

# SITE PLAN APPROVAL DOCUMENTS

# LINCOLN LOGISTICS BREWSTER

## NYS ROUTE 312 & PUGSLEY ROAD

## TOWN OF SOUTHEAST

## PUTNAM COUNTY, NEW YORK

**OWNER/APPLICANT/DEVELOPER**

**BREWSTER INDUSTRIAL OWNER LLC**  
 ONE MEADOWLANDS PLAZA, SUITE 803  
 EAST RUTHERFORD, NJ 07073  
 (212) 407-2170

**CIVIL ENGINEER**

**LANGAN**  
 ONE NORTH BROADWAY, SUITE 910  
 WHITE PLAINS, NEW YORK 10601  
 (914) 323-7401

**ATTORNEY**

**VENEZIANO AND ASSOCIATES**  
 84 BUSINESS PARK DRIVE #200  
 ARMONK, NY 10504  
 (914) 273-4286

**ARCHITECT**

**ARCO DESIGN/BUILD INDUSTRIAL**  
 44 SOUTH BROADWAY, SUITE 1003  
 WHITE PLAINS, NY 10601  
 (914) 821-5535

**ENVIRONMENTAL CONSULTANT**

**EVANS ENVIRONMENTAL CONSULTING, INC.**  
 205 AMITY ROAD  
 BETHANY, CT 06524  
 (203) 393-0690

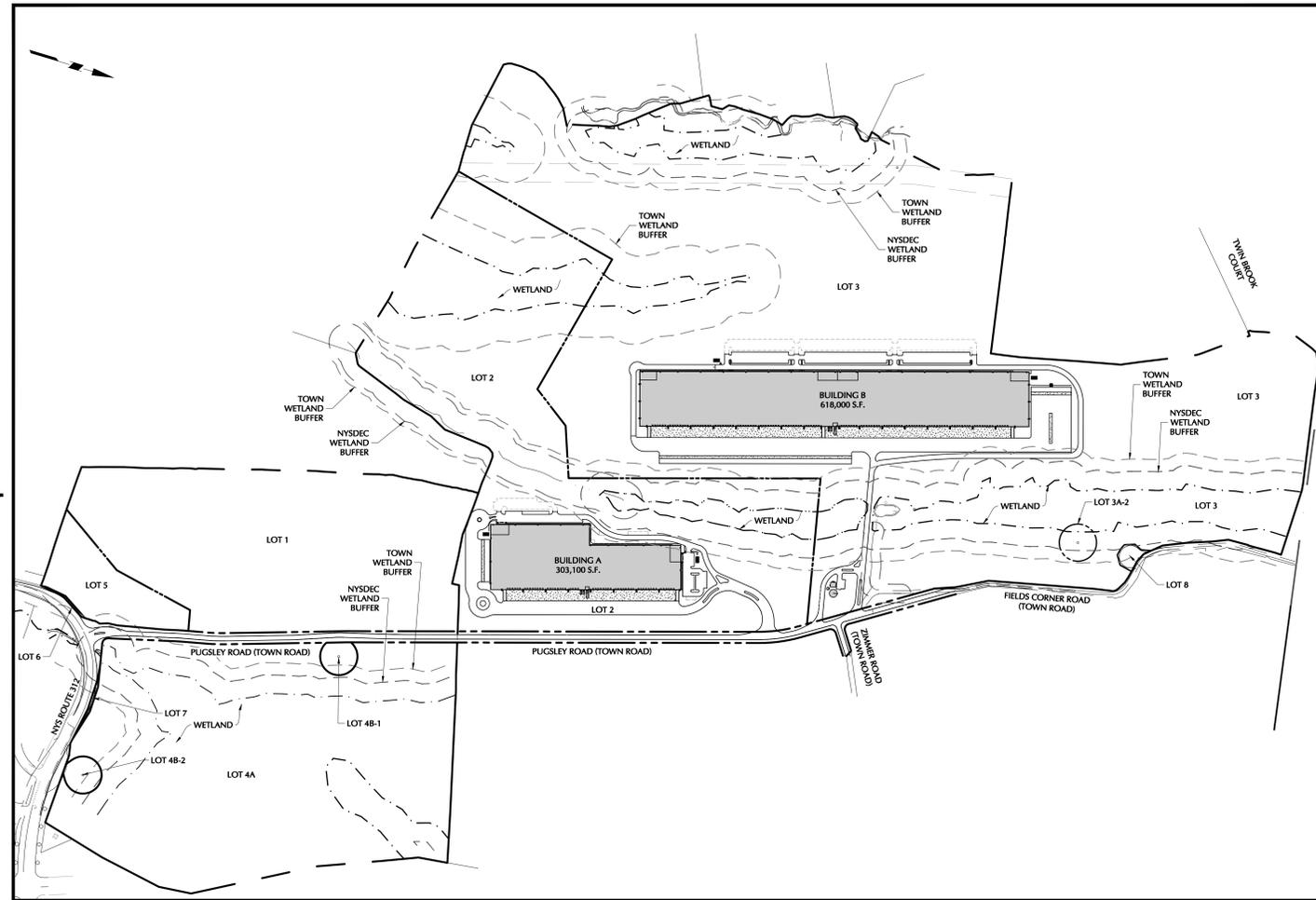
**SURVEYING**

**BADEY & WATSON, SURVEYING AND ENGINEERING, P.C.**  
 3063 ROUTE 9  
