

APRIL 20, 2023

ISSUED FOR BID

DESIGN TEAM

DISTRICT-WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT

10 GERSTEIN STREET, CROTON-ON-HUDSON, NY 10520

ARCHITECT
KG+D Architects

KG+D Architects PC
285 Main Street, Mount Kisco, NY 10549
phone: 914.666.5900

ROOFING CONSULTANT
WATSKY ASSOCIATES, INC.

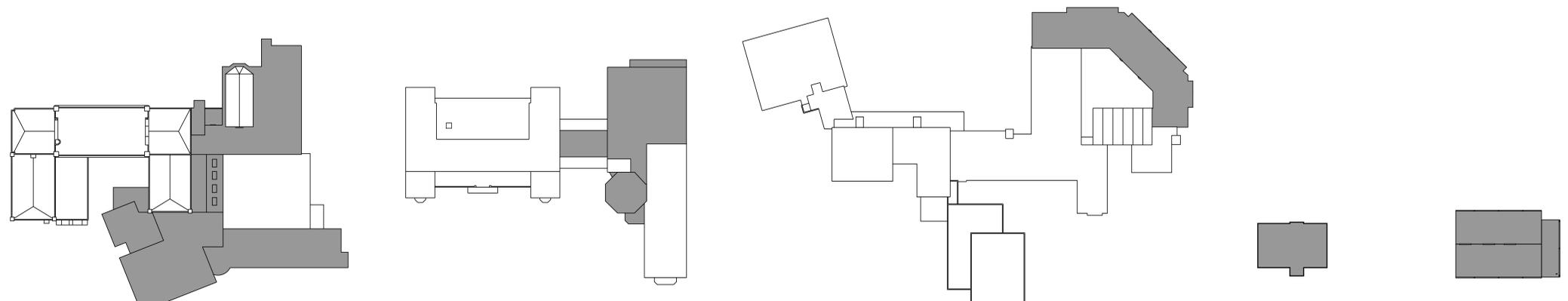
20 Madison Avenue, Valhalla, NY 10595
phone: 914-948-3450

STRUCTURAL ENGINEER
THE DISALVO
ENGINEERING GROUP

83 Wooster Heights Road, Danbury, CT
phone: 203.490.4140

MECHANICAL ENGINEER
BARILE GALLAGHER
& ASSOCIATES

Consulting Engineers, PC
39 Marble Avenue, Pleasantville, NY
phone: 914.328.6060



Croton-Harmon High School
36 Old Post Road
Croton-on-Hudson, NY

Pierre Van Cortlandt Middle School
3 Glen Place
Croton-on-Hudson, NY

Carrie E. Tompkins Elementary School
8 Gerstein Street
Croton-on-Hudson, NY

CHUFSD District Office
10 Gerstein Street
Croton-on-Hudson, NY

Bus Garage
427 Yorktown Road
Croton-on-Hudson, NY

LIST OF DRAWINGS:

CROTON-HARMON HIGH SCHOOL

HS-1	CROTON-HARMON HS ROOF PLAN
HS-1A	CROTON-HARMON HS ROOF WALKWAY PADS PLAN
HS-2	ROOFING DETAILS 1-12
HS-3	ROOFING DETAILS 13-24
HS-4	ROOFING DETAILS 25-36
HS-5	ROOFING DETAILS 37-
HS LOG-1	HIGH SCHOOL ROOFING LOGISTICS

PIERRE VAN CORTLANDT MIDDLE SCHOOL

MS-1	PVC MIDDLE SCHOOL ROOF PLAN
MS-2	ROOFING DETAILS 1-12
MS-3	ROOFING DETAILS 13-
MS-4	MASONRY REPAIRS
S100	GENERAL NOTES & DUNNAGE FRAMING PLAN
S200	SECTIONS & DETAILS
H201	LEGEND, NOTES, SCHEDULE, DETAILS & PART. ROOF PLANS
E001	ELECTRICAL LEGENDS, NOTES, AND ABBREVIATIONS
E101	ROOF ELECTRICAL REMOVALS AND NEW POWER PLAN
PVC LOG-1	PIERRE VAN CORTLANDT MS ROOFING LOGISTICS

CARRIE E. TOMPKINS ELEMENTARY SCHOOL

ES-1	CET ELEMENTARY SCHOOL ROOF PLAN
ES-2	ROOFING DETAILS 1-13
CET/DO LOG-1	CARRIE E. TOMPKINS ES ROOFING LOGISTICS

DISTRICT OFFICE

AD-1	DISTRICT OFFICE ROOF PLAN
AD-2	ROOFING DETAILS 1-

BUS GARAGE

BS-1	BUS GARAGE ROOF PLAN
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NYSED No.
66-02-02-03-0-001-032 CH HIGH SCHOOL
66-02-02-03-0-002-029 PVC MIDDLE SCHOOL
66-02-02-03-0-003-033 CET ELEMENTARY
66-02-02-03-1-010-007 DISTRICT OFFICE
66-02-02-03-5-004-008 BUS GARAGE

DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520



NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-0-004-008

CONSTRUCTION DOCUMENTS

GENERAL NOTES:

THESE DRAWINGS ARE SUPPLEMENTED BY DETAILED TECHNICAL SPECIFICATIONS. PERFORM THE WORK AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

