALLS AND MECHANICAL DAMAGE

- AREA TO BE REPAIRED TO BE CUT BACK TO PROVIDE A MINIMUM OF 1" DEPTH AT LOCATIONS OF DETERIORATED FERROUS REINFORCEMENT BARS, GRIND AND BRUSH REINFORCEMENT TO REMOVE ALL RUST AND SCALE. PAINT WITH RUST-INHIBITING PRIMER PRIOR TO APPLYING THE CAST STONE COMPOSITE.
- MATCH EXISTING PROFILES AND DIMENSIONS OF ALL COMPONENTS BEING REPLACED.

RE-POINTING

- RAKE OUT ALL EXISTING JOINTS TO BE REPOINTED. POINTING MORTAR SHALL BE DRIVEN INTO THE JOINT AND STRUCK WITH A JOINTING TOOL. JOINTS TO BE CONCAVE.
- POINT JOINTS AFTER PATCHING OF CAST STONE AND BEFORE FINAL WASH DOWN.
- PERFORM POINTING IN STAGES.
- REFER TO SPECIFICATIONS FOR MORTAR TYPE, COLOR AND MOCKUP REQUIREMENTS. RE-POINTING MORTAR SHALL MATCH ORIGINAL MORTAR IN COLOR, TEXTURE, AND TOOLING. FIELD BLENDED MORTAR NOT ACCEPTABLE.
- RAKE OUT 1/4" OF EXISTING JOINTS TO BE TUCK POINTED.

BRICK REPLACEMENT

- ALL CRACKED, LOOSE & SPALLED BRICK TO BE REMOVED, ALL LOOSE OR DETERIORATED SEALANTS TO BE REMOVED, ALL PLANT GROWTH TO BE REMOVED.
- REMOVED EXISTING BRICK TO BE REPLACED WITH NEW BRICK. DO NOT REPLACE HEADER BRICK IF NOT DAMAGED. MATCH EXISTING PROFILES AND DIMENSIONS BEING REPLACED.
- NEW BRICK SHALL BE TOOTHED INTO EXISTING UNLESS A JOINT IS INDICATED.
- PARGE EXISTING BACK UP WALL WITH MORTAR AND DAMPROOF.
- INSTALL WALL ANCHORS @ 16" O.C. VERTICAL AND HORIZONTAL.
- INSTALL S.S. MESH JOINT REINFORCEMENT AT EACH JOINT AND EXTEND 8" INTO EXISTING BRICK.
- PROVIDE TUBE WEEPS AT ALL FLASHING, MINIMUM 24" O.C.

LINTEL REPLACEMENT / REFURBISHMENT

- REMOVE EXISTING SHELF ANGLE(S). FOR ALL LEAD BASED PAINT REMOVAL AND DISPOSAL REFER TO ABATEMENT DRAWINGS AND SPECIFICATIONS. REPLACE WITH NEW HOT DIPPED GALVANIZED STEEL. PROFILE(S) TO MATCH EXISTING, UNLESS OTHERWISE NOTED. PAINT COLOR AS SELECTED BY ARCHITECT.
- PROVIDE MINIMUM 6" BEARING AT EACH SIDE OF ANGLE(S).
- REMOVE EXISTING FLASHING AND SEALANTS, FOR ALL LEAD BASED PAINT REMOVAL AND DISPOSAL REFER TO ABATEMENT DRAWINGS AND SPECIFICATIONS. FOR ALL ASBESTOS REMOVAL AND DISPOSAL REFER TO ABATEMENT DRAWINGS AND SPECIFICATIONS. INSTALL NEW FLASHING AND WEEP HOLES PER DETAILS.
- EXISTING LINTELS TO REMAIN SHALL BE SCRAPPED, PRIMED AND PAINTED. FOR ALL LEAD BASED PAINT REMOVAL AND DISPOSAL REFER TO ABATEMENT DRAWINGS AND SPECIFICATIONS. COLOR AS SELECTED BY ARCHITECT.

BRICK RESTABILIZATION / REANCHORING

- RE-ANCHORING PINS SHALL BE INSTALLED IN PRE-DRILLED HOLES.
- ANCHOR LENGTH TO BE DETERMINED BY FIELD VERIFICATION.
- CONCEAL ANCHOR HOLES WITH APPROVED GROUT.

MASONRY / CAST STONE CLEANING

- REFER TO BUILDING ELEVATIONS FOR EXTENT OF WORK.
- REFER TO SPECIFICATIONS FOR MOCK-UP REQUIREMENTS.
- FOLLOW ALL SAFETY PRE-CAUTIONS RECOMMENDED BY THE CLEANING PRODUCT MANUFACTURER.
- PROTECT ALL AREAS NOT SET FOR CLEANING.
- COMPLY WITH COLD WEATHER PRE-CAUTIONS OF PRODUCTS BEING USED.

QUALITY CONTROL

- REFER TO SPECIFICATIONS FOR TESTING AND INSPECTION REQUIREMENTS.

TERRA COTTA RESTORATION NOTES:

- RESTORE ALL EXISTING TERRA COTTA COMPONENTS. TAP TEST TERRA COTTA SPALLED AND CRACKED AREAS.
- BASIS TO DESIGN FOR RESTORATION MATERIALS IS "CATHEDRAL STONE PRODUCTS, INC." REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

TERRA COTTA RESTORATION SHALL CONSIST OF THE FOLLOWING:

- BASE BID** - REMOVE AND REPLACE ALL JOINTS - ALL JOINTS SHALL BE RAKED OUT AND REPOINTED. POINTING MORTAR SHALL BE DRIVEN INTO THE JOINT AND STRUCK WITH A JOINTING TOOL.
- DEEP REPAIR** - REPAIRS TO SPALLS GREATER THAN 1/8" IN DEPTH.
- THIN SECTION REPAIR** - REPAIRS TO THIN GLAZE SPALLS, CRACKS, ETC. 1/8" OR LESS IN DEPTH.
- RE-BONDING UNITS** - REPAIR SALVAGEABLE FEATURED ELEMENTS WHERE PERMITTED.
- GLAZE REPLICATION** - AFTER COMPLETION OF ALL REPAIRS APPLY COATING TO REPLICATE COLOR, REFLECTANCE AND DENSITY OF THE ORIGINAL GLAZE.

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S.E.D. CONTROL NUMBER: PS 29 66-23-00-01-04-029-011

PEARLS MAINTENANCE SCHOOL 66-23-00-01-01-008

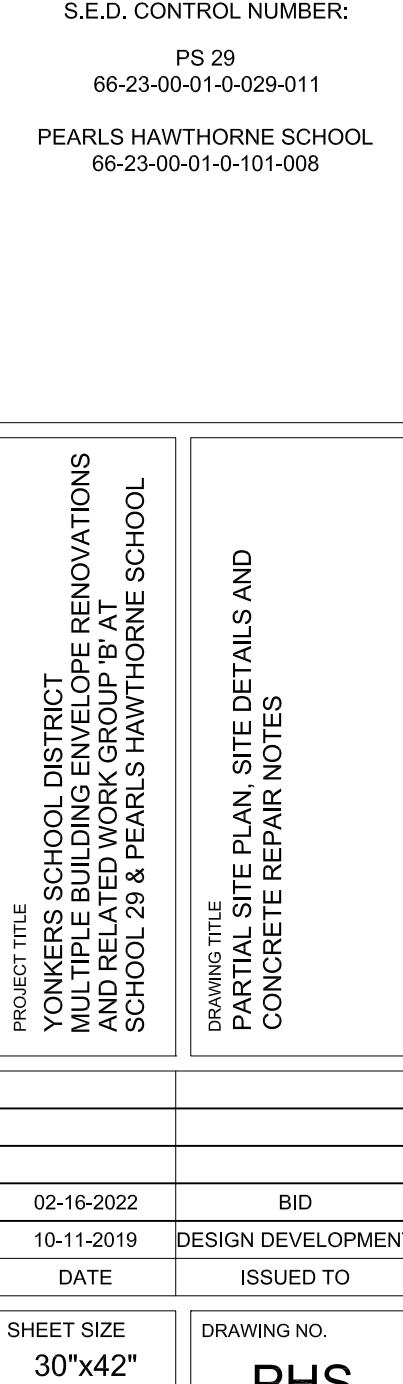
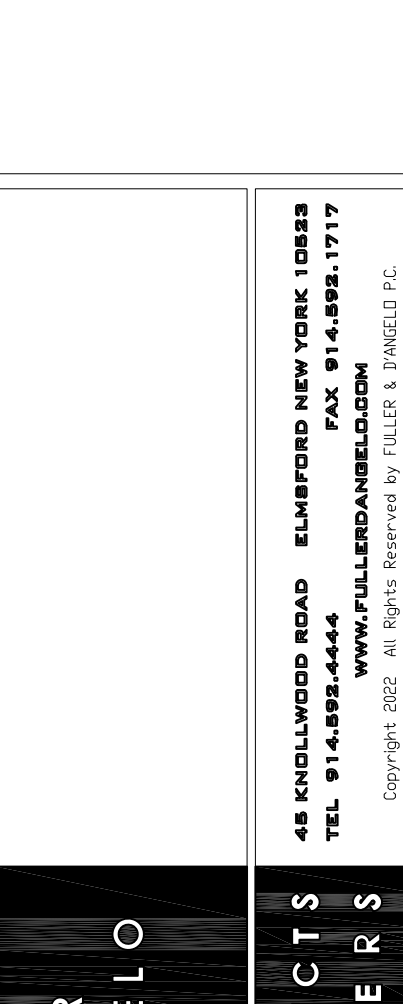
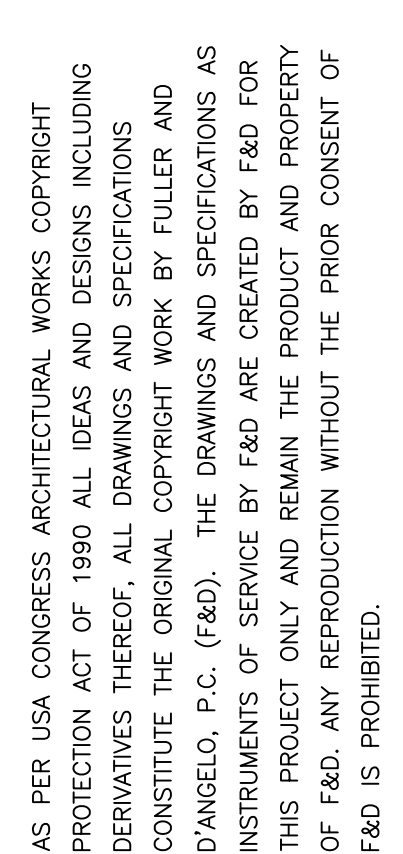
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
SCHOOL 20 PEARLS MAINTENANCE SCHOOL

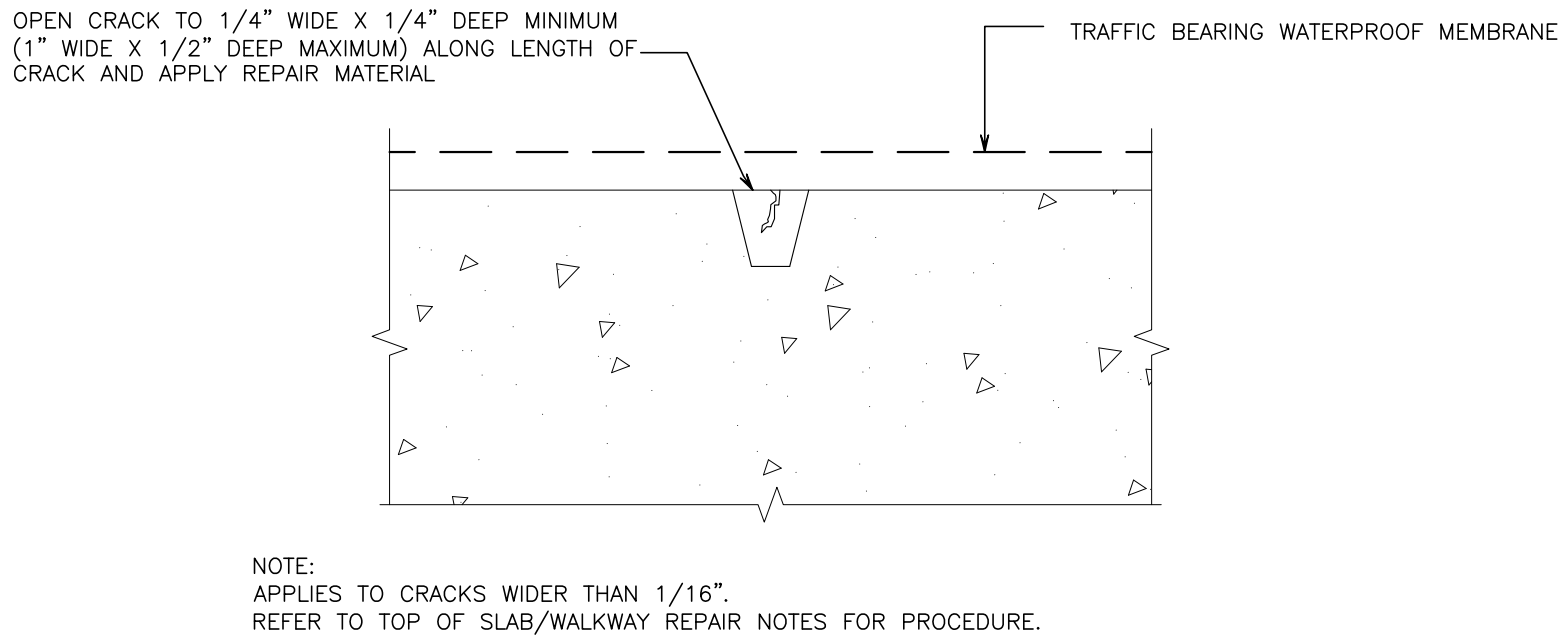
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MASONRY DETAILS

02-16-2022 BID
10-11-2019 DESIGN DEVELOPMENT
DATE ISSUED TO

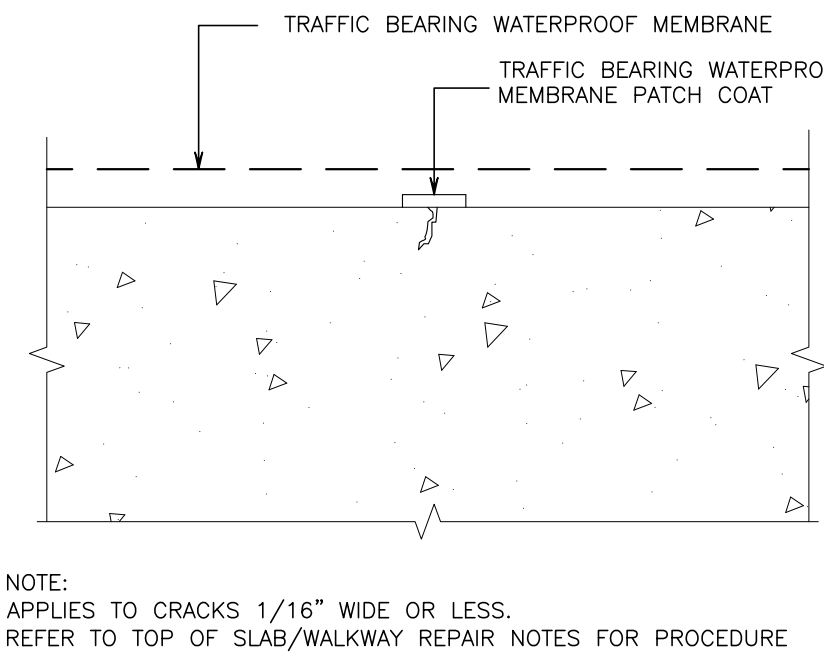
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SCALE AS NOTED
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FILE NO. 19354.07

PHS
A430

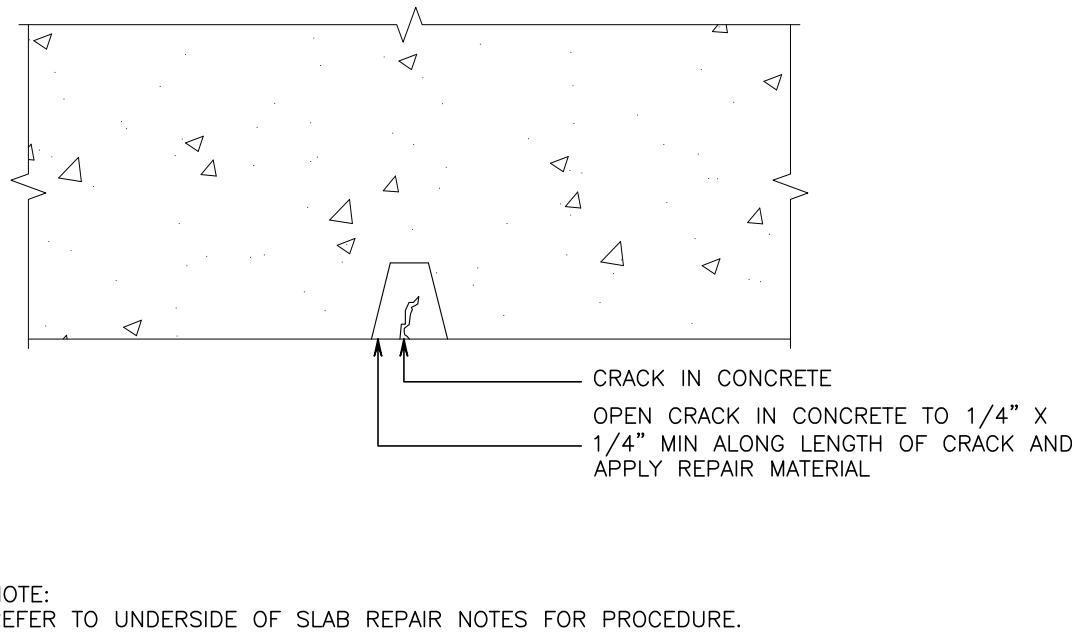




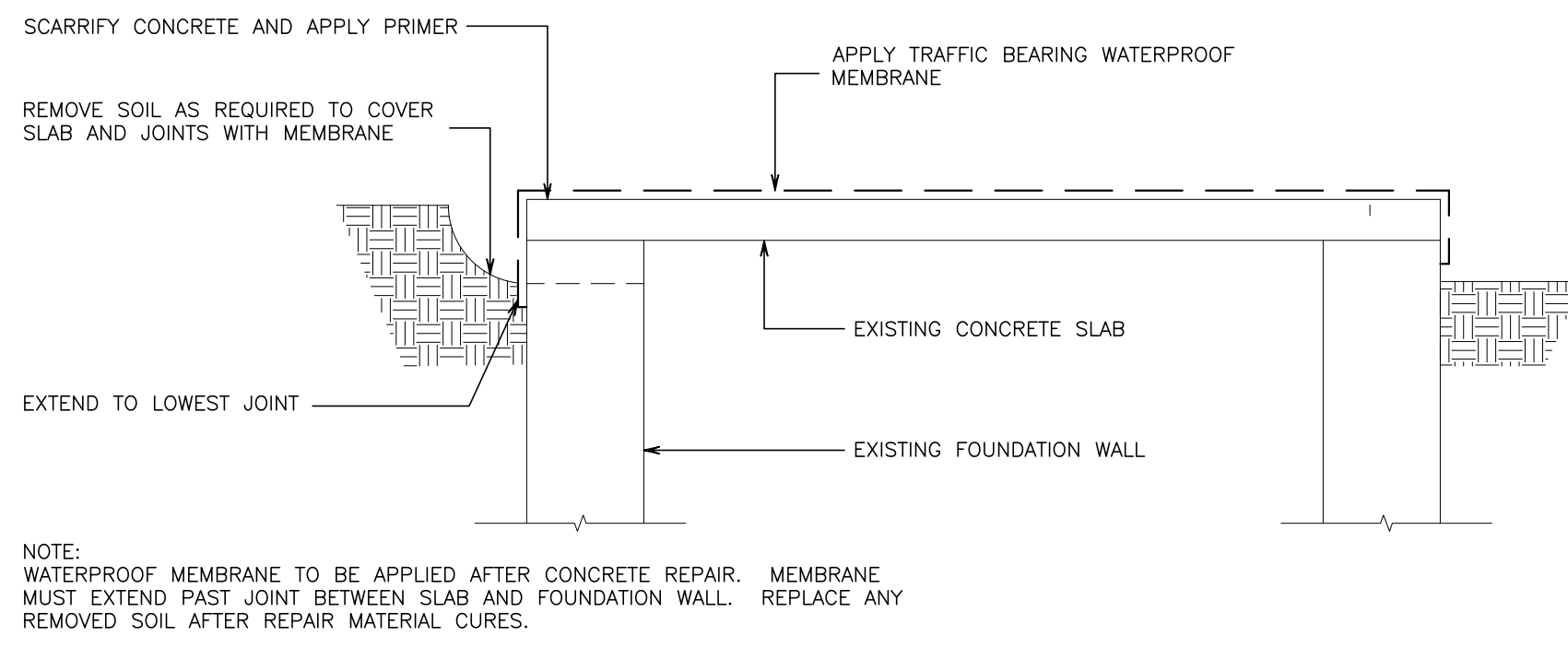
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SCALE: N.T.S.



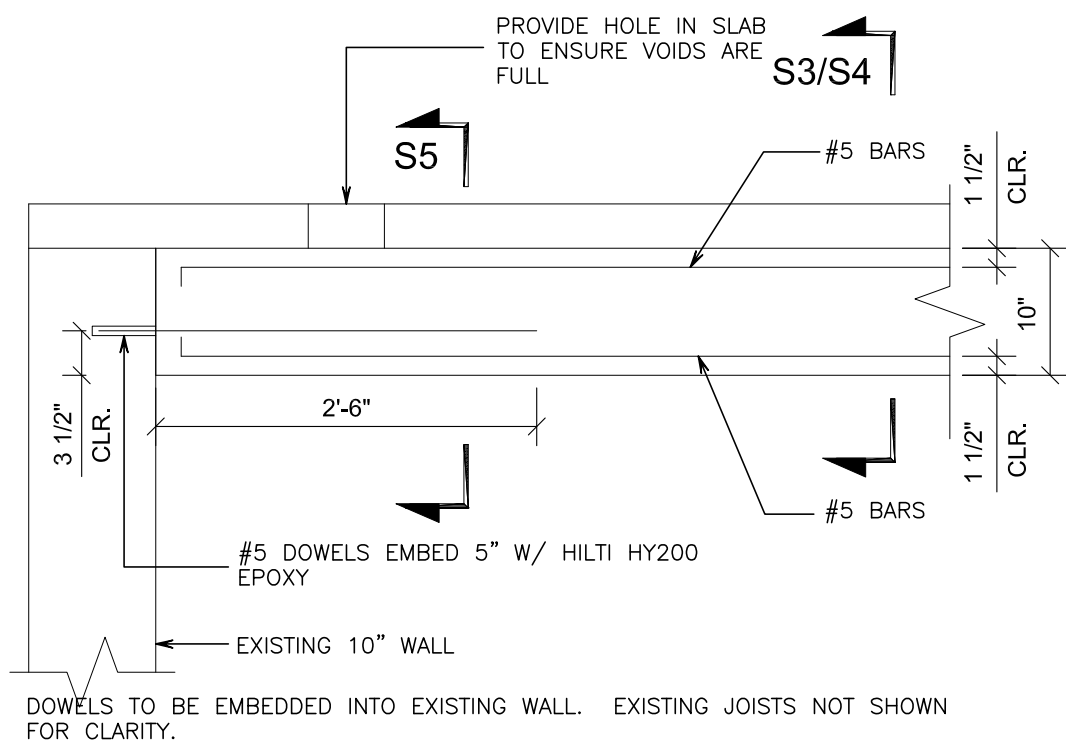
B TYPICAL PATCH DETAIL
SCALE: N.T.S.



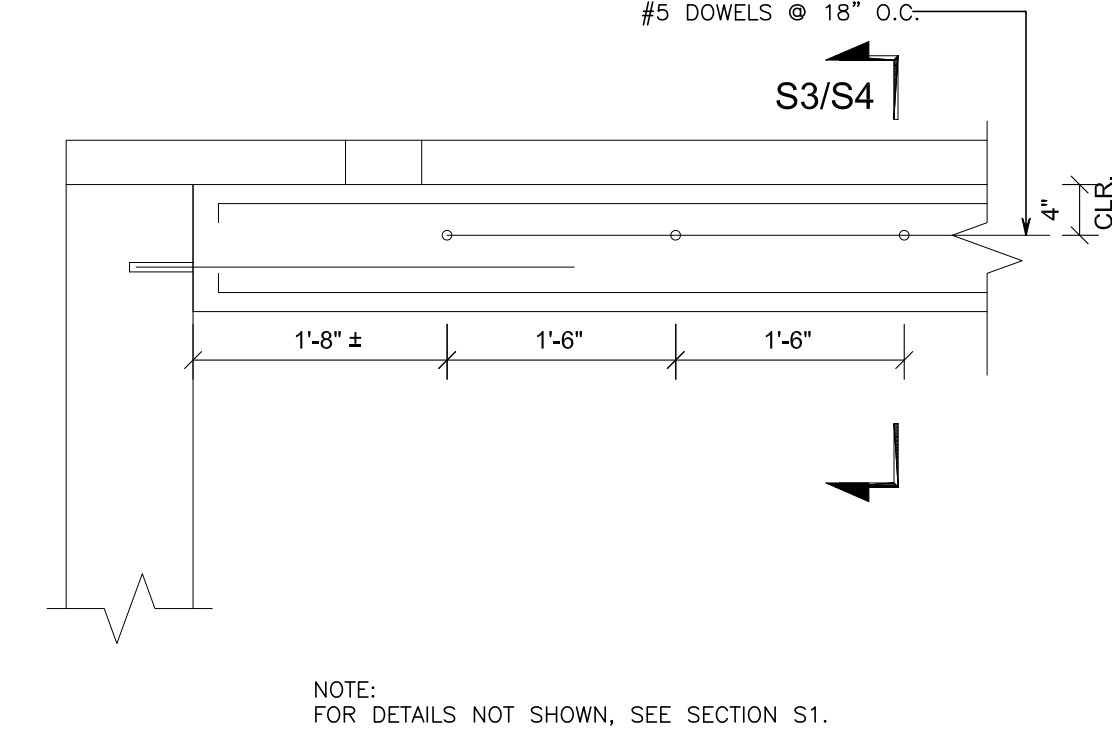
C TYPICAL TUNNEL ROOF CRACK REPAIR DETAIL
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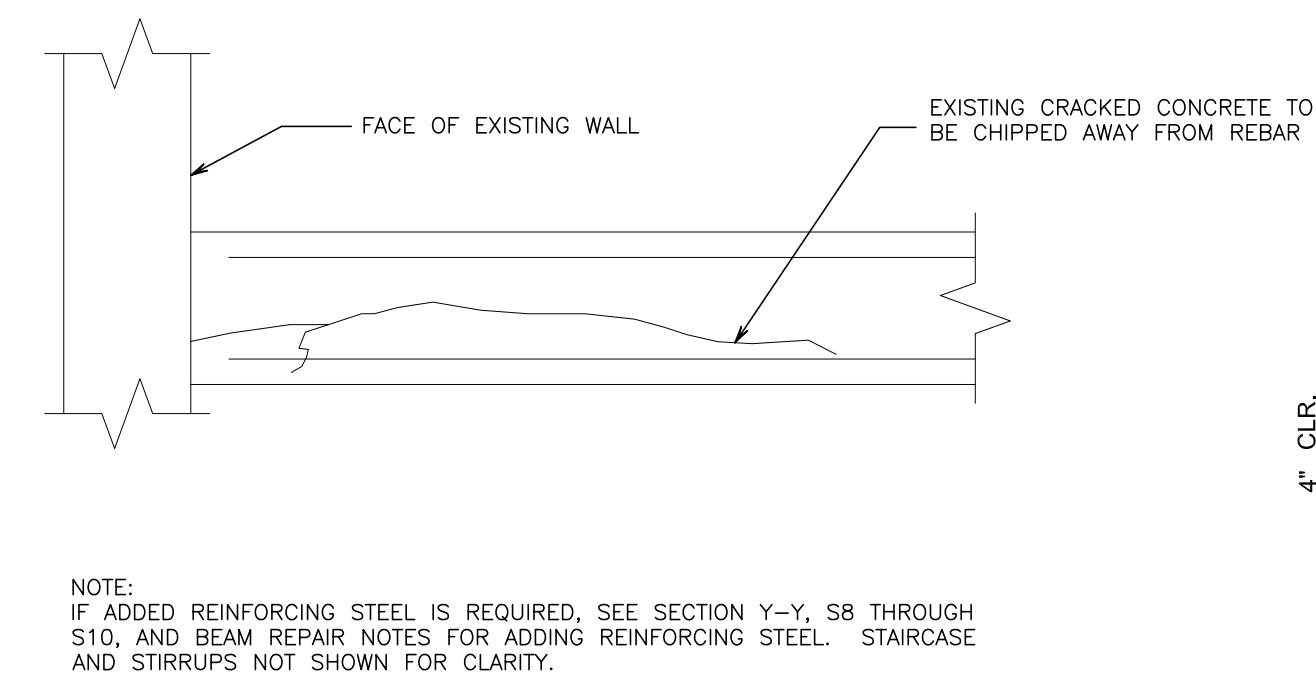
D WALKWAY WATERPROOFING DETAIL
SCALE: N.T.S.



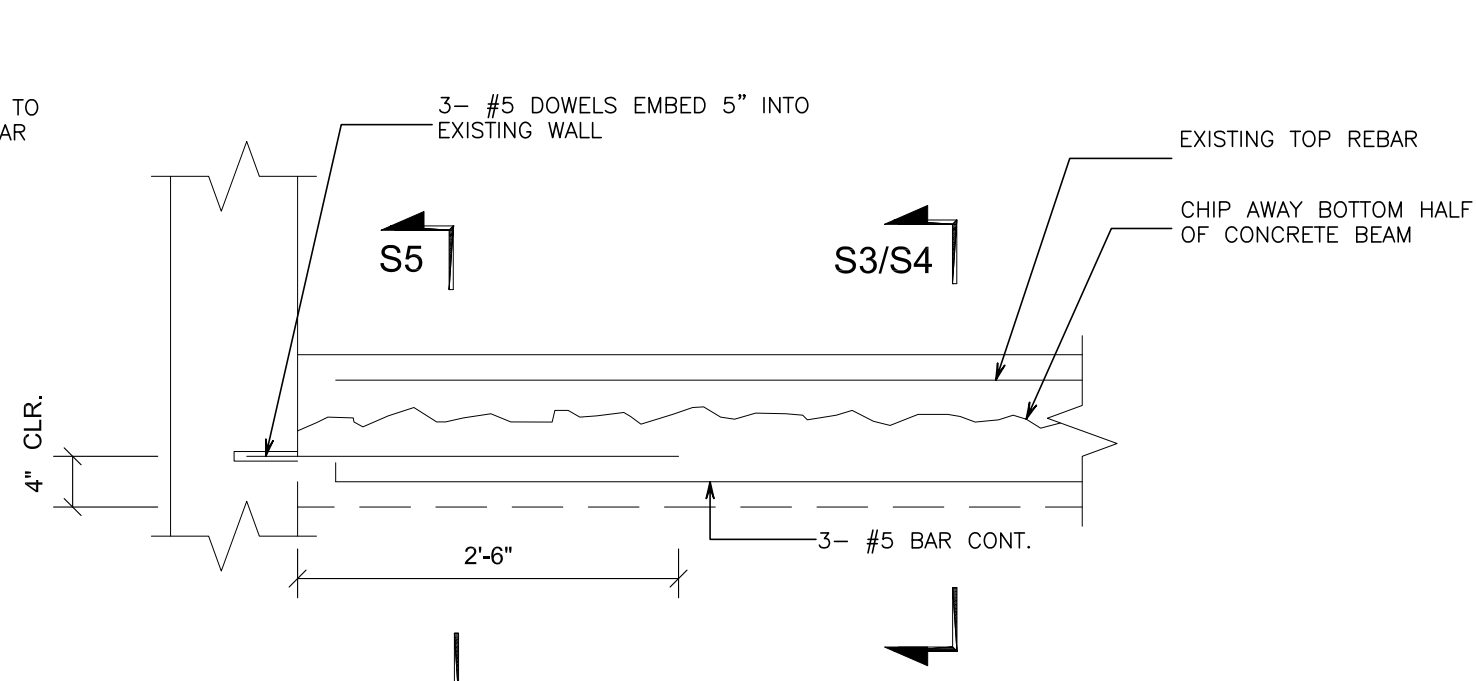
S1 SECTION
SCALE: N.T.S.