 COLD SPRING, NY 10516  
 (877) 314-1593

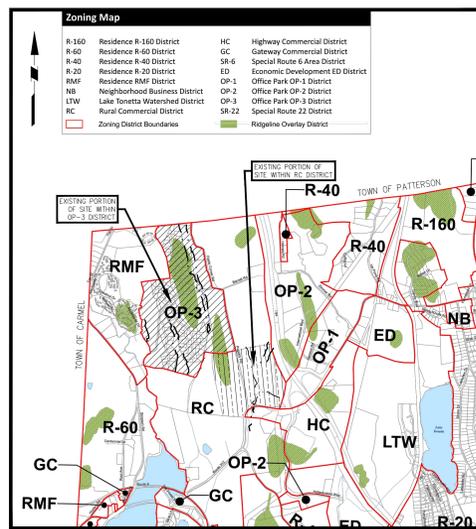
LOTS WITHOUT PROPOSED DEVELOPMENT			
LOT NO.	DESCRIPTION	PROPOSED AREA (SQUARE FEET)	PROPOSED AREA (ACRES)
LOT 1	EXISTING TAX MAP No. 45-1-4 PARCEL	+1,592,992	+36.57
LOT 3A-2	EXISTING TAX MAP No. 45-1-8-3 PARCEL	+31,416	+0.72
LOT 4	EXISTING TAX MAP No. 45-1-12 PARCEL (NON-INCLUSIVE OF THE WELL PARCELS)	+2,421,160	+55.58
LOT 4B-1	WELL PARCEL WITHIN EXISTING TAX MAP No. 45-1-12 CONTIGUOUS TO PUGSLEY ROAD	+29,206	+0.67
LOT 4B-2	WELL PARCEL WITHIN EXISTING TAX MAP No. 45-1-12 CONTIGUOUS TO NY 312	+31,914	+0.73
LOT 5	LAND DONATION PARCEL TO PUTNAM COUNTY	+223,414	+5.13
LOT 6	POTENTIAL LAND DONATION PARCEL TO NYS DOT (WEST OF PUGSLEY ROAD)	+2,402	+0.06
LOT 7	POTENTIAL LAND DONATION PARCEL TO NYS DOT (EAST OF PUGSLEY ROAD)	+4,167	+0.10
LOT 8	POTENTIAL LAND DONATION PARCEL TO TOWN OF SOUTHEAST	+13,735	+0.32

