

CLARKSTOWN CENTRAL SCHOOL DISTRICT FELIX FESTA MIDDLE SCHOOL CAPITAL PROJECT PHASE 5

ISSUED FOR BID: 1/13/23

DRAWING LIST

FELIX FESTA MIDDLE SCHOOL (FFMS)

GENERAL DRAWINGS

FFMS G001 SYMBOLS, ABBREVIATIONS, AND MISC.

CIVIL DRAWINGS

FFMS C101 SITE PLAN

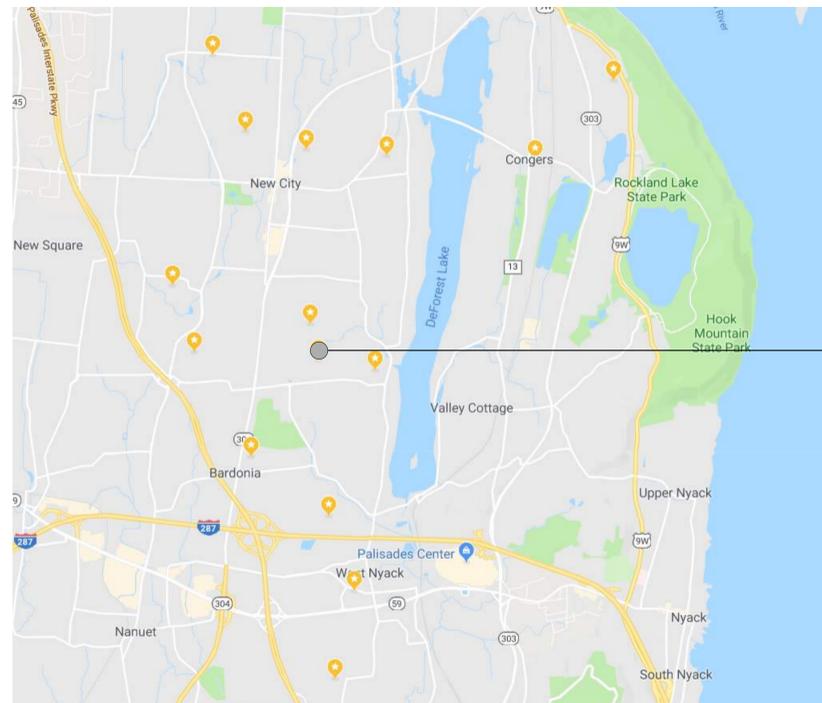
CSARCH - ARCHITECTS

PASSERO ASSOCIATES - SITE/CIVIL ENGINEERS

STATE EDUCATION DEPARTMENT PROJECT CONTROL NUMBER:
FELIX FESTA MIDDLE SCHOOL 50-01-01-06-0-012-034

THE DESIGN OF THIS PROJECT CONFORMS TO APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, AND THE MANUAL OF PLANNING STANDARDS OF THE NEW YORK STATE EDUCATION DEPARTMENT.