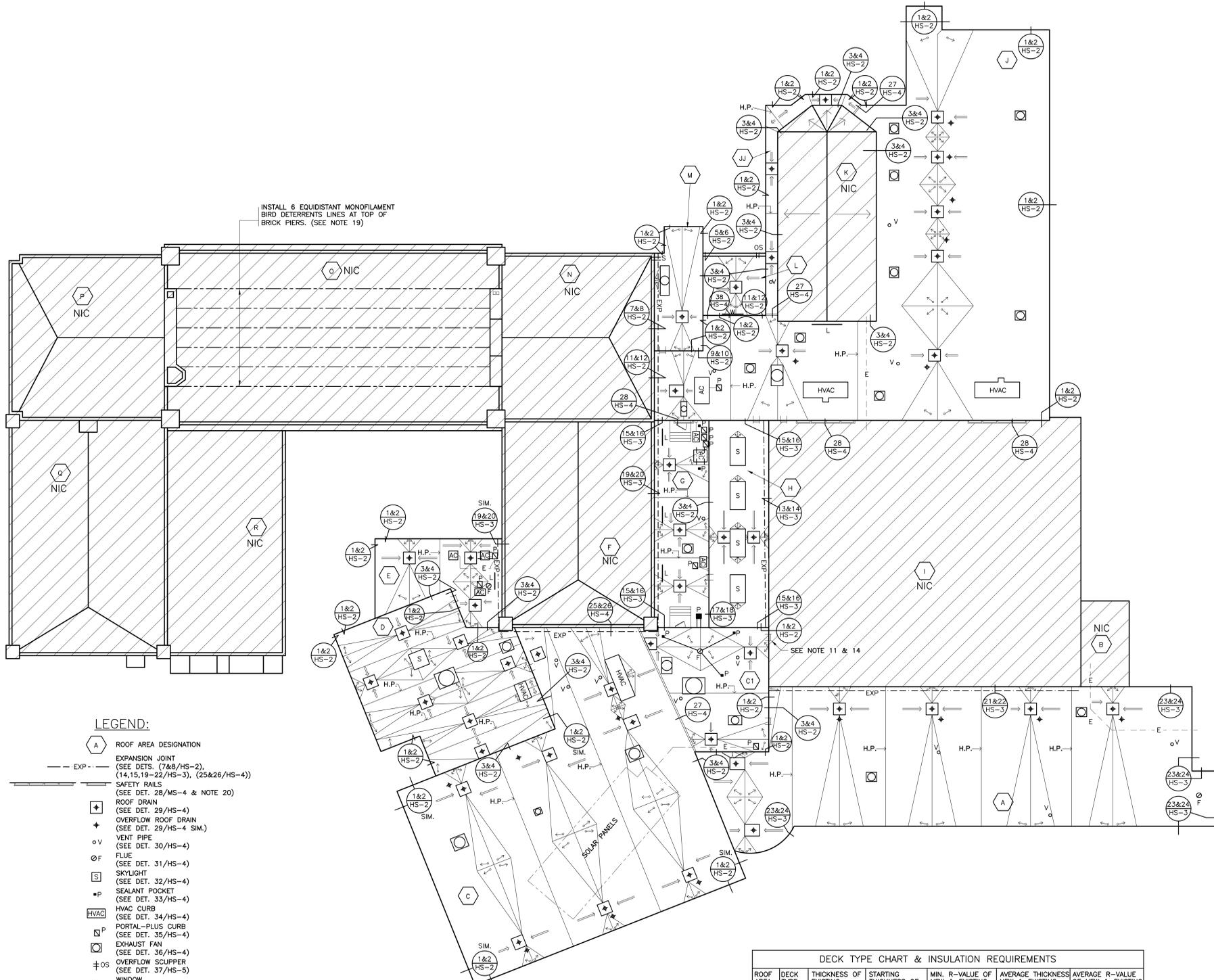
- DIMENSIONS AND CONDITIONS ON THE ROOF PLAN AND DETAILS ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR.
- ONLY CERTAIN FASTENERS ARE SHOWN ON THE DRAWINGS, REFER TO THE SPECIFICATIONS FOR ADDITIONAL FASTENER REQUIREMENTS.
- TEST EACH DRAIN LINE WITH A RUNNING HOSE FOR AT LEAST ONE HOUR PRIOR TO STARTING ANY OTHER WORK ON SITE. PROVIDE A WRITTEN REPORT OF ANY CLOGGED LINES TO THE OWNER.
 - A. CLOGGED DRAIN LINES REPORTED TO THE OWNER BEFORE WORK STARTS WILL BE CLEANED BY THE OWNER.
 - B. COVER & PROTECT ALL DRAIN OPENINGS AT THE BEGINNING OF EACH WORK DAY. REMOVE THE COVERS AT THE END OF EACH DAY AND BEFORE PRECIPITATION OCCURS.
 - C. PERFORM WHATEVER WORK IS REQUIRED SO ALL DRAIN LINES ARE CLEAN AND FREE FLOWING UPON COMPLETION OF THE PROJECT.
- REMOVE AND RESET EXISTING SMALL AC CONDENSERS ON 2 X 2 FOOT X 2 INCH THICK CONCRETE PAVERS SET ON WALKWAY PADS. FASTEN THE CONDENSERS TO THE PAVERS WITH STAINLESS STEEL NAIL-INS. DISCONNECT, ADJUST, MODIFY, AND RECONNECT THE EXISTING SUPPLY & RETURN LINES AND CONDUIITS.
- REMOVE AND RESET SITE LIGHT FIXTURES, WIRES AND CONDUITS THAT INTERFERE WITH THE WORK. REPLACE COMPONENTS THAT CANNOT BE PROPERLY REINSTALLED.
- REMOVE EXISTING ROOF TOP ELECTRICAL CONDUIT AND GAS PIPE SUPPORTS. RE-SET THE CONDUIT AND PIPES ON ADJUSTABLE HEIGHT FACTORY MANUFACTURED PIPE SUPPORTS PLACED ON WALKWAY PADS SPACED 5 FEET ON CENTER. SECURE THE CONDUITS AND PIPES TO THE PIPE SUPPORTS WITH GALVANIZED CLIPS & BOLTS.
- WIRE BRUSH, PRIME & PAINT ROOF TOP EQUIPMENT HOUSINGS, EXTERIOR & INTERIOR ACCESS LADDERS, EXTERIOR STAIRS, BULKHEAD DOORS & DOOR FRAMES (BOTH SIDES), GAS LINES, AND THE VENT PIPES. DO NOT PAINT OVER EQUIPMENT NAME PLATES AND LABELS.
- REMOVE AND RESET THE EXISTING STEEL STAIRS; MODIFY THEM TO FIT ON TOP OF THE NEW ROOF ASSEMBLY WHICH HAS ADDITIONAL INSULATION.
- REPAIR EXHAUST EQUIPMENT HOUSINGS SO THEY ARE WATERTIGHT; REPLACE ANY MISSING PIECES.
- REMOVE, MODIFY AND REMOUNT THE EXISTING LADDERS - REWORK THEM SO THEY ARE OSHA COMPLIANT, AND SO THE TOP RUNG ALIGNS WITH THE UPPER ROOF SURFACE. SCRAPE, PRIME AND PAINT THE LADDERS. FILL OLD FASTENER HOLES WITH COLOR MATCHING MORTAR.
- RE-CAULK VERTICAL MASONRY CONTROL AND EXPANSION JOINTS IN THE CHANGE IN ELEVATION WALLS ABOVE LOWER-LEVEL ROOFS BEING REPLACED. REMOVE EXISTING SEALANT AND BACK UP MATERIALS, AND INSTALL NEW BACKER ROD AND SEALANT.
- RE-CAULK JOINTS BETWEEN THE WALL LOUVERS AND MASONRY FACADE. REMOVE EXISTING SEALANT AND BACK UP MATERIALS, AND INSTALL NEW BACKER ROD AND SEALANT.
- REBUILD A SECTION OF DETERIORATED BRICK MASONRY ADJOINING THIS LADDER.
- INSULATE EXISTING DRAIN LINES WHERE EXPOSED INSIDE THE BUILDING, ALL NEW DRAIN LINES, AND THE UNDERSIDES OF THE NEW DRAIN BOWLS.
- POWER WASH AND CLEAN DECORATIVE CAST STONE ROOF COMPONENTS AT THE EAVES OF ROOF AREAS A, C, D AND E, THEN INSTALL CLEAR WATER REPELLENT.
- INSTALL WALKWAY PADS WHERE INDICATED ON SHEET HS-1A WALKWAY PAD ROOF PLAN, AT ALL ROOF ACCESS POINTS, AND AROUND ALL HVAC UNITS.
- REMOVE AND RESET UNIT HEATER GRILLS AND LOUVERS IN THE CHANGE IN ELEVATION WALLS. INSTALL THE NEW CAP FLASHINGS TO EXTEND UNDER THE GRILL AND LOUVER SILLS.
- INSTALL BLACK 8 GA MONOFILAMENT BIRD DETERRENT LINES, BETWEEN THE MASONRY PIERS ON ROOF AREA O - SPACED ABOUT 5 FEET APART. SECURE THE ENDS OF THE LINES USING 3/8 INCH DIAMETER EPOXY SET EYE BOLTS, THIMBLES AND CRIMPS - WITH MONOFILAMENT TENSIONERS AT ONE END OF EACH LINE.
- INSTALL PIPE GUARD SAFETY RAILS AT THE EAVES OF ROOF AREA J, WHERE SHOWN ON THE ROOF PLAN AND WHERE HVAC EQUIPMENT IS LOCATED LESS THAN 10 FEET FROM THE ROOF EAVES.
- REMOVE AND DISPOSE OF THE EXISTING BALLASTED SOLAR PANEL SYSTEM ON ROOF 'C'. REMOVAL SHALL INCLUDE: SOLAR PANELS, CHASSIS SUPPORTS, BALLASTS, WIRING, CONDUIT, WIRING RACEWAYS, ETC. THE CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN TO SAFELY DISCONNECT THE PANELS AND REMOVE THE ELECTRICAL WIRING AND CONDUIT BACK TO THE ELECTRICAL INVERTER BELOW ROOF 'C'.