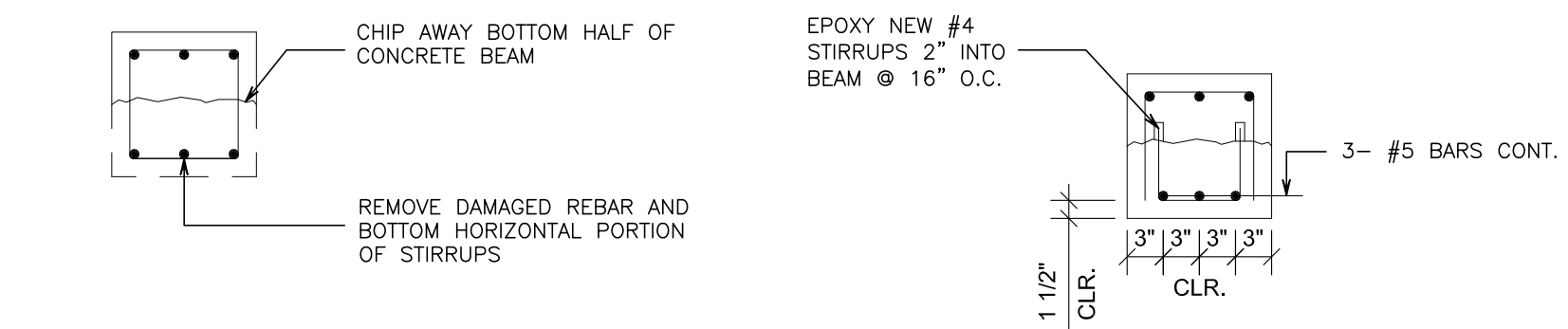
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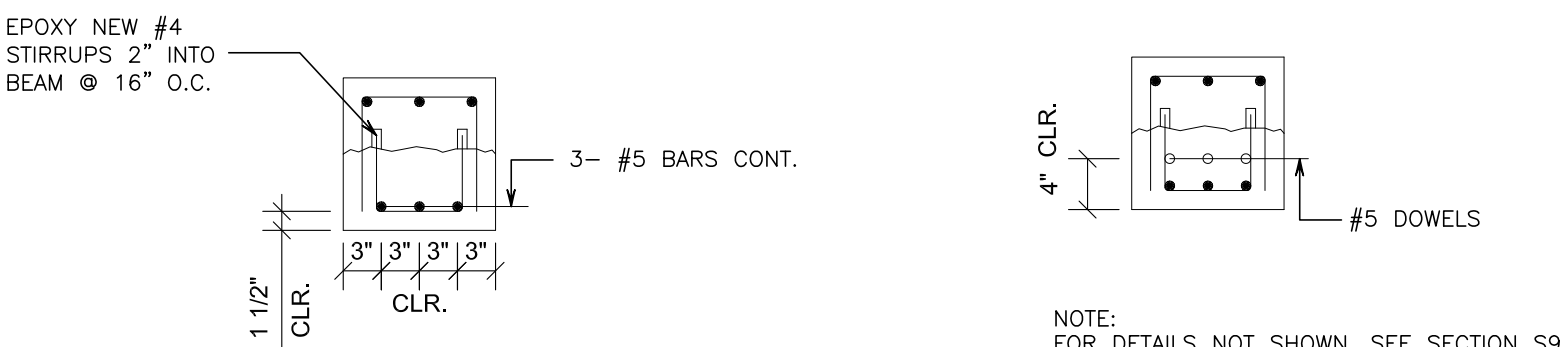
XX BEAM REPAIR SECTION
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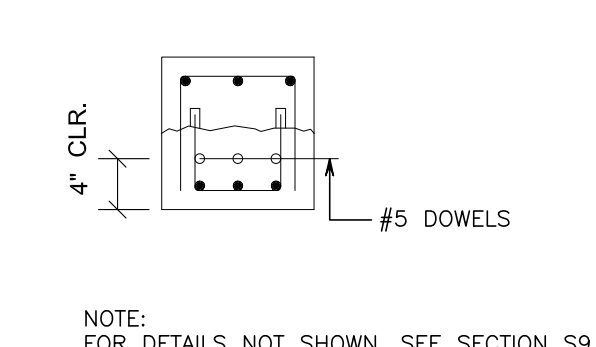
YY BEAM REPAIR SECTION
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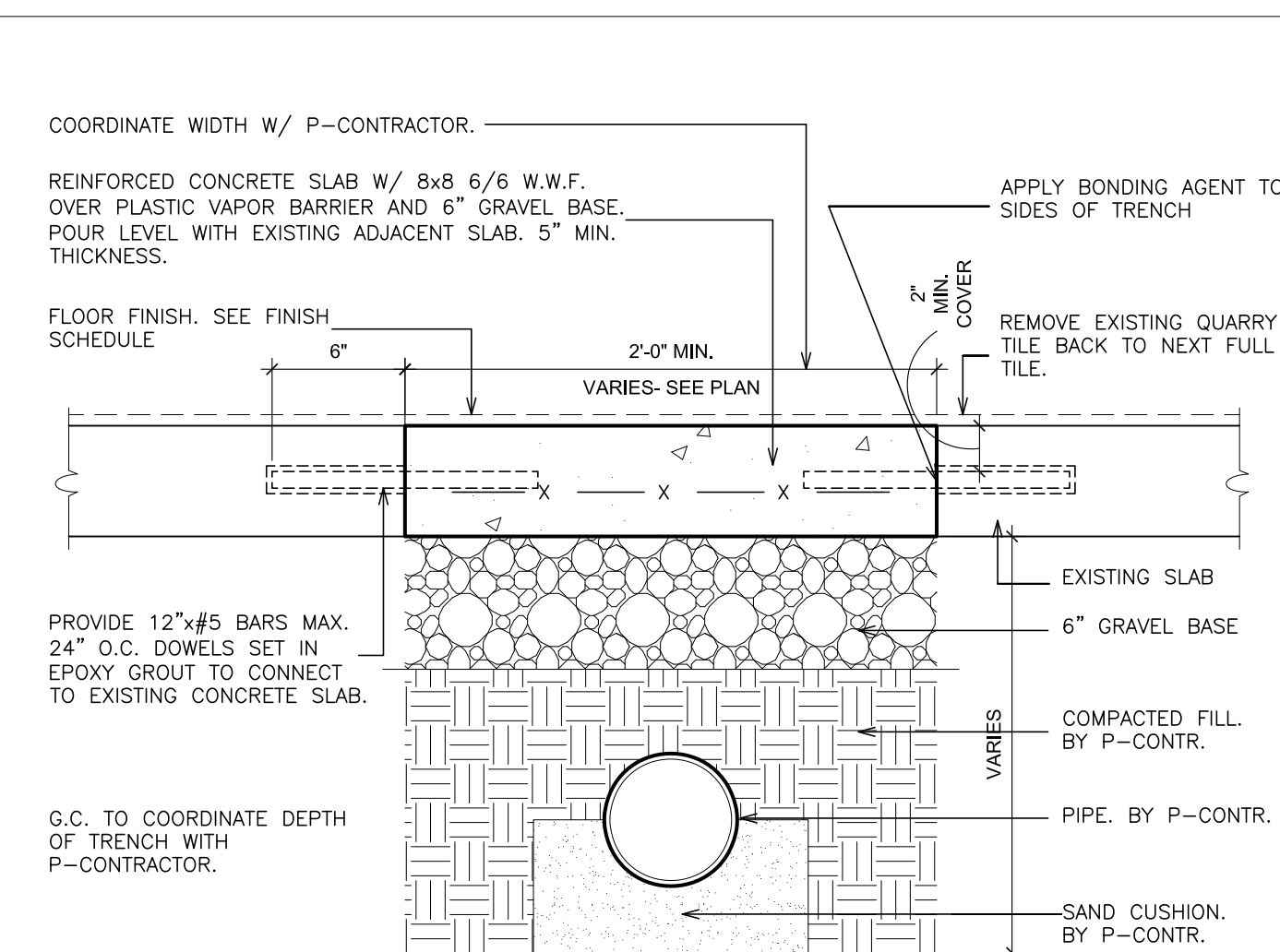
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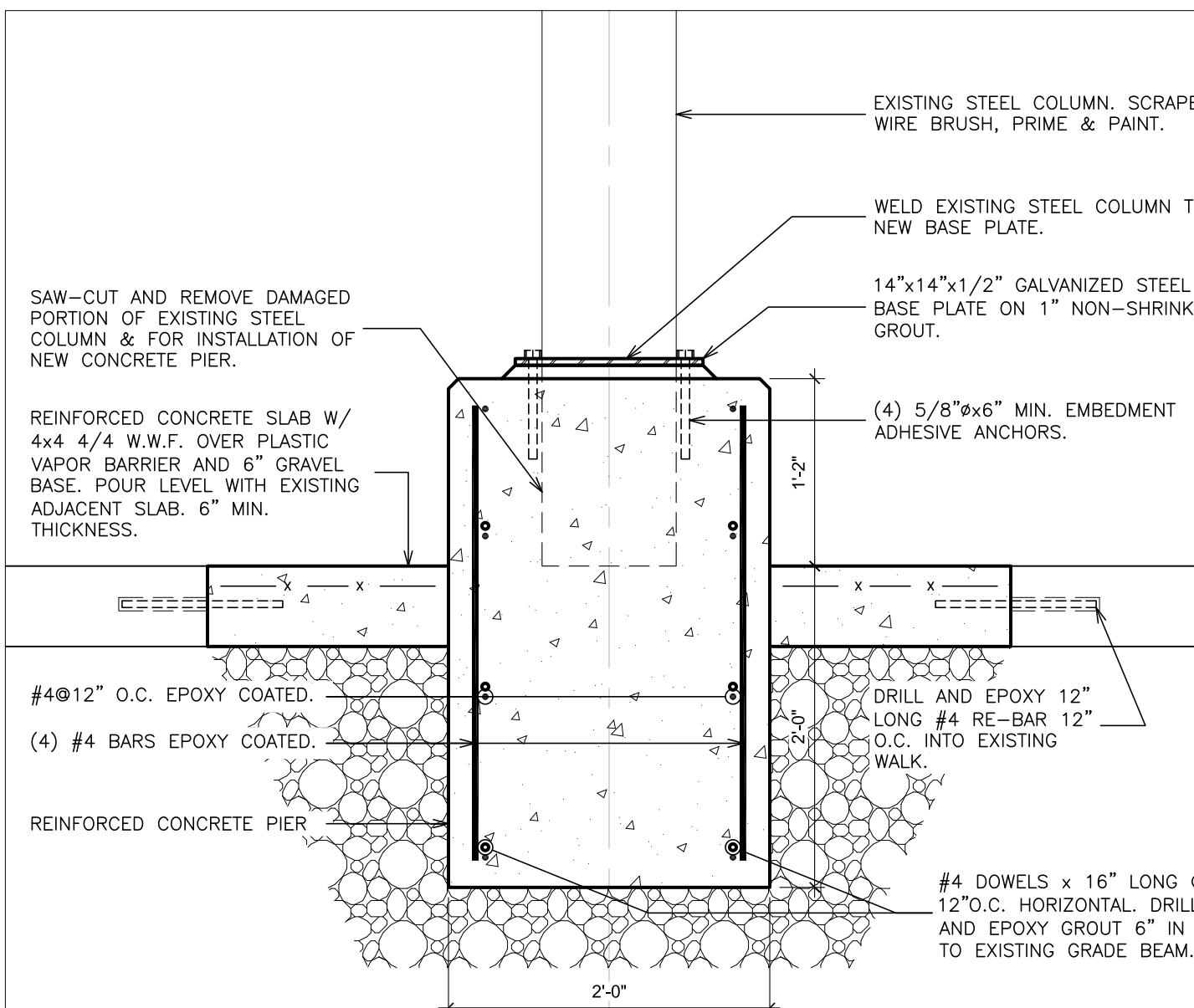
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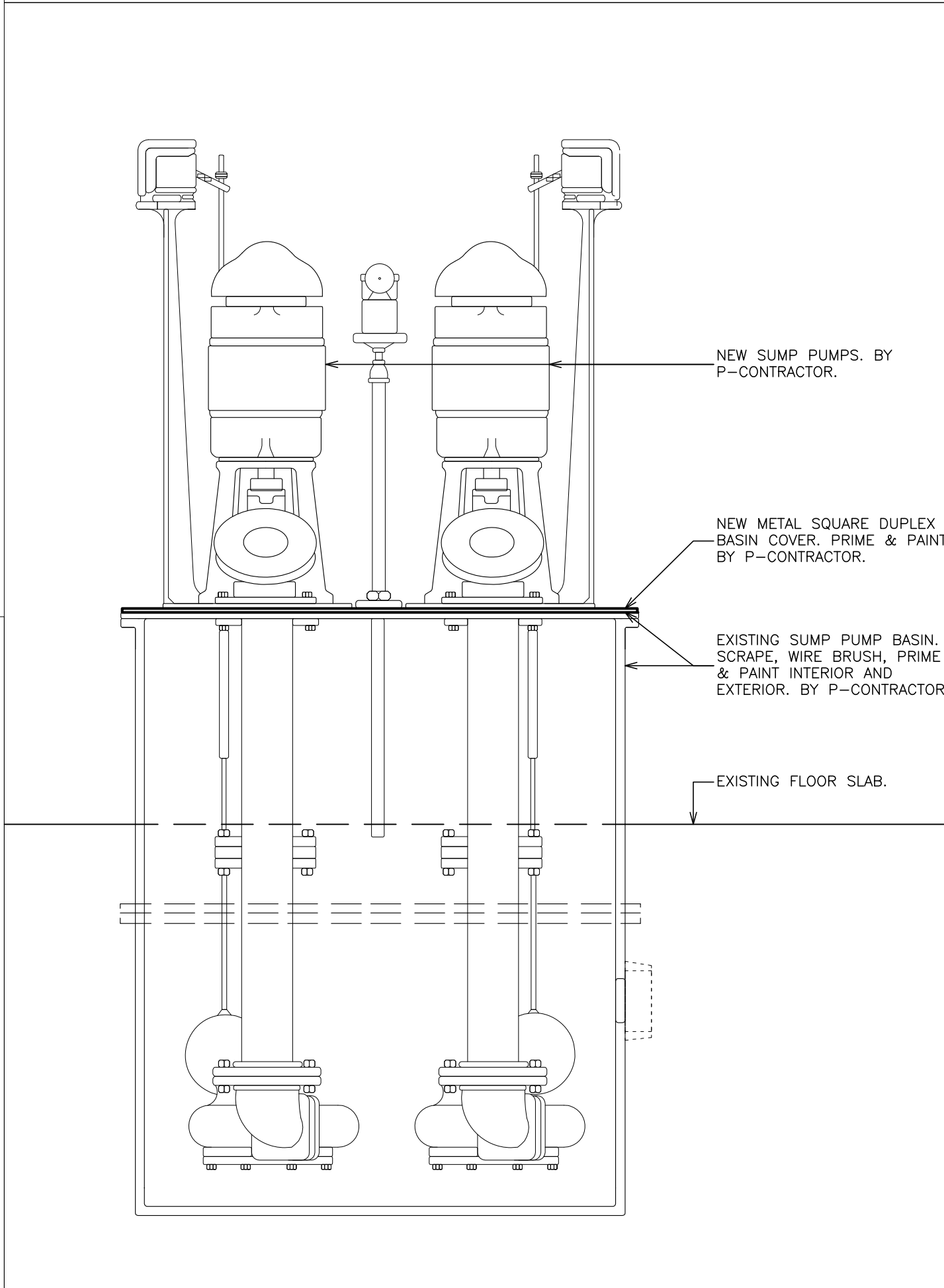
S5 SECTION
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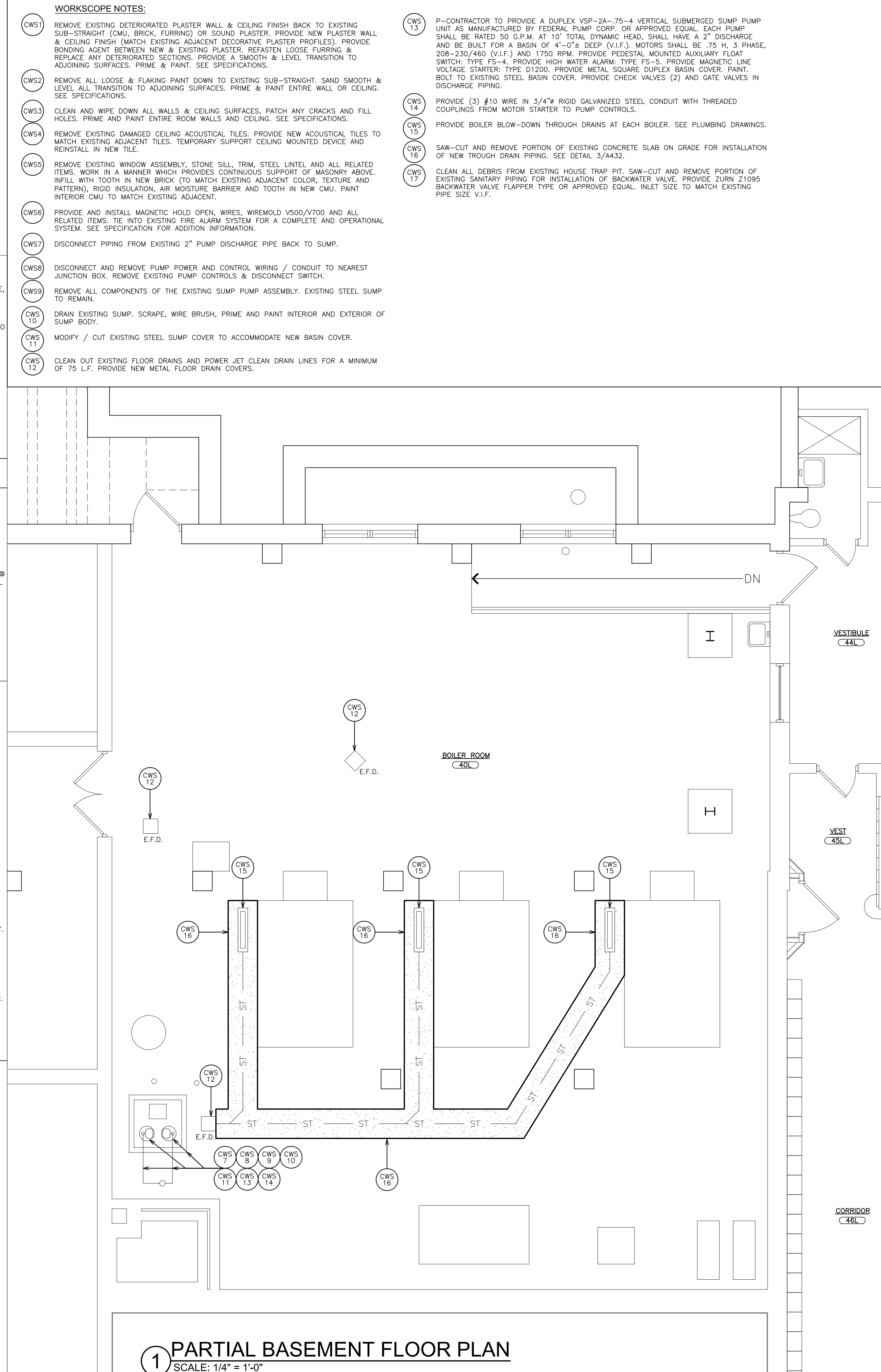
3 DETAIL - TRENCH
SCALE: 1 1/2\" = 1'-0"



4 COLUMN DETAIL
SCALE: 1\" = 1'-0"



2 SUMP PUMPS
SCALE: N.T.S.



1 PARTIAL BASEMENT FLOOR PLAN
SCALE: 1/4\" = 1'-0"

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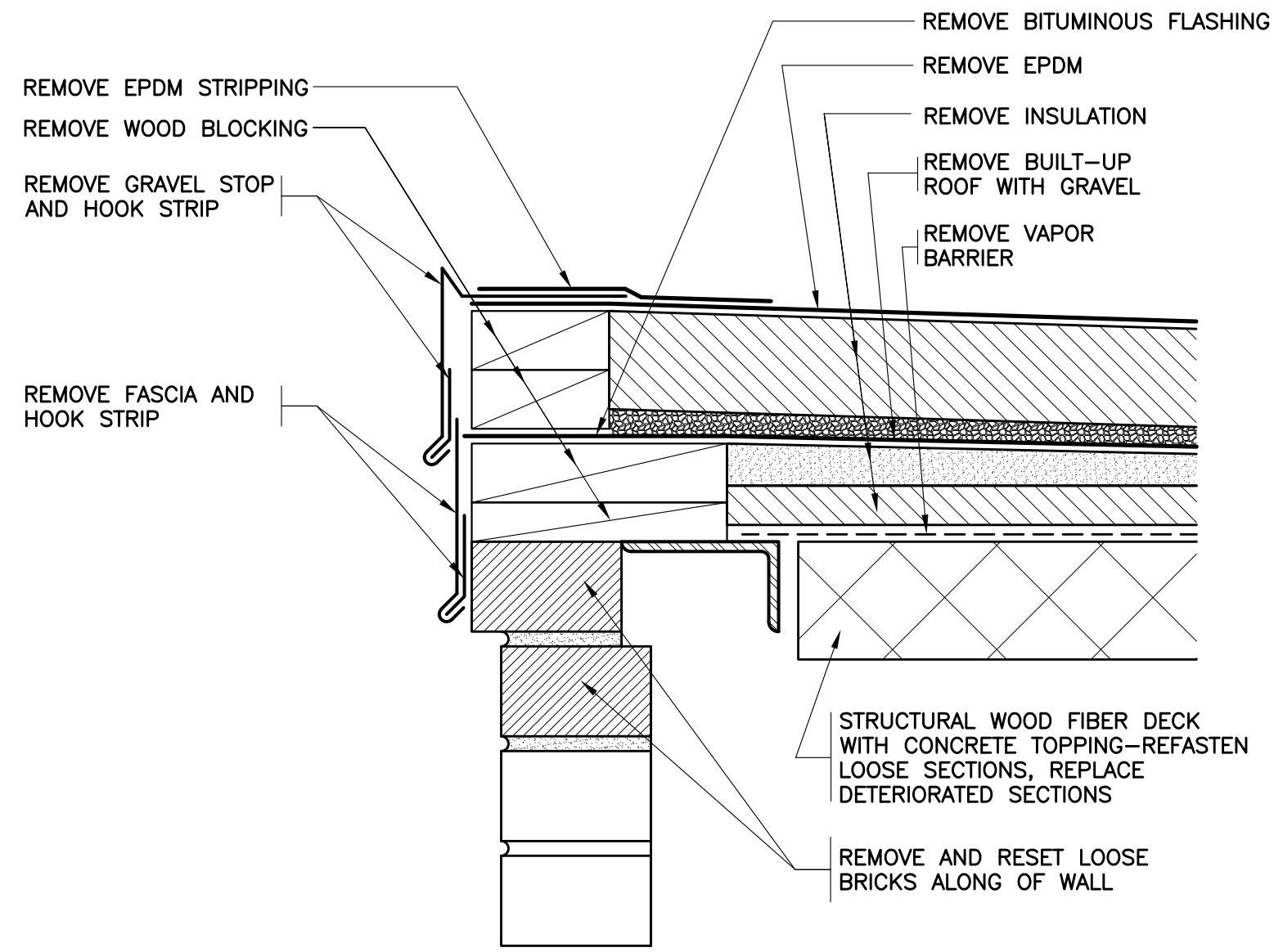
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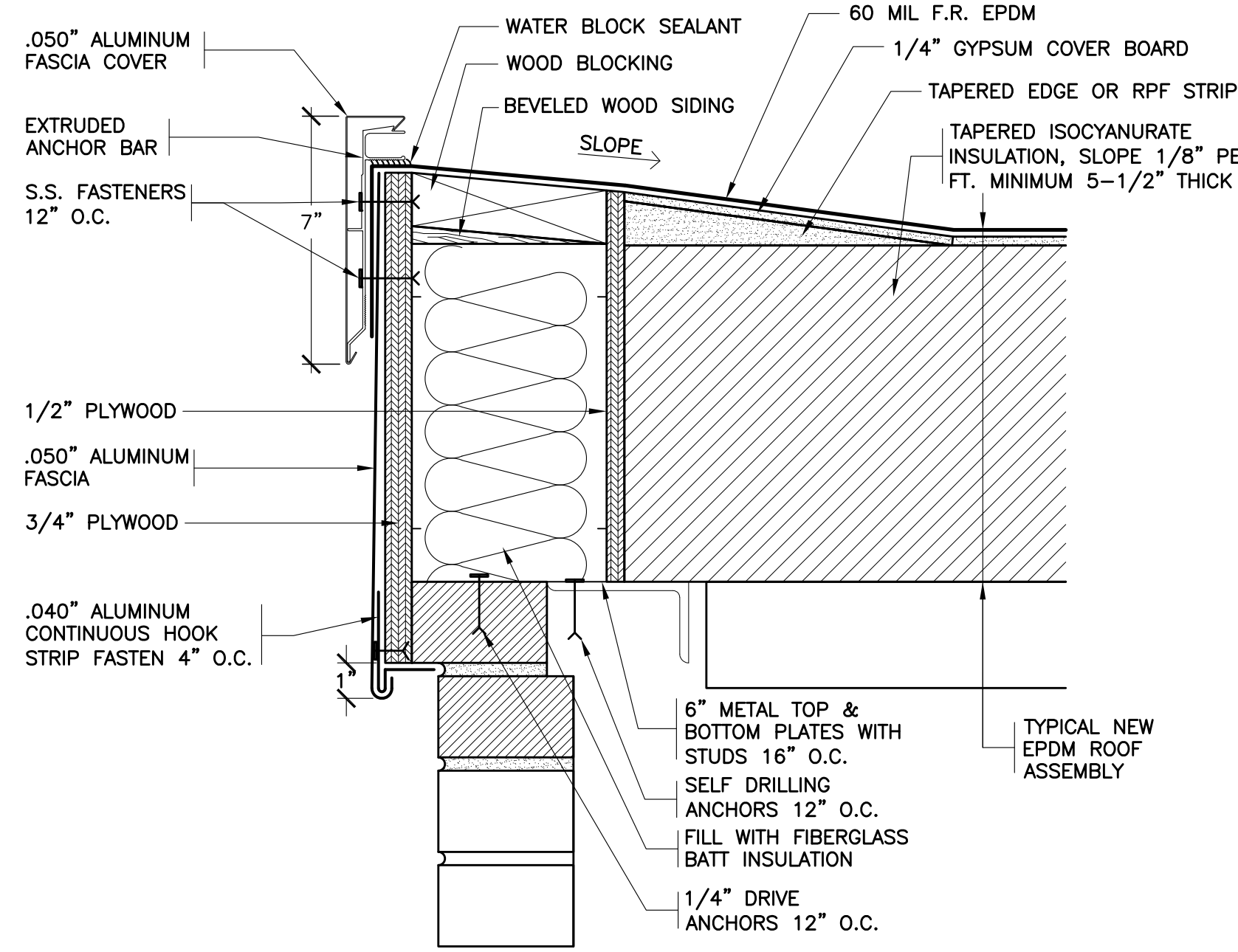
S.E.D. CONTROL NUMBER:
PS 29
66-23-00-01-0-029-011
PEARLS HAWTHORNE SCHOOL
66-23-00-01-0-101-008

PROJECT NAME
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
SCHOOL 208 PEARLS HAWTHORNE SCHOOL
DRAWING TITLE
CONCRETE REPAIR DETAILS PARTIAL
BASEMENT PLAN & MISCELLANEOUS DETAILS

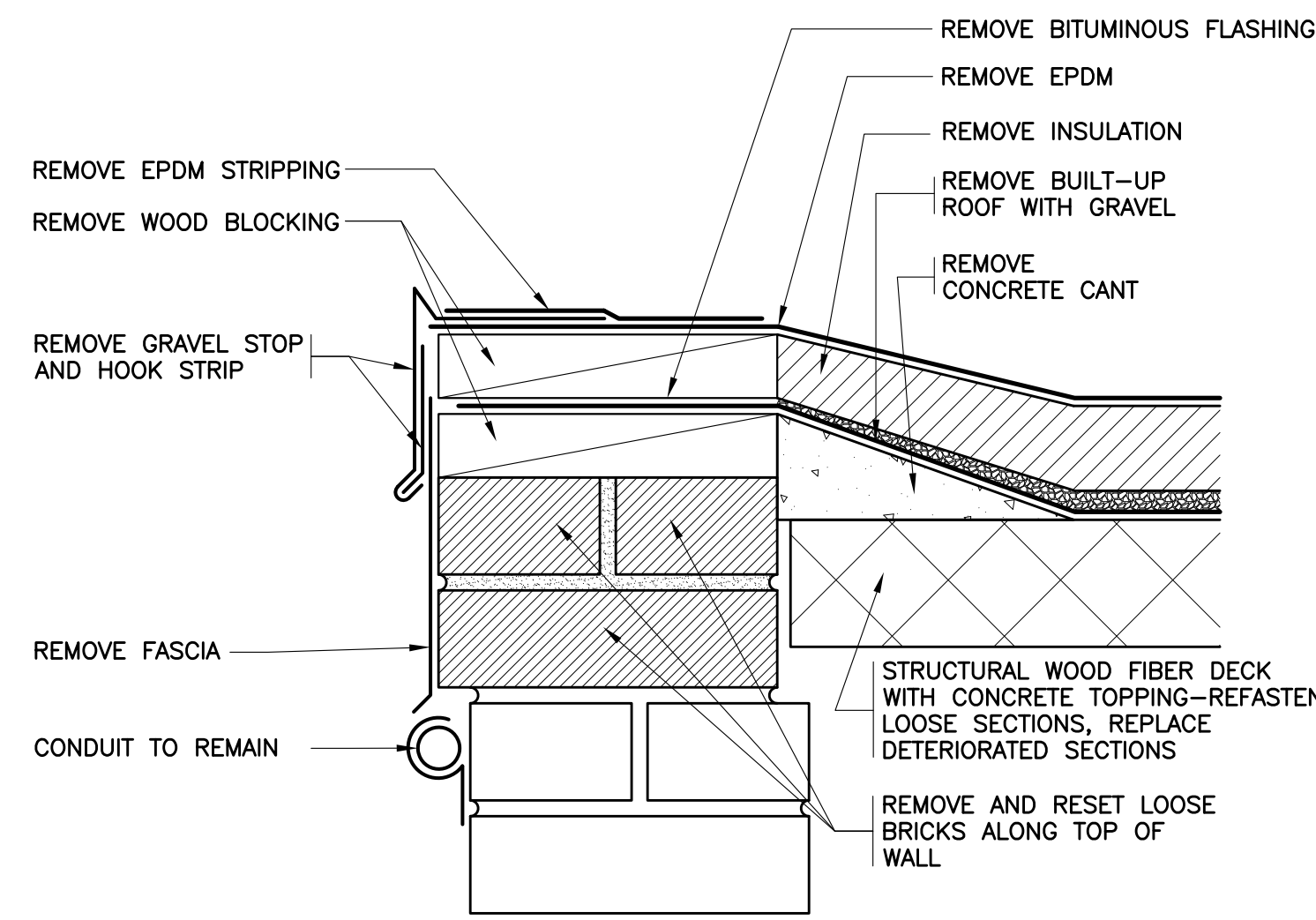
02-16-2022 BID
10-11-2019 DESIGN DEVELOPMENT
DATE ISSUED TO
SHEET SIZE 30"x42"
SCALE AS NOTED
DRAWN BY F & D
DRAWING NO. PHS
A432
FILE NO. 19354.07