CSArch PROJECT NO. 151-2201



FELIX FESTA MIDDLE SCHOOL
30 PARROT ROAD
WEST NYACK, NY 10994

VICINITY MAP

NTS



VOLUME 3 OF 4

ABBREVIATIONS

ABBREVIATION	DESCRIPTION
ADD	ADDENDUM
ADMIN	ADMINISTRATIVE
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
APPROX	APPROXIMATE
ARCH	ARCHITECT / ARCHITECTURAL
AV	AUDIO VISUAL
BLDG	BUILDING
BOT OR B/	BOTTOM OF
BSMT	BASEMENT
CJ	CONTROL / CONSTRUCTION JOINT
CL	CENTERLINE
CLS / CLNG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONF	CONFERENCE
CONT	CONTINUOUS
COORD	COORDINATE
CORR	CORRIDOR
DEMO	DEMOLITION
DET	DETAIL
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
ED	EDUCATION
EPIS	EXTERIOR INSULATION FINISH SYSTEM
ELECT	ELECTRIC / ELECTRICAL
EPDM	ETHYLENE PROPYLENE DIENE MONOMER
EQ	EQUAL
EQUIP	EQUIPMENT
EXST	EXISTING
EJ	EXPANSION JOINT
EXT	EXTERIOR
FIN	FINISH
FIN FL	FINISH FLOOR
FIXT	FIXTURE
FLR	FLOOR
FRT	FIRE-RETARDANT-TREATED MATERIAL
FTG	FOOTING
GA	GAUGE
GAL	GALLON
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GND	GROUND
GWB	GYPSUM WALL BOARD
GWBS	GYPSUM WALL BOARD SOFFIT
HC	HANDICAPPED ACCESSIBLE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
HTG	HEATING
HYAC	HEATING/VENTILATING/AIR CONDITIONING
ID	INSIDE DIMENSION
IN	INCH / INCHES
INT	INTERIOR
JAN	JANITOR
JG	JANITOR'S CLOSET
JST	JOIST
JT	JOINT
LAB	LABORATORY
LB	POUND
LIN	LINEAR
LVL	LEVEL
MAN	MANUAL
MAS	MASONRY
MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MEZZ	MEZZANINE
MFR	MANUFACTURE(R)
MID	MIDDLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTL	METAL
NA	NOT APPLICABLE
NG	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OA	OVERALL
OC	ON CENTER
OD	OUTSIDE DIAMETER
O/HD	OVERHEAD
OPT	OPTIONAL
OZ	OUNCE
PERIM	PERIMETER
PLAM	PLASTIC LAMINATE
PLBS	PLUMBING
PLAS	PLASTER
PLYND	PLYWOOD
PNL	PANEL
PNT	PAINTED
POLYISO	POLYISOCYANURATE
PFT	PRESSURE PRESERVATIVE TREATED
PR	PAIR
PREP	PREPARATORY
PTN	PARTITION
PVC	POLYVINYL CHLORIDE
RAD	RADIUS
RB	RUBBER / RUBBER MALL BASE
REQD	REQUIRED
RM	ROOM
RND	ROUND
RO	ROUGH OPENING
SGH	SCHEDULED
SECT	SECTION
SF	SQUARE FEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STC	SOUND TRANSMISSION CLASS
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUC	STRUCTURAL / STRUCTURE
SUSP	SUSPENDED
SAC	SUSPENDED ACOUSTICAL CEILING
T&B	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
TECH	TECHNOLOGY
TEMP	TEMPORARY
TMFD	TEMPERED
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TYP	TYPICAL
UL	UNDERWRITERS LABORATORY
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
W/	WITH
W/O	WITHOUT
WD	WOOD
WPT	WOOD PRESERVED-TREATED MATERIAL
WHT	WEIGHT
YD	YARD

ARCHITECTURAL LEGEND

MATERIAL INDICATIONS

	EARTH
	GRANULAR FILL
	BRICK
	CONCRETE MASONRY UNIT
	CONCRETE
	GROUT
	ROUGH WOOD BLOCKING
	SHIM
	FINISH WOOD
	PLYWOOD
	SHEATHING
	RIGID INSULATION
	BATT INSULATION
	SPRAY FOAM INSULATION
	EPS INSULATION
	STEEL

DIMENSIONING CONVENTIONS

	FACE OF STUD OR CMU
	COLUMN CENTER LINE

SYMBOLS

	CLASSROOM
	ROOM NAME
	ROOM NUMBER
	AREA OF ROOM
	DOOR NUMBER, REFER TO A100 DRAWINGS
	WINDOW TAG, REFER TO A100 DRAWINGS
	BORROWED LIGHT NUMBER, REFER TO A100 DRAWINGS
	STOREFRONT / CURTAIN WALL NUMBER, REFER TO A100 DRAWINGS
	COLUMN GRID DESIGNATION
	PARTITION TAG, REFER TO A100 DRAWINGS
	HOUR RATING OF PARTITION
	ADDITIONAL NOTES FOR PARTITION
	REVISION NUMBER
	KEY NOTE, NEW WORK
	KEY NOTE, DEMOLITION WORK
	ELEVATION TAG
	HANDICAPPED ACCESSIBLE ELEMENT OR FIXTURE
	INTERIOR FINISH TAG, REFER TO A100 DRAWINGS