CODE COMPLIANCE REQUIREMENTS:

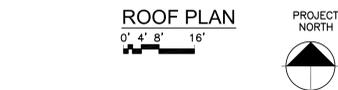
- INSTALL NEW ROOFING TO MEET THE FOLLOWING MINIMUM REQUIREMENTS:
 - A. NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, WHICH INCLUDES BY REFERENCE THE NEW YORK STATE ENERGY CONSERVATION CODE.
 - B. UNDERWRITERS LABORATORIES INC. CLASS A EXTERNAL FIRE RATING FOR ROOF ASSEMBLIES TESTED IN ACCORDANCE WITH ASTM E 108 OR UL 790.
 - C. UNDERWRITERS LABORATORIES INC. STANDARD 1256 FOR ROOF ASSEMBLIES WITH FOAM INSULATION.
- INSTALL ROOFING TO COMPLY WITH THE WIND UPLIFT REQUIREMENTS OF THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, BASED ON THIS CRITERIA:
 - RISK CATEGORY III
 - BASIC WIND SPEED 130 MPH
 - EXPOSURE CATEGORY B
 - BUILDING HEIGHT 30 FT.
- INSTALL ROOFING AS INDICATED TO RESIST THE FOLLOWING UPLIFT LOADS, CALCULATED IN ACCORDANCE WITH ASCE 7 USING A SAFETY FACTOR OF 2:
 - FIELD ZONE: 90 PSF
 - PERIMETER ZONE: 135 PSF
 - CORNER ZONE: 150 PSF
- FABRICATE AND INSTALL ROOF PERIMETER FLASHINGS THAT COMPLY WITH THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND WITH ANSI/SPRI ES-1 "WIND STANDARD FOR EDGE SYSTEMS USED WITH LOW SLOPE ROOFING SYSTEMS", ON A BUILDING USING THE CRITERIA DESCRIBED ABOVE.
- FABRICATE AND INSTALL WOOD BLOCKING COMPONENTS TO RESIST A FORCE OF 275 POUNDS PER LINEAL FOOT APPLIED IN ANY DIRECTION.

ROOF PROTECTION NOTES:

- AVOID WALKING ON NEW AND EXISTING ROOF AREAS.
- DO NOT STORE MATERIAL OR EQUIPMENT, AND DO NOT PILE DEBRIS ON NEW AND EXISTING ROOF AREAS.
- INSTALL 1 INCH THICK EXTRUDED POLYSTYRENE INSULATION OVER 6 MIL FIRE RETARDANT POLYETHYLENE COVERED WITH 2x10 WOOD PLANKS TO PROTECT ROOFING WHERE CONSTRUCTION WORK AND TRAFFIC WILL OCCUR.
- NEATLY CUT AND POSITION ROOF PROTECTION COMPONENTS TO FIT WITHIN 1/2 INCH OF ROOF PENETRATIONS, EAVES AND CHANGE IN ELEVATION WALLS.
- DO NOT COVER THE ROOF DRAINS. MAINTAIN THE ROOF DRAIN STRAINERS VISIBLE AND CLEAR AT ALL TIMES.



- LEGEND:**
- A ROOF AREA DESIGNATION
 - EXP. EXPANSION JOINT (SEE DETS. (7&8/HS-2), (14,15,19-22/HS-3), (25&26/HS-4))
 - SAFETY RAILS (SEE DET. 28/MS-4 & NOTE 20)
 - ROOF DRAIN (SEE DET. 29/HS-4)
 - OVERFLOW ROOF DRAIN (SEE DET. 29/HS-4 SIM.)
 - o v VENT PIPE (SEE DET. 30/HS-4)
 - o F FLUE (SEE DET. 31/HS-4)
 - S SKYLIGHT (SEE DET. 32/HS-4)
 - o P SEALANT POCKET (SEE DET. 33/HS-4)
 - HVAC HVAC CURB (SEE DET. 34/HS-4)
 - P PORTAL-PLUS CURB (SEE DET. 35/HS-4)
 - o EXHAUST FAN (SEE DET. 36/HS-4)
 - + OS OVERFLOW SCUPPER (SEE DET. 37/HS-5)
 - W WINDOW (SEE DET. 38 HS-5)
 - o DOOR (SEE DET. 39 HS-5)
 - AC AC UNIT ON CONCRETE PAVERS (SEE NOTE 5)
 - o WALL LOUVER (SEE NOTE 18)
 - o ELECTRICAL CONDUIT (SEE NOTE 7)
 - o ROOF LADDER (SEE NOTE 11)
 - o EXISTING ROOF STAIR (SEE NOTE 9)
 - o DECK SLOPE
 - o TAPERED ISOCYANURATE INSULATION, SLOPE 1/8" PER FT
 - o CRICKET- SLOPE 1/4" PER FT
 - H.P. INSULATION HIGH POINT
 - o WALKWAY PADS (SEE SHEET HS-1A)



MASONRY CLEANING NOTES:

THESE DRAWINGS ARE SUPPLEMENTED BY DETAILED TECHNICAL SPECIFICATIONS. PERFORM THE WORK AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

- CLEAN ALL EXTERIOR MASONRY WALL SURFACES OF THE BUILDING.
- PREPARE 3 SEPARATE SPOT CLEANING SAMPLES FOR REVIEW BY THE ARCHITECT AND OWNER TO REVIEW CLEANING METHODS, PRODUCTS, AND RESULTS. DO NOT PROCEED WITH ANY FURTHER WORK UNTIL THE SAMPLE AREAS OR REVISED SAMPLE AREAS ARE APPROVED.
- THE INTENT IS TO USE THE LEAST AGGRESSIVE METHODS AND MATERIALS TO ACHIEVE SATISFACTORY CLEANING OF THE BUILDING.
- THE CONTRACTOR SHALL USE BEST PRACTICES FOR CLEANING HISTORIC STRUCTURES, TO INCLUDE REQUIREMENTS AND RECOMMENDATIONS OF THE NATIONAL PARKS SERVICE (NPS) NATIONAL STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.
- CLEANING PROCEDURES SHALL BE A COMBINATION OF LEVEL 1 AND LEVEL 2 PROCEDURES AND PRODUCTS, DEPENDING ON THE SOIL LEVEL.
- PRIOR TO COMMENCING CLEANING PROCEDURES, ENSURE BUILDING OPENINGS ARE CLOSED, PROTECT AIR INLETS, AND PROTECT ADJACENT COMPONENTS TO INCLUDE LANDSCAPING.