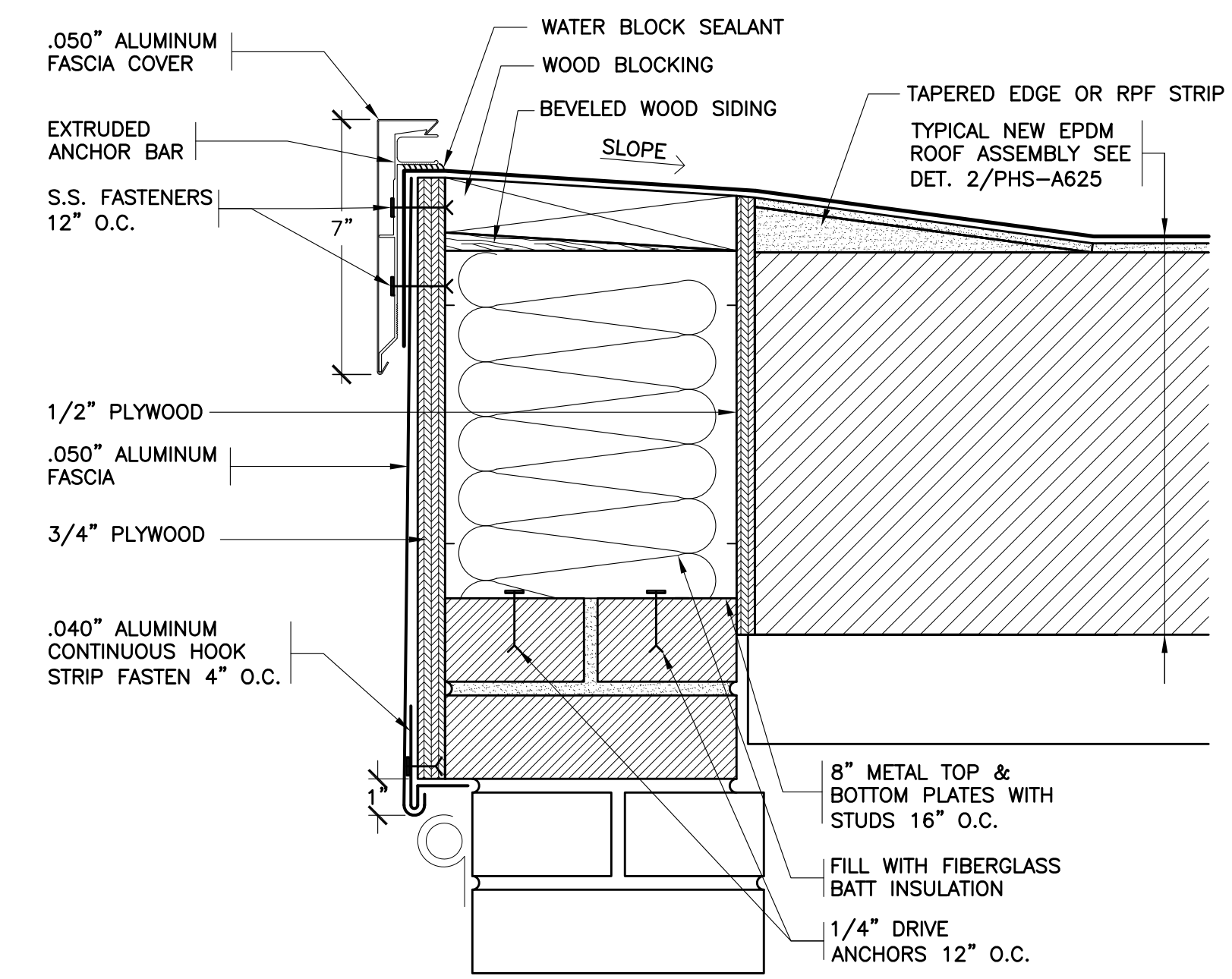
1 EXISTING EAVE
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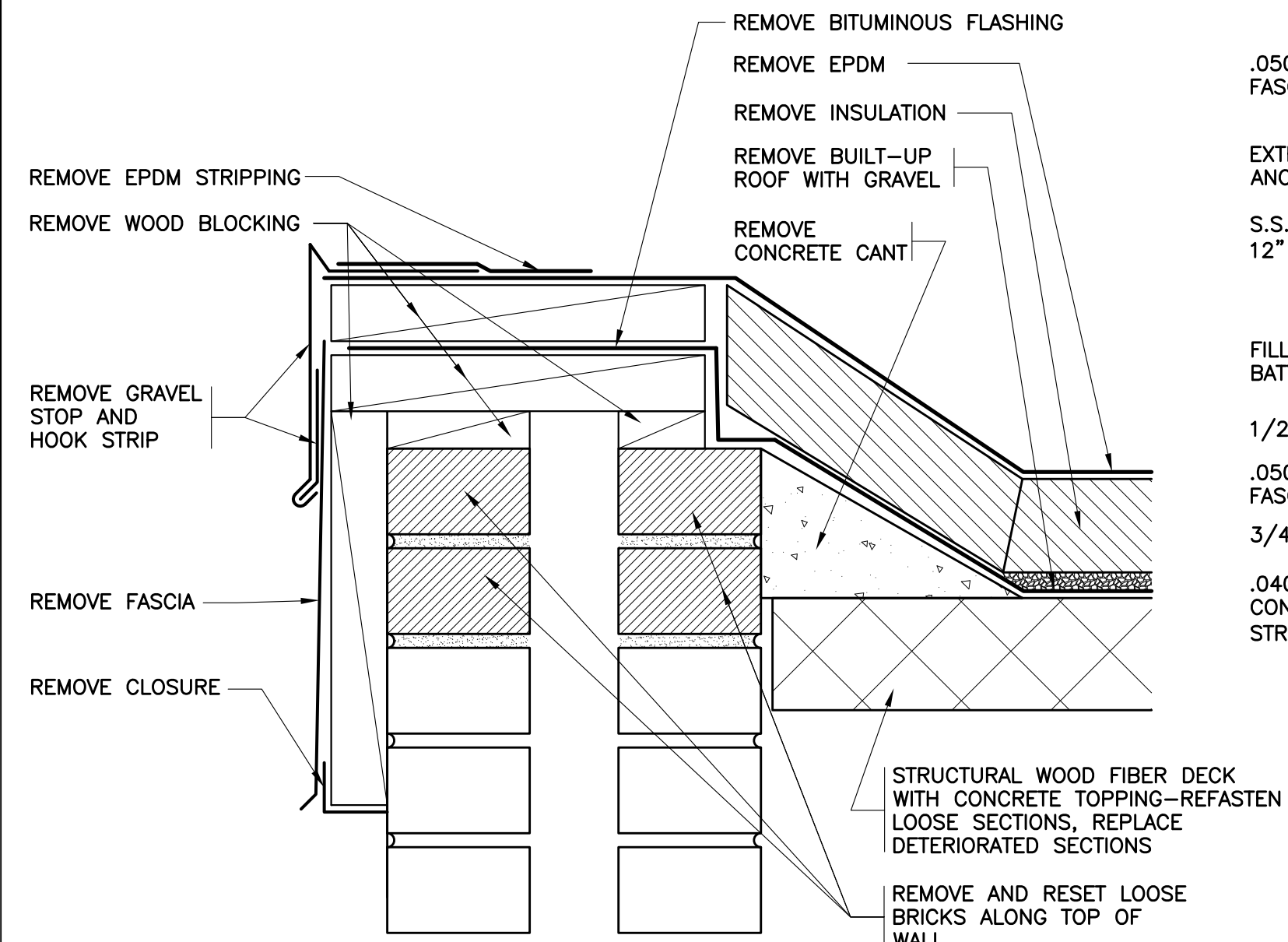
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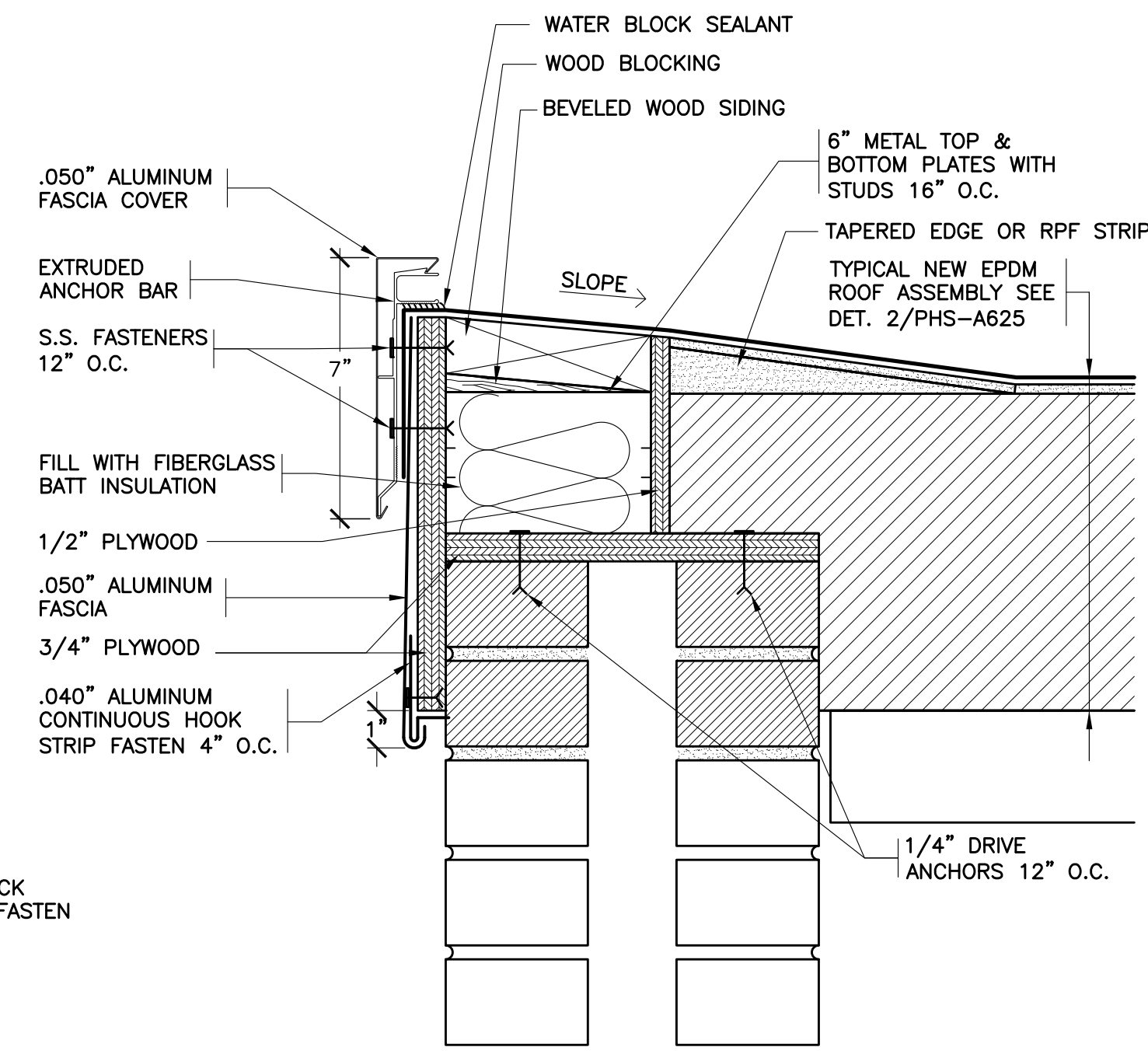
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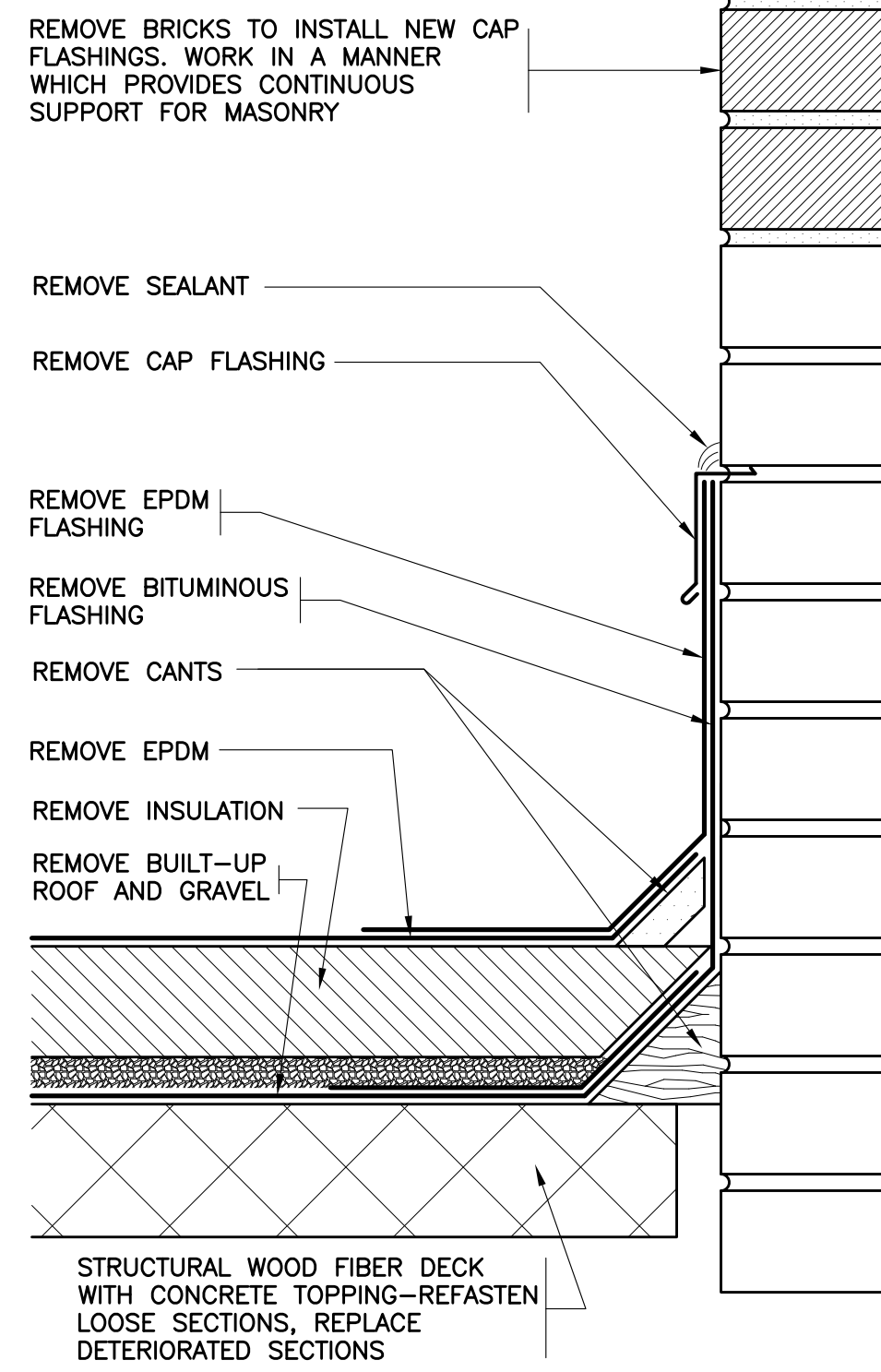
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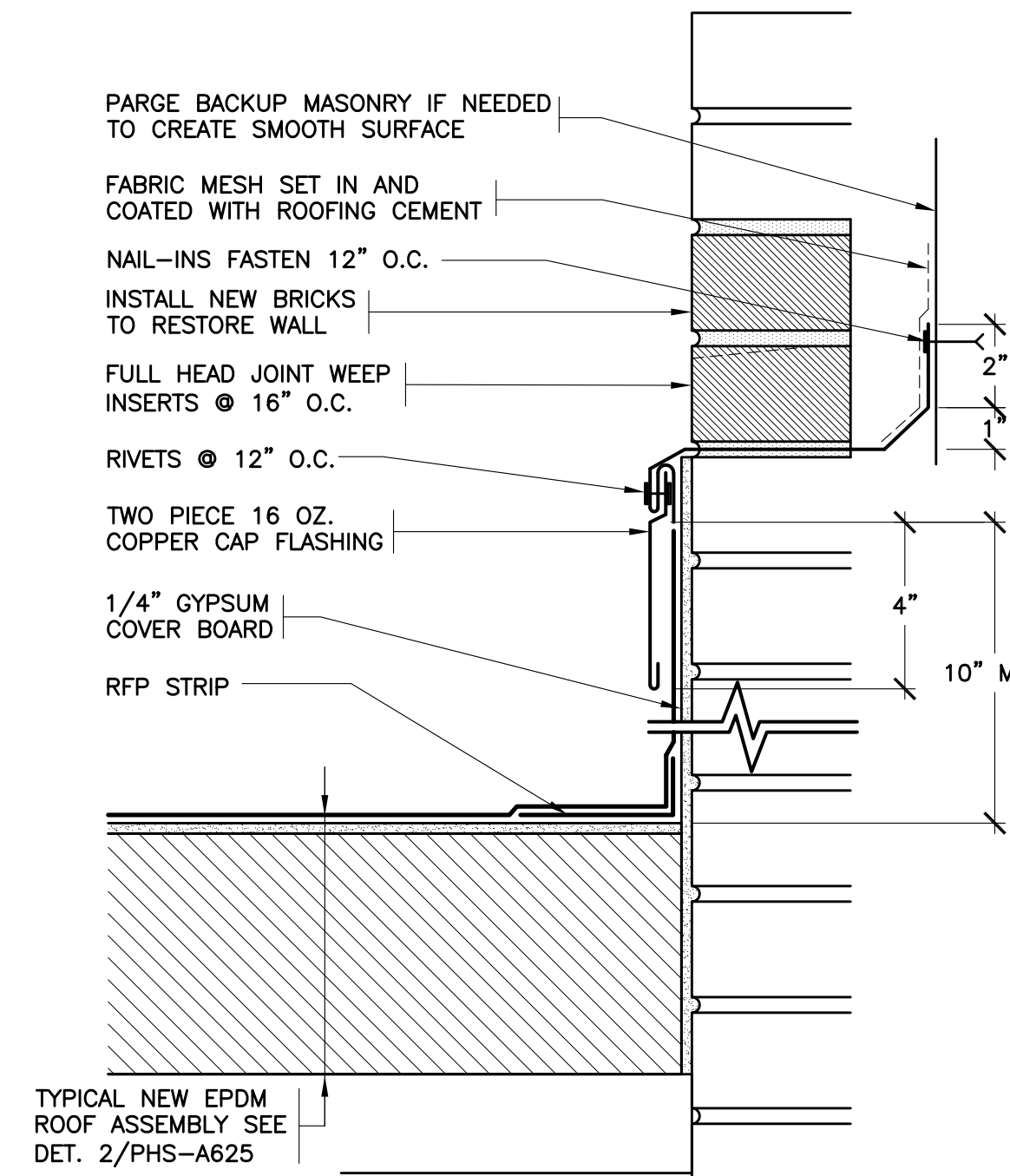
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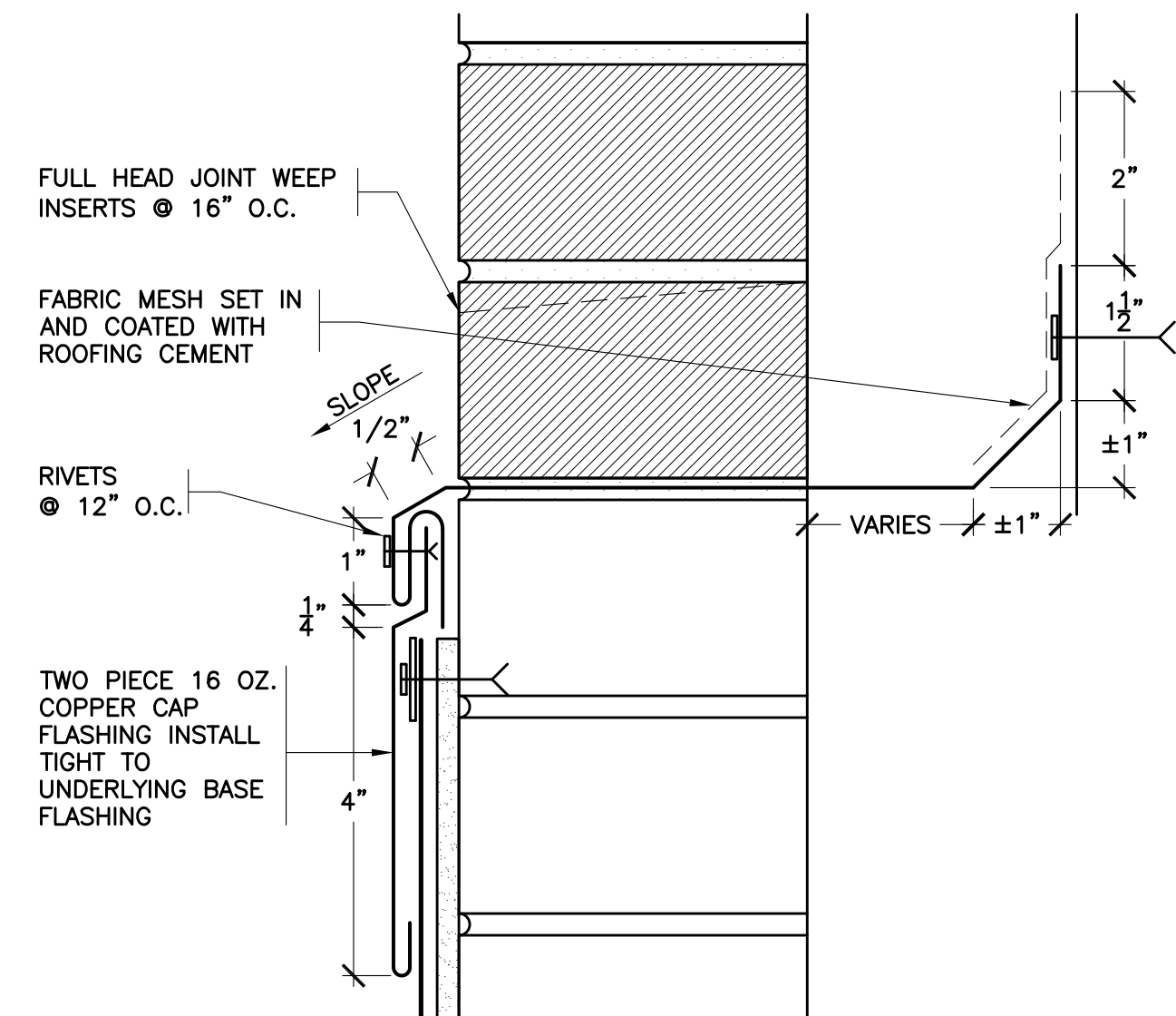
6 REVISED EAVE
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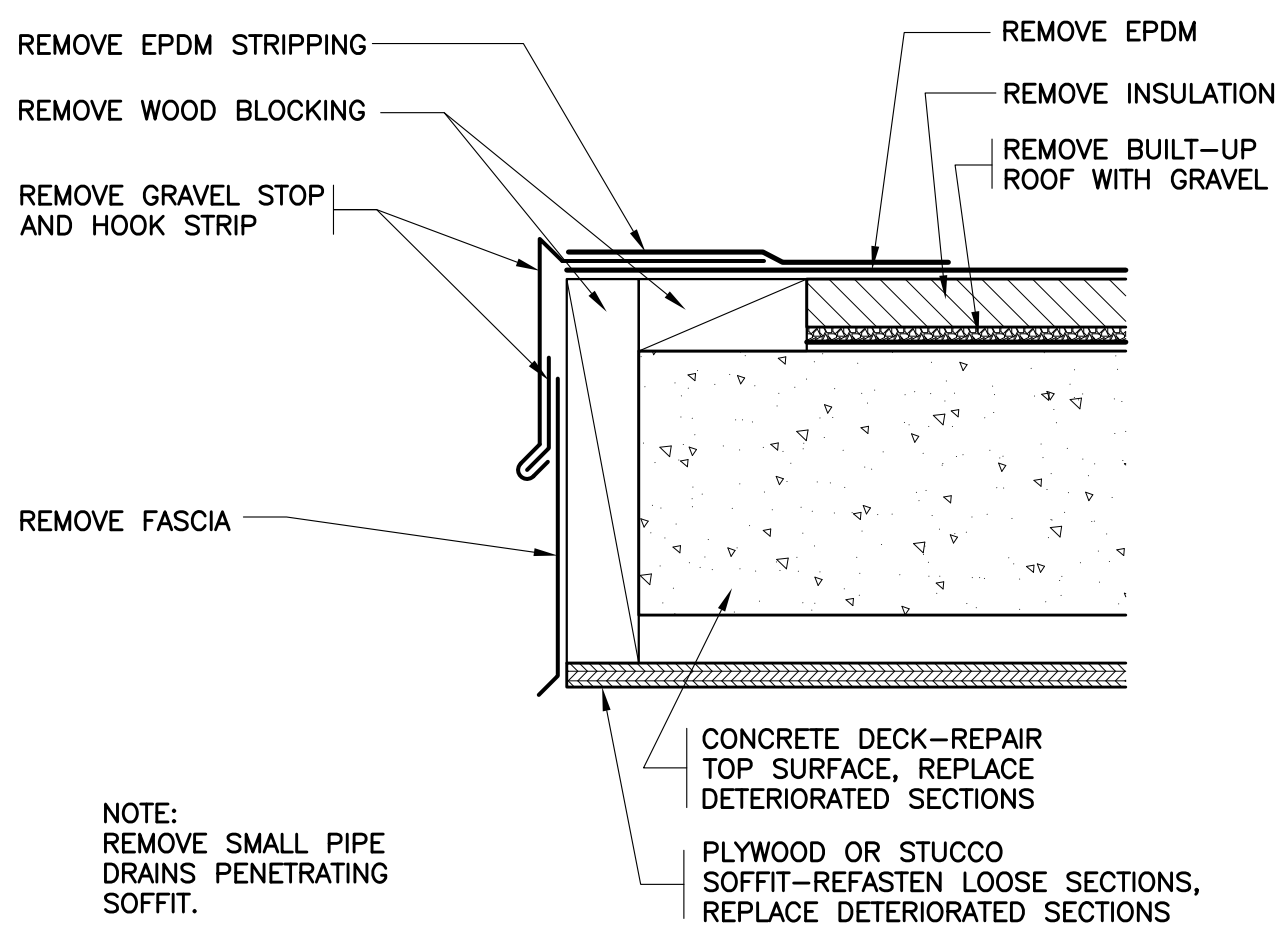
7 EXISTING BASE
SCALE: 0" 1" 2" 4" 8"



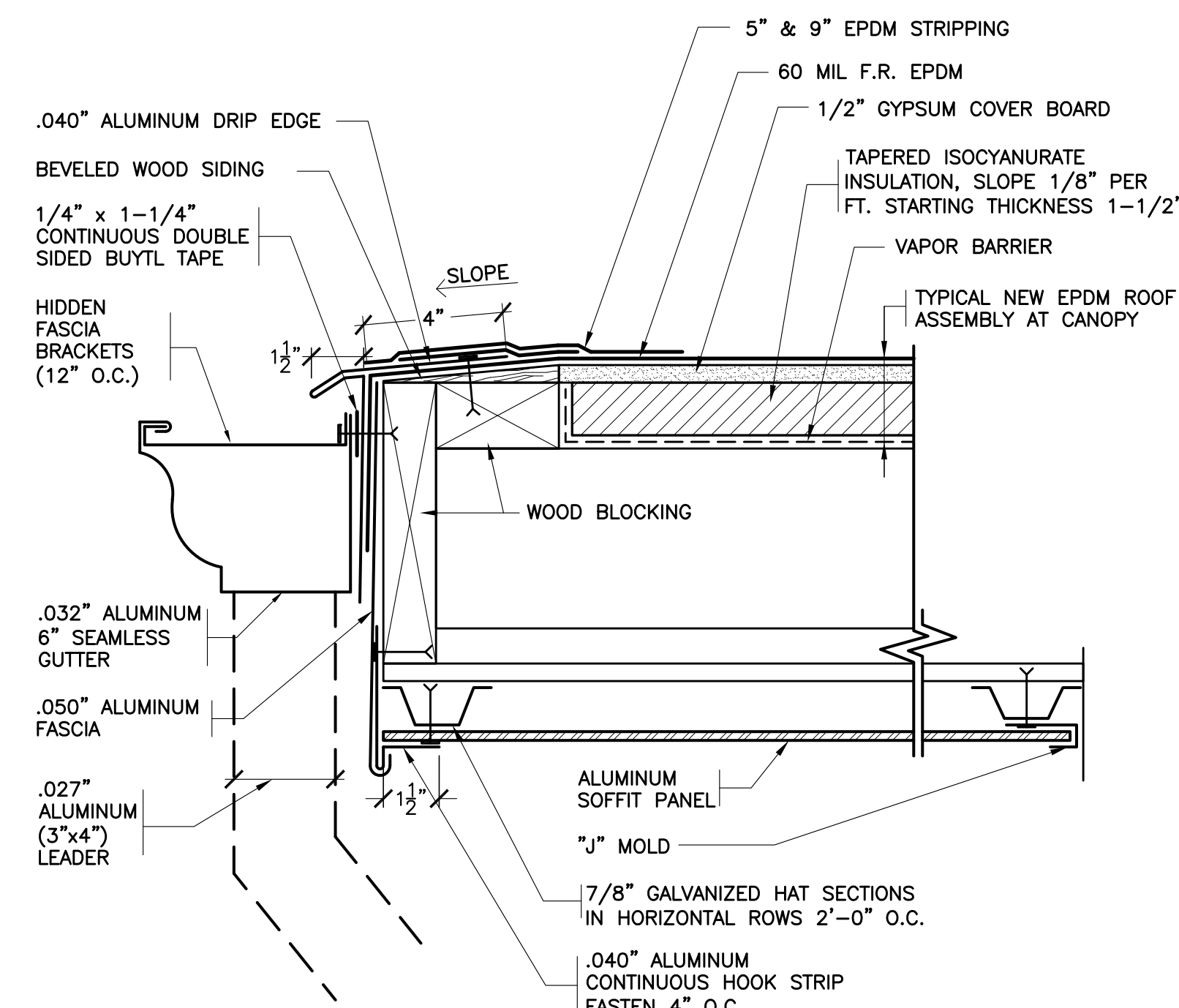
8 REVISED BASE
SCALE: 0" 1" 2" 4" 8"



8A REVISED CAP FLASHING
SCALE: 0" 1" 2" 4"



9 EXISTING EAVE AT CANOPY
SCALE: 0" 1" 2" 4" 8"



10 REVISED EAVE AT CANOPY
SCALE: 0" 1" 2" 4" 8"

11 NOT USED

12 NOT USED

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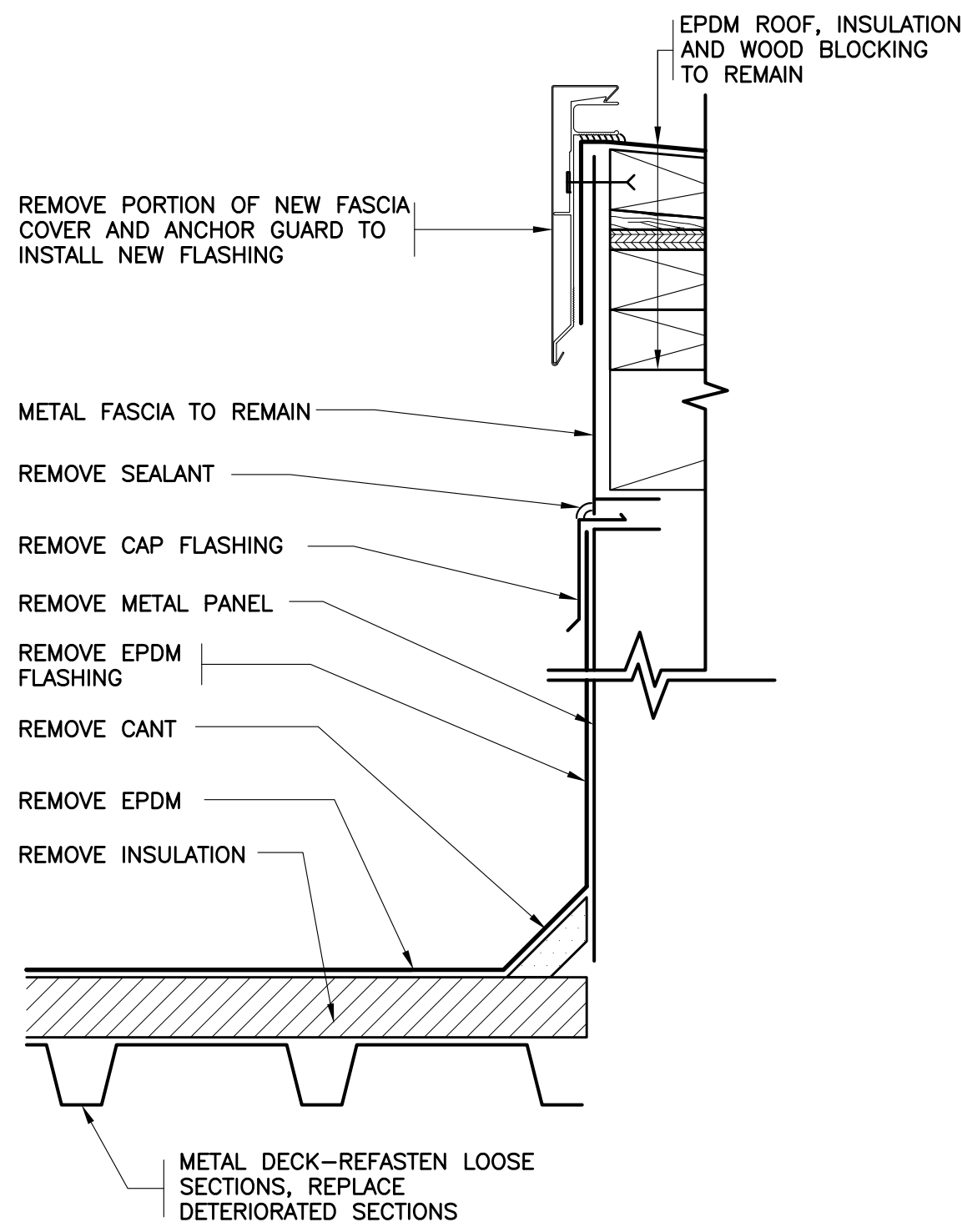
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66-23-00-01-0-101-008

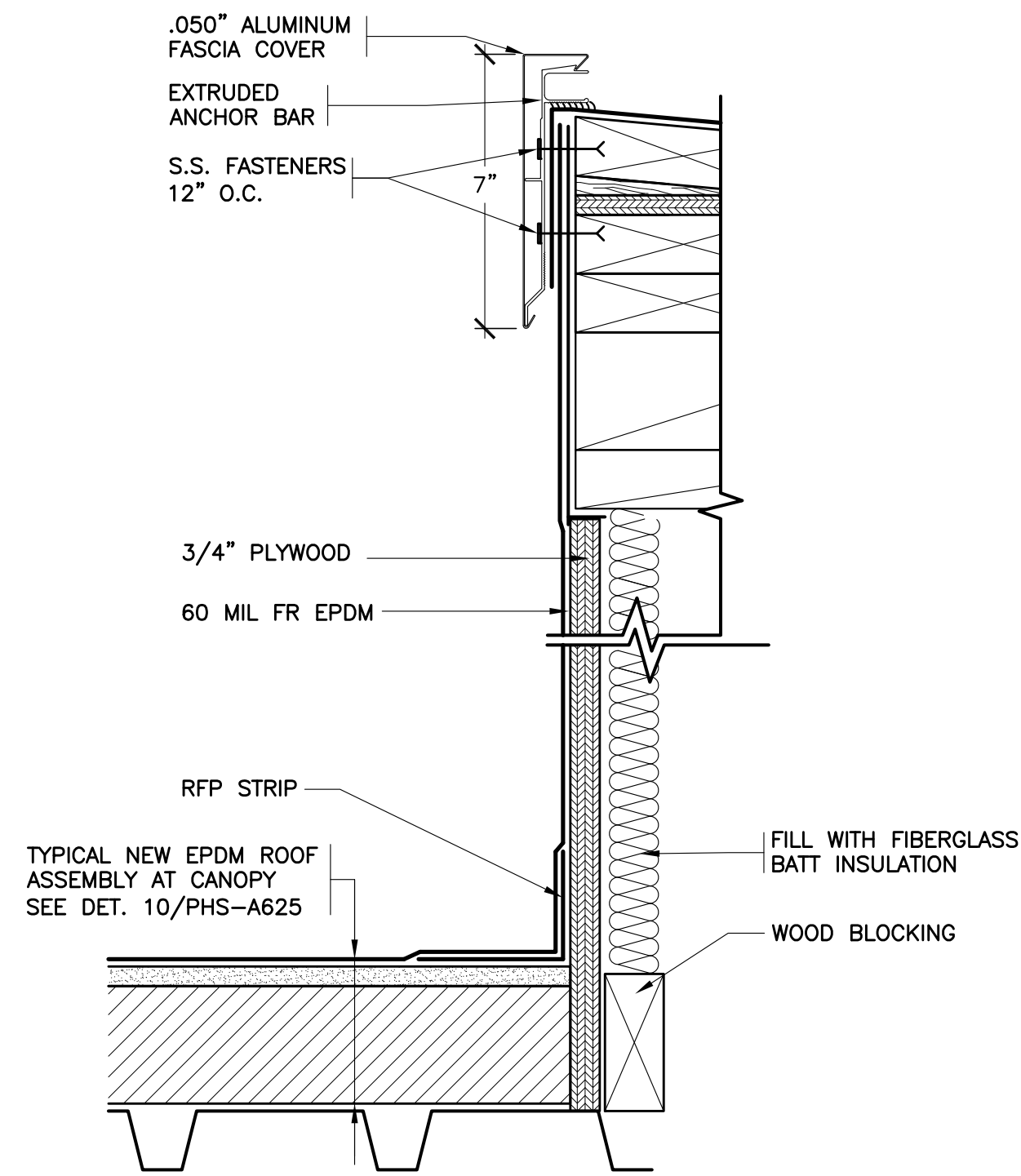
PROJECT NAME:
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
SCHOOL 208 PEARLS HAWTHORNE SCHOOL

DRAWING TITLE:
ROOF DETAILS

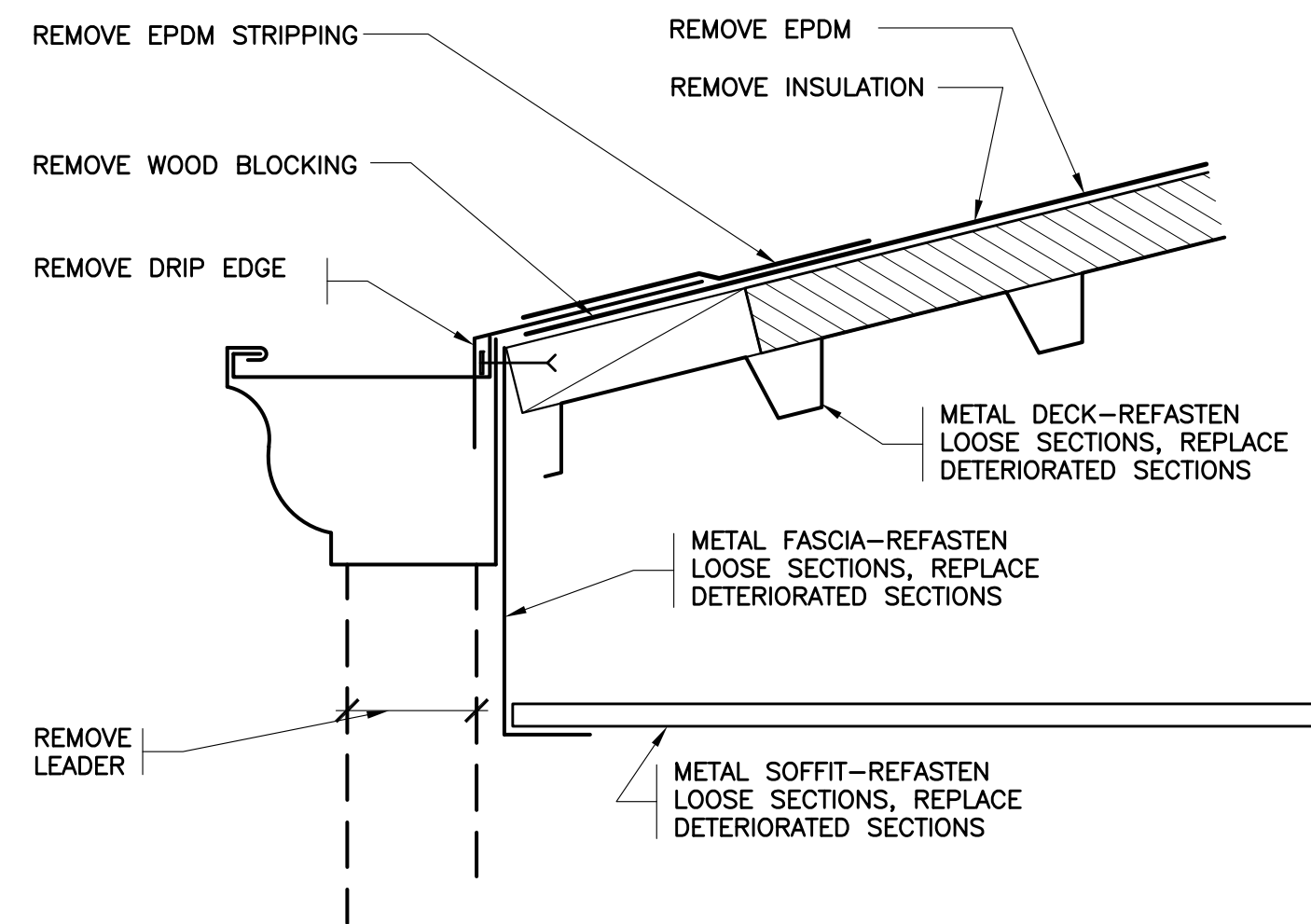
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DATE	ISSUED TO
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SCALE AS NOTED	FILE NO. 19354.07
DRAWN BY F & D	



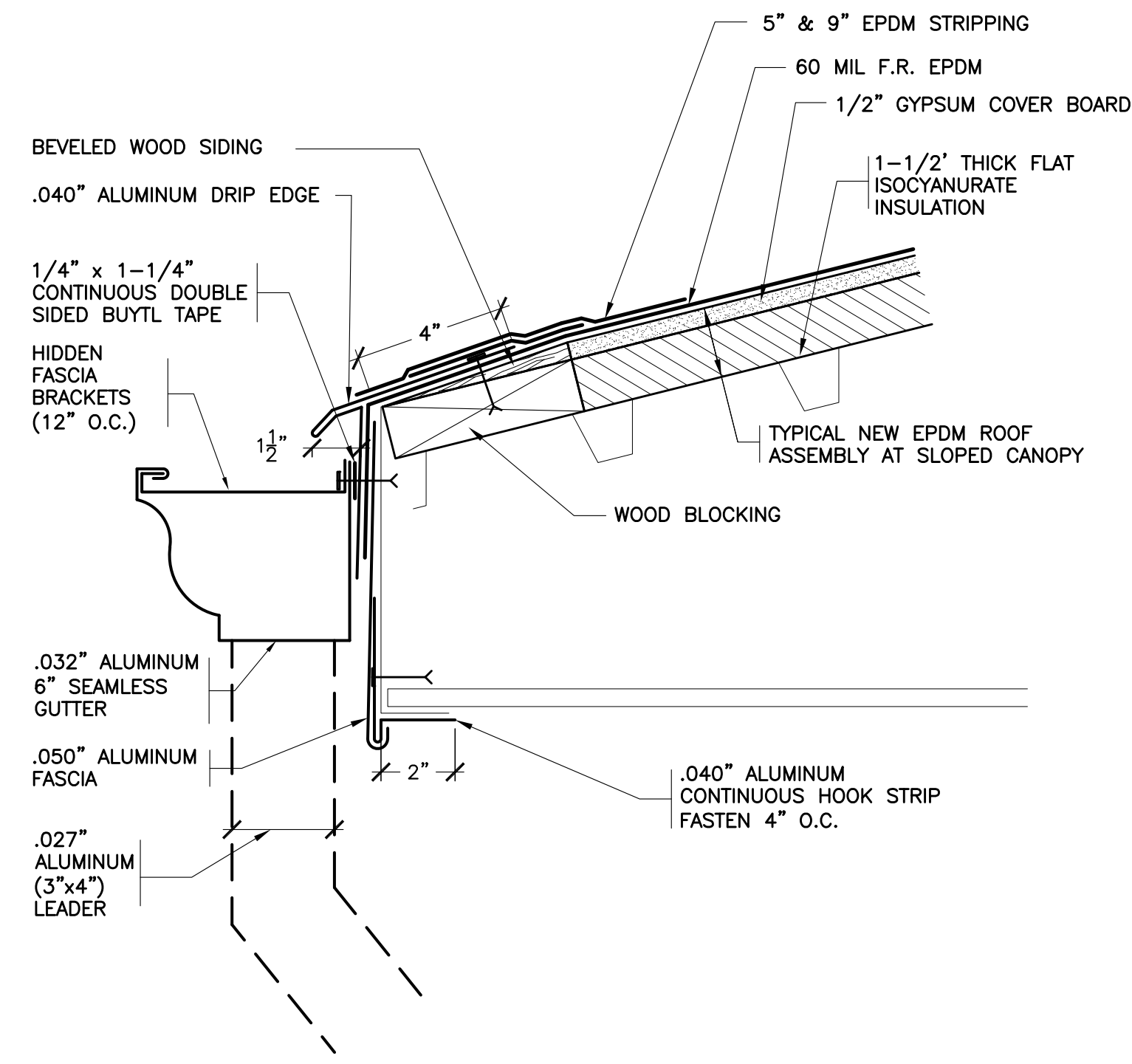
13 EXISTING BASE AT CANOPY
SCALE: 0" 1" 2" 4" 8"



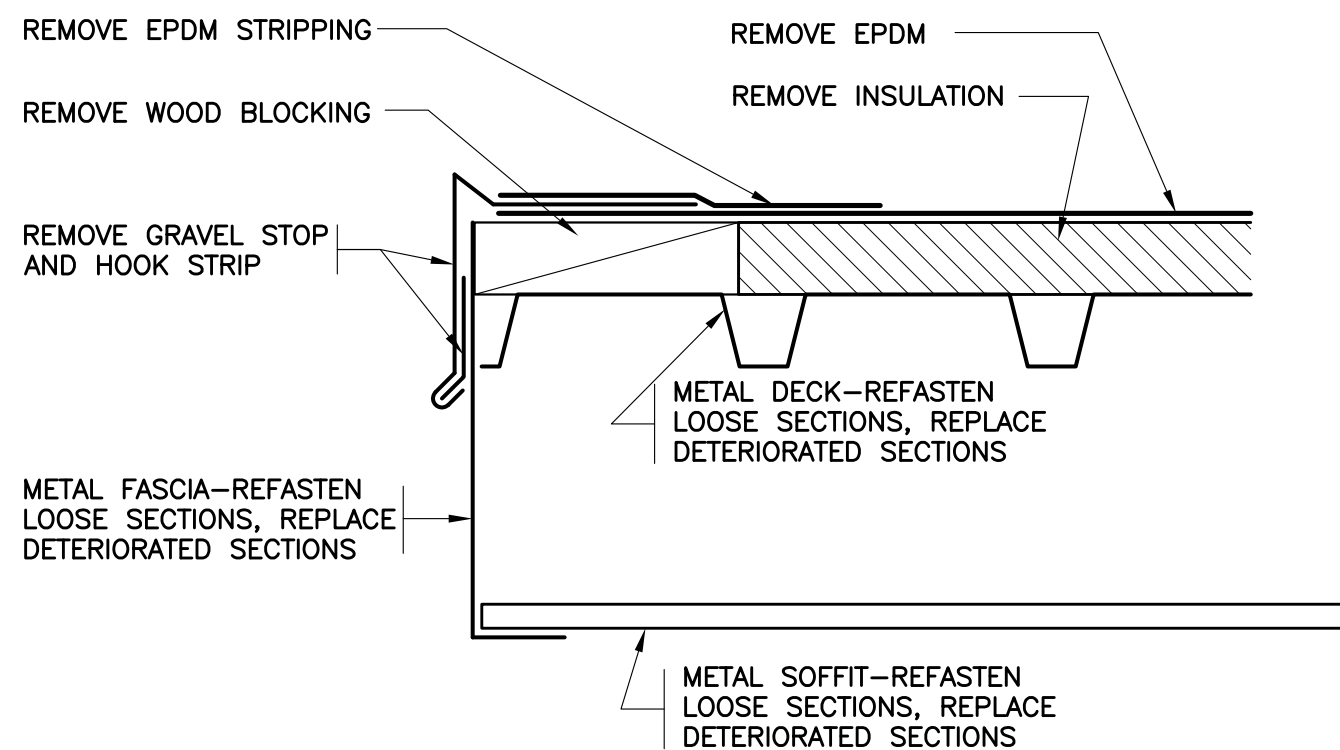
14 REVISED BASE AT CANOPY
SCALE: 0" 1" 2" 4" 8"



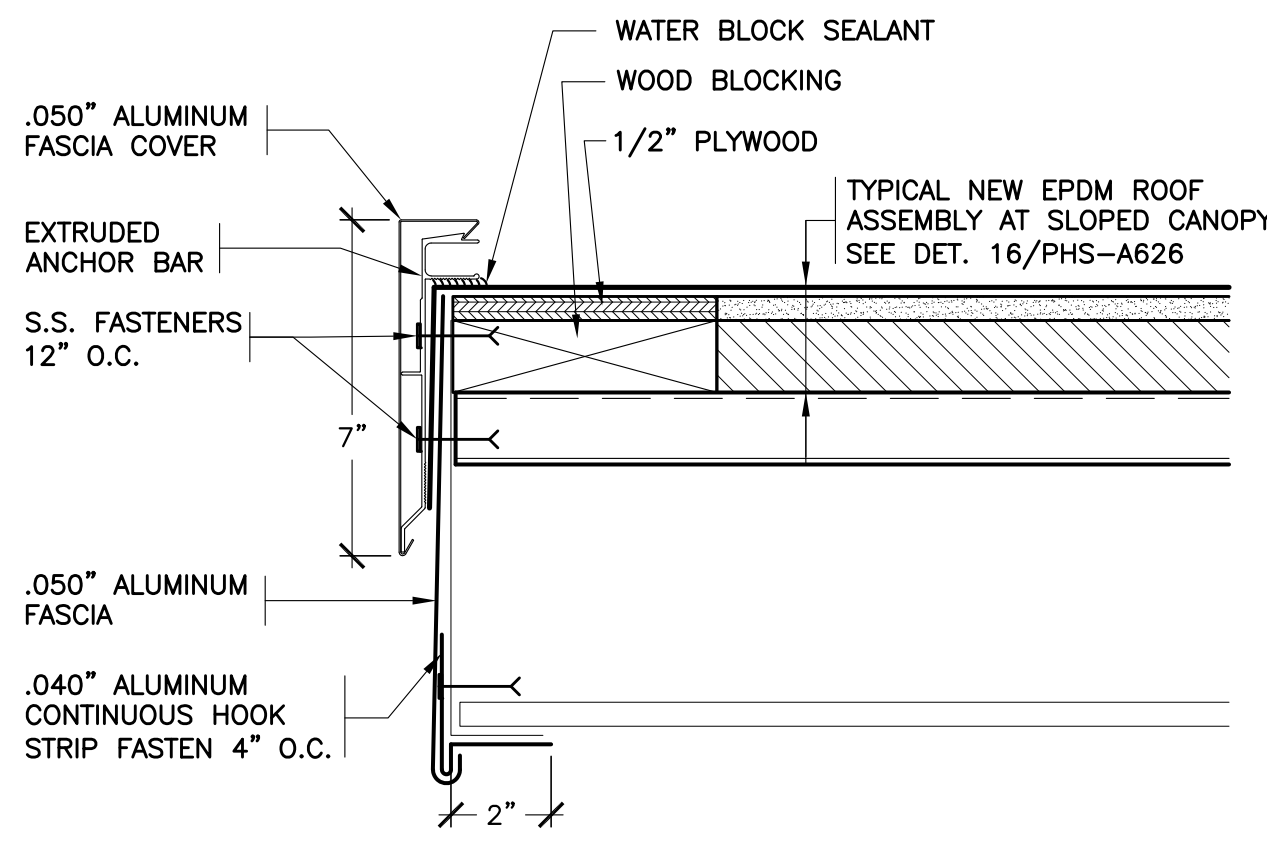
15 EXISTING EAVE AT SLOPED CANOPY
SCALE: 0" 1" 2" 4" 8"