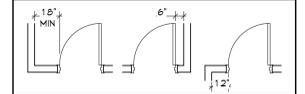
DETAIL INDICATOR LEGEND

	SECTION INDICATOR
	DRAWING SHEET NUMBER SECTION IS DRAWN ON DIRECTION OF VIEW
	DETAIL INDICATOR (SECTION)
	DRAWING SHEET NUMBER SECTION IS DRAWN ON DIRECTION OF VIEW
	ENLARGED DETAIL INDICATOR
	DRAWING AREA REQUIRING DETAIL DETAIL NUMBER
	DETAIL TITLE
	DETAIL NUMBER DETAIL TYPE / NAME SCALE
	EXTERIOR ELEVATION INDICATOR
	DIRECTION OF VIEW ELEVATION NUMBER DRAWING SHEET NUMBER DETAIL IS DRAWN ON
	INTERIOR ELEVATION INDICATOR
	BLANK ARROW INDICATES ELEVATIONS NOT DETAILED ELEVATION NUMBER DRAWING SHEET NUMBER DETAIL IS DRAWN ON DIRECTION OF VIEWS

PLAN GRAPHICS LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	NEW CONCRETE MASONRY WALL
	NEW METAL STUD WALL
	NEW BRICK VENEER
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR

FINISHED DOOR OPENINGS SHALL BE LOCATED AS INDICATED BELOW UNO. DIMENSIONS SHOWN ARE CLEAR DIMENSIONS FROM INSIDE OF FRAME TO WALL FINISH.



GENERAL NOTES

- DIMENSIONS ARE GIVEN THUS (UNLESS NOTED OTHERWISE)
 - TO FACE OF MASONRY WALL
 - TO FACE OF METAL STUD
 - TO COLUMN CENTERLINES
 - TO FINISH FACE OF SOFFIT OR CEILING
 - FACE OF EXISTING CONSTRUCTION
- DO NOT SCALE DRAWINGS. IF A DIMENSION IS NOT SHOWN, BRING IT TO THE ATTENTION OF THE ARCHITECT FOR VERIFICATION BEFORE PROCEEDING WITH THE ASSOCIATED WORK.
- WALLS ON COLUMN LINES ARE CENTERED, UNO.
- ALL DIMENSIONS RELATED TO EXISTING CONDITIONS SHALL BE VERIFIED IN FIELD. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK IN THAT AREA.
- LAYOUT OF TOILET FIXTURES AND ACCESSIBILITY CLEARANCES ARE SHOWN AS CLEAR DIMENSION. CONTRACTORS ARE REQUIRED TO COORDINATE LAYOUTS OF PARTITIONS, UTILITY CONNECTIONS, AND THICKNESS OF FINISHES TO ALLOW THESE CLEAR DIMENSIONS.
- ALL ELEVATIONS (X'-X") ARE REFERENCE FROM FIRST FLOOR ELEVATION.
- ALL WOOD BLOCKING WITHIN ROOFING SYSTEM AND WITHIN 2'-0" OF GRADE SHALL BE PRESSURE TREATED.
- ALL FLOOR PENETRATIONS SHALL BE SMOKE-SEALED AND /OR FIRE STOPPED. COORDINATE WITH DIVISIONS FOR SMOKE / FIRE DAMPER REQUIREMENTS.
- FOR INTERIOR PARTITION TYPES, REFER TO DRAWING A101.
- FOR DOOR SCHEDULE, REFER TO DRAWING A101.
- FOR FINISH SCHEDULE, REFER TO DRAWING A101.
- ALL EXPOSED SURFACES OF NEW PARTITIONS AND SOFFITS ARE TO BE FINISHED.
- PROVIDE PATCH TO MATCH EXISTING FINISHES AT ALL WALL REMOVAL AREAS. COORDINATE WITH DEMOLITION DRAWINGS AND SPECIFICATIONS.
- FOR ALL MATERIAL TESTING, REFER TO SPECIFICATION DIVISION 050520.
- ALL CONSTRUCTION SHOWN IS NEW UNLESS NOTED OTHERWISE.