ROOF AREA	DECK TYPE	THICKNESS OF EXISTING INSULATION	STARTING THICKNESS OF NEW INSULATION	MIN. R-VALUE OF NEW & EXISTING INSULATION	AVERAGE THICKNESS OF NEW & EXISTING INSULATION	AVERAGE R-VALUE OF NEW & EXISTING INSULATION
A	METAL	4.5"	1.5"	30	7.0"	47.2
B	NIC					
C	METAL	3.5"	2.0"	30	6.5"	37.9
C1	METAL	3.5"	2.0"	30	6.1"	35.4
D	METAL	3.0"	2.5"	30	5.8"	33.6
E	METAL	4.0"	1.5"	30	6.1"	35.4
F	NIC					
G	METAL	3.75"	2.0"	30	6.4"	37.3
H	METAL	4.5"	1.5"	30	8.1"	47.3
I	NIC					
J	METAL	2.5"	3.0"	30	6.8"	39.7
JJ	METAL	2.5"	3.0"	30	6.5"	37.9
K	NIC					
L	METAL	2.5"	3.0"	30	6.1"	35.4
M	METAL	5.75"	1.5"	30	7.5"	45.3

- NOTES:**
- INSTALL CONTINUOUS INSULATION ABOVE THE DECK TO ACHIEVE A TOTAL MINIMUM R-VALUE OF 30, AND TO MEET THE NYS ENERGY CONSERVATION CONSTRUCTION CODE, INCLUDING THE INTERNATIONAL ENERGY CONSERVATION CODE AND THE NY STATE SUPPLEMENT, FOR A BUILDING IN CLIMATE ZONE 4.
 - INSTALL NEW 2 INCH FLAT ISOCYANURATE INSULATION OVER THE EXISTING 3.75 INCH INSULATION, UNLESS OTHERWISE NOTED. INSTALL THE ISOCYANURATE INSULATION IN MULTIPLE LAYERS. STAGGER ALL JOINTS BETWEEN LAYERS 12 INCHES.
 - INSTALL A COVER BOARD USING LOW RISE FOAM ADHESIVE OVER THE INSULATION AND CRICKETS.

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2	4/20/2023	ISSUED FOR BID
1	3/17/2023	CONSTRUCTION DOCUMENTS
No.	Date	Issue
Sheet Title		

HIGH SCHOOL ROOF PLAN

Job No.	Date
2023-1002	03/17/2023
Scale	Drawn / Checked
AS NOTED	
Sheet Number	
HS-1	

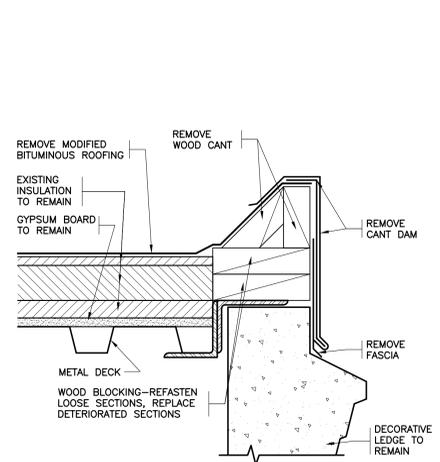
DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520

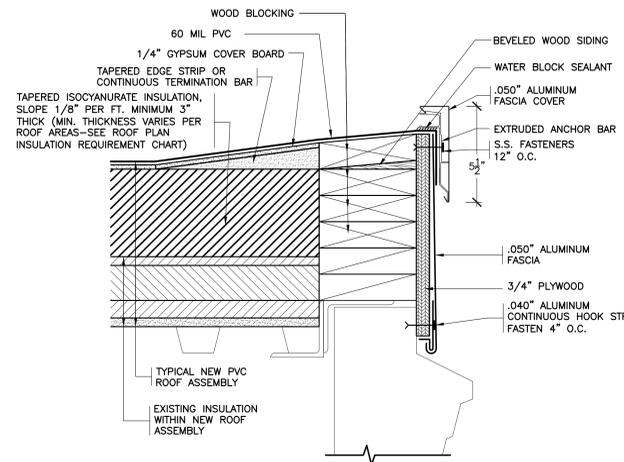
KG+D listen imagine build
KG+D ARCHITECTS PC
385 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
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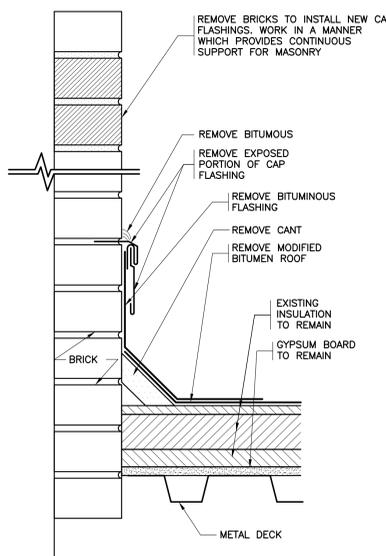
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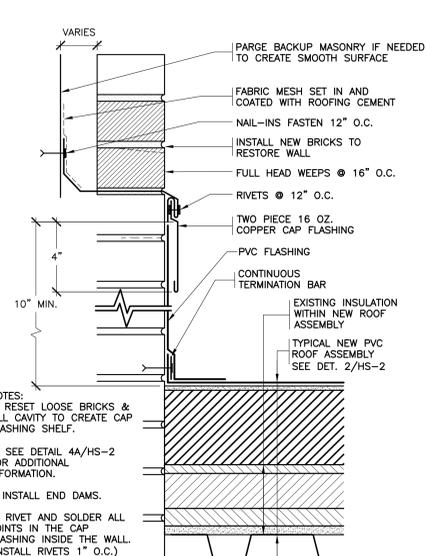
1 EXISTING EAVE
SCALE: 0' 1" 2" 4" 8"