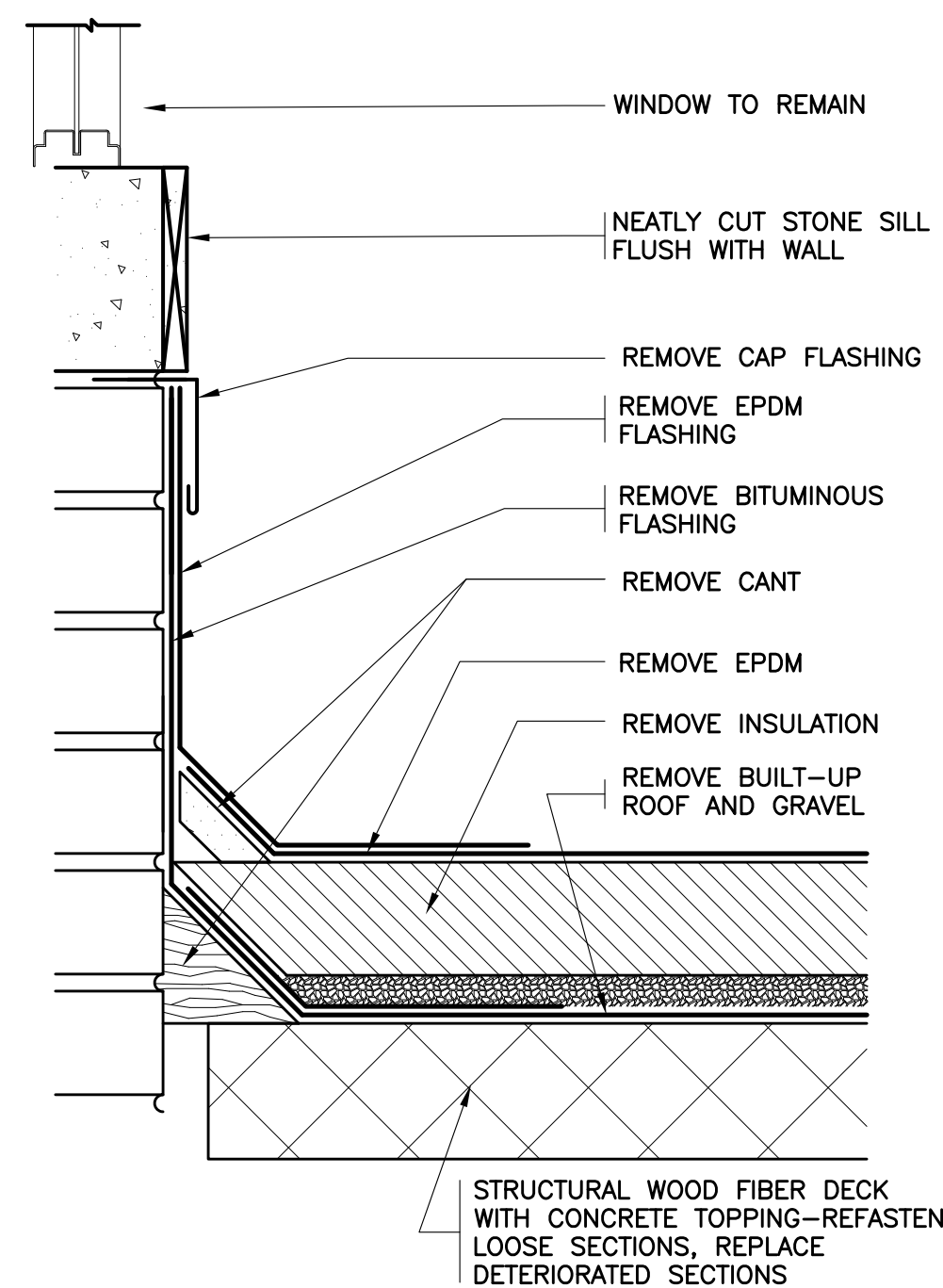
16 REVISED EAVE AT SLOPED CANOPY
SCALE: 0" 1" 2" 4" 8"



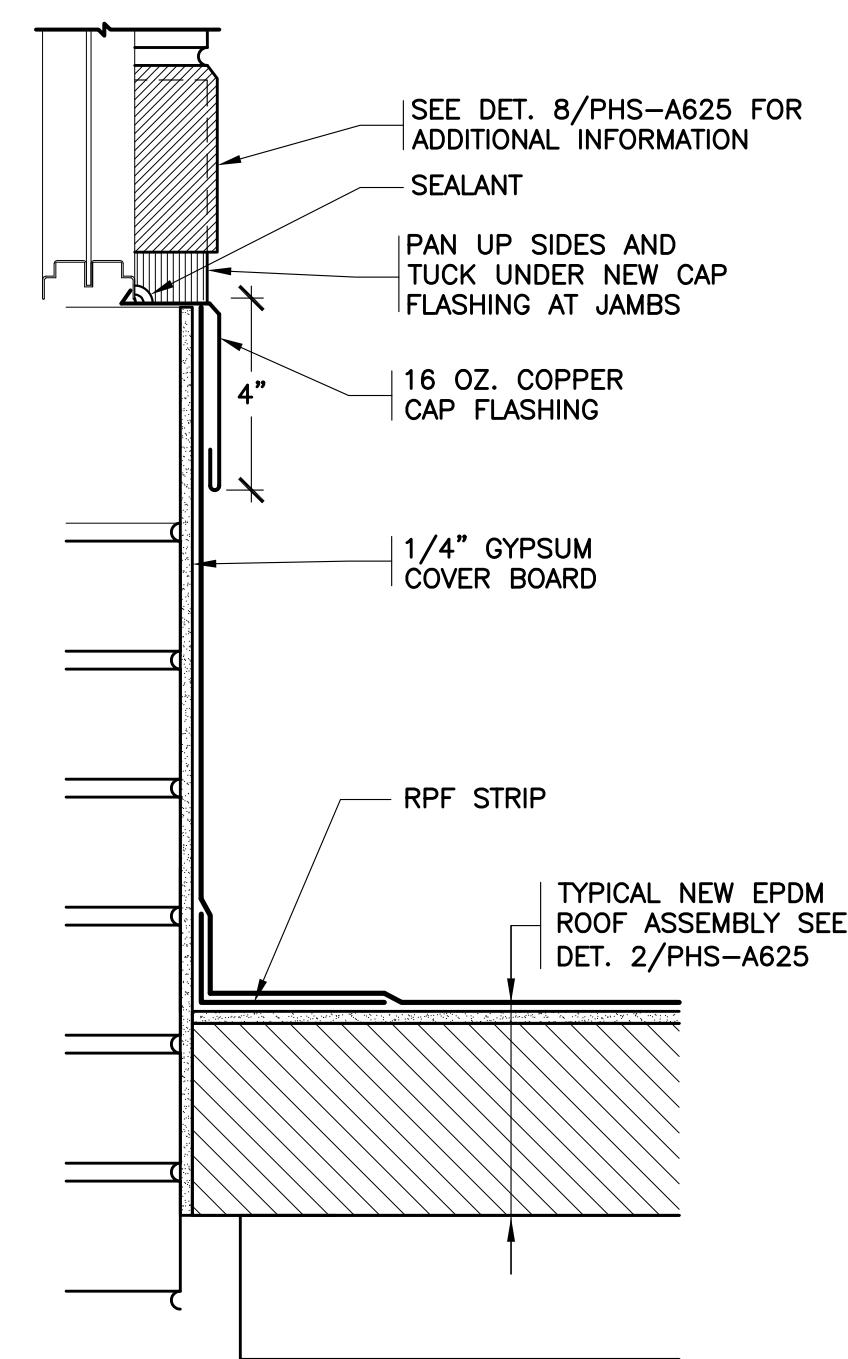
17 EXISTING RAKE AT SLOPED CANOPY
SCALE: 0" 1" 2" 4" 8"



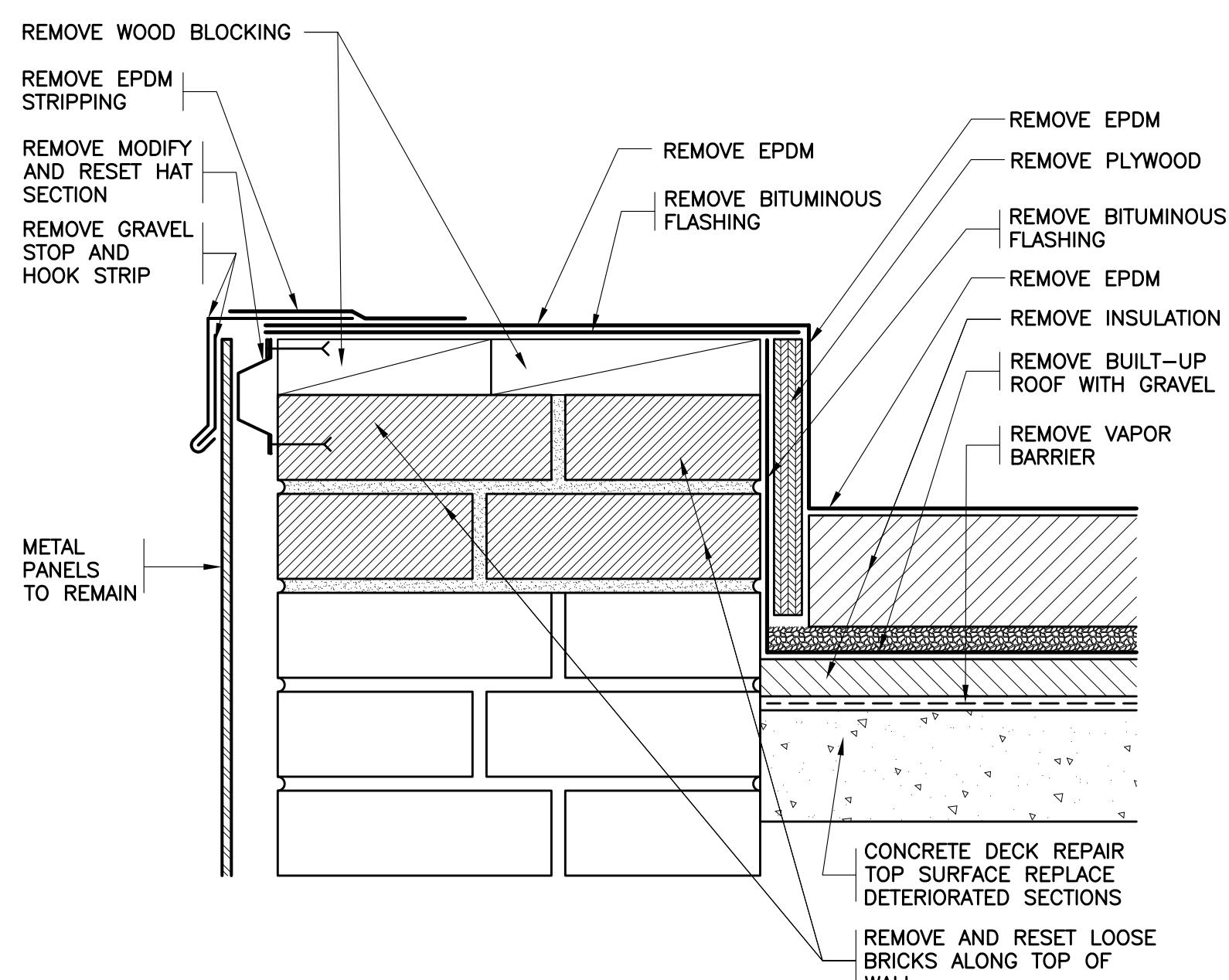
18 REVISED RAKE AT SLOPED CANOPY
SCALE: 0" 1" 2" 4" 8"



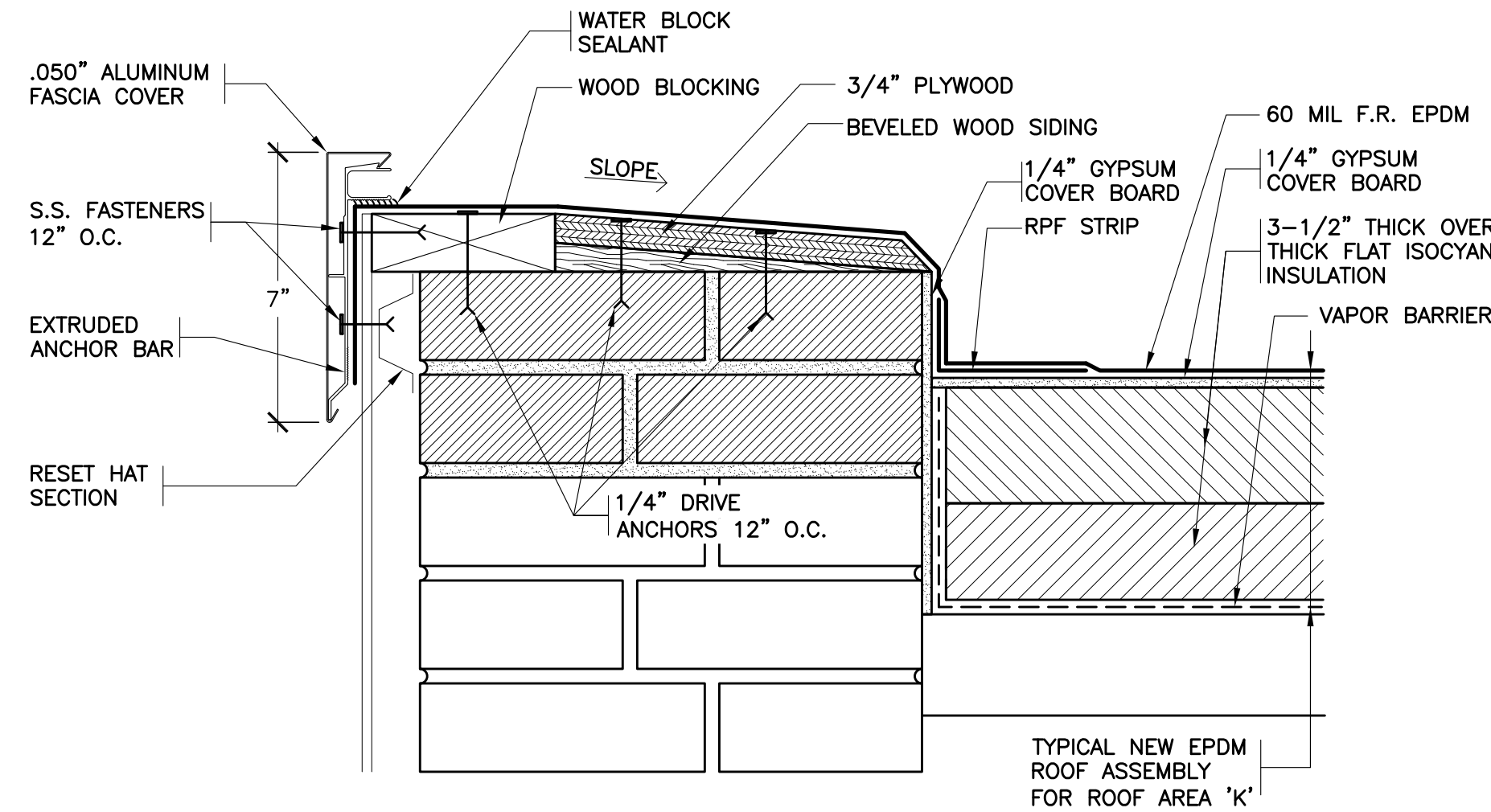
19 EXISTING BASE AT WINDOW
SCALE: 0" 1" 2" 4" 8"



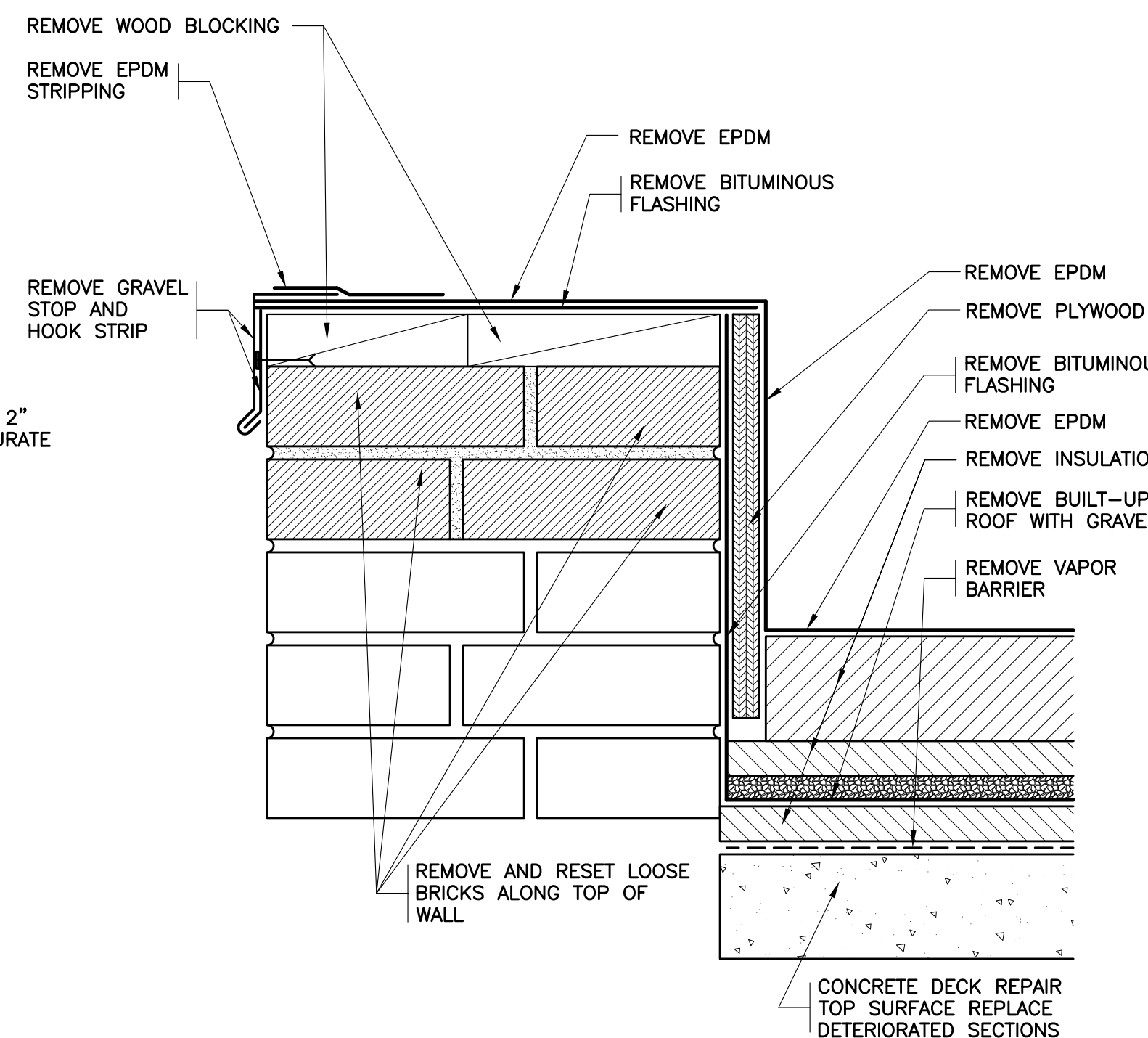
20 REVISED BASE AT WINDOW
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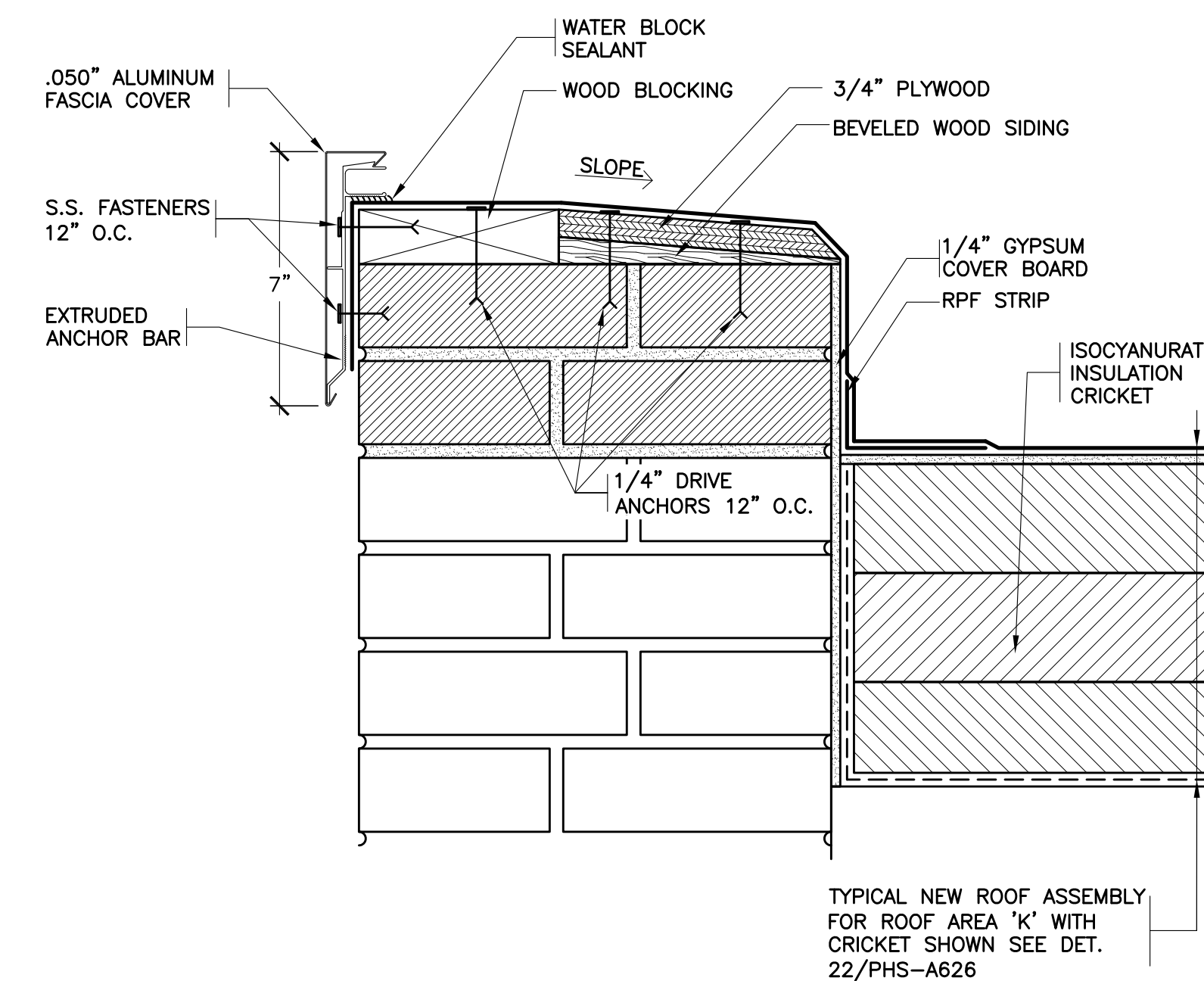
21 EXISTING PARAPET
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22 REVISED PARAPET
SCALE: 0" 1" 2" 4" 8"



23 EXISTING PARAPET
SCALE: 0" 1" 2" 4" 8"



24 REVISED PARAPET
SCALE: 0" 1" 2" 4" 8"

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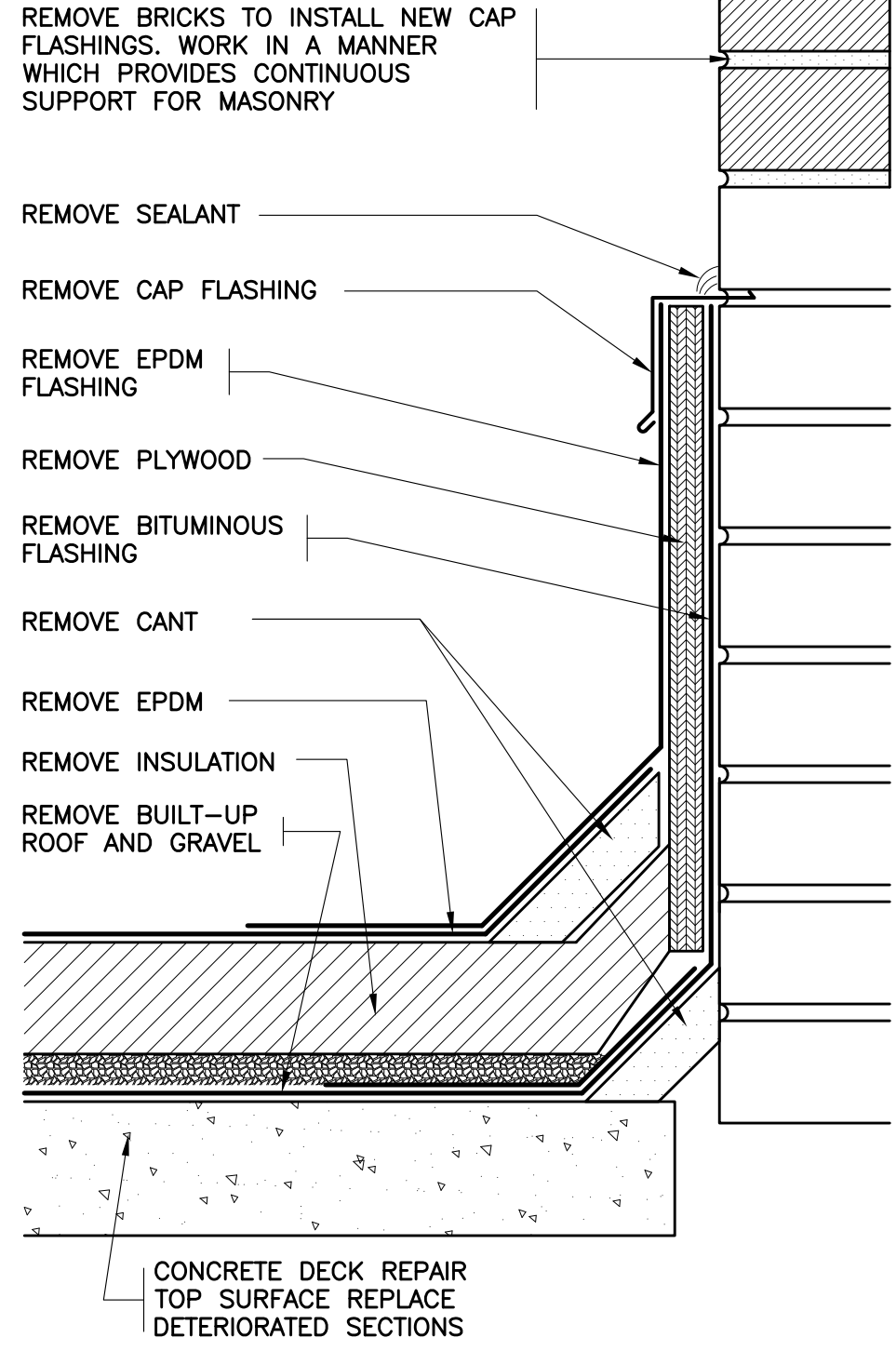
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S.E.D. CONTROL NUMBER:
66-23-00-01-0-101-008

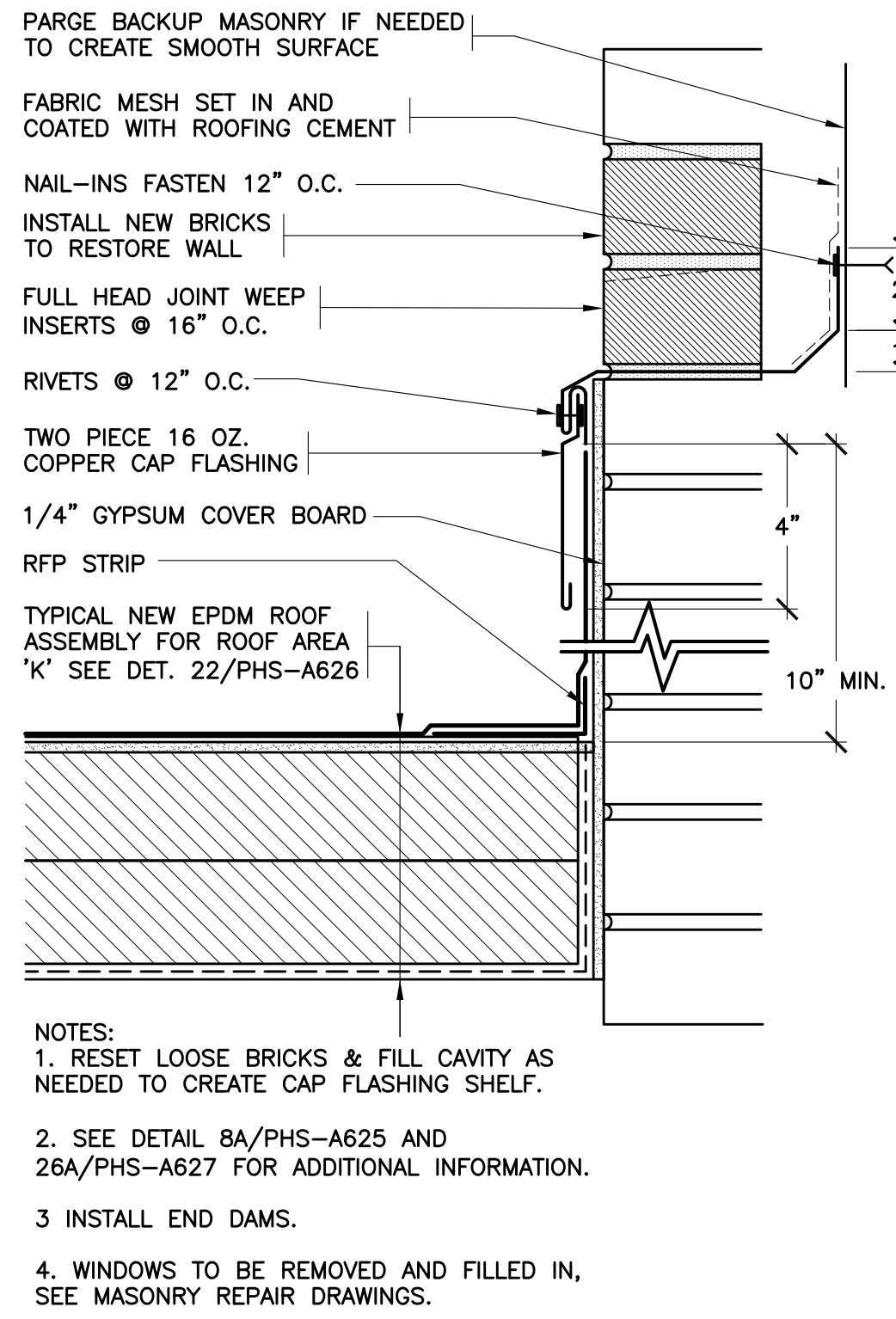
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YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
SCHOOL 218 PEARLS HAWTHORNE SCHOOL

DRAWING TITLE
ROOF DETAILS

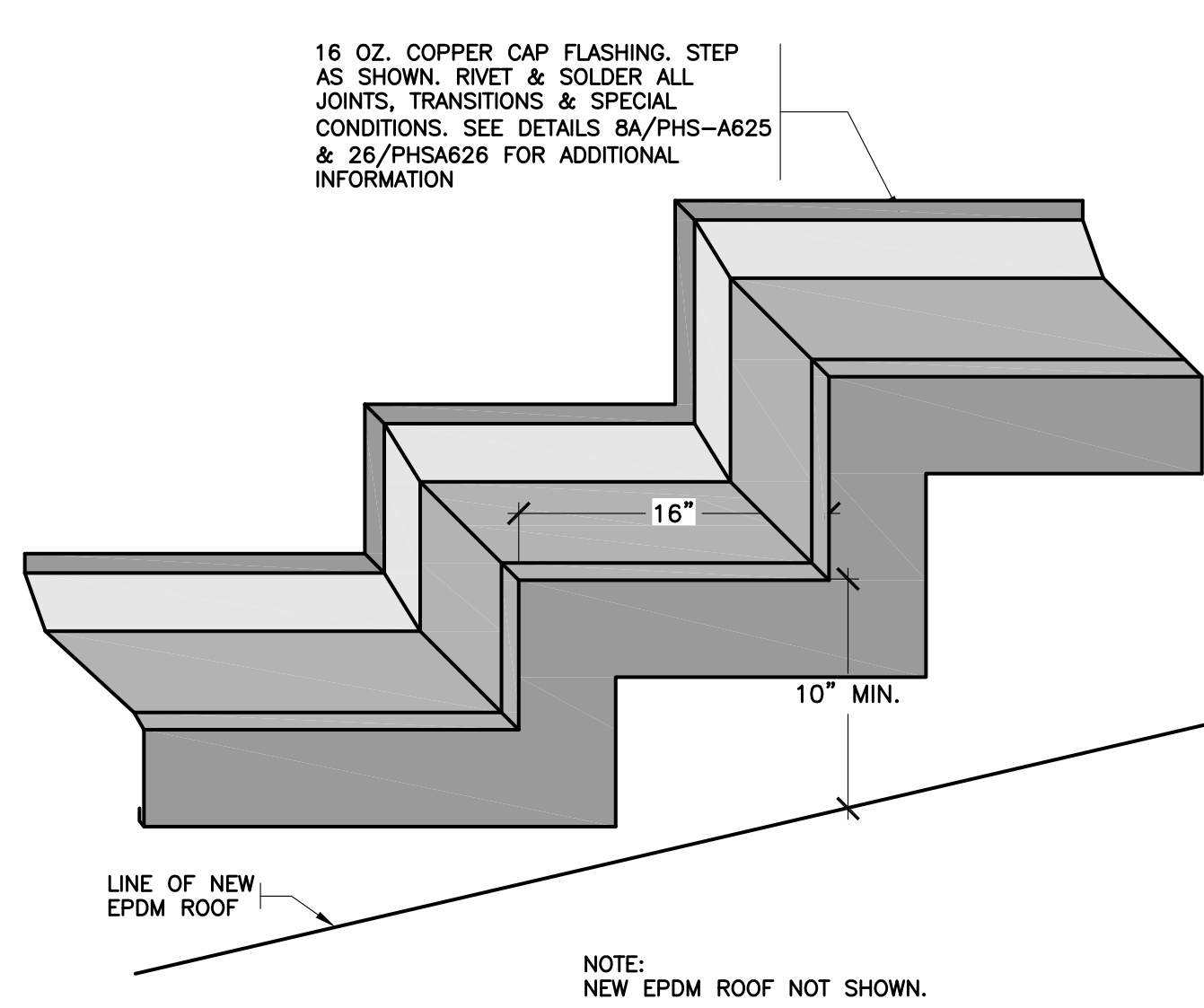
02-16-2022	BID
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DRAWN BY F & D	



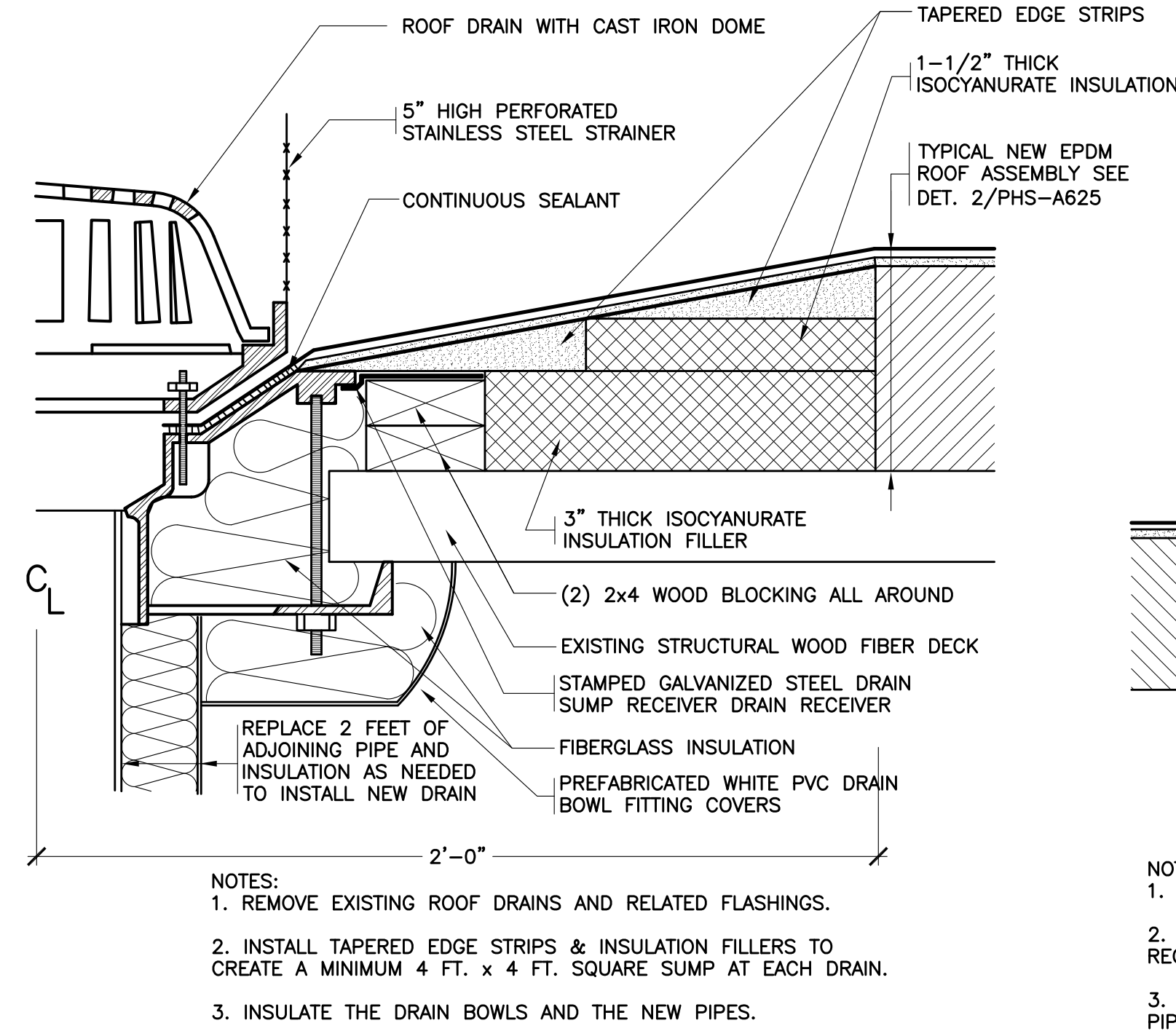
25 EXISTING BASE
SCALE: 0" 1" 2" 4" 8"