TABLE OF LAND USE LINCOLN LOGISTICS SOUTHEAST TOWN OF SOUTHEAST, PUTNAM COUNTY, NEW YORK			
PROPOSED USE: LIGHT MANUFACTURING			
EXISTING/PROPOSED ZONING DISTRICT: OFFICE PARK OP-3 DISTRICT (SEE NOTE 1)			
DESCRIPTION	REQUIRED / PERMITTED	LOT 2	LOT 3
LOT AREA (MINIMUM)	100,000 SQUARE FEET / 2.30 ACRES	+2,809,882 SF +64.51 ACRES	+7,131,351 SF +163.71 ACRES
LOT WIDTH (MINIMUM)	400 FEET	400 FEET	+2,320 FEET
LOT FRONTAGE (MINIMUM)	400 FEET	+1,875 FEET	+2,885 FEET
LOT DEPTH (MINIMUM)	400 FEET	+780 FEET	+965 FEET
BUILDING HEIGHT (MAXIMUM)	45 FEET / 3 STORIES	44 FT / 1 STORY	44 FT / 1 STORY
GROSS FLOOR AREA (MAXIMUM)	(SEE NOTE 2)	303,100 SF	618,026 SF
BUILDING COVERAGE (MAXIMUM)	25%	10.8%	8.8%
LOT COVERAGE TOTAL (MAXIMUM)	55%	23.9%	19.4%
OPEN SPACE (MINIMUM)	45%	76.1%	80.6%
BUILDABLE AREA CALCULATIONS (SEE NOTE 3)			
STATE DESIGNATED WETLANDS		+117,272 SF / +2.69 ACRES	+717,629 SF / +16.47 ACRES
SLOPES OVER 25% IN GRADE		+111,012 SF / +2.55 ACRES	+402,968 SF / +9.25 ACRES
TOTAL DEDUCTIONS (50%)		+114,142 SF / +2.62 ACRES	+560,299 SF / +12.86 ACRES
NET BUILDABLE AREA		+2,695,740 SF / +61.89 ACRES	+6,571,052 SF / +150.85 ACRES
FLOOR AREA RATIO (MAXIMUM) (SEE NOTE 3)	0.15-0.25 RATIO (SEE NOTE 4)	0.112	0.087
FRONT BUILDING SETBACK	100/50 FEET (SEE NOTE 5)	196 FEET	100 FEET
REAR BUILDING SETBACK	50 FEET	250 FEET	82 FEET
SIDE BUILDING SETBACK	50 FEET	120 FEET	120 FEET
FRONT PARKING SETBACK	50/25 FEET (SEE NOTE 5)	144 FEET	573 FEET
REAR PARKING SETBACK	25 FEET	165 FEET	150 FEET
SIDE PARKING SETBACK	25 FEET	50 FEET	50 FEET
PARKING REQUIREMENTS (SEE PARKING AND LOADING TABLE)		243 STANDARD 8 ACCESSIBLE 250 TOTAL	499 STANDARD 12 ACCESSIBLE 511 TOTAL
LOADING REQUIREMENTS (1 SPACE PER 40,000 S.F.)		LOT 1: 8 LOT 2: 16	56