2 REVISED EAVE
SCALE: 0' 1" 2" 4" 8"

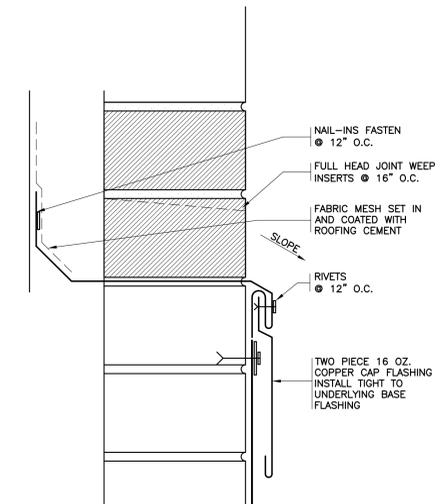


3 EXISTING BASE FLASHING
SCALE: 0' 1" 2" 4" 8"

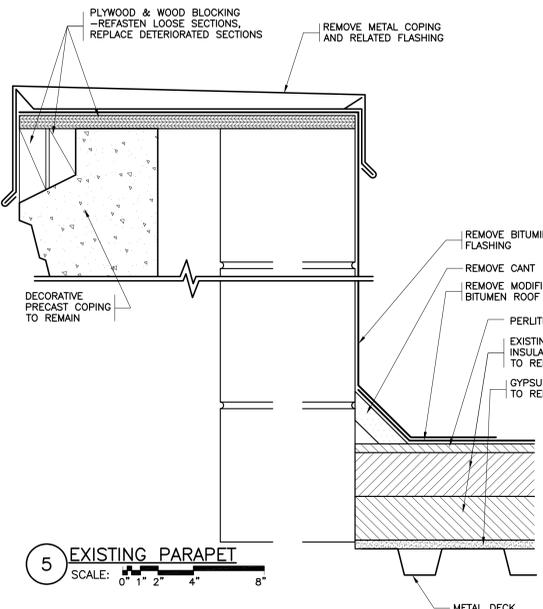


4 REVISED BASE FLASHING
SCALE: 0' 1" 2" 4" 8"

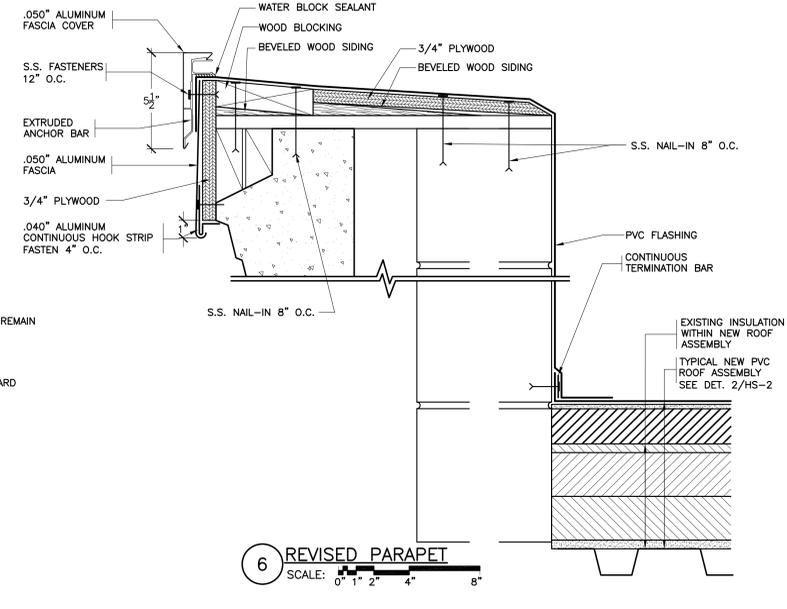
NOTES:
1. RESET LOOSE BRICKS & FILL CAVITY TO CREATE CAP FLASHING SHELF.
2. SEE DETAIL 4A/HS-2 FOR ADDITIONAL INFORMATION.
3. INSTALL END DAMS.
4. RIVET AND SOLDER ALL JOINTS IN THE WALL FLASHING INSIDE THE WALL. (INSTALL RIVETS 1\" O.C.) EXCEPT, INSTALL 2\" WIDE SEALANT FILLED EXPANSION JOINTS 30\"-0\" O.C.



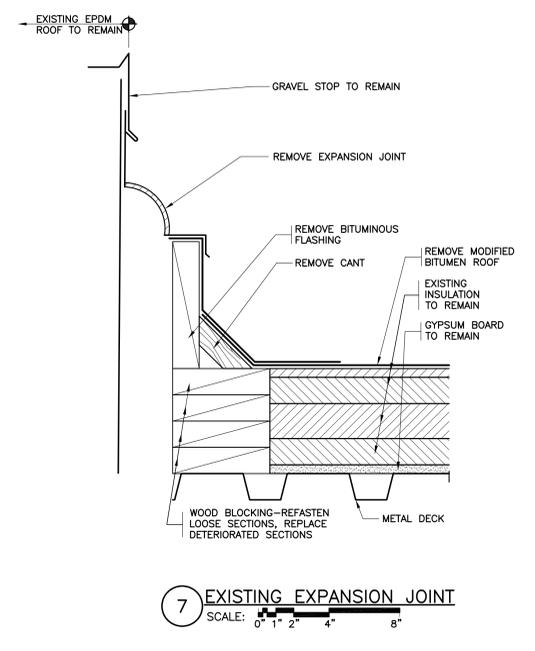
4A REVISED CAP FLASHING
SCALE: 0' 1" 2" 4"



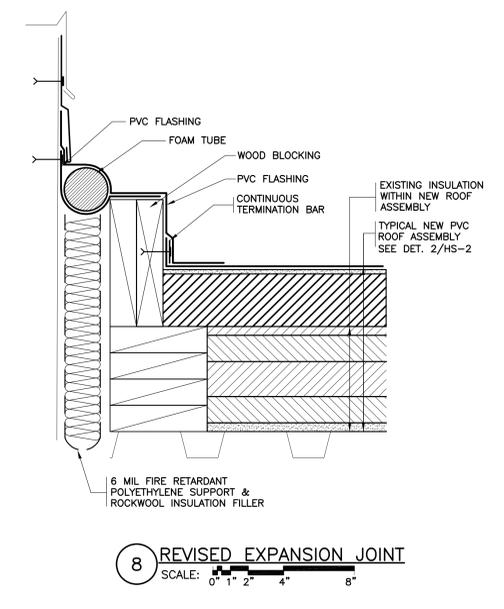
5 EXISTING PARAPET
SCALE: 0' 1" 2" 4" 8"



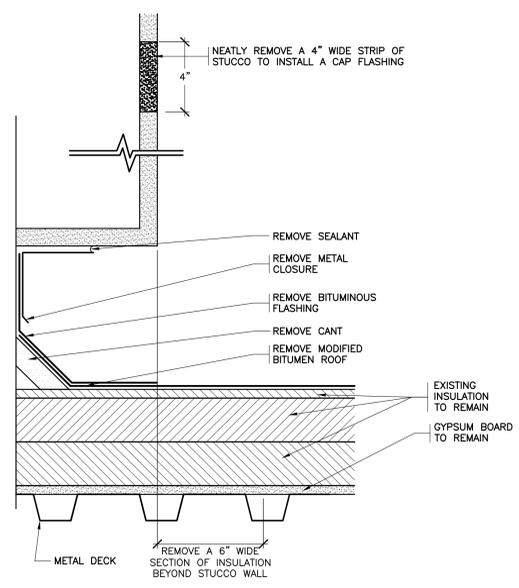
6 REVISED PARAPET
SCALE: 0' 1" 2" 4" 8"



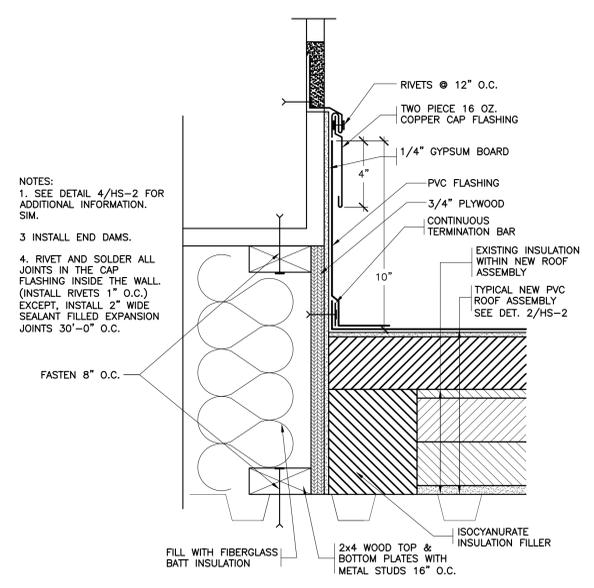
7 EXISTING EXPANSION JOINT
SCALE: 0' 1" 2" 4" 8"