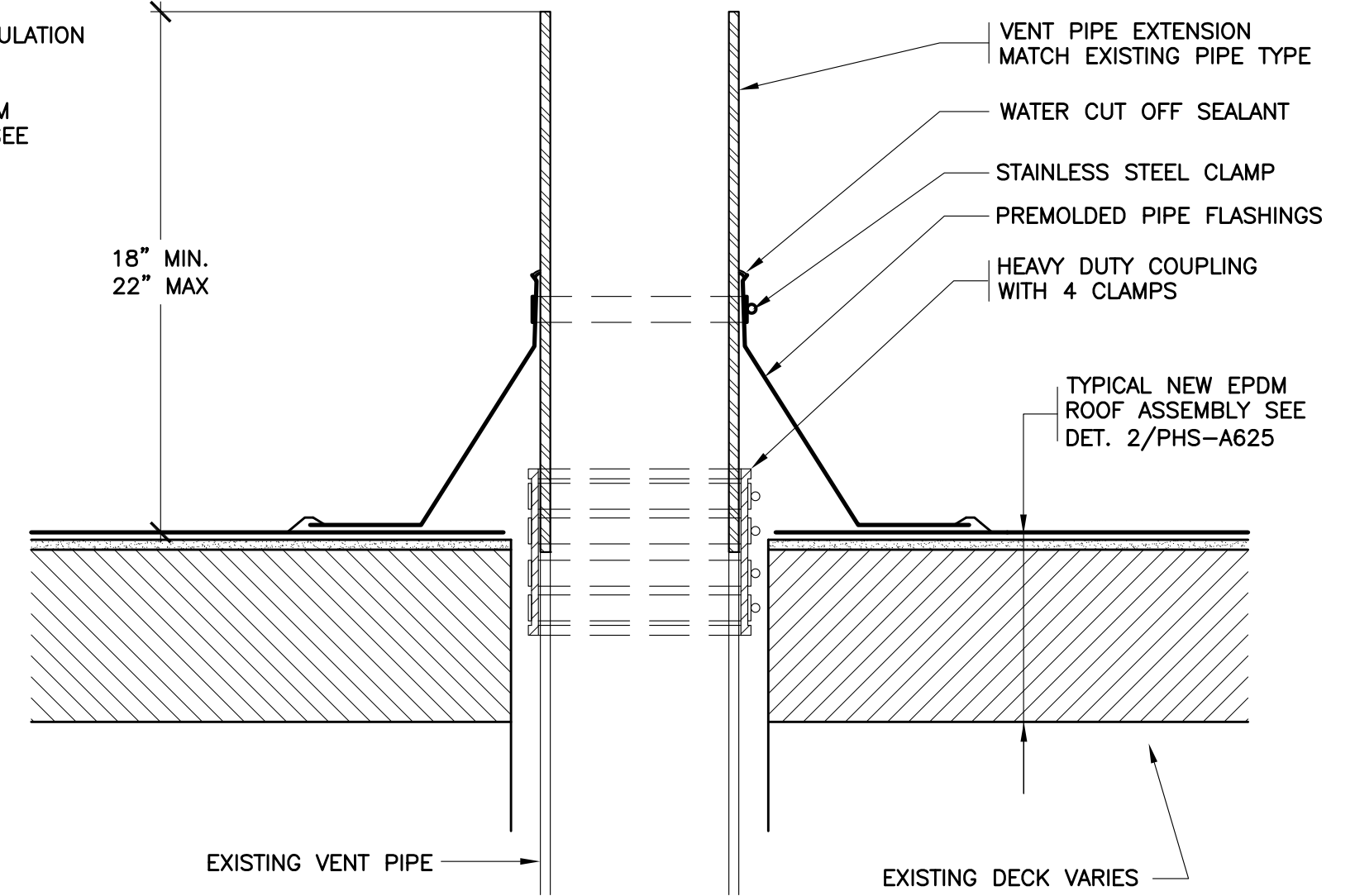
26 REVISED BASE
SCALE: 0" 1" 2" 4" 8"



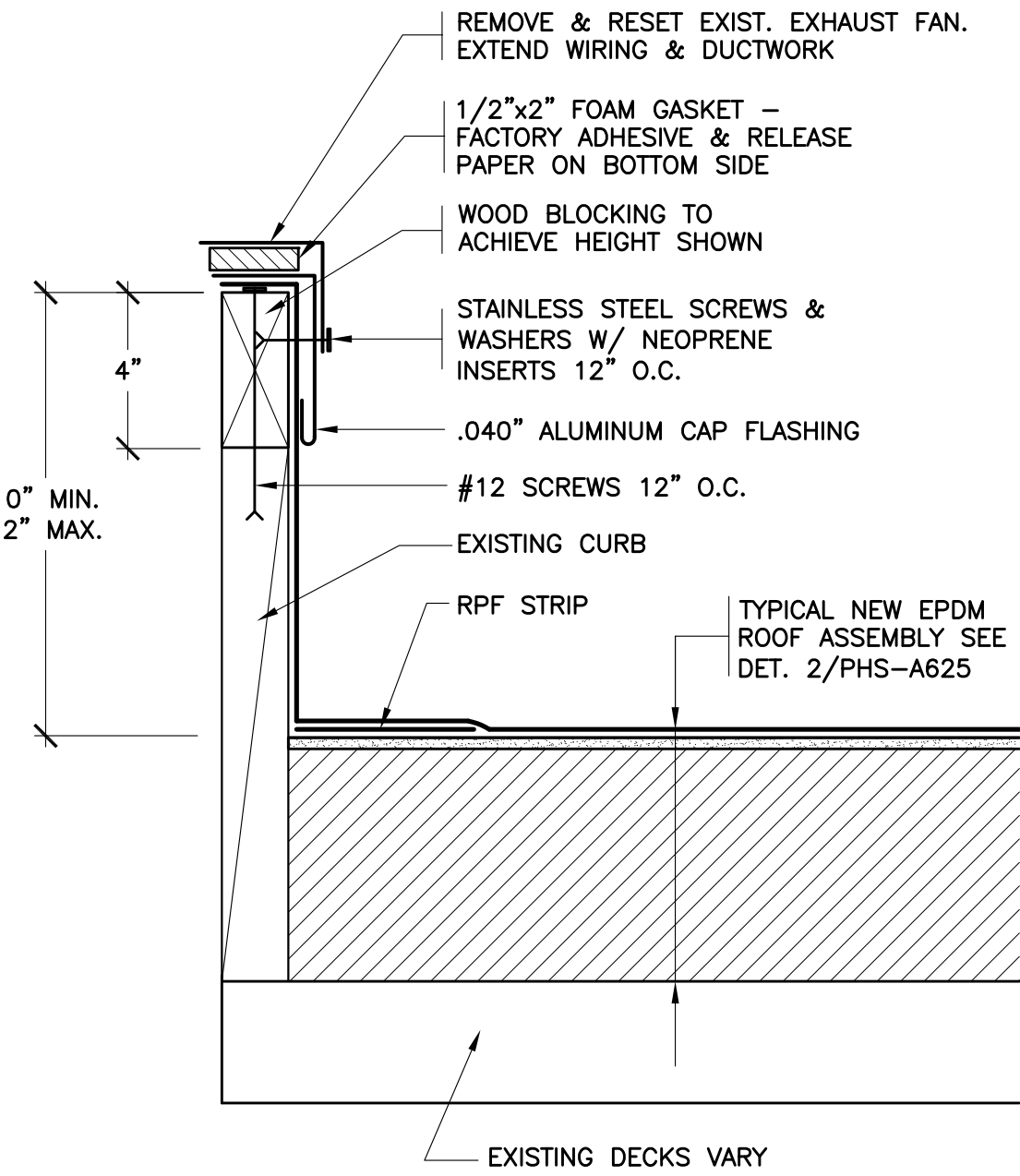
26A NEW CAP FLASHING AXON
NOT TO SCALE



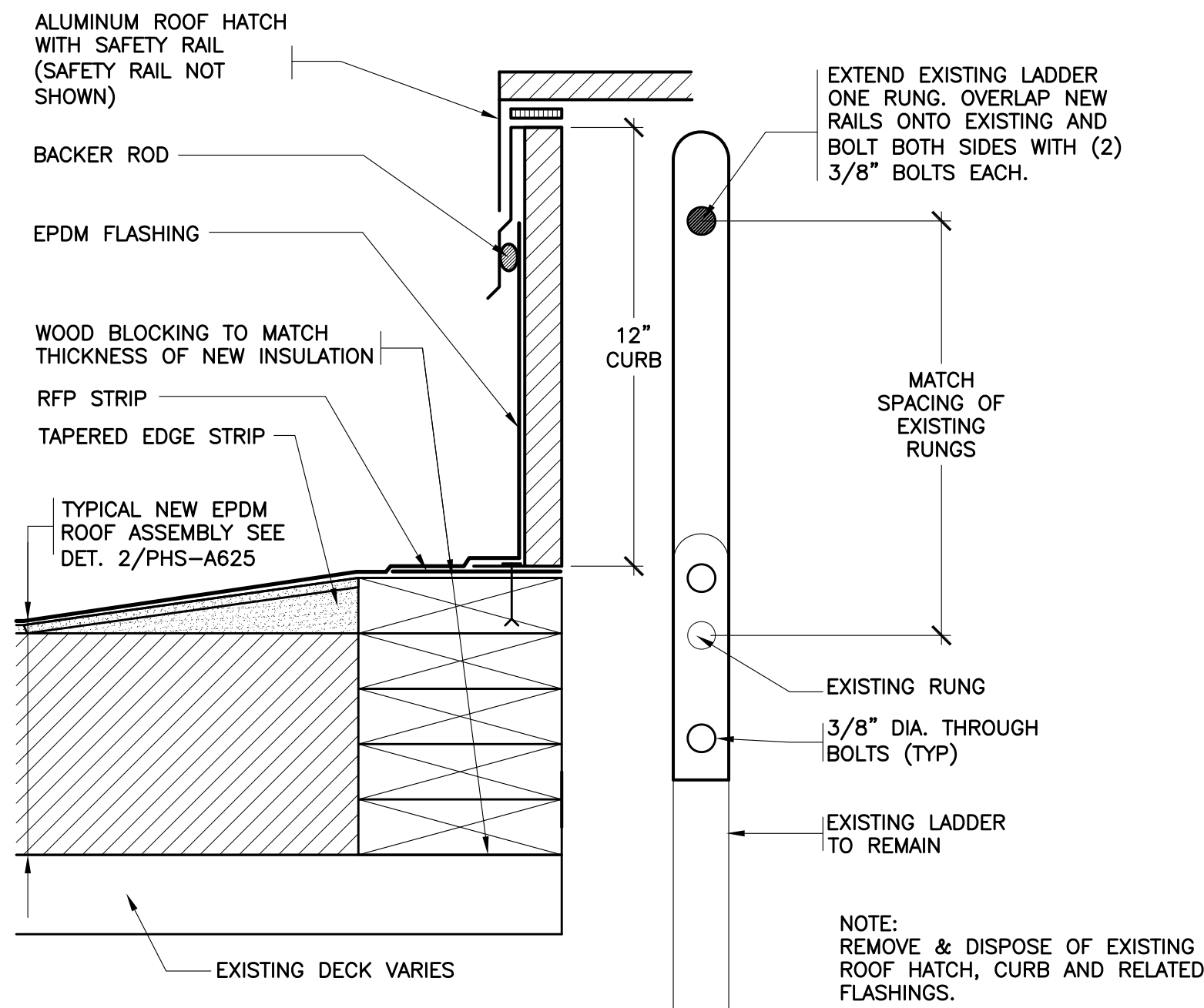
27 REVISED ROOF DRAIN
SCALE: 0" 1" 2" 4" 8"



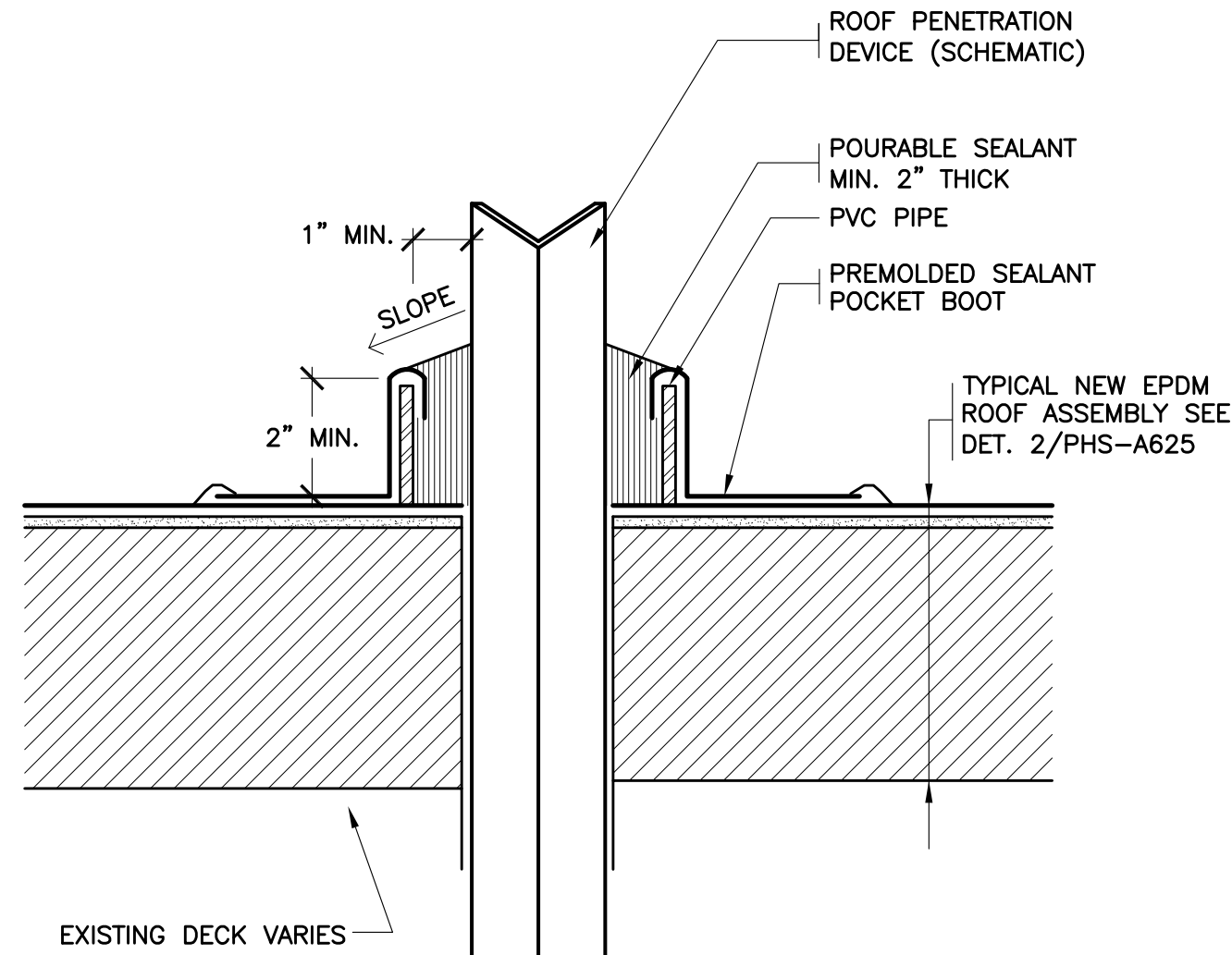
28 REVISED VENT PIPE
SCALE: 0" 1" 2" 4" 8"



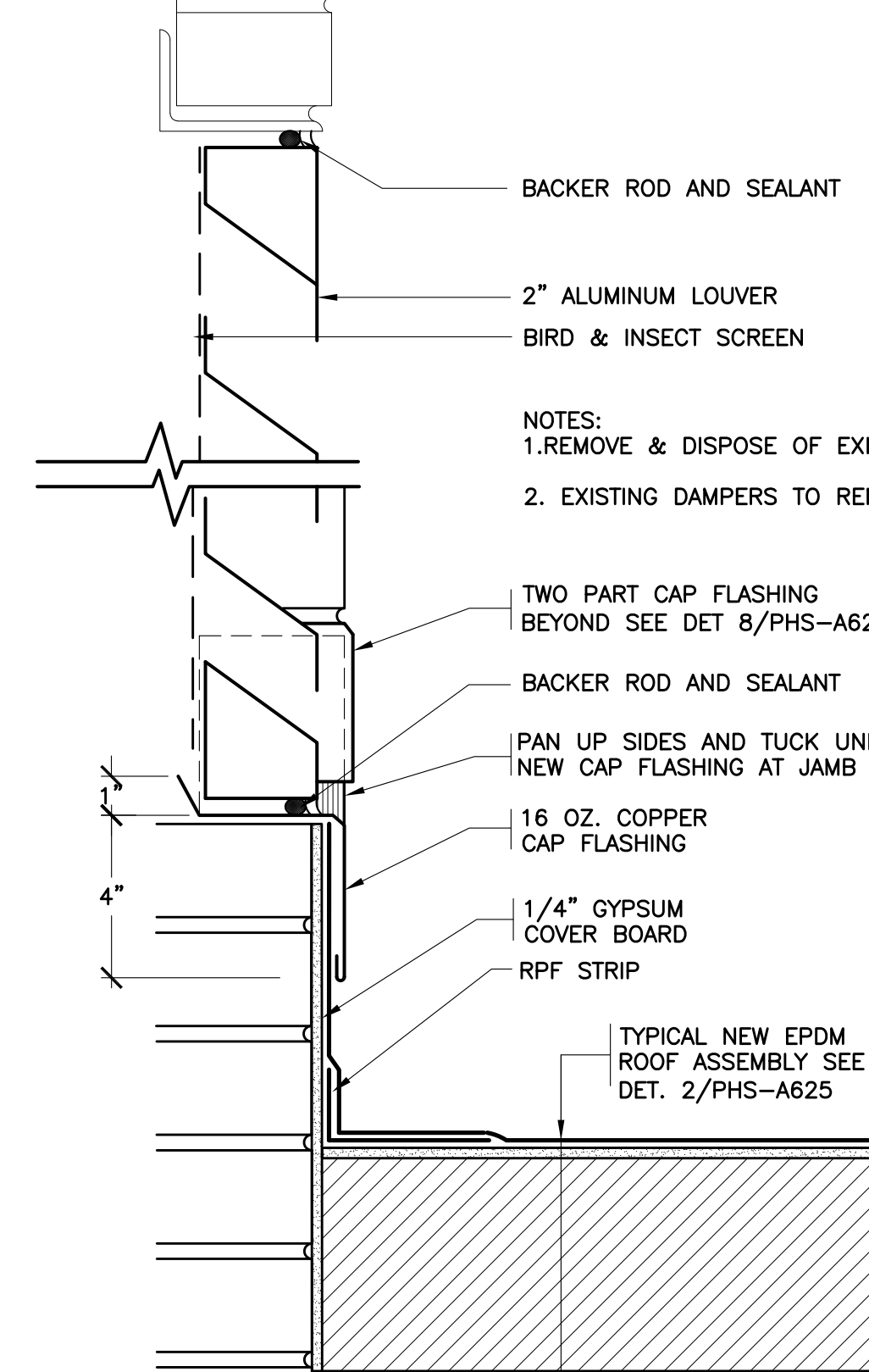
29 REVISED EXHAUST FAN
SCALE: 0" 1" 2" 4" 8"



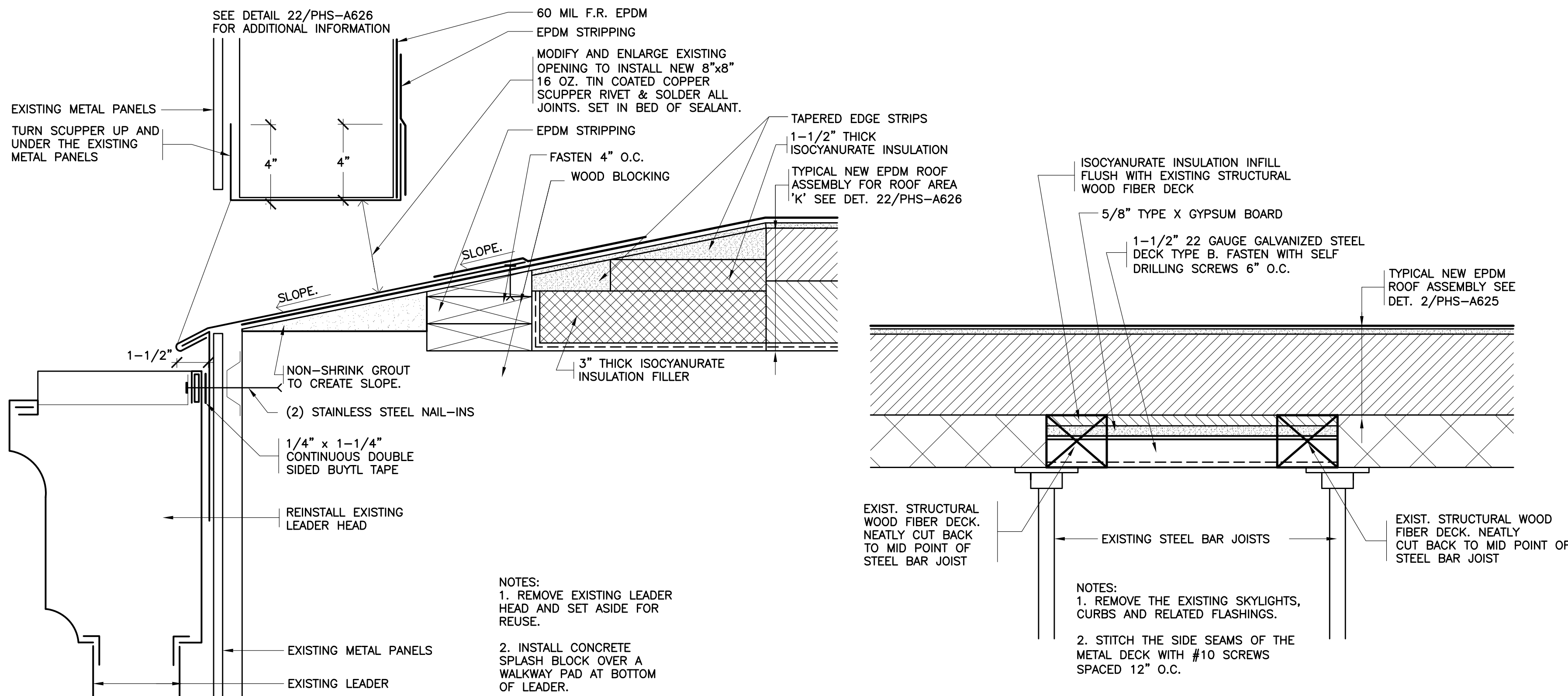
30 REVISED ROOF HATCH
SCALE: 0" 1" 2" 4" 8"



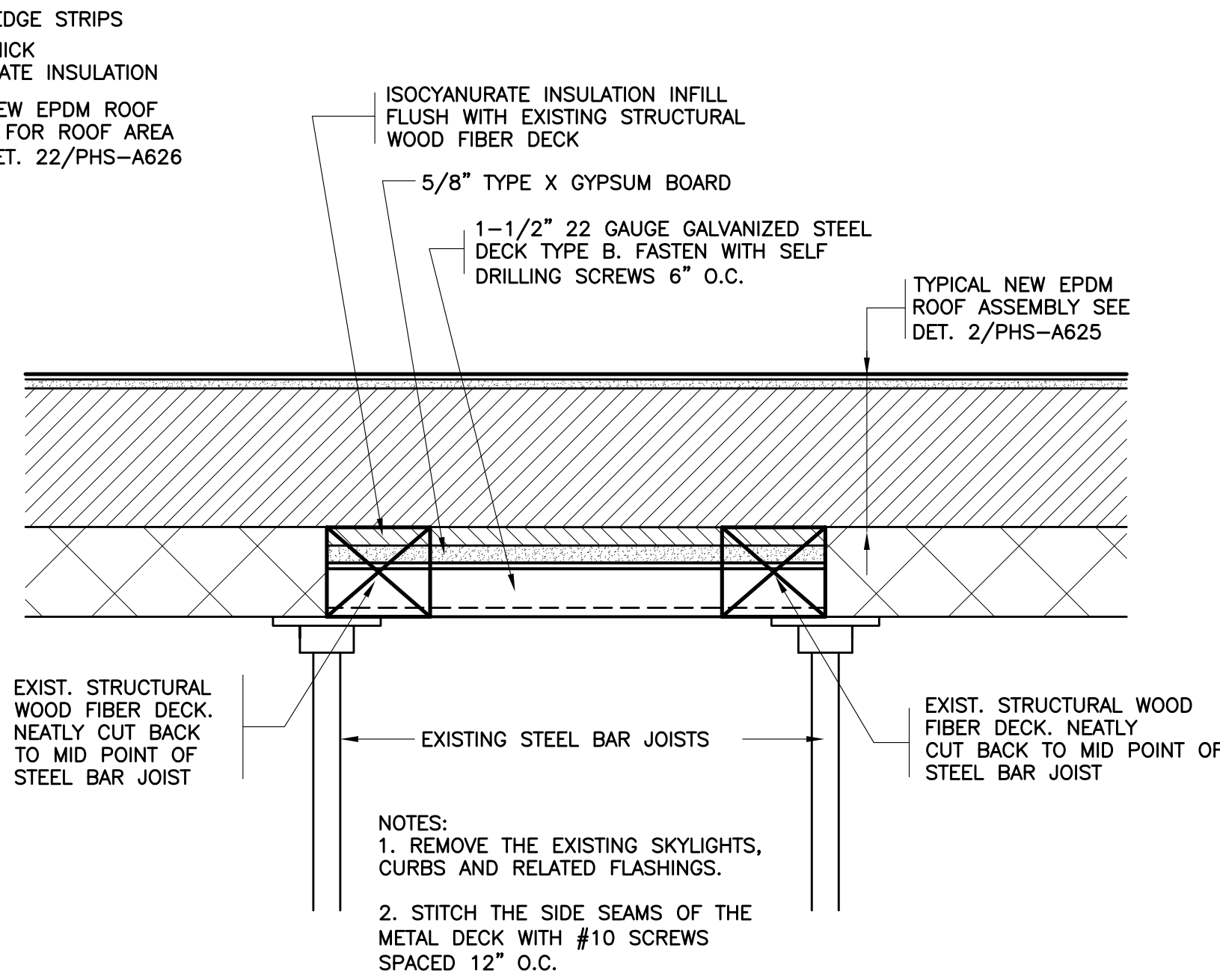
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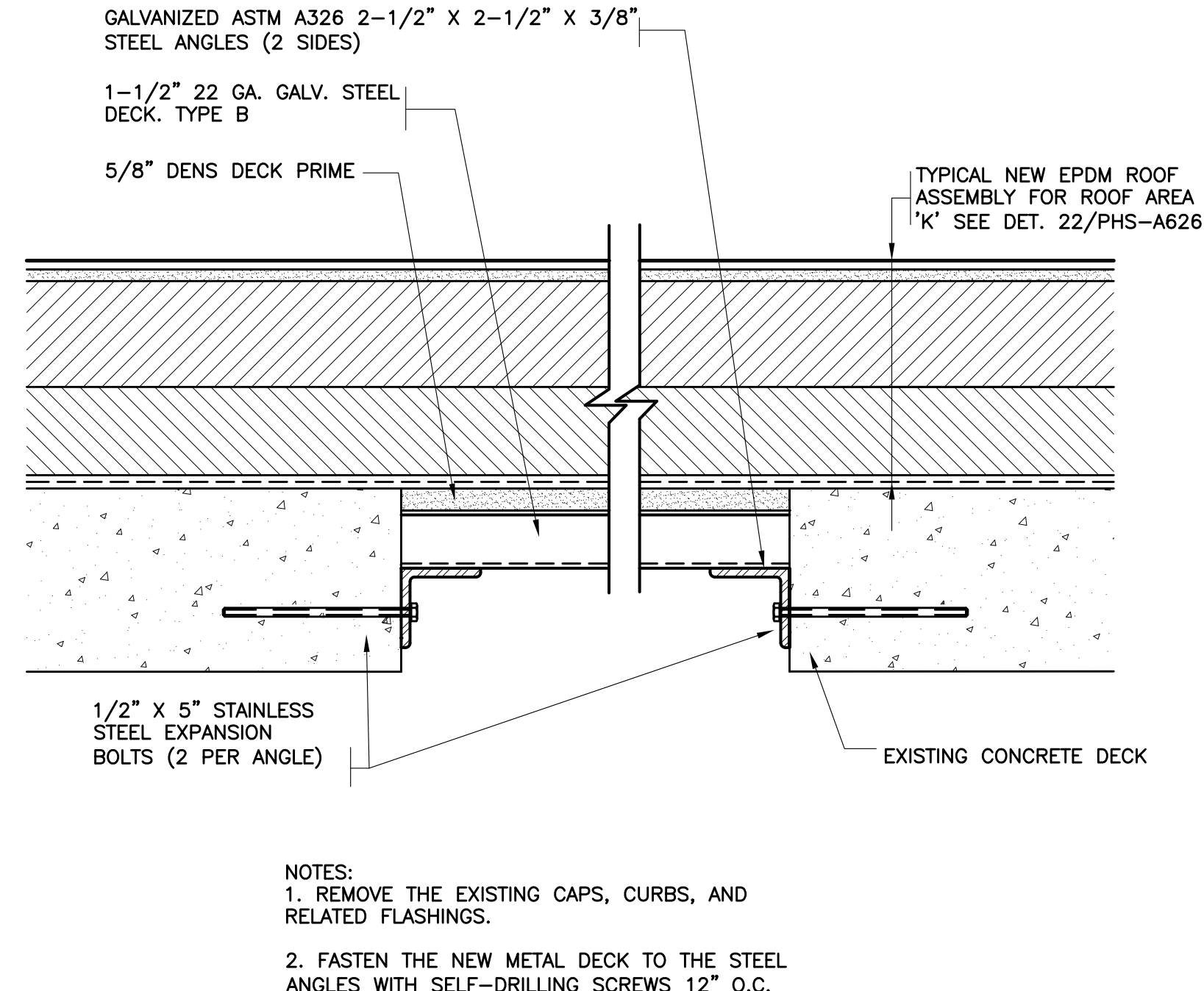
32 REVISED WALL LOUVER
SCALE: 0" 1" 2" 4" 8"



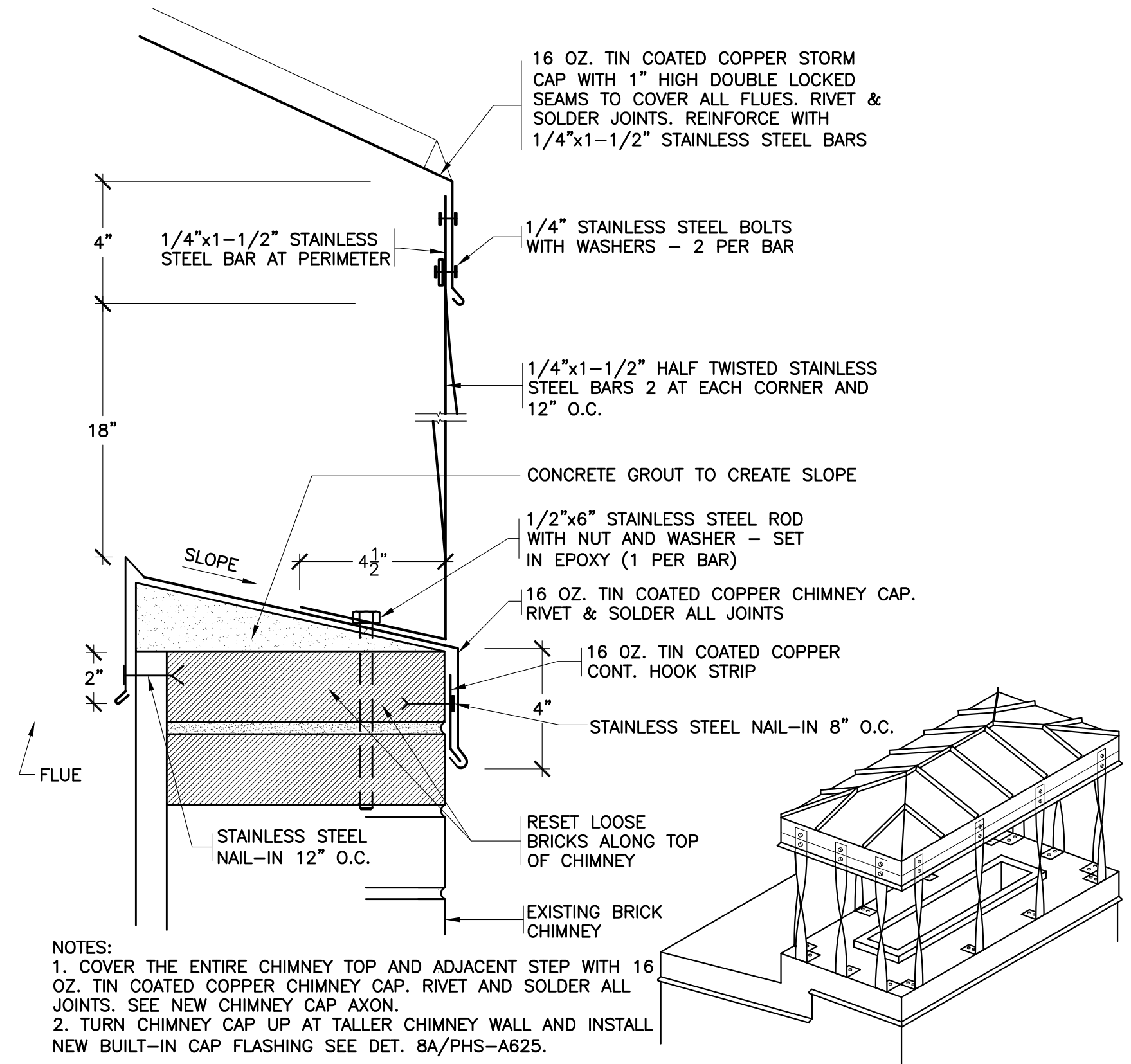
33 REVISED SCUPPER
SCALE: 0" 1" 2" 4" 8"



34 DECK INFILL AT STRUCTURAL WOOD FIBER DECK
SCALE: 0" 1" 2" 4" 8"



35 DECK INFILL AT CONCRETE DECK
SCALE: 0" 1" 2" 4" 8"



36 REVISED CHIMNEY CAP
SCALE: 0" 1" 2" 4" 8"

CHIMNEY CAP AXON.
SCHEMATIC: N.T.S.