DATE	DESCRIPTION

Drawn By:	CSA
Checked By:	CSA
Proj. #:	50-01-01-06-012-034
CSArch Proj. #:	151-2201
Construction Documents:	1/13/23

Sheet Title

SYMBOLS,
ABBREVIATIONS,
AND MISC

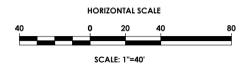
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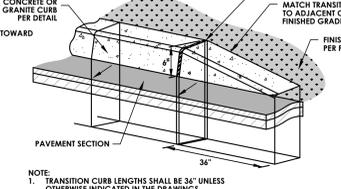
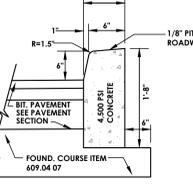
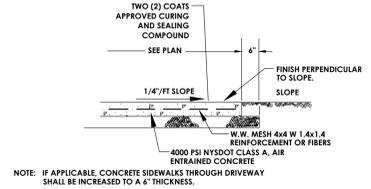
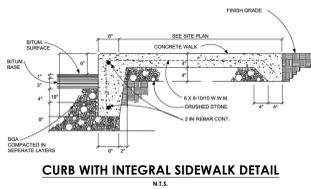
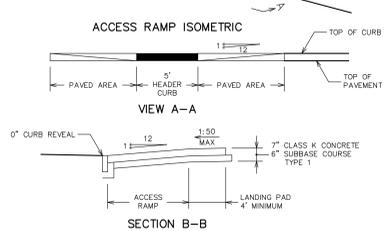
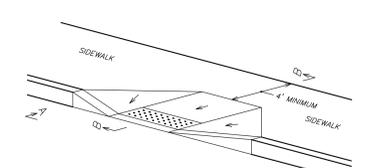
CONSTRUCTION DOCUMENTS



- LEGEND - SITE:**
- PROPERTY BOUNDARY
 - RIGHT OF WAY
 - EXISTING BUILDING
 - PROPOSED CONCRETE
 - PROPOSED ACCESS RAMP
 - PROPOSED PAVEMENT STRIPING
 - PROPOSED CURB
 - PROPOSED SAW CUT LIMITS