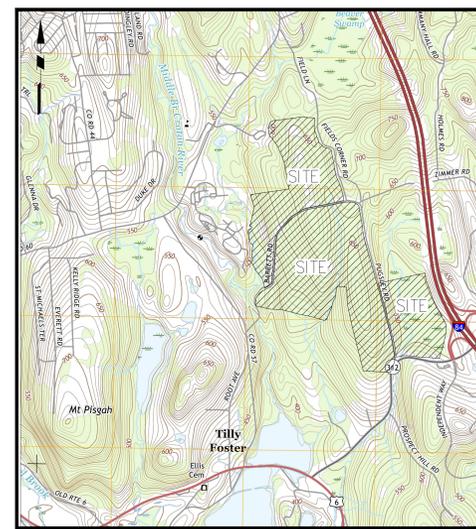
Notes:  
 1. PROPOSED LOTS 2, 3, AND 8 ARE LOCATED WHOLLY WITHIN THE OP-3 DISTRICT. PROPOSED LOTS 1, 4, 5, 6, AND 7 ARE PROPOSED TO REMAIN ZONED IN THE RC DISTRICT.  
 2. MAXIMUM PERMITTED GROSS FLOOR AREA PER LOT IS EQUIVALENT TO 0.25 OF THE NET BUILDABLE AREA.  
 3. "FLOOR AREA RATIO" IS DEFINED BY THE ZONING CODE AS THE GROSS FLOOR AREA IN SQUARE FEET OF ALL BUILDINGS ON A LOT DIVIDED BY THE AREA OF SUCH LOT IN SQUARE FEET. "BUILDABLE AREA" IS DEFINED BY THE ZONING CODE AS ALL LAND MINUS 50% OF THE ACRES OF STATE DESIGNATED WETLANDS AND 50% OF THE ACRES OF SLOPES OVER 25% IN GRADE.  
 4. A FLOOR AREA RATIO OF 0.15 SHALL NOT BE EXCEEDED WITHOUT A TRANSPORTATION DISTRICT IN PLACE OF UNTIL THE ROAD IMPROVEMENTS NECESSARY TO ACCOMMODATE THE ADDITIONAL DEVELOPMENT ARE MADE.  
 5. FRONT YARD AND FRONT YARD PARKING SETBACK REQUIREMENTS MAY BE REDUCED BY UP TO 50% FOR ANY STREET OR ROAD OTHER THAN STATE OR COUNTY ROAD OR HIGHWAY.



AREA MAP  
SCALE: 1" = 300'



ZONING MAP  
SCALE: 1" = 2,000'



VICINITY MAP  
SCALE: 1" = 2,000'

**GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN**

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7862) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED. EVEN THOUGH INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDESIRABLE INTERRUPTION OF UTILITY SERVICE.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES ADJACENT BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMMING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH TEMPORARY MATING EXCEPT WHERE TEMPORARY ACCESS IS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.
- THERE SHALL BE NO MORE THAN FIVE ACRES OF DISTURBED SOIL AT ANY TIME. PROJECT WIDE, WITHOUT PRIOR WRITTEN APPROVAL FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
- NO BELIEVERS SHALL BE SCHEDULED TO ACCESS THE SITE AFTER 11:30 PM ON MONDAY THROUGH SATURDAY OR AFTER 5:00 PM ON SUNDAY AND FEDERAL HOLIDAYS, AND BEFORE 6:00 AM ON MONDAY THROUGH SATURDAY OR BEFORE 10:00 AM ON SUNDAY AND FEDERAL HOLIDAYS.

PARKING AND LOADING TABLE							
DESCRIPTION	BUILDING SIZE (SF)	ANTICIPATED EMPLOYEES (1 EMPLOYEE / 1,695 SF ON MAXIMUM SHIFT) (SEE NOTE 1 & 2)	TOWN PARKING REQUIREMENT (SPACE / 1.5 EMPLOYEE ON MAXIMUM SHIFT)	PARKING PROVIDED		LOADING DOCKS AND TRAILER SPACES	
				PROPOSED	LANDBANKED	LOADING DOCKS	TRAILER PARKING
BUILDING A	303,100	179	120	119	131	56	19
BUILDING B	618,000	365	244	240	271	120	235
TOTAL	921,100	544	363	359	402	176	254

Notes:  
 1. THE ANTICIPATED NUMBER OF EMPLOYEES IS BASED ON THE RATIO OF EMPLOYEES TO SQUARE FEET OF FLOOR AREA ON THE MAXIMUM SHIFT PUBLISHED BY ENERGYSTAR FOR TYPICAL WAREHOUSE SPACE. NEW CONSTRUCTION HIGHLY MECHANIZED WAREHOUSE SPACES TYPICALLY HAVE LOWER EMPLOYEE DENSITIES.  
 2. SEPTIC AREAS HAVE BEEN CONSERVATIVELY SIZED FOR THE POTENTIAL DAILY EMPLOYEE TOTALS UTILIZING THE NYSDEC PUBLICATION 'NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS', DATED MARCH 2014. THE PUBLICATION ALLOWS FOR A 20 PERCENT REDUCTION FROM THE 15 GALLONS PER DAY (GPD) RECOMMENDATION FOR LOW FLOW EQUATING TO A DESIGN FLOW RATE OF 12 GPD PER EMPLOYEE.  
 3. THE FIVE (5) PARKING SPACES PROPOSED ADJACENT TO THE WATER TREATMENT BUILDING, WITHIN THE FENCED AREA, HAVE NOT BEEN INCLUDED IN THE PROPOSED PARKING SUPPLY.

**SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILED OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION**

Date	Description	No.
12/16/2022	REV. PER WATERSHED INSPECTOR GENERAL COMMENTS	5
12/05/2022	REV. SITE GRADING	4
10/14/2022	REV. FOR NYCDP SUBMISSION	3
03/25/2022	REV. PER TOWN COMMENTS	2



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Project: **LINCOLN LOGISTICS BREWSTER**  
 TOWN OF SOUTHEAST  
 NEW YORK

Drawing Title: **COVER SHEET**  
 Project No.: 190065201  
 Date: 1/28/2022  
 Drawn By: JMSK  
 Checked By: CZMF  
 Sheet 1 of 97

DRAWING LIST		
DRAWING NO.	SHEET NO.	DRAWING TITLE
C-000	1 of 97	COVER SHEET
C-001	2 of 97	AERIAL PHOTOGRAPH
C-010	3 of 97	OVERALL EXISTING CONDITIONS MAP
C-020	4 of 97	EXISTING CONDITIONS MAP A
C-030	5 of 97	EXISTING CONDITIONS MAP B
C-040	6 of 97	EXISTING CONDITIONS MAP C
C-050	7 of 97	EXISTING CONDITIONS MAP D
C-060	8 of 97	EXISTING CONDITIONS MAP E
C-100	9 of 97	OVERALL SITE PLAN
C-101	10 of 97	SITE PLAN A
C-102	11 of 97	SITE PLAN B
C-103	12 of 97	SITE PLAN C
C-104	13 of 97	SITE PLAN D
C-105	14 of 97	SITE PLAN E
C-200	15 of 97	OVERALL GRADING PLAN
C-201	16 of 97	GRADING PLAN A
C-202	17 of 97	GRADING PLAN B
C-203	18 of 97	GRADING PLAN C
C-204	19 of 97	GRADING PLAN D
C-205	20 of 97	GRADING PLAN E
C-211	21 of 97	RIDGELINE CROSS SECTION A-A
C-212	22 of 97	RIDGELINE CROSS SECTION B-B
C-221	23 of 97	PUGSLEY ROAD PROFILE
C-301	24 of 97	UTILITY PLAN A
C-302	25 of 97	UTILITY PLAN B
C-303	26 of 97	UTILITY PLAN C
C-304	27 of 97	UTILITY PLAN D
C-305	28 of 97	UTILITY PLAN E
C-310	29 of 97	WATERLINE PROFILES (1 OF 9)
C-311	30 of 97	WATERLINE PROFILES (2 OF 9)
C-312	31 of 97	WATERLINE PROFILES (3 OF 9)
C-313	32 of 97	WATERLINE PROFILES (4 OF 9)
C-314	33 of 97	WATERLINE PROFILES (5 OF 9)
C-315	34 of 97	WATERLINE PROFILES (6 OF 9)
C-316	35 of 97	WATERLINE PROFILES (7 OF 9)
C-317	36 of 97	WATERLINE PROFILES (8 OF 9)
C-318	37 of 97	WATERLINE PROFILES (9 OF 9)
C-319	38 of 97	WATERLINE DETAILS
C-320	39 of 97	OVERALL OWTS MAP
C-321	40 of 97	OWTS PLAN A (1 OF 2)
C-322	41 of 97	OWTS PLAN A (2 OF 2)
C-323	42 of 97	OWTS PROFILE A
C-324	43 of 97	OWTS PLAN B
C-325	44 of 97	OWTS PLAN C
C-326	45 of 97	OWTS PLAN D
C-327	46 of 97	OWTS PROFILE D
C-328	47 of 97	OWTS DETAILS (1 OF 2)
C-329	48 of 97	OWTS DETAILS (2 OF 2)