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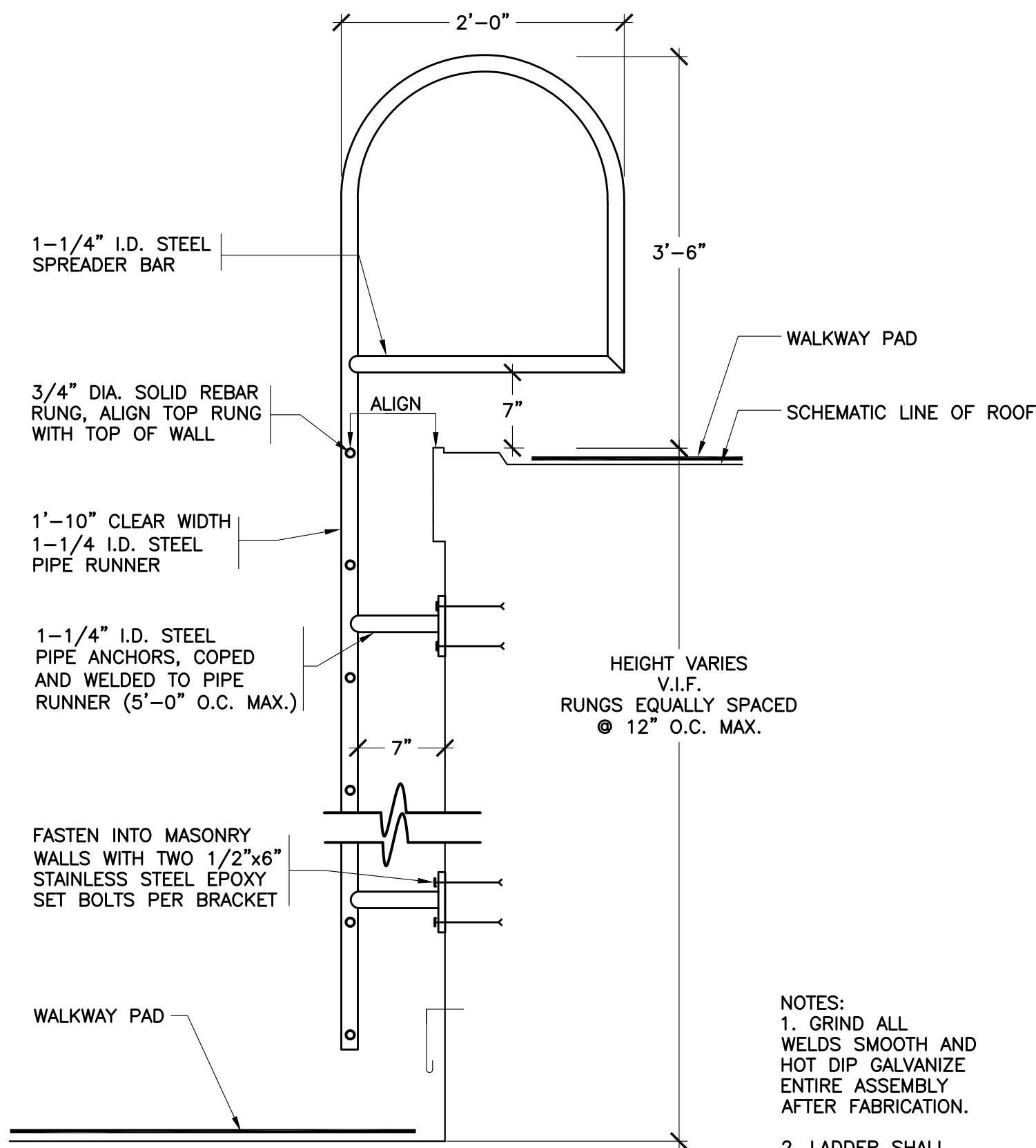
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S.E.D. CONTROL NUMBER:
66-23-00-01-0-101-008

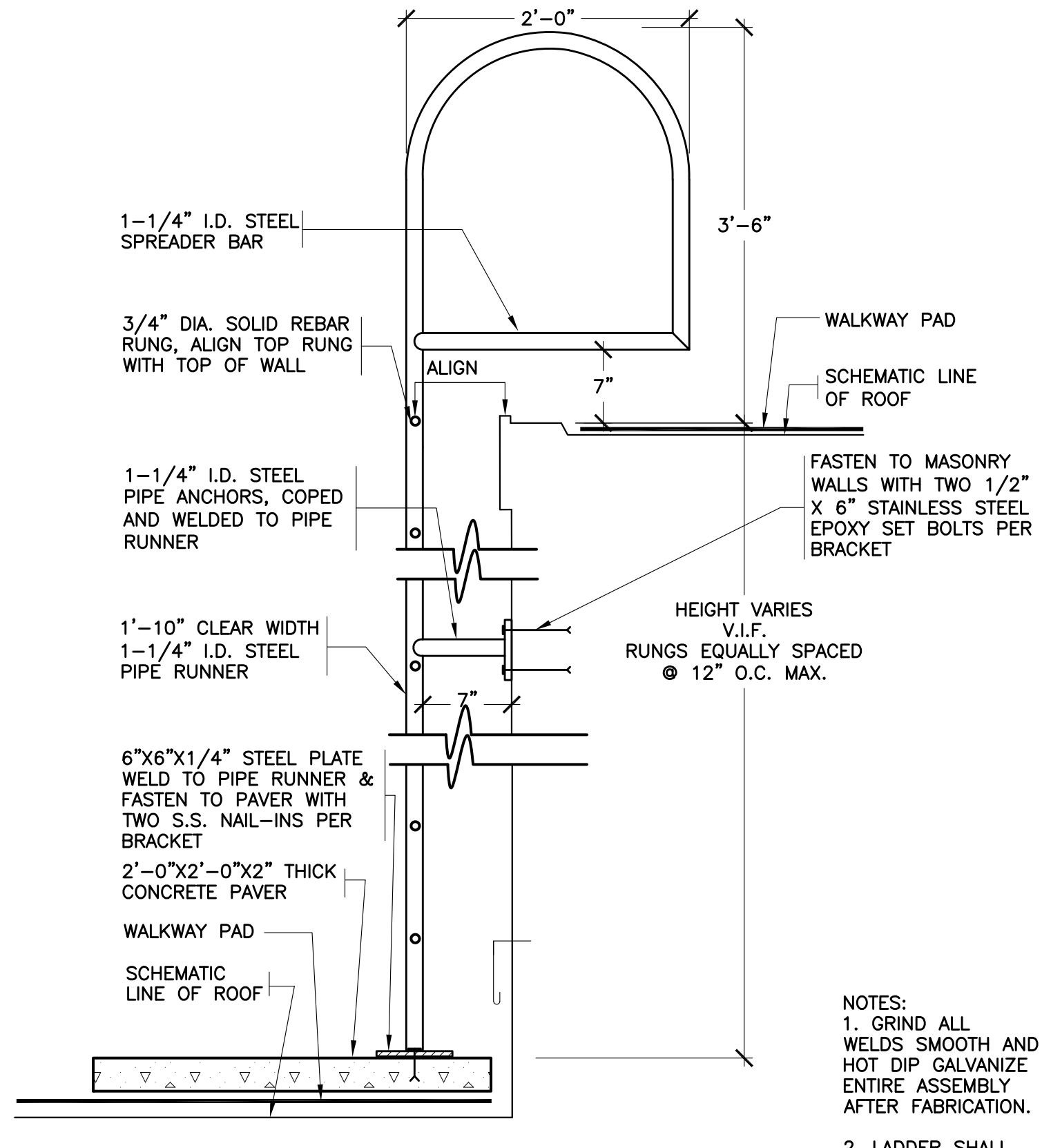
PROJECT NAME
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
SCHOOL 218 PEARLS HAWTHORNE SCHOOL

DRAWING TITLE
ROOF DETAILS

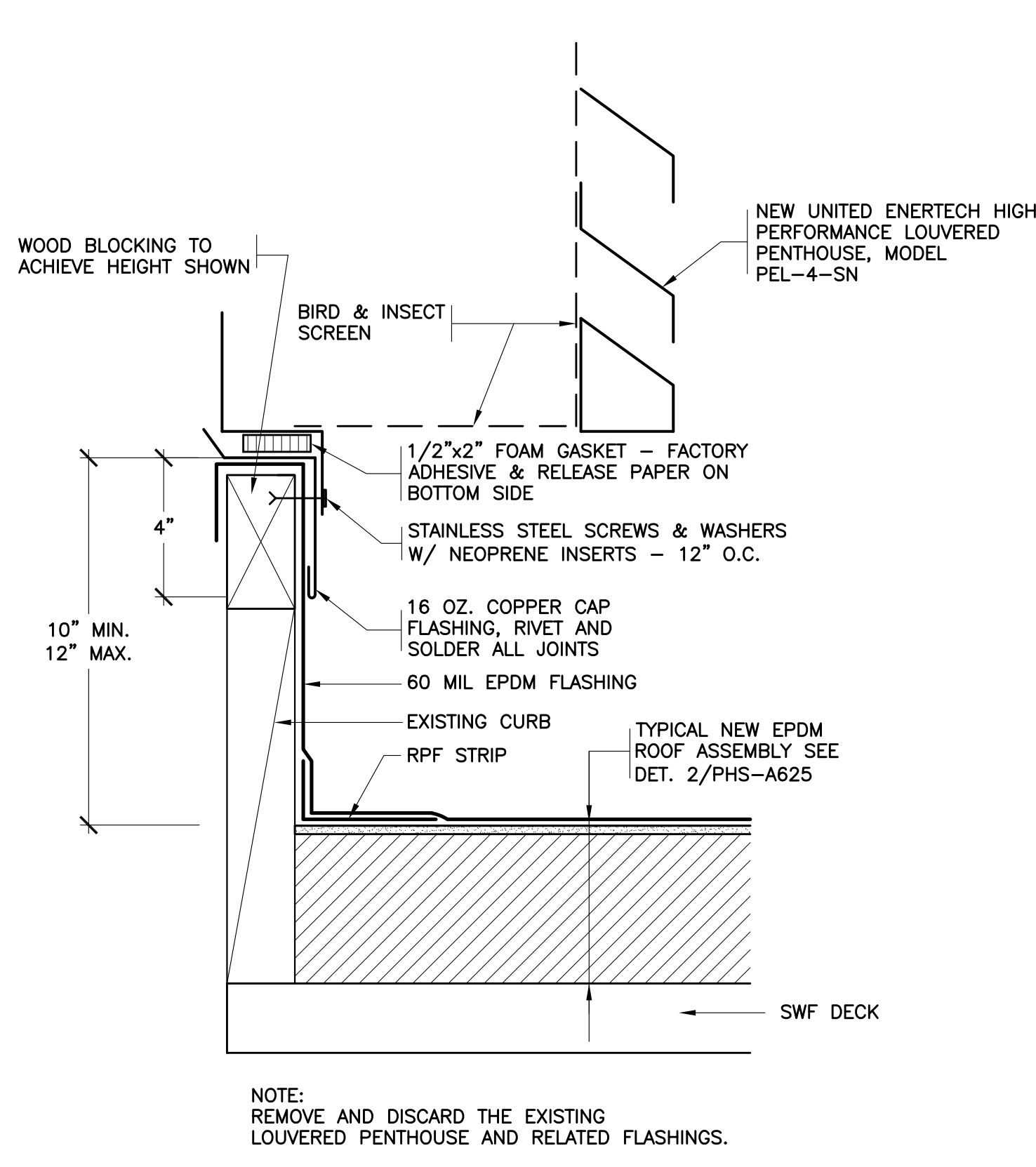
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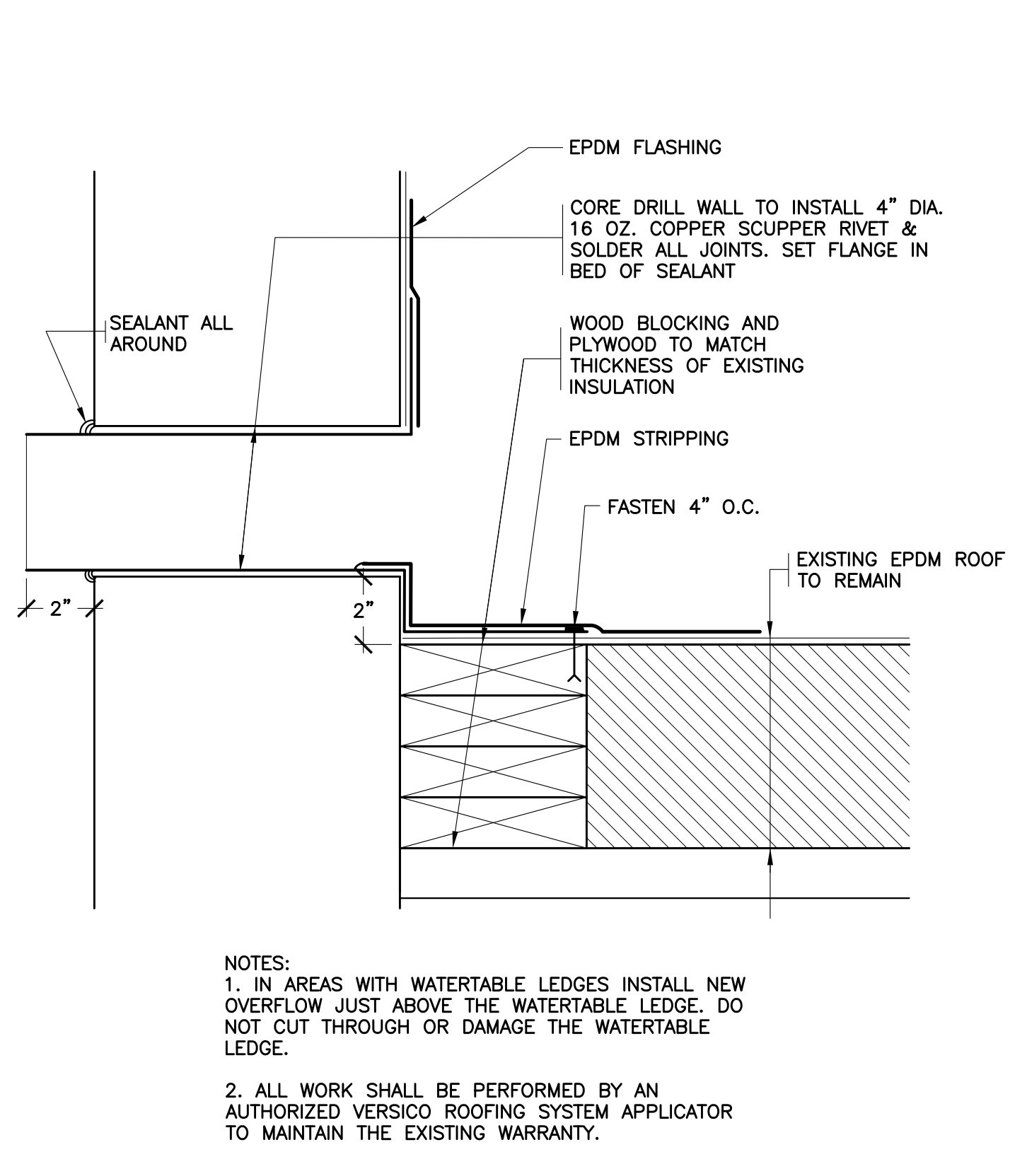
37 NEW ROOF LADDER
NOT TO SCALE



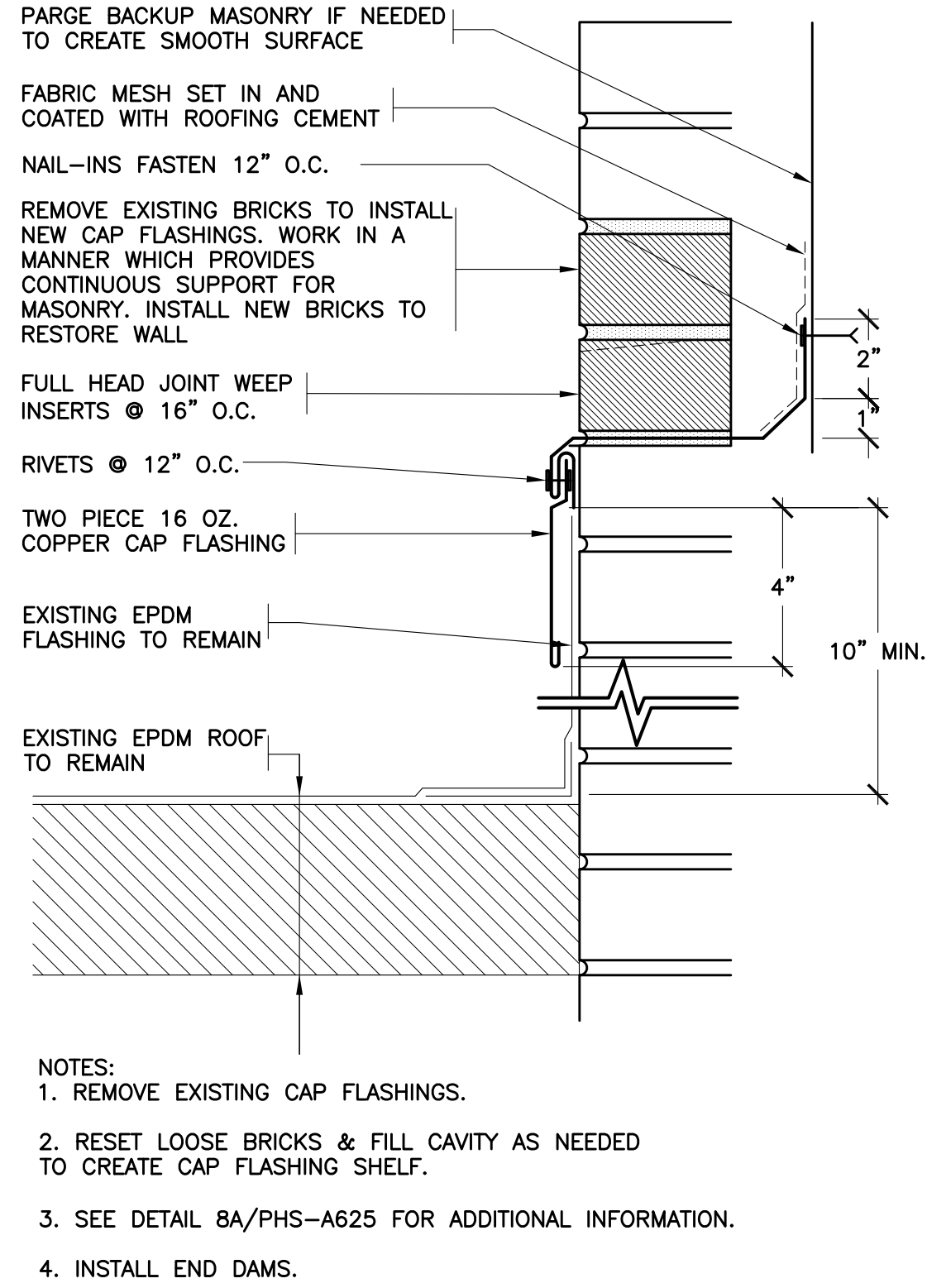
38 NEW ROOF LADDER
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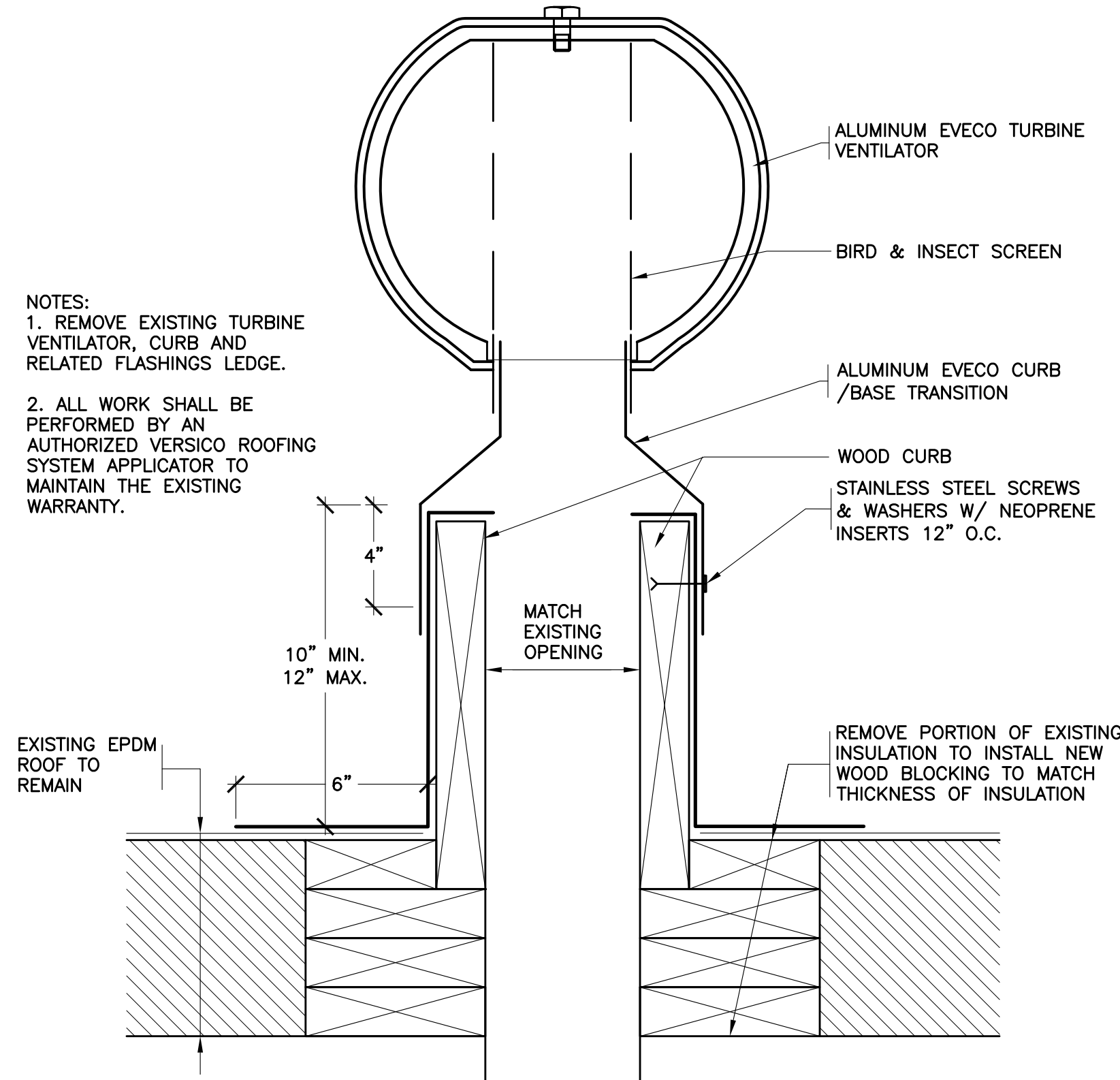
39 NEW LOUVERED PENTHOUSE
SCALE: 0" 1" 2" 4" 8"



40 NEW OVERFLOW SCUPPER ON EXISTING ROOFS
SCALE: 0" 1" 2" 4" 8"



41 NEW CAP FLASHING AT EXISTING ROOF
SCALE: 0" 1" 2" 4" 8"



42 NEW CAP TURBINE VENTILATOR AT EXISTING ROOF
SCALE: 0" 1" 2" 4" 8"

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S.E.D. CONTROL NUMBER:
66-23-00-01-0-101-008

PROJECT TITLE
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
SCHOOL 218 PEARLS HAWTHORNE SCHOOL

DRAWING TITLE
ROOF DETAILS

DATE
02-16-2022

SHEET SIZE
30"x42"

SCALE
AS NOTED

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DRAWING NO.
PHS
A628

FILE NO.
19354.07

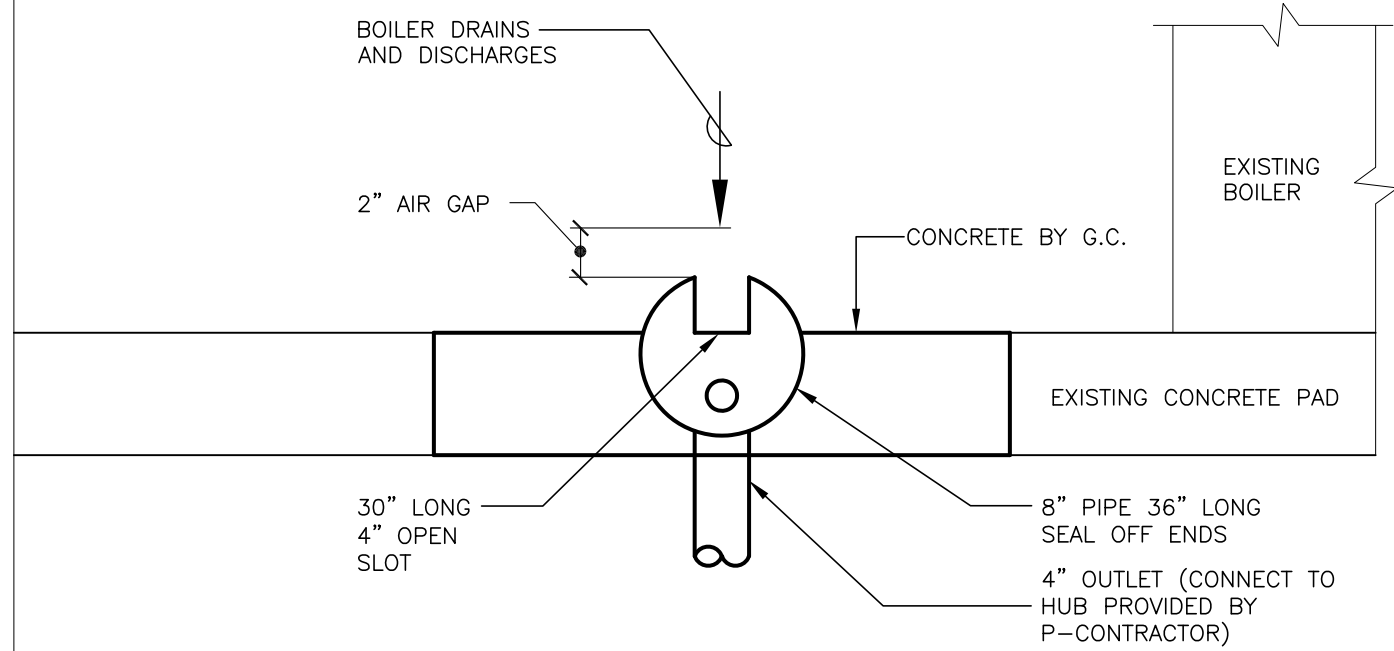
1. DOOR HARDWARE SHALL COMPLY TO ALL APPLICABLE STANDARDS.
2. ALL HARDWARE SHALL COMPLY TO ALL APPLICABLE STANDARDS REGARDING CLOSING SPEED AND OPENING FORCE.
3. ALL DOOR AND FRAME SIZES SHALL BE FIELD VERIFIED.
4. ALL HARDWARE SHALL BE SET TO OPERATE AT 34" AND 80" ABOVE THE FLOOR OR GROUND. PROJECTIONS BETWEEN 34" AND 80" ABOVE THE FLOOR OR GROUND SHALL NOT EXCEED 1/2".
5. REFER TO SPECIFICATIONS FOR DOOR HARDWARE SETS.
6. THE BOTTOM OF ALL DOORS AND LITES SHALL BE A MAXIMUM OF 1/2" ABOVE FINISHED FLOOR.
7. THE DOOR SURFACE WITHIN 10" OF THE FLOOR MEASURED TO THE INSIDE SURFACE OF THE DOOR SHALL BE FLUSH TO THE EXTENDING FULL WIDTH OF DOOR.
8. ALL EXTERIOR DOORS AND AREAS ADJACENT TO DOORS TO BE NOTED DURING TAKE OFF AND LONGER LISTS (IF NOT NOTED OTHERWISE).
9. CONTRACTOR TO FILL/PATCH ANY OLD HARDWARE PREPARATION HOLE(S) TO MATCH TAKE OFF AND LONGER LISTS (IF NOT NOTED OTHERWISE). ALL PATCHES SHALL BE FINISHED WITH NEW HARDWARE, WELDED FILLER PLATES, HOLE PLATES, ETC. TO MATCH EXISTING FINISHES. CONTRACTOR TO PROVIDE FOR ANY NEW MORTISES/HARDWARE PREPARATION TO EXISTING FRAME TO ACCOMMODATE NEW DOOR AND HARDWARE.
10. ALL HARDWARE SETS SHALL COMPLY WITH NFPA 704 PROVIDE UL LABELS.
11. REFER TO SPECIFICATIONS FOR GLAZING TYPE FOR VISION PANELS.
12. ALL GLAZING IN FIRE RATED DOOR SHALL BE LABELED GLASS.
13. PROVIDE SILICONE SEALANT AROUND ALL NEW DOOR LIGHTS.
14. NEW H.M. DOOR FRAMES TO BE PAINTED (BOTH SIDES).
15. PROVIDE FIRE RATED DOOR FRAME TO EXISTING FIRE RATED SILENCERS. PROVIDE NEW SILENCERS ON EXISTING H.M. DOOR FRAMES TO BE PAINTED (BOTH SIDES).
16. COORDINATE ALL REMOVALS WITH ABATEMENT DOCUMENTS.

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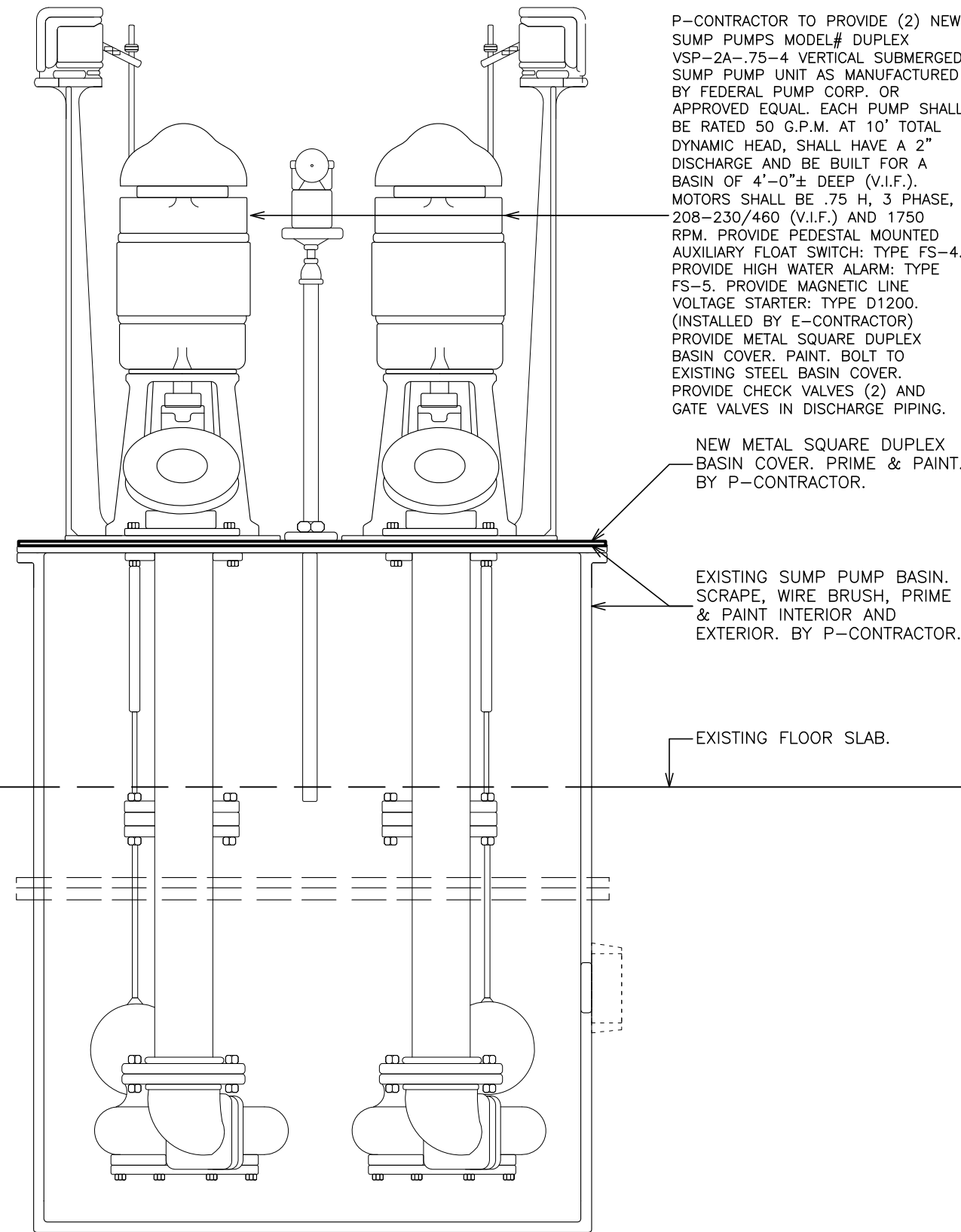
PROJECT TITLE
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
AND RELATED WORK GROUP 'B' AT
SCHOOL 29 & PEARLS HAWTHORNE SCHOOL

DRAWING TITLE
DOOR SCHEDULE, TYPES AND DETAILS

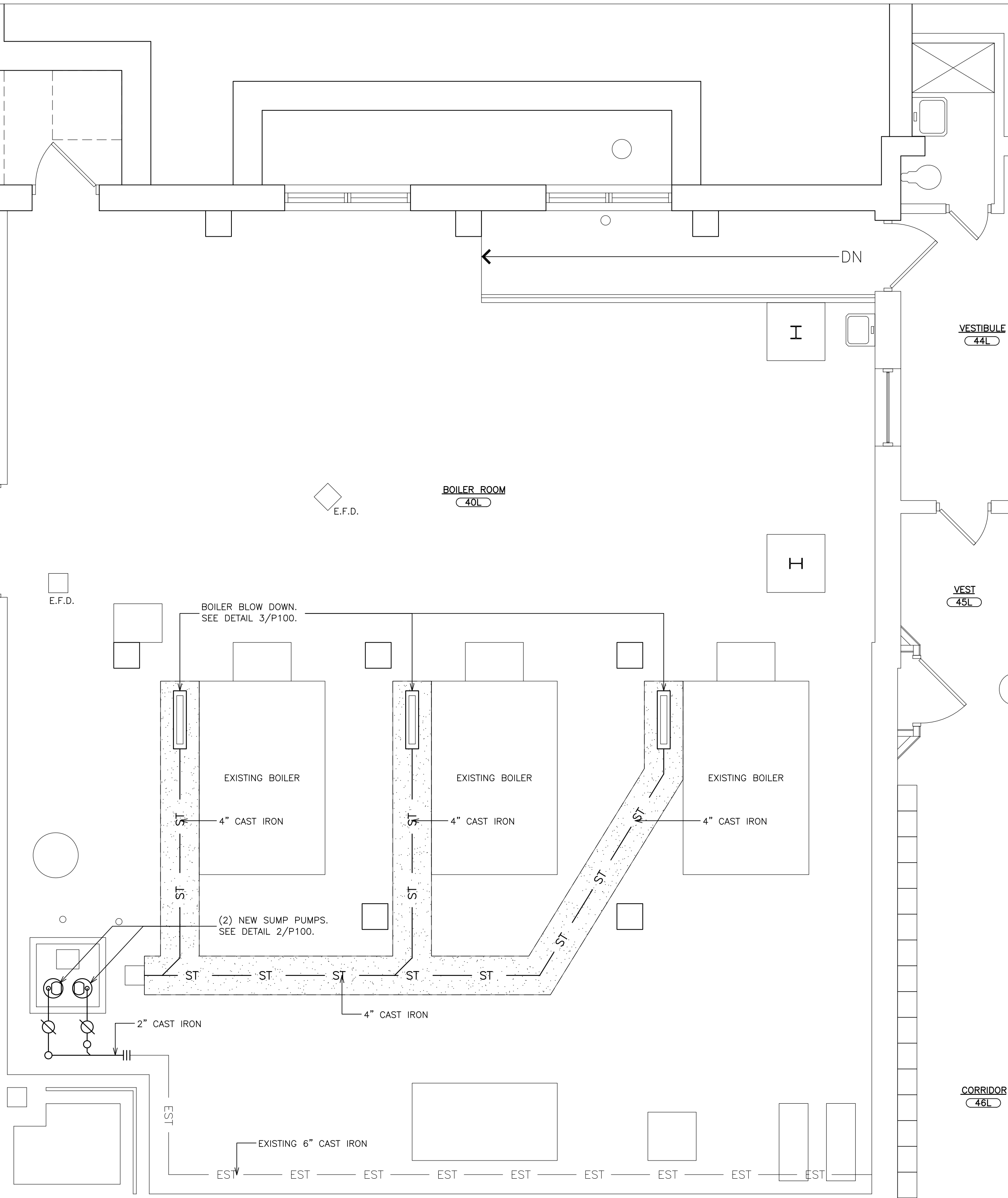
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10-11-2019	DESIGN DEVELOPMENT
DATE	ISSUED TO
SHEET SIZE 30"x42"	DRAWING NO. A700
SCALE AS NOTED	
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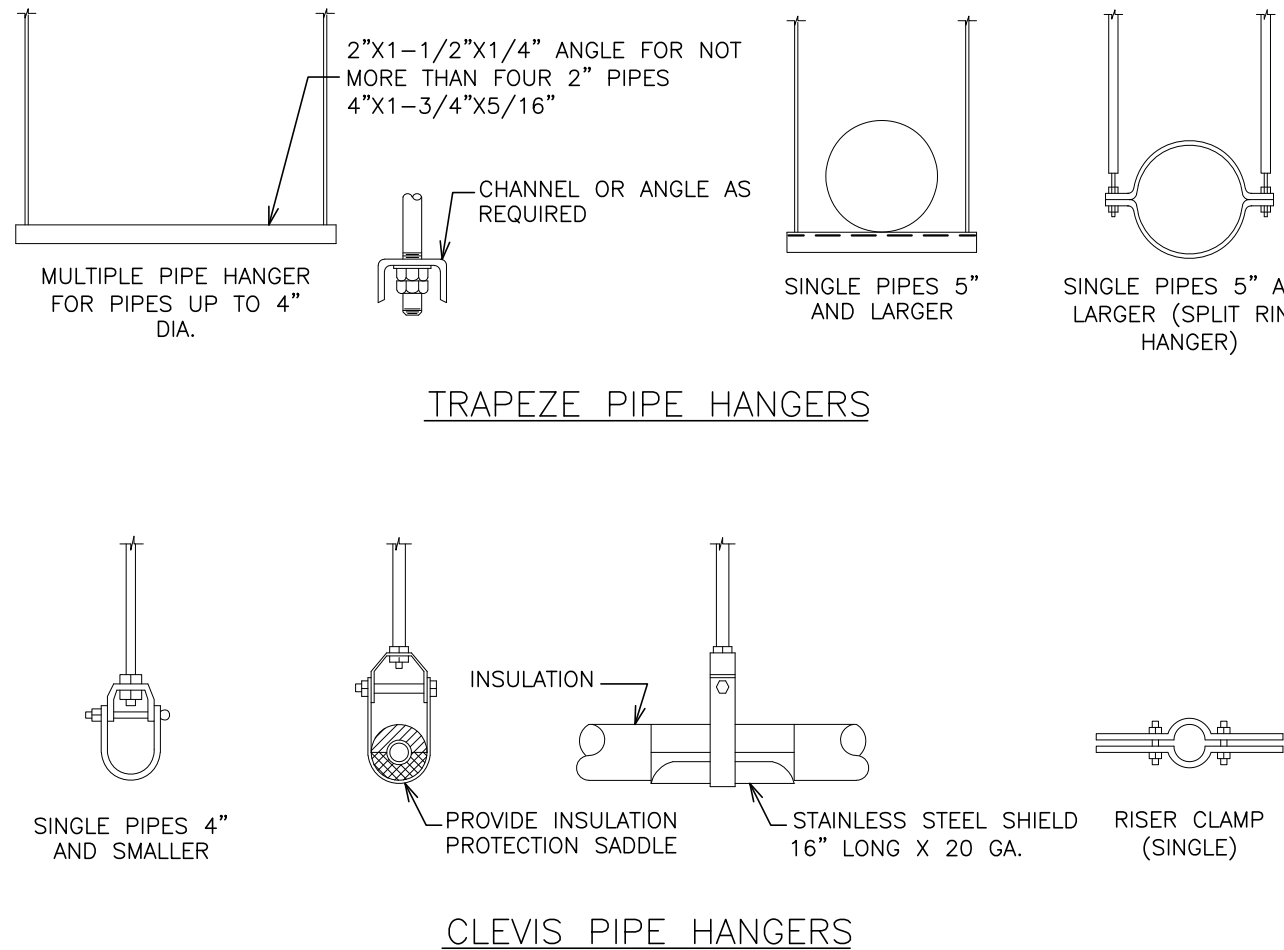
③ TROUGH DRAIN DETAIL
SCALE: N.T.S.



② SUMP PUMPS
SCALE: N.T.S.



① PARTIAL BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



A METHOD OF PIPE SUPPORT
SCALE: N.T.S.