8 REVISED EXPANSION JOINT
SCALE: 0' 1" 2" 4" 8"

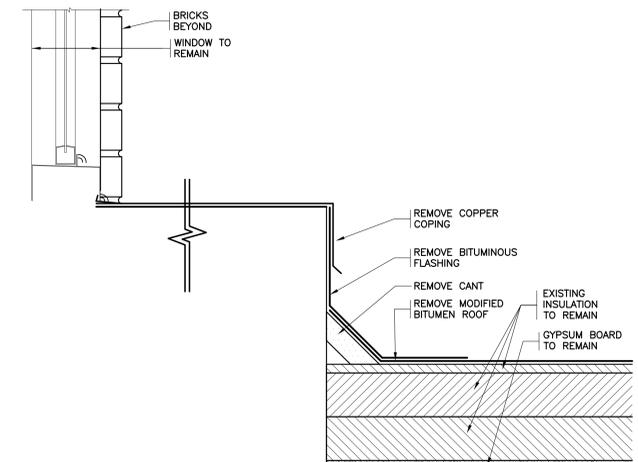


9 EXISTING BASE
SCALE: 0' 1" 2" 4" 8"

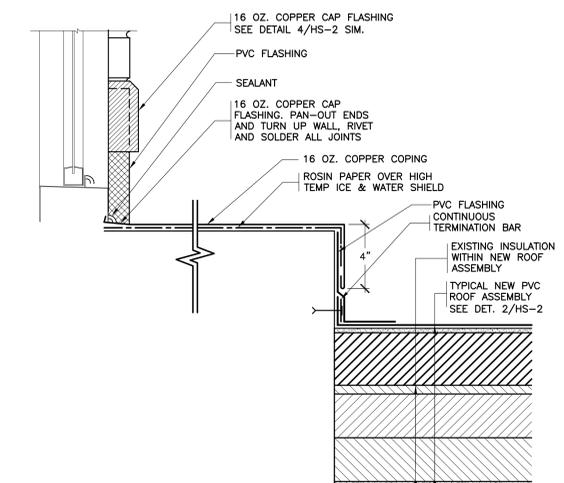


10 REVISED BASE
SCALE: 0' 1" 2" 4" 8"

NOTES:
1. SEE DETAIL 4/HS-2 FOR ADDITIONAL INFORMATION, SIM.
3. INSTALL END DAMS.
4. RIVET AND SOLDER ALL JOINTS IN THE CAP FLASHING INSIDE THE WALL. (INSTALL RIVETS 1\" O.C.) EXCEPT, INSTALL 2\" WIDE SEALANT FILLED EXPANSION JOINTS 30\"-0\" O.C.



11 EXISTING BASE AT WINDOW
SCALE: 0' 1" 2" 4" 8"



12 REVISED BASE AT WINDOW
SCALE: 0' 1" 2" 4" 8"

NOTE: ALL LEGAL DESIGNS, APPROVEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF ARCHITECT KGD ARCHITECTS PC (KGD), AND HAVE BEEN CREATED FOR USE ON THIS PROJECT. NONE OF SUCH LEGAL DESIGNS, APPROVEMENTS OR PLANS SHALL BE USED BY ANY OTHERS TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF KGD.

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Professional Seal

2	4/20/2023	BID SET
1	3/17/2023	CONSTRUCTION DOCUMENTS
No. 1	Date	Issue

Sheet Title
HIGH SCHOOL ROOF DETAILS

Job No.	2023-1002	Date	03/17/2023
Scale	AS NOTED	Drawn / Checked	
Sheet Number	HS-2		

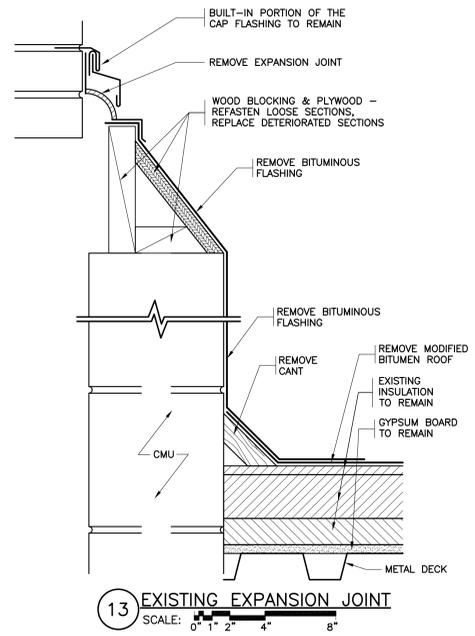
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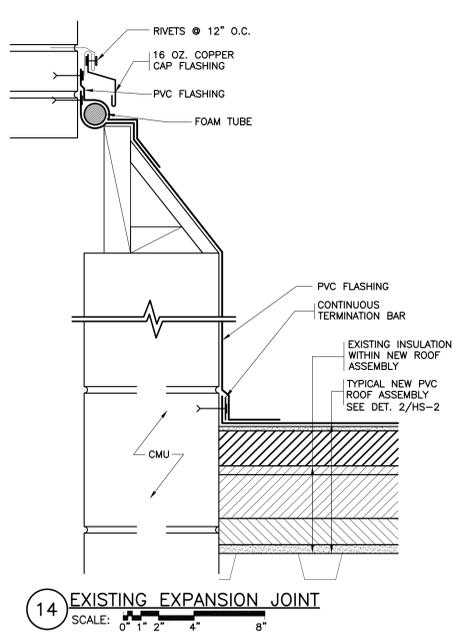


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NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-5-004-008