C-401	49 of 97	SOIL EROSION & SEDIMENT CONTROL PLAN A
C-402	50 of 97	SOIL EROSION & SEDIMENT CONTROL PLAN B
C-403	51 of 97	SOIL EROSION & SEDIMENT CONTROL PLAN C
C-404	52 of 97	SOIL EROSION & SEDIMENT CONTROL PLAN D
C-405	53 of 97	SOIL EROSION & SEDIMENT CONTROL PLAN E
C-410	54 of 97	OVERALL PHASING PLAN
C-421	55 of 97	PHASING/SEQUENCE OF CONSTRUCTION NOTES
C-501	56 of 97	LANDSCAPING PLANTING PLAN A
C-502	57 of 97	LANDSCAPING PLANTING PLAN B
C-503	58 of 97	LANDSCAPING PLANTING PLAN C
C-504	59 of 97	LANDSCAPING PLANTING PLAN D
C-505	60 of 97	LANDSCAPING PLANTING PLAN E
C-506	61 of 97	LANDSCAPING PLANTING NOTES AND DETAILS
C-601	62 of 97	LANDSCAPE LIGHTING PLAN A
C-602	63 of 97	LANDSCAPE LIGHTING PLAN B
C-603	64 of 97	LANDSCAPE LIGHTING PLAN C
C-604	65 of 97	LANDSCAPE LIGHTING PLAN D
C-605	66 of 97	LANDSCAPE LIGHTING PLAN E
C-606	67 of 97	LANDSCAPE LIGHTING NOTES AND DETAILS
C-701	68 of 97	TREE AND FOREST PRESERVATION PLAN A
C-702	69 of 97	TREE AND FOREST PRESERVATION PLAN B
C-703	70 of 97	TREE AND FOREST PRESERVATION PLAN C
C-704	71 of 97	TREE AND FOREST PRESERVATION PLAN D
C-705	72 of 97	TREE AND FOREST PRESERVATION PLAN E
C-711	73 of 97	TREE AND FOREST PRESERVATION LIST
C-712	74 of 97	TREE AND FOREST PRESERVATION LIST
C-801	75 of 97	STORMWATER MANAGEMENT AREA PROFILES: 1A-1-A
C-802	76 of 97	STORMWATER MANAGEMENT AREA PROFILES: 1A-1-B
C-803	77 of 97	STORMWATER MANAGEMENT AREA PROFILES: 1B-1
C-804	78 of 97	STORMWATER MANAGEMENT AREA PROFILES: 1B-3
C-805	79 of 97	STORMWATER MANAGEMENT AREA PROFILES: 3B-1-A
C-806	80 of 97	STORMWATER MANAGEMENT AREA PROFILES: 3B-1-B
C-807	81 of 97	STORMWATER MANAGEMENT AREA PROFILES: 4A-1-A
C-808	82 of 97	STORMWATER MANAGEMENT AREA PROFILES: 4A-1-B
C-809	83 of 97	STORMWATER MANAGEMENT AREA PROFILES: 5A-1-A
C-810	84 of 97	STORMWATER MANAGEMENT AREA PROFILES: 5A-1-B
C-811	85 of 97	STORMWATER MANAGEMENT AREA PROFILES: 5B-1-A
C-812	86 of 97	STORMWATER MANAGEMENT AREA PROFILES: 5B-1-B
C-900	87 of 97	DETAIL SHEET (1 of 11)
C-901	88 of 97	DETAIL SHEET (2 of 11)
C-902	89 of 97	DETAIL SHEET (3 of 11)
C-903	90 of 97	DETAIL SHEET (4 of 11)
C-904	91 of 97	DETAIL SHEET (5 of 11)
C-905	92 of 97	DETAIL SHEET (6 of 11)
C-906	93 of 97	DETAIL SHEET (7 of 11)
C-907	94 of 97	DETAIL SHEET (8 of 11)
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Project No.: 190065201