PLUMBING REMOVAL NOTES:

- 1 REMOVE ALL PLUMBING FIXTURES, EQUIPMENT, SPECIALTIES, DRAINS, CONTROLS, HANGERS, BASES, SUPPORTS, PIPING, VALVES, TUBING AND PLUMBING ACCESSORIES THAT ARE NOT INCORPORATED IN THE NEW LAYOUT.
- 2 WHERE REMOVAL IS INDICATED OR IMPLIED OR NOT INCORPORATED IN THE NEW LAYOUT, THE ITEM ITSELF IS TO BE REMOVED COMPLETELY TOGETHER WITH ALL CONNECTING PIPING, SPECIALTIES, SUPPORTS, CONTROLS, ETC. CONNECTING PIPING IS TO BE REMOVED BACK TO MAINS WHERE THE ARE TO BE CAPPED OR DISCONNECTED. THIS INCLUDES ALL GAS, SANITARY, VENT, WATER, ACID WASTE AND PUMP DISCHARGE PIPING. REFER TO DIVISION 1 OF SPECIFICATION FOR CUTTING AND PATCHING REQUIREMENTS.
- 3 WHERE EXISTING PIPING ENTERS INACCESSIBLE TRENCHES, TUNNELS, SHAFTS, WALLS AND CEILINGS INSIDE THE EXISTING BUILDING, IT SHALL BE CUT BACK AT LEAST 2" INTO SUCH INACCESSIBLE SPACES AND SHALL BE SUITABLY CAPPED AND SEALED BY THE CONTRACTOR.
- 4 THE CONTRACTOR SHALL EXERCISE NORMAL CAUTION TO PREVENT UNNECESSARY CUTTING AND DAMAGE TO THE EXISTING BUILDING. ANY EXCESSIVE DAMAGE AS DETERMINED BY THE OWNER SHALL BE REPAIRED AND PAID FOR BY THE CONTRACTOR CAUSING THE DAMAGE.
- 5 ALL DEMOLISHED EQUIPMENT ETC. EXCEPT THOSE ITEMS SPECIFICALLY REQUESTED BY THE OWNER SHALL BECOME THE CONTRACTORS PROPERTY, SHALL BE REMOVED FROM THE PREMISES, AND DISPOSED OF LEGALLY.

PLUMBING LEGEND	
	EXISTING PIPING, FIXTURES, ETC. TO REMAIN
	EXISTING PIPING, FIXTURES, ETC. TO BE REMOVED
	NEW PIPING, FIXTURES, ETC.
	COLD WATER PIPING
	HOT WATER PIPING
	HOT WATER RETURN PIPING
	PLUMBING VENT PIPING
	SANITARY PIPING
	EXISTING SANITARY PIPING
	EXISTING STORM PIPING
	STORM PIPING
	EXISTING WATER PIPING
	EXISTING GAS PIPING
	GAS PIPING
	FLOW DIRECTION WITHIN PIPE
	CLEANOUT
	CLEANOUT DECK PLATE
	SHUT-OFF VALVE
	COMBINATION BALANCING & SHUT-OFF VALVE
	CHECK VALVE
	GAS SHUT OFF COCK
	PIPE CONNS. (BOTTOM; TOP 45 OR 90; PIPE UP)
	PLUMBING FIXTURE IDENTIFICATION
	VENT THRU ROOF
	EXISTING FLOOR DRAIN
	FLOOR DRAIN
	EXISTING CLEAN OUT
	CLEAN OUT
	G.C.
	P.C.
	POINT OF CONNECTION
	PART PLAN, DETAIL, SECTION NUMBER
	DRAWING NUMBER
	SECTION IDENTIFICATION

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S.E.D. CONTROL NUMBER:
PS 29
66-23-00-01-0-029-011
PEARLS HAWTHORNE SCHOOL
66-23-00-01-0-101-008

PROJECT NAME
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
DRAWING TITLE
PARTIAL PLUMBING BASEMENT PLAN &
DETAILS

02-16-2022 BID
10-11-2019 DESIGN DEVELOPMENT
DATE ISSUED TO

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DRAWN BY
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DRAWING NO.
PHS
P100
FILE NO.
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ELECTRICAL SYMBOL LIST	
	2'x4' FLUORESCENT RECESSED FIXTURE. CAPITAL LETTER INDICATES TYPE, LOWER CASE LETTER INDICATES SWITCH CONTROL. FIXTURE SCHEDULE DENOTES TYPE.
	2'x4' RECESSED FLUORESCENT LIGHT FIXTURE FOR EMERGENCY OPERATION WITH INTEGRAL BATTERY BACK-UP, TEST BUTTON AND L.E.D.
	WALL MOUNTED OUTDOOR WALL PACK LIGHT FIXTURE WITH INTEGRAL PHOTOCELL
	AUTOMATIC TIME CLOCK FOR LIGHTING CONTROL. TORK 120v 7100 SERIES.
	FLUSH WALL MOUNTED LIGHTING CONTROL SWITCH CONTROLLING OUTLET "a".
	3-WAY, "a" INDICATES SWITCH CONTROL.
	WALL MOUNTED FIRE ALARM HORN/STROBE DEVICE.
	WALL MOUNTED FIRE ALARM STROBE LIGHT. MATCH EXISTING TYPE. PROVIDE CONDUIT & WIRING BACK TO EXISTING FIRE PANEL. CHANNEL CUT AND RUN WIRING IN WALLS.
	CEILING MOUNTED SMOKE DETECTOR. MACH EXISTING TYPE.
	CEILING/WALL MOUNTED JUNCTION BOX.
	FLUSH FLOOR MOUNTED JUNCTION BOX.
	CONDUCTORS IN CONDUIT CONCEALED IN WALL OR CEILING.
	CONDUIT/WIRING CHASED IN CONCRETE SLAB.
	CONDUIT TURNING UP.
	CONDUIT TURNING DOWN.
	FLEXIBLE LIQUIDTIGHT FINAL EQUIPMENT CONNECTION.
	HOMERUN TO DESIGNATED PANEL, ARROWHEAD INDICATES SINGLE POLE CIRCUIT. HOMERUN SHALL CONSIST OF MINIMUM 2#12-3/4" U.O.N.
	HOMERUN TO DESIGNATED PANEL, NUMBERS IN PARENTHESIS INDICATE MULTIPLE CIRCUIT, I.E. 3-HOTS, IN AND 1-GROUND U.O.N.
	125V-2P-3W-20A GROUNDED TYPE, SPECIFICATION GRADE FLUSH WALL MOUNTED DUPLEX RECEPTACLE HUBBELL #5362.
	125V-2P-3W-20A FLUSH WALL MOUNTED GROUND FAULT INTERRUPTING TYPE DUPLEX RECEPTACLE HUBBELL #GF5362.
	125V-2P-3W-20A WEATHER PROOF FLUSH WALL MOUNTED GROUND FAULT INTERRUPTING TYPE DUPLEX RECEPTACLE HUBBELL #GF5362.
	SURFACE MOUNTED ELECTRICAL PANELBOARD.
	WALL MOUNTED EMERGENCY LIGHT FIXTURE W/ EXIT SIGN
	ELECTROMAGNETIC DOOR HOLDER FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. RIXSON 998M, OR EQUAL. VERIFY COMPATIBILITY WITH EXISTING FIRE ALARM SYSTEM. PROVIDE ALL MOUNTING ACCESSORIES REQUIRED. PROVIDE SOLID MOUNTING TO WALL SURFACE. COORDINATE LOCATION WITH DOOR SIZE AND SWING.

ABBREVIATIONS	
ABBV.	DESCRIPTION
A	AMP/AMPERE
A.F.F.	ABOVE FINISHED FLOOR
AWG	AMERICAN WIRE GAUGE
C	CONDUIT
C.F.	CEILING FAN
CU	CONDENSING UNIT
(E)	EXISTING TO REMAIN
E.C.	ELECTRICAL CONTRACTOR
EF	EXHAUST FAN
(ER)	EXISTING RELOCATED
EXIST.	EXISTING
F.A.	FIRE ALARM
F.A.C.P.	FIRE ALARM CONTROL PANEL
F.B.O	FURNISHED BY OTHERS
G,GRD	GROUND
GFI	GROUND FAULT INTERRUPTER
kcml	THOUSAND CIRCULAR MILLS
KVA	KILOVOLT AMPERE
KW	KILOWATT
MCB	MAIN CIRCUIT BREAKER
MSB	MAIN SWITCH BOARD
M.L.O.	MAIN LUGS ONLY
N.T.S.	NOT TO SCALE
PNL	ELECTICAL PANELBOARD
(R)	REMOVE EXISTING
RECPT	RECEPTACLE
(RN)	REPLACE EXISTING W/NEW
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
UVAC	UNIT VENTILATOR
W	WATT
WG	WHERE INDICATED E.C. SHALL PROVIDE WIRE GUARD AS REQUIRED
WP	WEATHERPROOF

GENERAL REMOVAL ELECTRICAL NOTES:

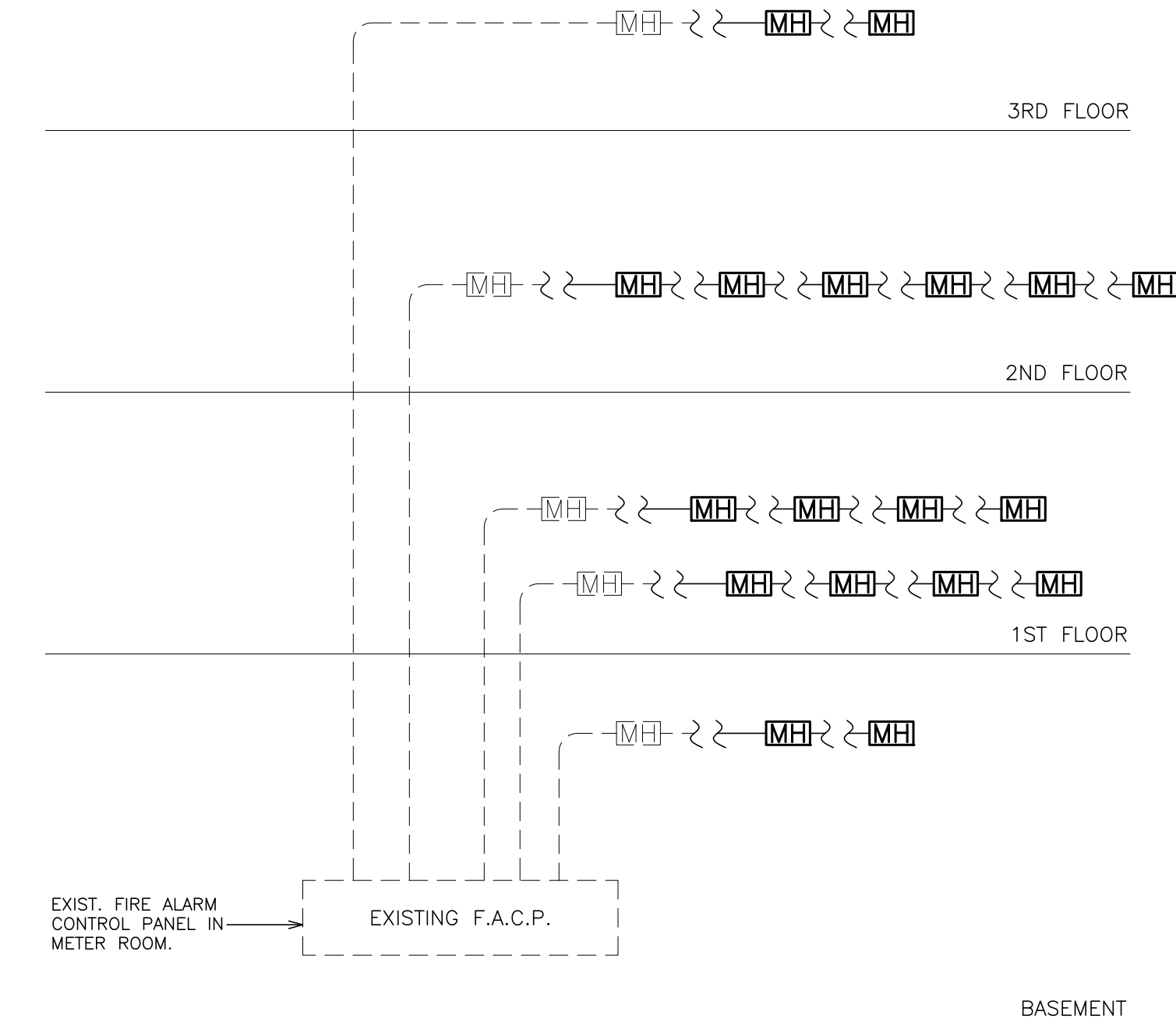
- BEFORE COMMENCING WORK, EXAMINE ALL ADJOINING AREAS THAT MAY BE AFFECTED BY REMOVAL. REPORT TO THE GENERAL CONTRACTOR ANY CONDITION THAT PREVENTS PERFORMANCE OF THE WORK.
- BECOME THOROUGHLY FAMILIAR WITH EXISTING CONDITIONS WHERE CONNECTIONS MUST BE MADE, CHANGED OR ALTERED. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREINAFTER AND NO CONSIDERATION WILL BE GRANTED BY REASON OF FAMILIARITY ON THE PART OF THE CONTRACTOR WITH ACTUAL PHYSICAL CONDITIONS AT THE SITE. INSPECT EACH AND EVERY AREA AFFECTED BY THE ALTERATION OF THE SPACE BEFORE SUBMITAL OF BID.
- ALL ELECTRICAL EQUIPMENT IS EXISTING TO BE REMOVED UNLESS OTHERWISE NOTED. THIS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. PANEL BOARDS.
 - B. PUBLIC ADDRESS DEVICES.
 - C. ELECTRICAL CONTRACTOR
 - D. CIRCUIT BREAKERS AND DISCONNECT SWITCHES.
 - E. RECEPTACLES, OUTLETS AND DEVICES.
 - F. FIRE ALARM DEVICES.
- ALL CONDUCTORS AND CONDUIT ASSOCIATED WITH THE ELECTRICAL EQUIPMENT SHALL BE REMOVED COMPLETELY BACK TO ITS SOURCE OF POWER AND DISCONNECTED.
- ALL POWER CONDUCTORS, CONTROL WIRING AND CONDUIT ASSOCIATED WITH MECHANICAL EQUIPMENT SUCH AS FANS, AIR CONDITIONING UNITS, PUMPS, ETC. DESIGNATED FOR REMOVAL ON THE HVAC AND PLUMBING REMOVAL DRAWINGS SHALL BE REMOVED CLEAR BACK TO THE SOURCE OF POWER AND DISCONNECTED. ALL MOTOR STARTERS, DISCONNECT SWITCHES, CONTROL DEVICES, ETC. SHALL BE REMOVED. REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- CIRCUIT BREAKERS AND/OR SWITCHES IN PANEL BOARD(S) OR DISTRIBUTION BOARD(S) MADE SPARE DUE TO REMOVAL SHALL BE DESIGNATED AS SUCH ON THE EQUIPMENT SCHEDULE.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO TRACE AND RELOCATE ALL EXISTING FEEDERS AND BRANCH CIRCUIT WIRING WHICH PASSES THROUGH THE REMOVAL AREA THAT SERVE EXISTING OCCUPIED SPACES TO REMAIN. COORDINATE WITH BUILDING MANAGER PRIOR TO ANY SHUTDOWNS OR DISRUPTIONS THAT MAY BE REQUIRED TO ACCOMPLISH THIS WORK.
- DISPOSE OF ALL REMOVED EQUIPMENT, WHICH IS NOT INTENDED TO BE REUSED. PRIOR TO DISPOSAL, CONTACT BUILDING MANAGER TO DETERMINE IF ANY REMOVED EQUIPMENT IS DESIRED FOR STOCK.
- EXISTING CIRCUIT BREAKERS IN PANEL(S) ARE TO BE RE-USED. ELECTRICAL CONTRACTOR TO DISCONNECT PANEL AND CIRCUIT BREAKERS WITH GREAT CARE TO ENSURE AGAINST DAMAGE. THIS CONTRACTOR SHALL PROVIDE NEW CIRCUIT BREAKERS AS REQUIRED.
- ALL FIRE ALARM DEVICES ARE EXISTING TO BE REUSED UNLESS OTHERWISE NOTED.
- EXISTING EQUIPMENT DESIGNATED FOR REUSE SHALL BE CLEANED, REFURBISHED AND RESTORED TO OPTIMUM PERFORMANCE. THIS SHALL INCLUDE BUT NOT LIMITED TO CLEANING OF LIGHT FIXTURES, REPLACEMENT OF INOPERABLE BALLASTS AND LAMPS, RESISTANCE TESTING OF BRANCH CIRCUITRY AND FEEDERS, ETC.
- EXTEND EXISTING CIRCUITRY TO THOSE DEVICES THAT ARE TO BE RELOCATED. MATCH EXISTING TYPE AND SIZE. RELOCATION OF EXISTING EQUIPMENT SHALL BE PERFORMED ONLY UPON OWNERS ACCEPTANCE OF EXISTING EQUIPMENT.

GENERAL NOTES:

- DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK. CONTRACTOR SHALL FURNISH ALL NECESSARY OUTLETS, SUPPORTS, FITTINGS AND ACCESSORIES TO FULFILL APPLICABLE CODES, REGULATIONS, BUILDING STANDARDS AND THE BEST PRACTICES OF THE TRADE FOR FIRST CLASS ELECTRICAL INSTALLATION.
- THE DRAWINGS INDICATE SIZE AND GENERAL LOCATION OF WORK. SCALED DIMENSIONS SHALL NOT BE USED. THE EXACT LOCATION AND ELEVATION OF ALL ELECTRICAL EQUIPMENT SHALL BE COORDINATED IN FIELD WITH RESPECTIVE CONTRACTOR/OWNER.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO SUBMISSION OF BID TO DETERMINE WHAT WORK MUST BE PERFORMED AFTER NORMAL BUSINESS HOURS. UNLESS OTHERWISE DIRECTED ANY NOISY WORK (CHOPPING, CORE DRILLING, HAMMERING, ETC.) AND BUILDING POWER INTERRUPTIONS SHALL BE PERFORMED OUTSIDE OF NORMAL BUSINESS HOURS. CONFIRM NORMAL BUSINESS HOURS WITH BUILDING OWNER. NO ADDITIONAL COST WILL BE CHARGED TO OWNER FOR WORK PERFORMED OUTSIDE NORMAL BUSINESS HOURS.
- FEEDERS AND BRANCH CIRCUITRY SHALL BE RUN IN CONDUIT MINIMUM 3/4" CONDUIT UNLESS OTHERWISE NOTED. FINAL CONNECTIONS TO MOTORS MAY BE DONE WITH FLEXIBLE METALLIC CONDUIT NO LONGER THAN 18". IN UNFINISHED AREA CONDUIT SHALL BE RUN EXPOSED AND IN FINISHED AREAS CONDUIT SHALL BE RUN CONCEALED.
- PROVIDE PANEL NAME PLATE MADE OF BLACK LAMINATED PLASTIC WITH WHITE ENGRAVED LETTERING AND TYPE WRITTEN DIRECTORY FOR ALL NEW AND EXISTING PANEL BEING USED FOR THIS PROJECT.
- ALL CONDUCTORS SHALL BE COPPER, TYPE THHN/THWN INSULATED. ALL CONDUCTORS SHALL HAVE 600 VOLT RATED INSULATION UNLESS OTHERWISE NOTED.
- PROVIDE LOCK-ON CIRCUIT BREAKERS FOR CIRCUITS SERVING EXIT SIGN FIXTURES AND EMERGENCY LIGHTING FIXTURES AND OTHER CEILING INSTALLED ITEMS.
- REFER TO ARCHITECT'S REFLECTED CEILING PLAN FOR EXACT LOCATION OF ALL CEILING MOUNTED LIGHTING FIXTURES AND OTHER CEILING INSTALLED ITEMS.
- THE USE OF FLEXIBLE CONDUIT FROM LIGHTING FIXTURES TO JUNCTION BOX IS PERMITTED ONLY WHEN A SEPARATE GROUND WIRE IS INSTALLED WITH THE CONDUCTORS INSIDE FLEXIBLE CONDUIT. THE GROUND WIRE MUST BOND THE FIXTURE HOUSING TO THE JUNCTION BOX. MAXIMUM LENGTH 6'-0".
- EXACT LOCATION AND MOUNTING HEIGHTS OF ALL WIRING DEVICES SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO THE INSTALLATION.
- WALL MOUNTED EQUIPMENT (SWITCHES, RECEPTACLES, ETC.,) SHALL BE SURFACE MOUNTED IN UNFINISHED AREAS.
- CONDUIT RUNS SHALL BE PARALLEL WITH OR AT RIGHT ANGLES TO WALLS AND CEILINGS. CONDUIT SHALL BE SUPPORTED BY APPROVED MEANS. SUPPORTS FOR HORIZONTAL RUNS OF CONDUIT SHALL NOT EXCEED SEVEN FEET ON CENTERS.
- PROVIDE PULL BOXES, JUNCTION BOXES, CONDUIT ELBOWS AND OFFSETS TO SUIT FIELD CONDITIONS AND THE NATIONAL ELECTRICAL CODE.
- CONTRACTOR SHALL COORDINATE WITH THE FIRE DEPARTMENT AND F.A. VENDOR BEFORE PROCEEDING WITH WORK INVOLVING FIRE ALARM SYSTEM.
- ALL EMPTY CONDUIT SHALL BE PROVIDED WITH A DRAOWIRE.
- THE MINIMUM WIRE SIZE FOR 120 VOLT BRANCH CIRCUITS SHALL BE NO. 12 AWG, EXCEPT OVER 100' IN LENGTH SHALL BE NO. 10 AWG.
- PROVIDE ALL REQUIRED AND NECESSARY ACCESSORIES (EX. CONNECTORS, ADAPTERS, BUSHINGS, CLAMPS, ETC.) TO FACILITATE COMPLETE INSTALLATION.
- COORDINATE LOCATION OF ALL MECHANICAL EQUIPMENT WITH HVAC CONTRACTOR IN FIELD. FUSES FOR ALL MOTOR LOADS SHALL BE DUAL ELEMENT TIME DELAY TYPE.
- ALL JUNCTION OR OUTLET BOXES SHALL BE INSTALLED SO AS TO ALLOW ACCESS TO COVER. PROVIDE ARCHITECT APPROVED ACCESS DOORS OR PLATES AS REQUIRED IN AREAS WHERE UNOBSTRUCTED ACCESS TO BOX OR OUTLET IS NOT POSSIBLE.
- PRIOR TO ORDERING LIGHTING FIXTURES, COORDINATE WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. IF DISCREPANCIES EXIST BETWEEN ARCHITECTURAL AND ENGINEERING INFORMATION OBTAIN CLARIFICATION PRIOR TO PROCEEDING.
- MULTIPLE SWITCHES SHOWN IN SAME LOCATION SHALL BE GANGED TOGETHER WITH A COMMON FACEPLATE.
- ALL LIGHTING FIXTURES UTILIZING ELECTRONIC BALLASTS SHALL BE PROVIDED WITH A DEDICATED NEUTRAL OR AN OVERSIZED NEUTRAL WHEN SHARED.
- PRIOR TO ANY CHASING, CHOPPING OR CORE DRILLING IS PERFORMED, THE CONTRACTOR SHALL FIELD INVESTIGATE CONDITIONS AND COORDINATE ALL WORK TO ENSURE THAT IT WILL BE IN HARMONY AND NOT AFFECT ANY EXISTING BUILDING SYSTEMS. THIS WORK MUST BE APPROVED BY BUILDING OWNER PRIOR TO PROCEEDING.
- OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE RESISTANCE RATED WALLS, PARTITIONS, FLOORS OR CEILINGS SHALL BE FIRE STOPPED USING APPROVED METHODS. ALL SLEEVES MUST HAVE BUSHINGS. SEALANT SHALL BE 3 HOUR FIRE BARRIER RCP-25 (NO LESS THAN 3" THICK BACKED UP WITH MINERAL WOOL).
- ALL PANELBOARD COVERS SHALL BE INSTALLED IN PLACE AT THE COMPLETION OF EACH DAYS WORK.
- PREPARE "AS-BUILT" DRAWINGS SHOWING ALL CHANGES IN WIRE SIZE, CIRCUIT NUMBERING, CIRCUIT ROUTING, EQUIPMENT LOCATIONS AND ALL ELECTRICAL WORK AS ACTUALLY INSTALLED.
- LIGHT FIXTURES SHALL BE CONSTRUCTED TO SUIT PARTICULAR TYPE OF CEILING AND WALL CONSTRUCTION AND SHALL BE PROVIDED WITH APPROPRIATE TRIMS, MOUNTING FRAMES AND ADAPTERS AS REQUIRED.

ELECTRICAL WORK NOTES

- CONNECT NEW RECEPTACLES TO EXISTING INDICATED PANEL BOARD. PROVIDE NEW 1P-20AMP BREAKER IN EXISTING SPACE AND CIRCUIT WITH 2#12+1#12G IN 2". PROVIDE ALL ACCESSORIES FOR COMPLETE INSTALLATION. CIRCUIT NUMBERS ARE SHOWN FOR CONTRACTORS GUIDANCE ONLY.
 - EXISTING ELECTRICAL PANELS WHICH CURRENTLY HAVE NO IDENTIFICATION TAGS HAVE BEEN ARBITRARILY LABELED IN THESE DOCUMENTS FOR IDENTIFICATION PURPOSES.
 - CONNECT NEW RECEPTACLE TO EXISTING PANEL BOARD LOCATED IN EXISTING ELECTRICAL ROOM. PROVIDE NEW 1P-20AMP BREAKER IN EXISTING SPACE AND CIRCUIT WITH 2#12+1#12G IN 2". PROVIDE ALL ACCESSORIES FOR COMPLETE INSTALLATION. CIRCUIT NUMBERS ARE SHOWN FOR CONTRACTORS GUIDANCE ONLY.
 - ELECTRICAL CONTRACTOR SHALL REPLACE EXISTING PANEL BOARD COVER WITH NEW LOCKABLE TYPE PANEL COVER TO MATCH EXISTING. NEW PANEL BOARD COVERS SHALL ALL BE KEYED THE SAME AND PROVIDE THE OWNER WITH 2 KEYS FOR EACH PANEL BOARD.
- GENERAL POWER NOTES:**
- REFER TO ARCHITECTURAL DRAWINGS FOR THE EXACT LOCATION AND MOUNTING HEIGHTS OF ALL DEVICES AND OUTLETS.
 - RECEPTACLES SHALL BE CIRCUITED IN ACCORDANCE WITH CIRCUIT NUMBER INDICATED ADJACENT TO EACH DEVICE. CIRCUITRY MAY BE SHOWN IN CERTAIN INSTANCES.
 - ALL RECEPTACLES SPECIFIED FOR PERSONAL COMPUTERS, LASER PRINTERS AND SIMILAR TYPES OF EQUIPMENT SHALL BE PROVIDED WITH A SEPARATE NEUTRAL AND GROUND CONDUCTOR. SHARED NEUTRAL CONDUCTORS FOR THESE HOMERUNS ARE NOT PERMITTED.
 - THE ELECTRICAL CONTRACTOR SHALL CONFIRM THE CONFIGURATION TYPE FOR ALL SPECIAL RECEPTACLES FOR COPERS, DATA PROCESSING EQUIPMENT, ETC. WITH OWNER AND ENGINEER PRIOR TO ORDERING.
 - CIRCUIT NUMBERS ARE INDICATED FOR INTENT ONLY. THE ELECTRICAL CONTRACTOR SHALL ADJUST ACCORDINGLY IN THE FIELD, TO BALANCE THE CIRCUITS EVENLY ON ALL PHASES.
 - EXACT LOCATION OF MECHANICAL EQUIPMENT SHALL BE COORDINATED IN THE FIELD.
 - ALL WIRING SHALL BE RUN IN EMT CONDUIT. FLEXIBLE CABLE IS NOT ALLOWED.
 - MECHANICAL EQUIPMENT IS LOCATED ABOVE THE HUNG CEILING UNLESS OTHERWISE NOTED. EXACT LOCATION SHALL BE DETERMINED FROM MECHANICAL DRAWINGS.
 - ALL RECEPTACLES SHALL BE GROUND FAULT INTERRUPTING TYPE.

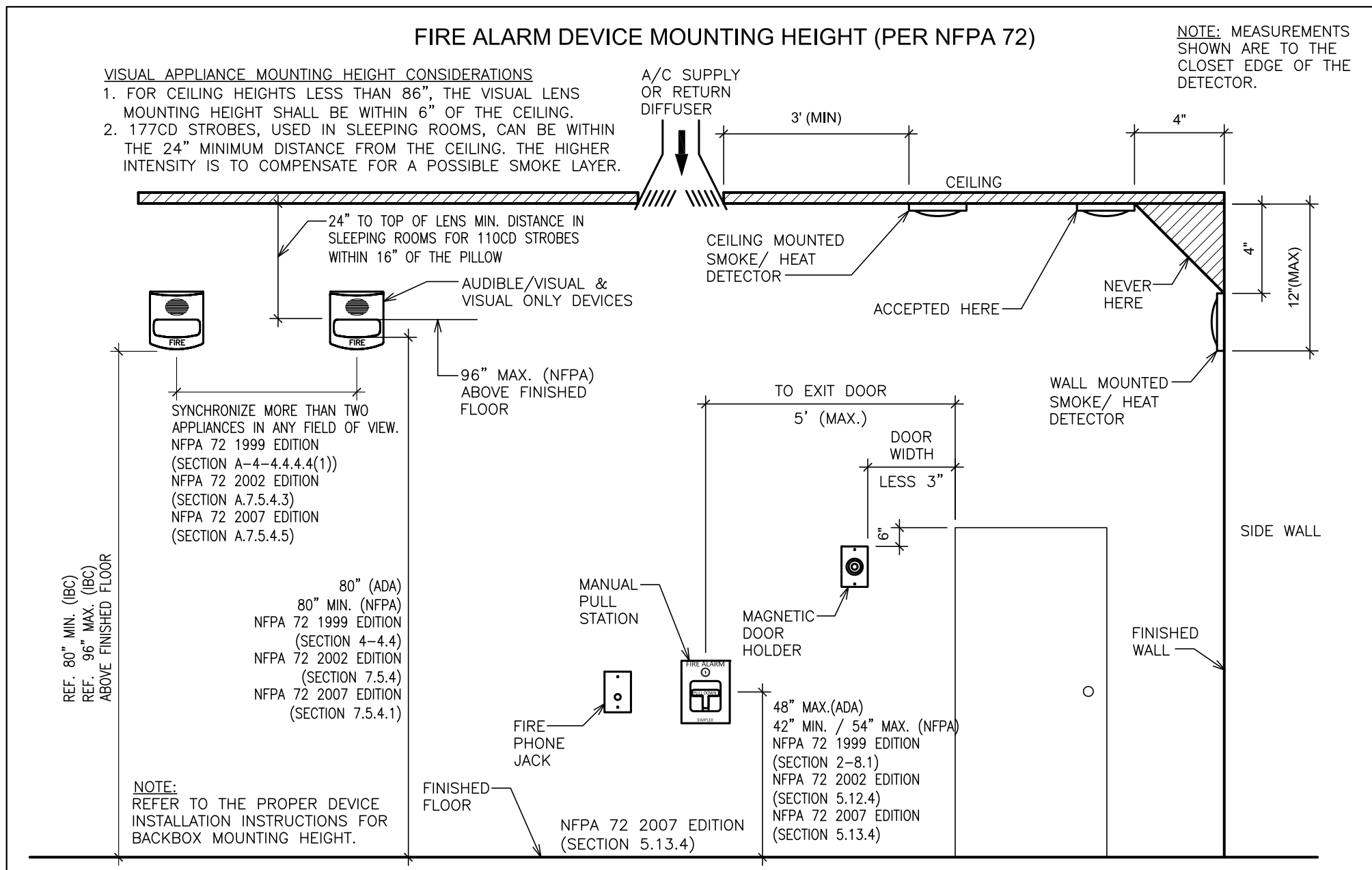


FIRE ALARM RISER NOTES:

- FIRE ALARM WIRING DIAGRAMS SHOWN ARE FOR GENERAL ARRANGEMENT ONLY. ELECTRICAL CONTRACTOR SHALL VERIFY AND OBTAIN POINT TO POINT WIRING DIAGRAM PRIOR TO INSTALLATION FROM MANUFACTURER.
- PERMITS AND APPROVALS NECESSARY FOR INSTALLATION OF THE WORK SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF THE WORK. ALL PERMIT COSTS AND INSPECTION FEES SHALL BE INCLUDED AS PART OF THIS CONTRACT.
- IN AREAS WHERE DUST AND DIRT WILL BE AIRBORNE DURING DEMOLITION AND CONSTRUCTION THE CONTRACTOR SHALL PROVIDE PLASTIC WRAP OVER SMOKE DETECTORS AND THEN REMOVE ONCE SPACE IS CLEAN.
- UNLESS DIRECTED OTHERWISE BY FIRE ALARM SYSTEM MANUFACTURER FIRE ALARM DEVICE WIRING SHALL BE AS FOLLOWS (FOR BIDDING PURPOSES ONLY):
 - HORN WIRING - #16 AWG TWISTED APPROVED TEFLON CABLE
 - STROBE WIRING - #14 AWG TWISTED APPROVED TEFLON CABLE
 - SIGNAL WIRING - #14 AWG TWISTED/SHIELDED APPROVED TEFLON CABLE
- THE WIRING SHALL HAVE THE FOLLOWING CHARACTERISTICS:
 - A. A MINIMUM TEMPERATURE RATING OF 150 C
 - B. A MINIMUM AVERAGE INSULATION THICKNESS OF 15 MILS
 - C. A MINIMUM AVERAGE JACKET THICKNESS OF 25 MILS
 - D. THE COLOR OF THE CABLE SHALL BE RED
 - E. THE CABLE SHALL BE A TYPE FPLP (PLENUM TYPE)
 - F. THE CABLE SHALL BE VISIBLY MARKED EXTERNALLY THAT IT MEETS THE ABOVE REQUIREMENTS AND IS LISTED BY UL. CONFIRM WIRING TYPE AND QUANTITY WITH FIRE ALARM SYSTEM MANUFACTURER PRIOR TO PURCHASING.
- PROVIDE MC FIRE ALARM CABLE WITH RED STRIPE AS MANUFACTURED BY AFC SERIES 1800 WHEN CABLE IS CONCEALED OR ABOVE HUNG CEILING. WHEN FIRE ALARM CABLE IS RUN EXPOSED IN FINISHED AREAS, CABLE SHALL RUN IN WHIRLWIND V-700. WHEN FIRE ALARM CABLE IS RUN EXPOSED IN UNFINISHED AREAS, PROVIDE PLENUM RATED CABLE IN MIN. 3/4" CONDUIT.
- STROBES SHALL HAVE A MINIMUM LIGHT OUTPUT OF 75 CANDELA AND A FLASH RATE OF 1-3 HZ.
- WALL MOUNTED HORN/STROBE UNITS SHALL NOT HAVE ANY OTHER DEVICES OR APPURTENANCES WITHIN 5 FEET OF THE DEVICE. THEY SHALL BE A MAXIMUM OF 80 INCHES ABOVE FLOOR OR 6" BELOW THE CEILING, WHICHEVER IS LOWER. DEVICES SHALL BE FLUSH MOUNTED IN ALL FINISHED AREAS. PROVIDE DOUBLE DEEP DEVICE BOX IN WALL.
- AFTER THE SYSTEM IS COMPLETE, TEST ALL COMPONENTS IN ACCORDANCE WITH SEQUENCE OF OPERATION PRIOR TO FIRE DEPARTMENT INSPECTION.
- ALL PULL STATIONS SHALL BE PROVIDED WITH CLEAR PROTECTIVE LEXAN COVER. COVER SHALL BE AS MANUFACTURED BY SAFETY TECHNOLOGY INTERNATIONAL INC. CAT#STI 1100 STOPPER II.
- IF CAPACITY EXISTS ON EXISTING CIRCUITS E.G. MAY CONNECT NEW DEVICES TO EXISTING CIRCUITS. IN LIEU OF PROVIDING NEW CIRCUIT. COORDINATE WITH SYSTEM MANUFACTURE / VENDOR PRIOR TO THE IN.
- FIRE ALARM SEQUENCE OF OPERATION SEE SPECIFICATIONS.
- ELECTRICAL CONTRACTOR SHALL VERIFY AND COORDINATE WITH THE BUILDING FIRE ALARM MAINTENANCE VENDOR FOR TYPE OF FIRE ALARM DEVICES TO BE USED. CONTACT BUILDING MANAGEMENT FOR CONTACT INFORMATION. ALL NEW DEVICES INSTALLED SHALL BE COMPATIBLE AND CONSISTENT WITH THE EXISTING BUILDING FIRE ALARM SYSTEM INSTALLATION.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO RETAIN AND COORDINATE WITH THE BUILDING FIRE ALARM MAINTENANCE VENDOR FOR PROGRAMMING AND FINAL CONNECTIONS TO THE FIRE ALARM SYSTEM. ELECTRICAL CONTRACTOR SHALL INCLUDE PROGRAMMING AND FINAL CONNECTION COSTS IN THEIR BID.
- THE FIRE ALARM INSTALLATION SHALL COMPLY WITH NEW YORK STATE EDUCATION DEPT. NEC, THE AMERICANS WITH DISABILITIES ACT (ADA) AND ALL AUTHORITIES HAVING JURISDICTION.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND PROTECT EXISTING FIRE ALARM SPEAKERS, SMOKE DETECTORS, STATIONS AND OTHER FIRE ALARM SAFETY DEVICES IN OPERATION AT ALL TIMES. IF ANY PORTION OF FIRE ALARM SYSTEM IS DISABLED, NOTIFY BUILDING MANAGER IMMEDIATELY.

1 PART F.A. RISER DIAGRAM

SCALE: N.T.S.