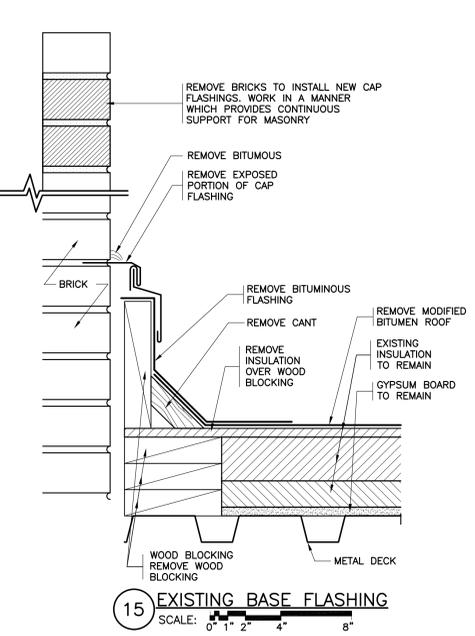
CONSTRUCTION DOCUMENTS



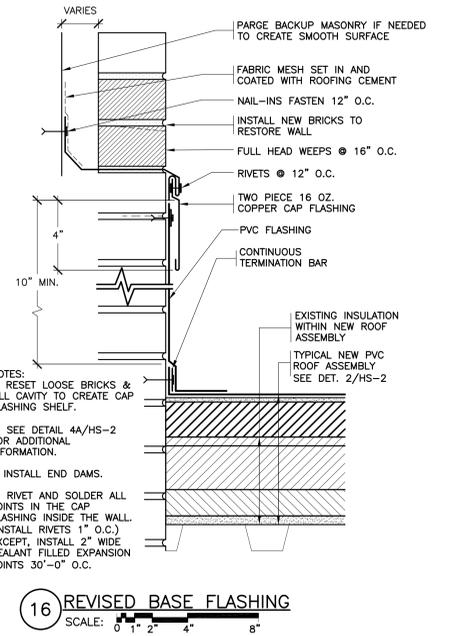
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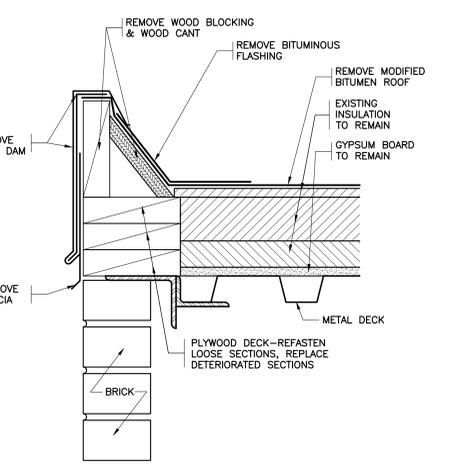
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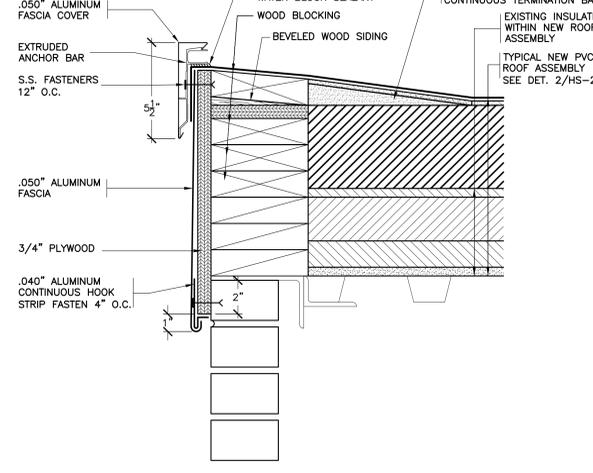
15 EXISTING BASE FLASHING
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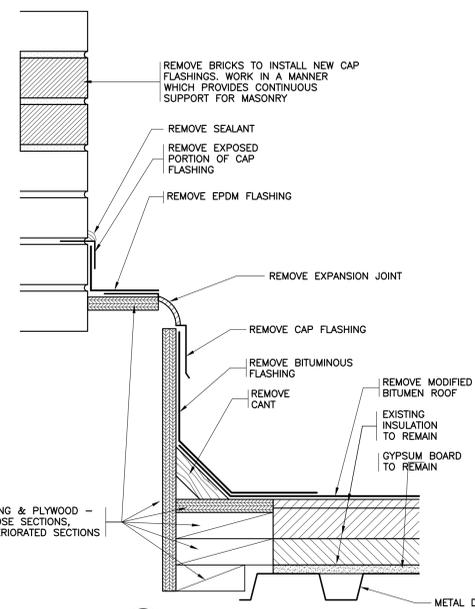
16 REVISED BASE FLASHING
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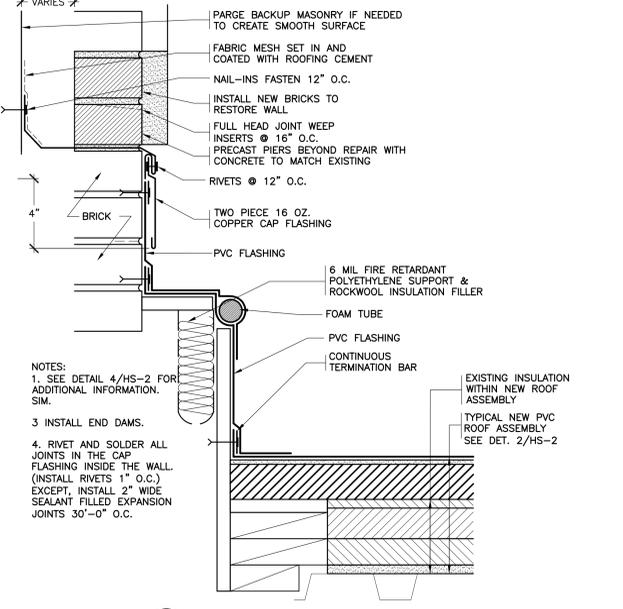
17 EXISTING EAVE
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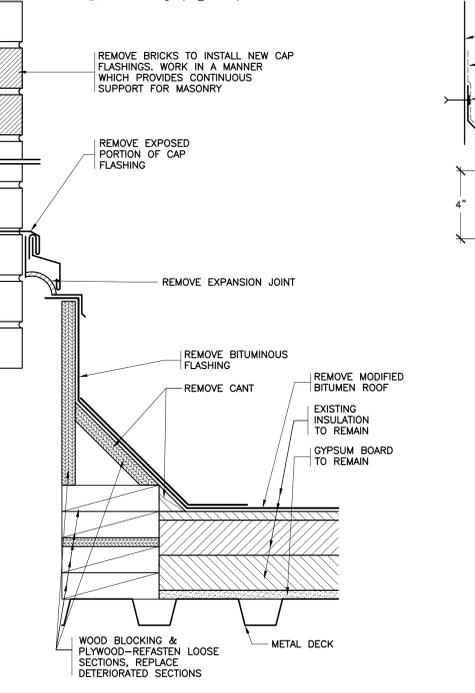
18 REVISED EAVE
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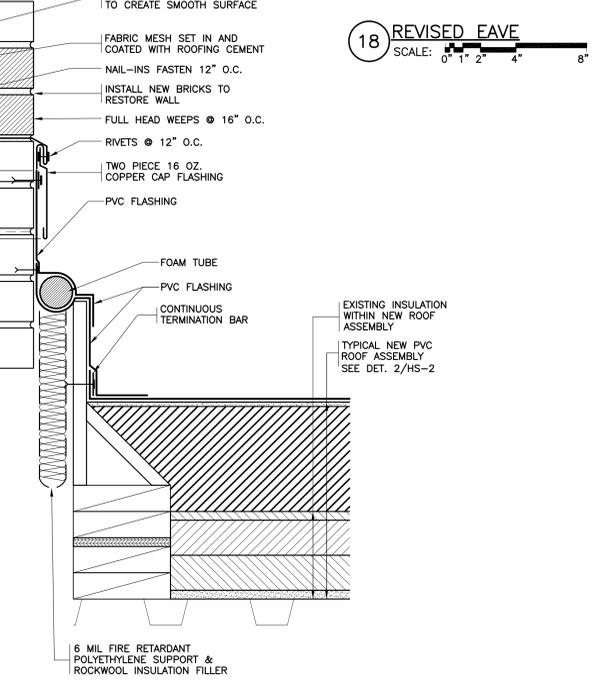
19 EXISTING EXPANSION JOINT
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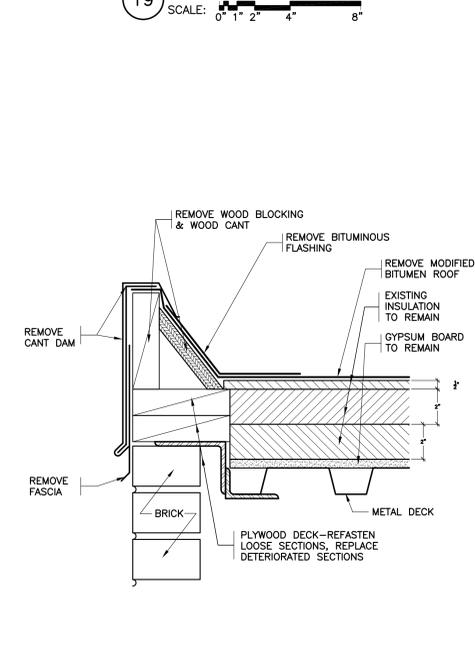
20 REVISED EXPANSION JOINT
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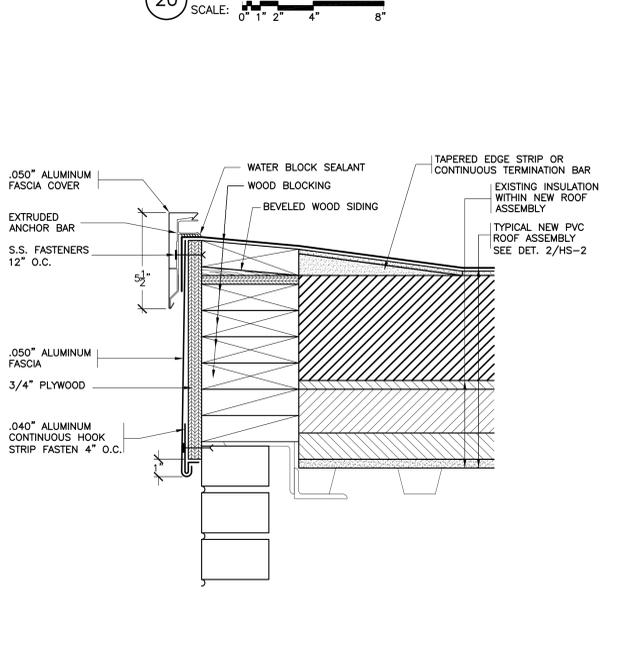
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22 REVISED EXPANSION JOINT
SCALE: 0" 1" 2" 4" 8"