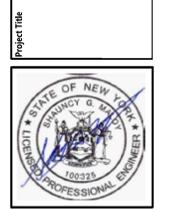


- GENERAL NOTES:**
- THE SANITARY WASTE DISPOSAL SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF FERRIS.
 - WATER SERVICE WILL BE INSTALLED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE MONROE COUNTY WATER AUTHORITY.
 - THE BUILDING CONSTRUCTION TO BE IN COMPLIANCE WITH THE NEW YORK STATE BUILDING CODE.
 - ANY COST RELATED TO THE RELOCATION OF ANY UTILITIES NECESSITATED BY THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER OR THOSE REQUESTING THE RELOCATION OF THE UTILITY.
 - ANY AND ALL CULVERT LOCATIONS, SIZES OR TYPES TO BE APPROVED BY THE TOWN SUPERINTENDENT OF HIGHWAYS.
 - ALL PROPERTY CORNERS TO BE MARKED WITH IRON PINS.
 - THIS SUBDIVISION SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE COUNTY MONUMENTATION LAW.
 - THE SUBDIVISION IS LESS THAN 1500 FEET FROM THE NEAREST CONTROL MONUMENT AND IS THEREFORE TIED INTO THE MONUMENTATION NETWORK.
 - THIS SUBDIVISION SHALL COMPLY WITH ANY COUNTY OR STATE AGENCIES HAVING JURISDICTION.
 - ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH THE DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS FOR LAND DEVELOPMENT FOR THE TOWN OF FERRIS DATED THE MOST CURRENT REVISION.
- DEMOLITION NOTES:**
- CONTRACTOR IS RESPONSIBLE TO CALL DIG SAFE 811 PRIOR TO BEGINNING DEMOLITION.
 - WITHIN LIMIT LINES, ALL AT GRADE UTILITIES SUCH AS TRANSFORMERS, GENERATORS, HVAC UNITS, THE UNITS CONCRETE PAD AND ANY FENCING THAT SURROUNDS THE UNIT, TO BE REMOVED.
 - PRIOR TO ANY DEMOLITION TAKING PLACE, CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE WORK AREA OR THOSE EXPECTED TO BE AFFECTED BY NEW WORK, AND SUBSURFACE FEATURES.
 - CONTRACTOR TO COORDINATE ALL UTILITY SHUT DOWNS, RELOCATIONS, SERVICE INSTALLATIONS WITH THE LOCAL UTILITY COMPANIES.
 - CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLISHED MATERIAL IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
 - ALL EXISTING FEATURES TO BE REMOVED ARE NOT SHOWN ON SUBSEQUENT PLANS FOR CLARITY.
 - CONTRACTOR SHALL PROTECT ALL EXISTING FEATURES TO REMAIN. DAMAGE TO EXISTING FEATURES TO REMAIN SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - ALL SURFACES THAT ARE DISTURBED DUE TO UTILITY CONSTRUCTION, OUTSIDE OF THE MAJOR WORK AREAS, ARE TO BE RESTORED TO PRE-CONSTRUCTION CONDITION, IN ACCORDANCE WITH THESE PLANS. LAWN AREAS ARE TO BE RE-ESTABLISHED WITH 4 INCHES OF TOPSOIL (MINIMUM) AND HYDROSEED.
 - ANY MATERIALS CONTAINING ASBESTOS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. NOTE THIS MAY INCLUDE UNDERGROUND UTILITIES.
 - ALL UTILITIES NOT SLATED FOR DEMOLITION ARE TO REMAIN FUNCTIONAL UPON COMPLETION OF DEMOLITION. THIS INCLUDES BYPASS PUMPING, IF NECESSARY.
 - EXISTING UTILITIES THAT ARE PROPOSED TO BE REMOVED, UNLESS OTHERWISE INDICATED, SHALL BE EXCAVATED, UTILITY MATERIAL REMOVED, AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE SPECIFICATIONS. ALL TRENCHES SHALL BE BACKFILLED WITH GRANULAR FILL, COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST. ALL DISTURBED AREAS SHALL BE RESTORED IN KIND IN ACCORDANCE WITH THE DETAILS IN THESE PLANS AND AT A MINIMUM TO THEIR ORIGINAL STATE.
 - AREAS OF ASPHALT AND CONCRETE REMOVALS SHALL BE SAWCUT WITH A NEAT STRAIGHT LINE AT ALL REMOVAL LIMITS.
 - CONTRACTOR RESPONSIBLE FOR OBTAIN ALL DEMOLITION PERMITS AND INCLUDE ALL FEES ASSOCIATED WITH THOSE PERMITS, IN HIS BID.
 - IF ANY ENVIRONMENTAL CONDITIONS OR ISSUES, NOT PREVIOUSLY IDENTIFIED, ARE ENCOUNTERED DURING DEMOLITION, THE OWNER AND THE CONTRACTOR(S) SHALL IMMEDIATELY NOTIFY THE TOWN, MONROE COUNTY HEALTH DEPARTMENT AND NYSDEC BEFORE CONTINUING THE DEMOLITION PROCESS.
 - ALL MATERIALS SHALL BE RECYCLED, WHEN APPROPRIATE.
 - THE CONTRACTOR SHALL OBTAIN ALL SEWER PERMITS PRIOR TO DEMOLITION.
 - ALL SPOIL MATERIALS FROM DEMOLITION OR EARTHWORK, SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
 - ALL EXISTING STRUCTURES THAT ARE ABANDONED IN PLACE, SHALL BE REMOVED TO A DEPTH OF 2 FEET BELOW FINISHED GRADE. STRUCTURES SHALL BE FILLED WITH CRUSHED STONE (MEETING NYS DOT STANDARD SPECIFICATION SECTION 304) COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST.



- NOTES:**
- 1:12 IS MAXIMUM SLOPE OF ACCESS RAMP AND SIDE FLARE IN PAVED AREA.
 - SURFACE OF ACCESS RAMP IS TO BE STABLE, FIRM AND SLIP-RESISTANT. TEXTURE SURFACE WITH COARSE BROOM RUNNING TRANSVERSE TO SLOPE OF ACCESS RAMP.
 - ENTRANCE AREA OF ACCESS RAMP AND LANDING PAD IS TO BE 7 INCH THICK CONCRETE.
- SIDEWALK RAMP DETAIL**
N.T.S.

**CLARKSTOWN CENTRAL SCHOOL DISTRICT
FELIX FESTA MIDDLE SCHOOL
CAPITAL PROJECT PHASE 5**



NO.	DATE	DESCRIPTION