PLOT DATE: February 15, 2022 — 8:29am

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1 PARTIAL BASEMENT PLAN
SCALE: 1/4" = 1'-0"

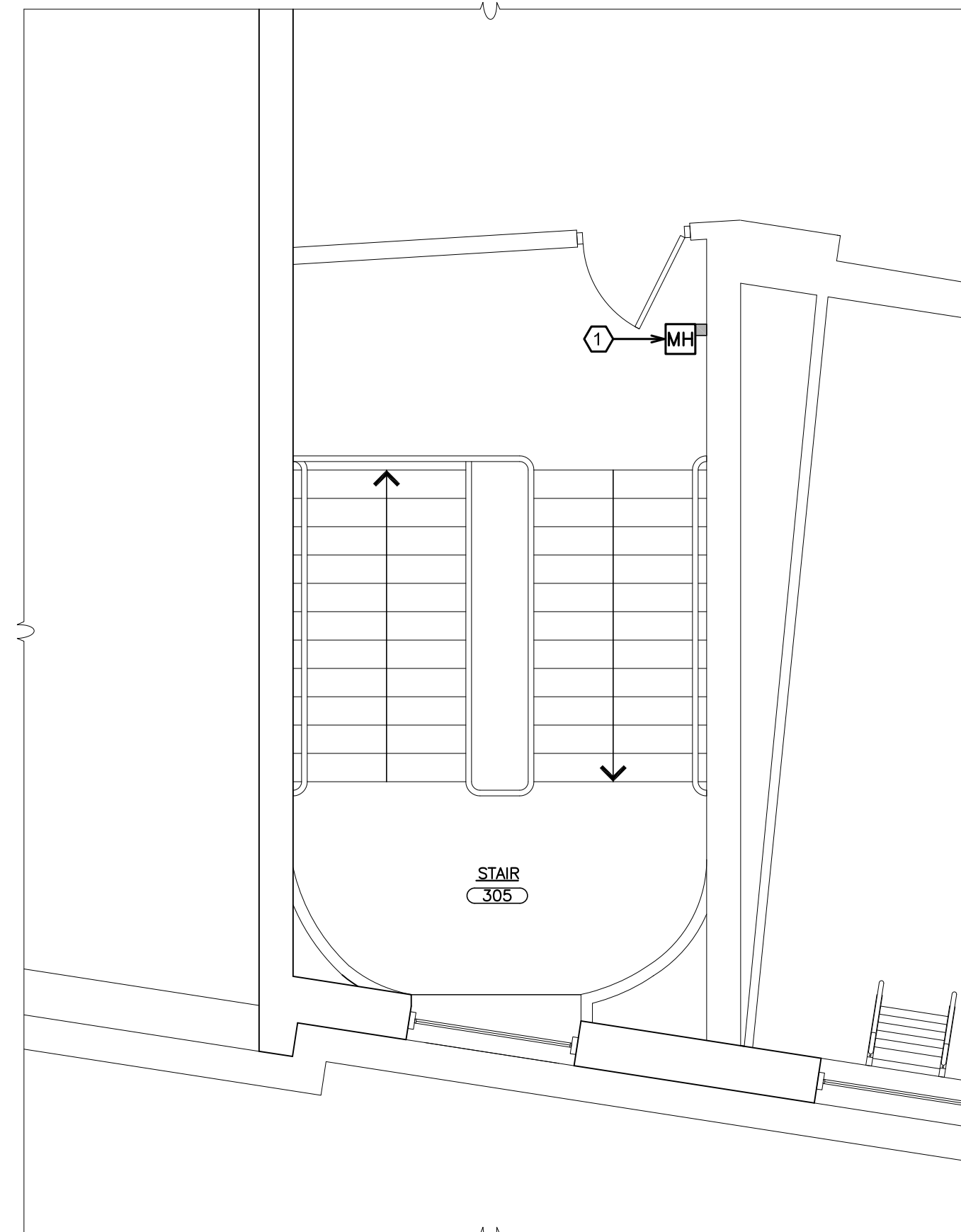
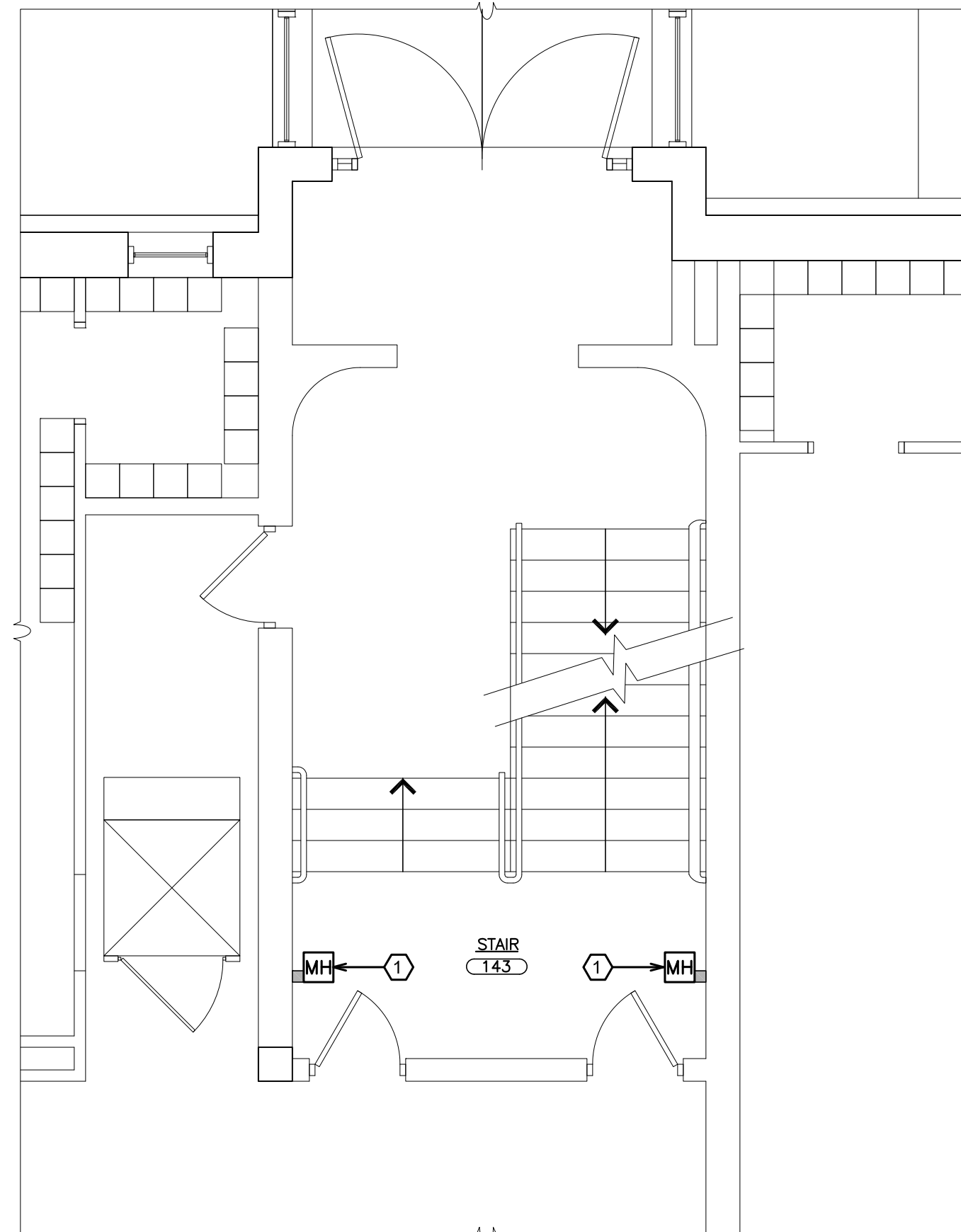
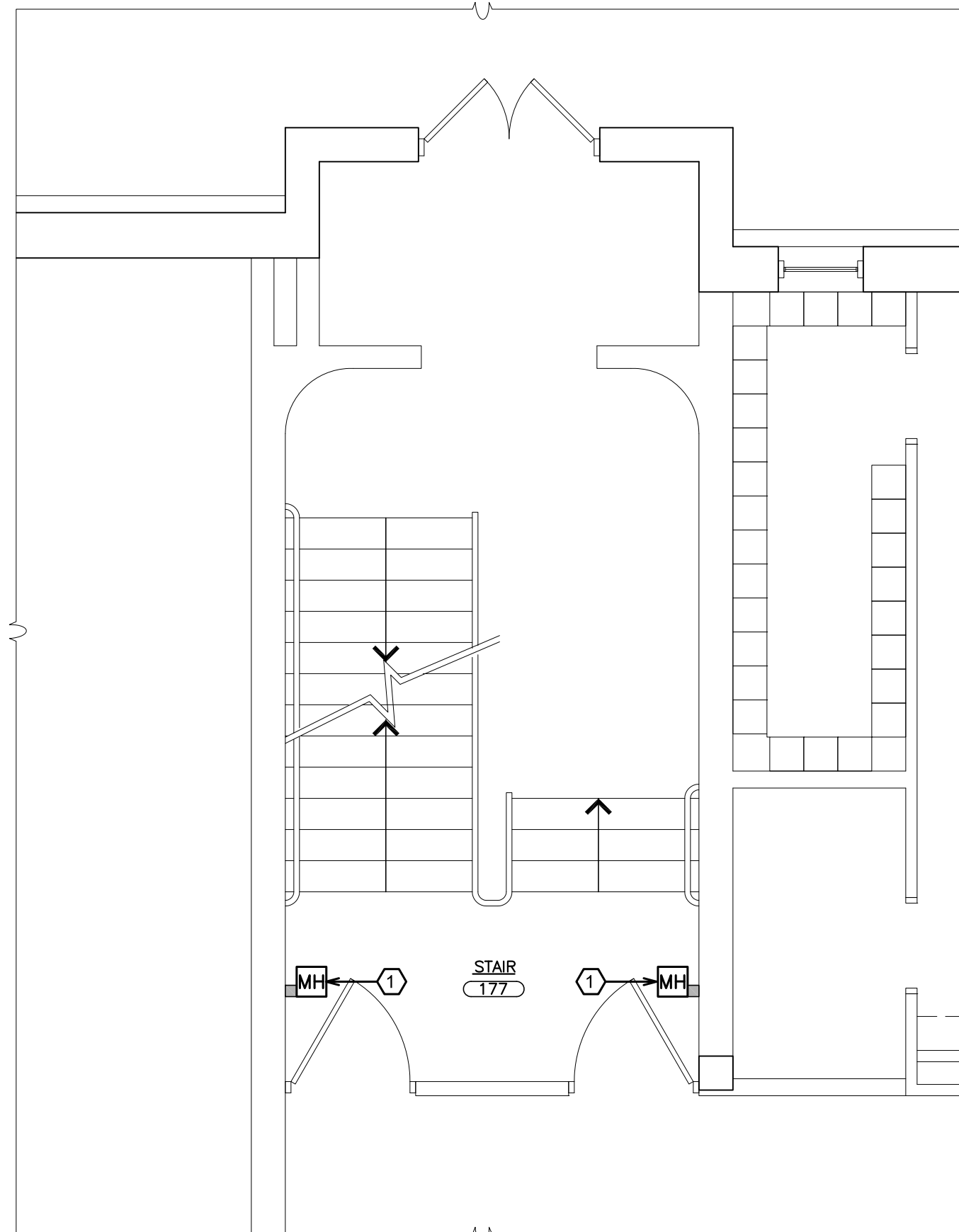
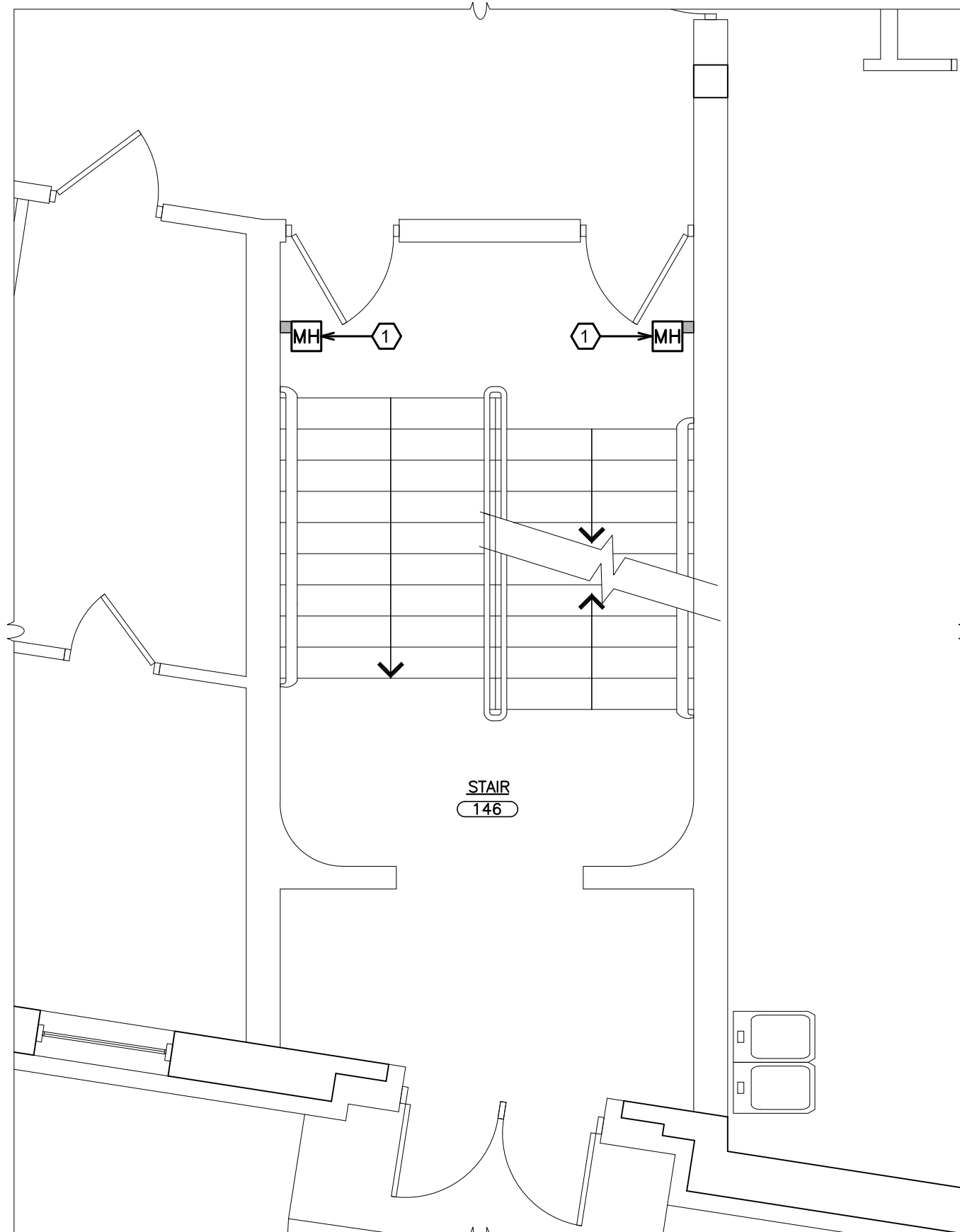
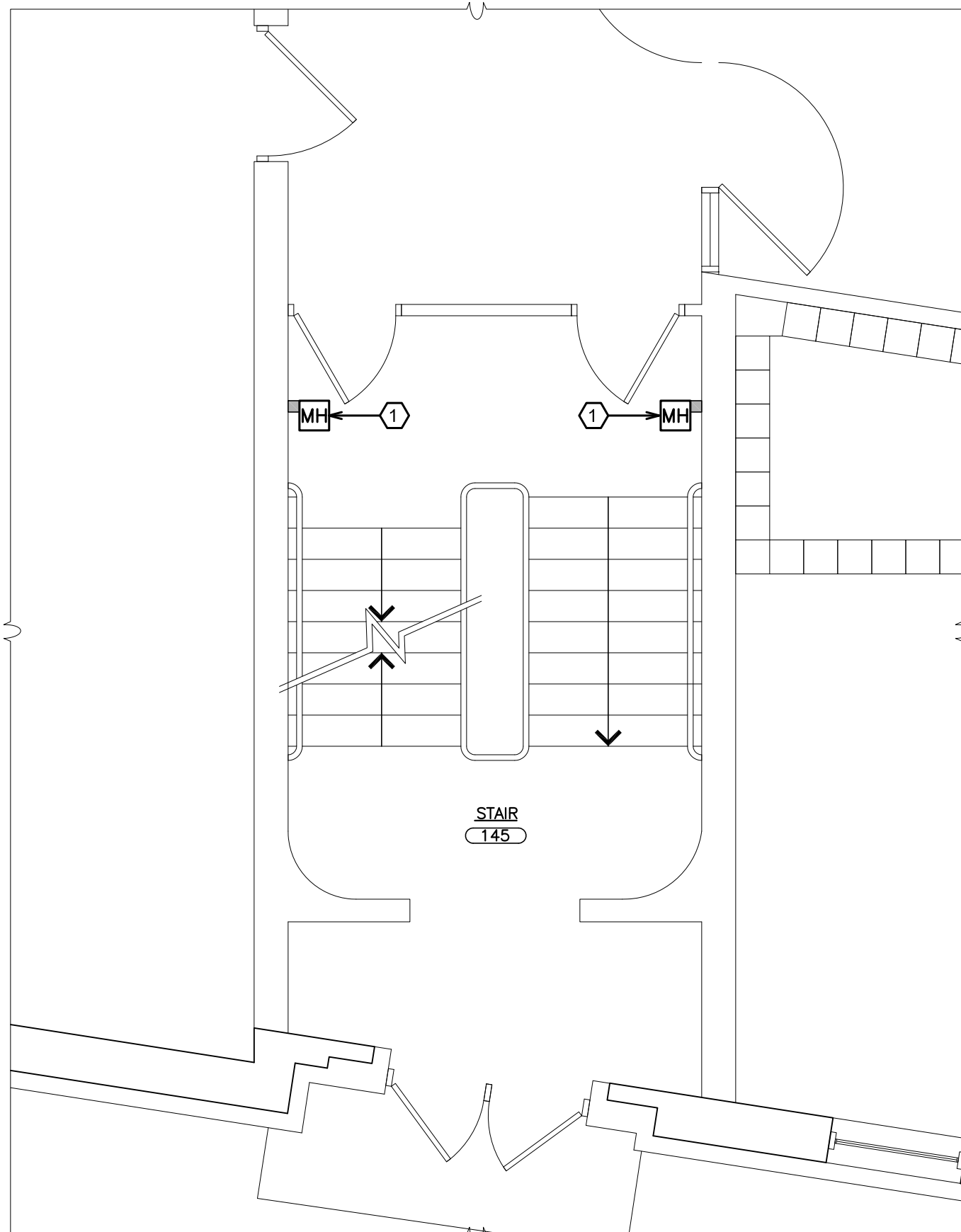
2 PARTIAL BASEMENT PLAN
SCALE: 1/4" = 1'-0"

KEY PLAN
SCALE N.T.S.



ELECTRICAL WORKSCOPE NOTES:

- 1 MAGNETIC HOLD OPEN PROVIDE WIREMOLD 500 W/ #14 AWG TWISTED/SHIELDED & CONNECT BACK TO SPARE IN EXISTING FIRE PANEL, VERIFY PANEL LOCATION IN FIELD.
- 2 DISCONNECT & REMOVE EXISTING SUMP PUMPS & SWITCH BACK TO THE CIRCUIT BREAKER PANEL. PROVIDE 2#8+1#10G IN 3/4" CONDUIT FROM TO BREAKER PANEL TO NEW MANUAL THROW SWITCH.
- 3 SUMP PUMP POWER SHALL BE FED FROM MANUAL DOUBLE THROW SAFETY SWITCH.
- 4 INSTALL P-CONTRACTOR PROVIDED VERTICAL SUBMERGED SUMP BY FEDERAL PUMP CORP. OR APPROVED EQUAL. MOTORS SHALL BE .75 H.P. 3 PHASE, 208-230/460 (V.L.F.) AND 1750 RPM. PROVIDE PEDESTAL MOUNTED AUXILIARY FLOAT SWITCH: TYPE FS-4. PROVIDE HIGH WATER ALARM: TYPE FS-5. PROVIDE MAGNETIC LINE VOLTAGE STARTER: TYPE D1200.
- 5 PROVIDE A 60 AMP GE DOUBLE THROW FOUR WIRE 240V SAFETY SWITCH MODEL# TC35322 WITH D3100K GROUND AND TNK100 NEUTRAL HIT. ONLY USE PHASE "A" & "B"



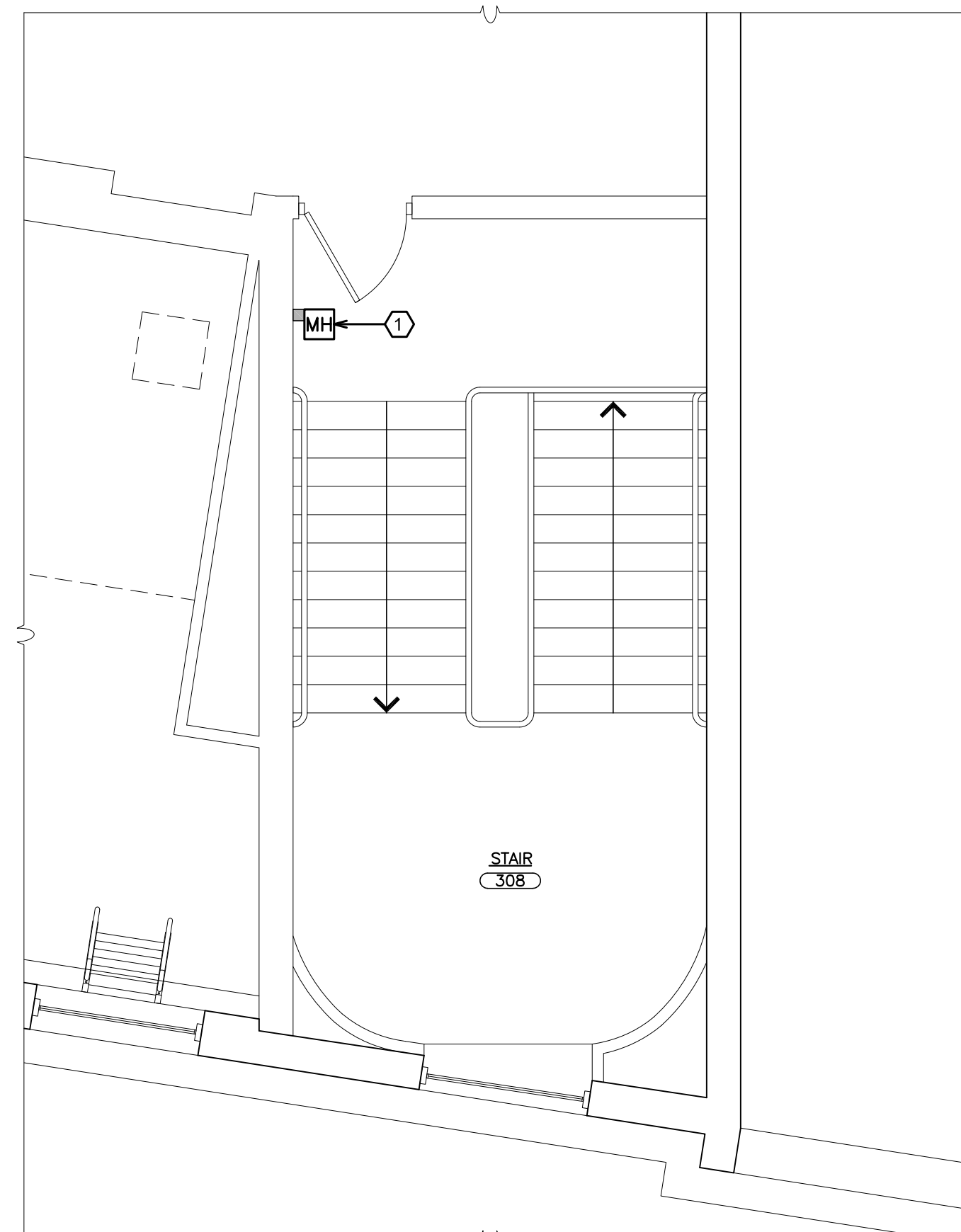
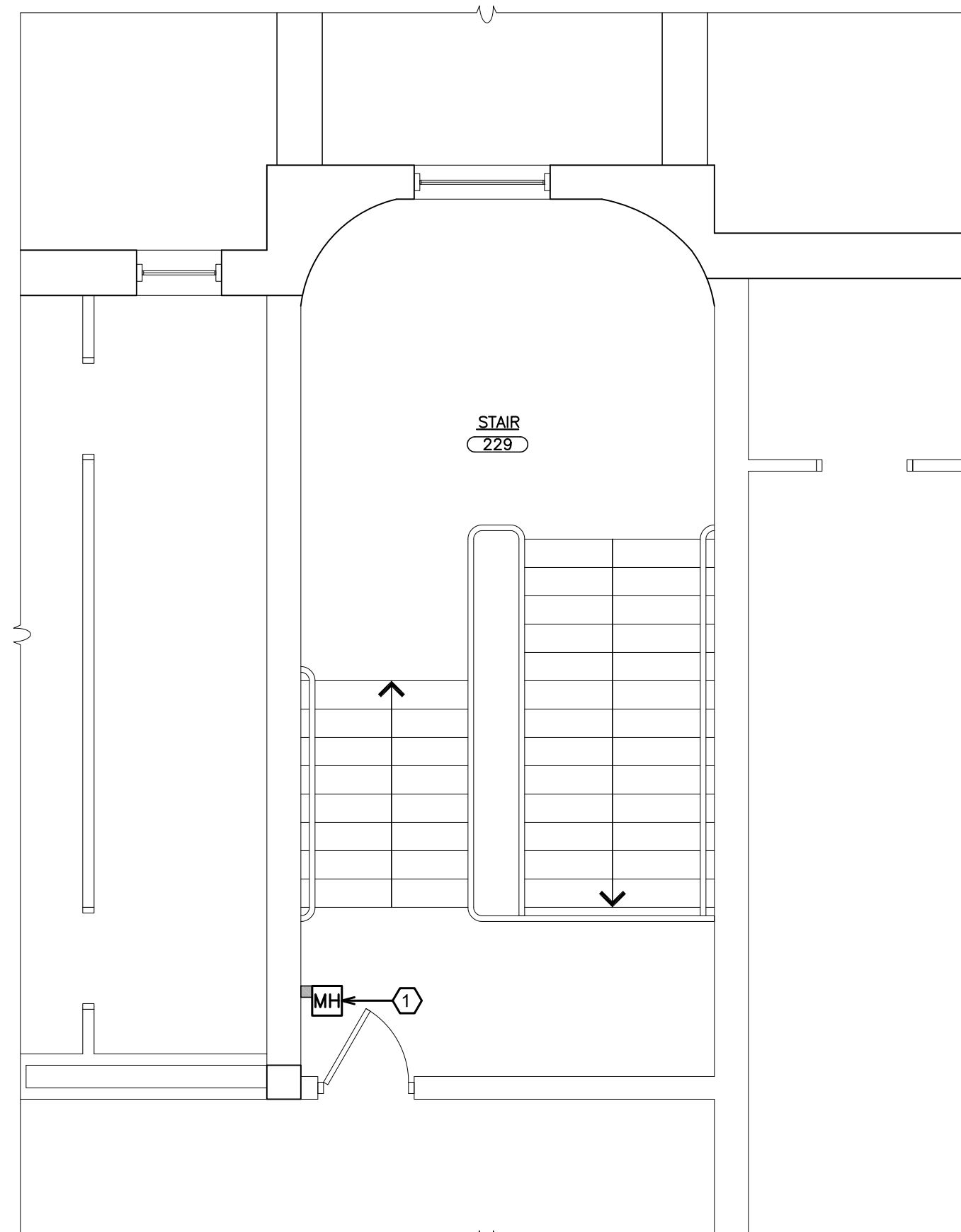
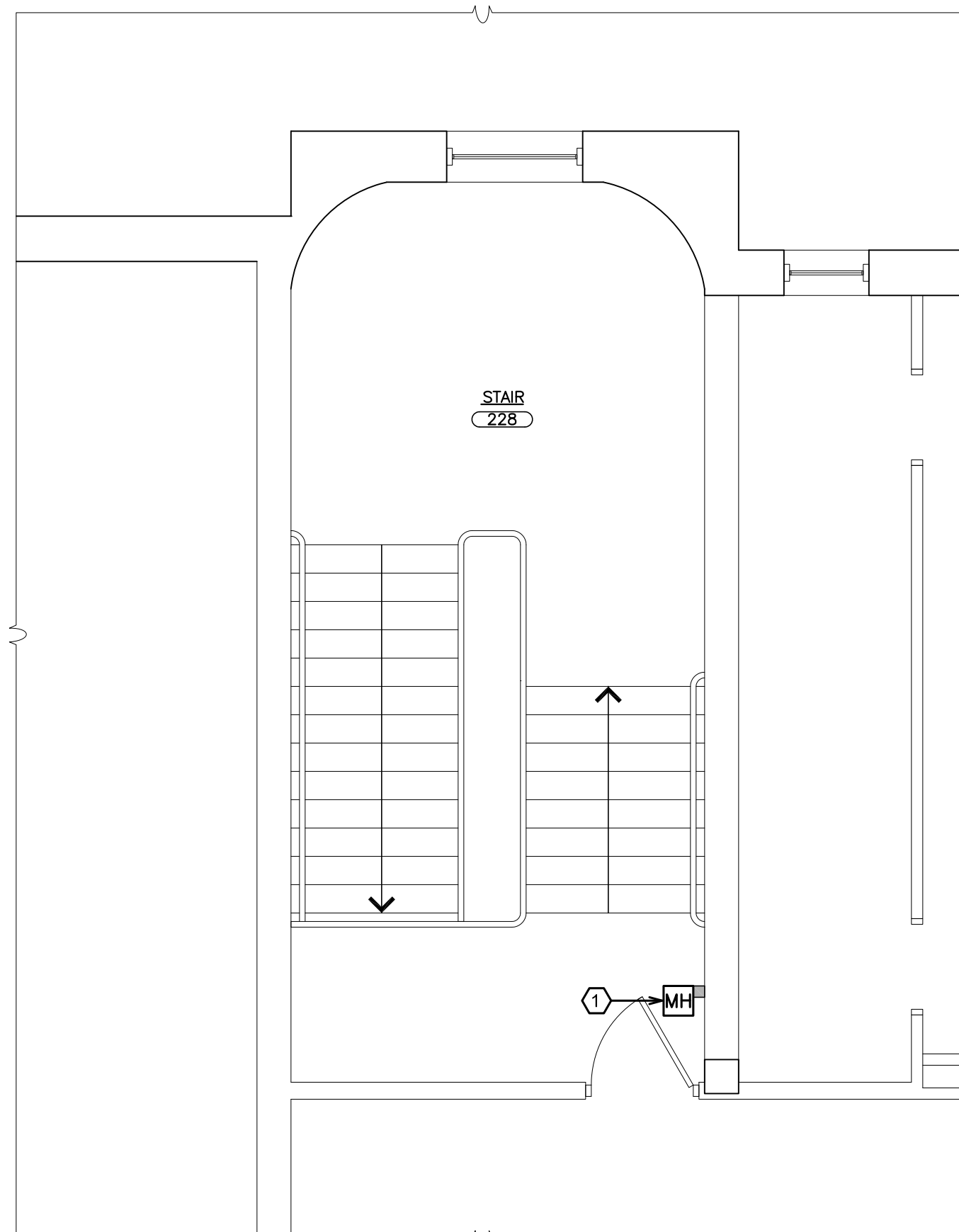
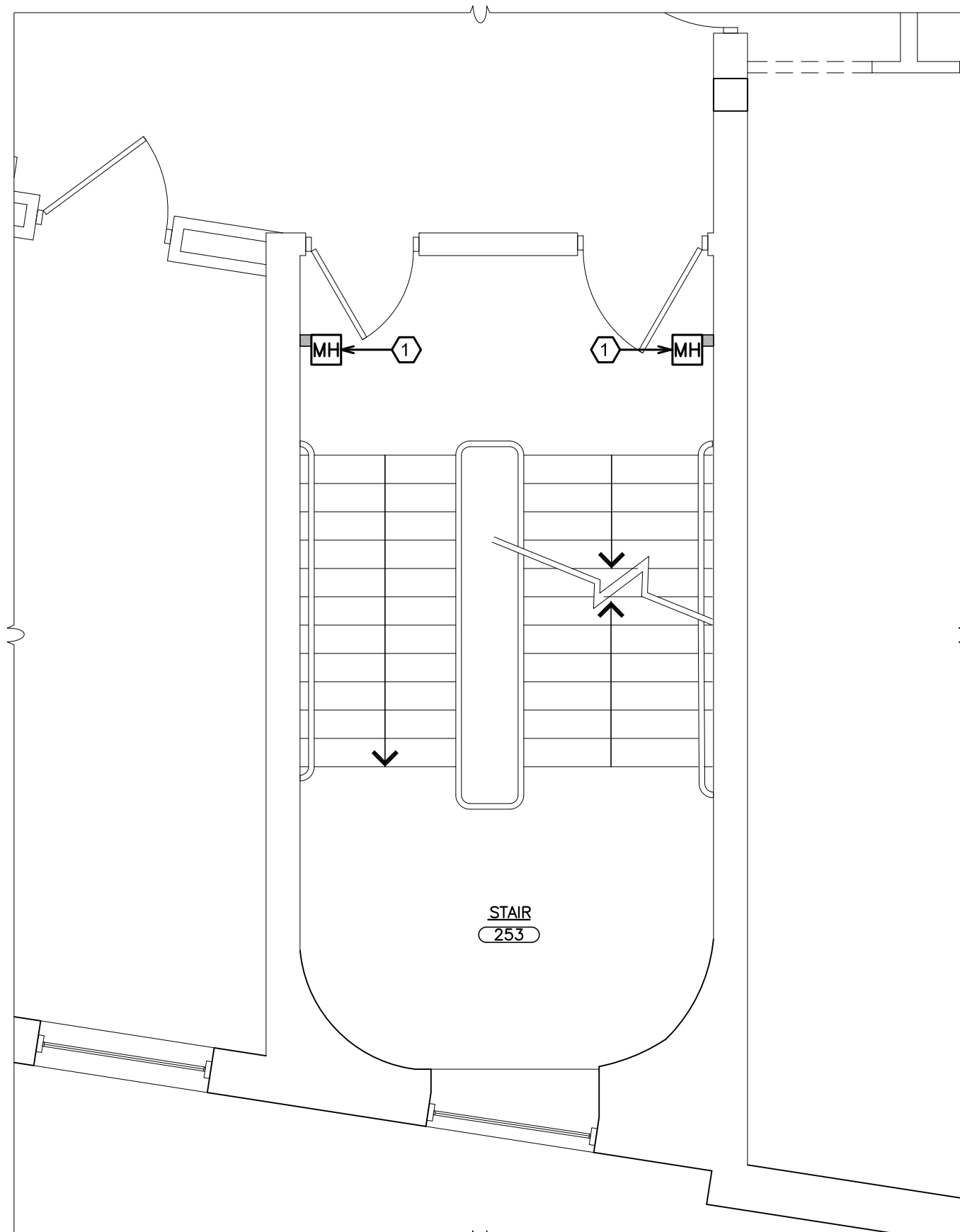
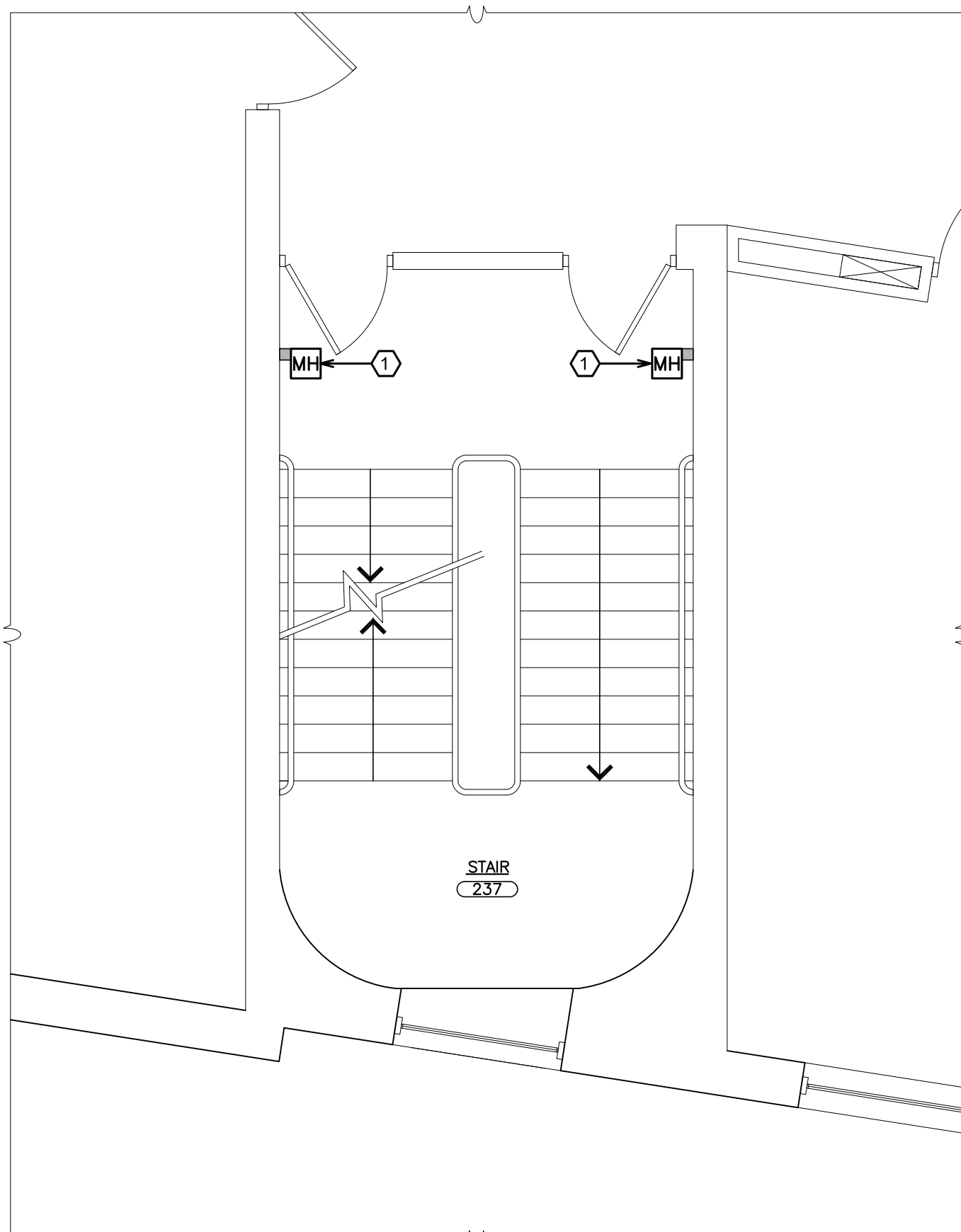
1 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

1 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

1 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

1 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

1 PARTIAL THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

1 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

1 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

1 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

1 PARTIAL THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

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ARCHITECTS
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S.E.D. CONTROL NUMBER:
PS 29
66-23-00-01-0-029-011
PEARLS HAWTHORNE SCHOOL
66-23-00-01-0-101-008

PROJECT NAME
YONKERS SCHOOL DISTRICT
MULTIPLE BUILDING ENVELOPE RENOVATIONS
SCHOOL 218 PEARLS HAWTHORNE SCHOOL
DRAWING TITLE
PARTIAL BASEMENT PLAN, PARTIAL FIRST
FLOOR PLAN, PARTIAL SECOND FLOOR PLAN &
PARTIAL THIRD FLOOR PLAN

02-16-2022 BID
10-11-2019 DESIGN DEVELOPMENT
DATE ISSUED TO

SHEET SIZE
30"x42"

SCALE
AS NOTED

DRAWN BY
F & D

FILE NO.
19354.07

DRAWING NO.
PHS
E101