23 EXISTING EAVE
SCALE: 0" 1" 2" 4"



24 REVISED EAVE
SCALE: 0" 1" 2" 4" 8"

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Professional Seal

No.	Date	Issue
2	4/20/2023	BID SET
1	3/17/2023	CONSTRUCTION DOCUMENTS

HIGH SCHOOL ROOF DETAILS

Job No. 2023-1002 Date 03/17/2023
Scale AS NOTED Drawn / Checked
Sheet Number

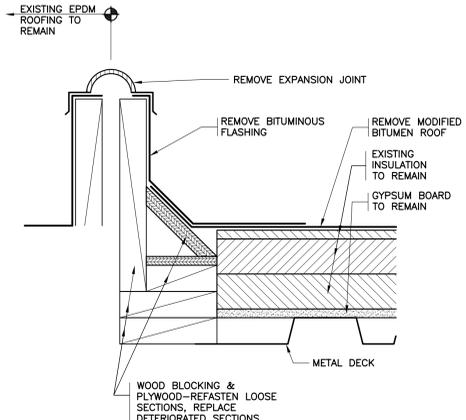
DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520

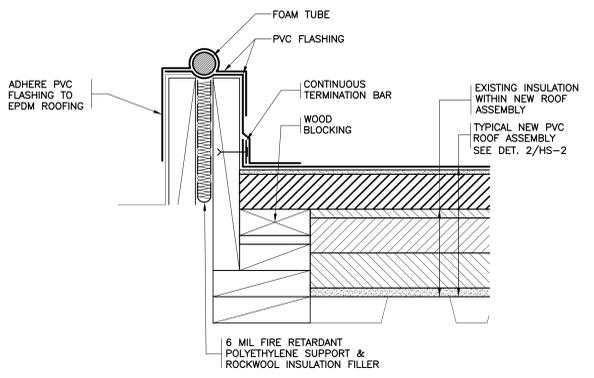
KG+D ARCHITECTS PC
385 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KGDARCHITECTS.COM

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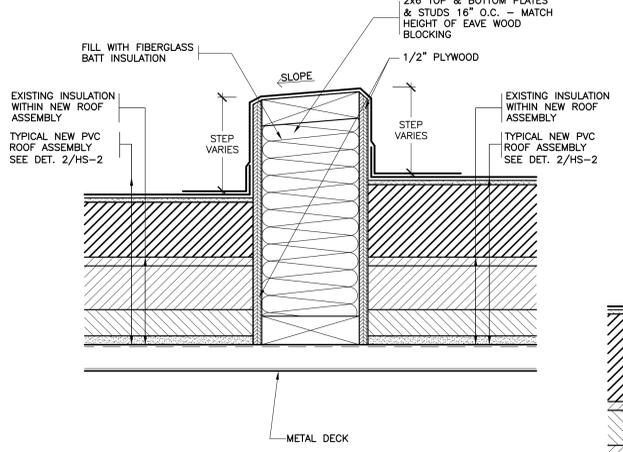
CONSTRUCTION DOCUMENTS



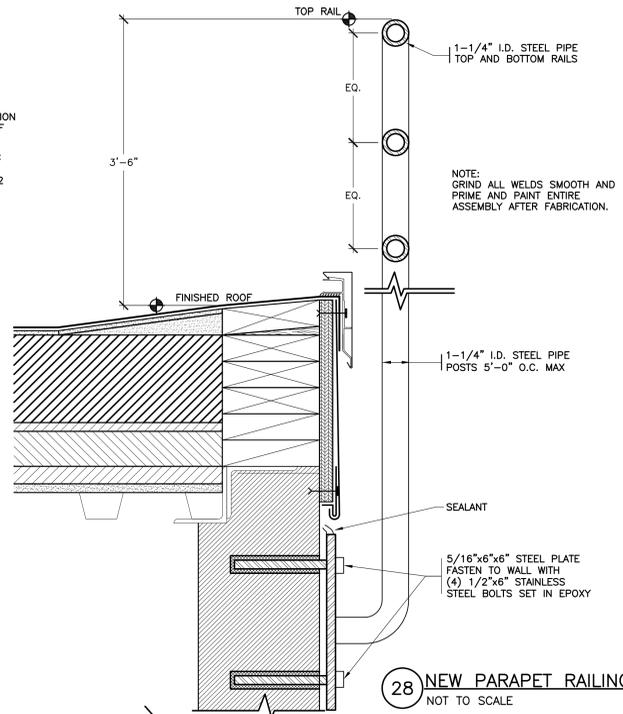
25 EXISTING EXPANSION JOINT
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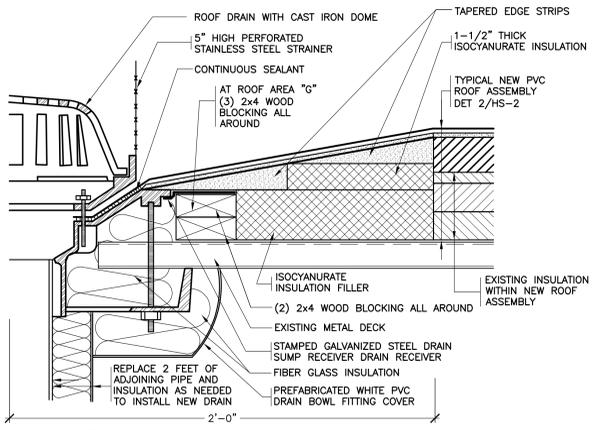
26 REVISED EXPANSION JOINT
SCALE: 0" 1" 2" 4" 8"



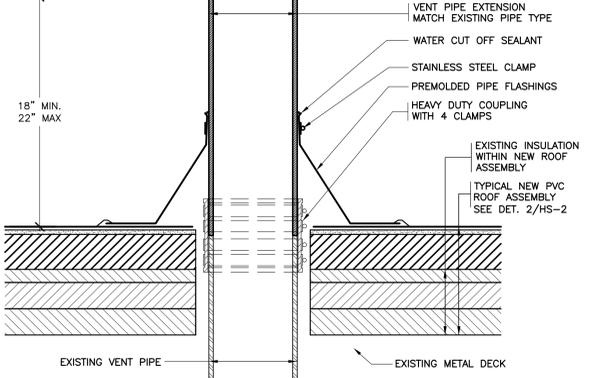
27 REVISED ROOF TRANSITION
SCALE: 0" 1" 2" 4" 8"



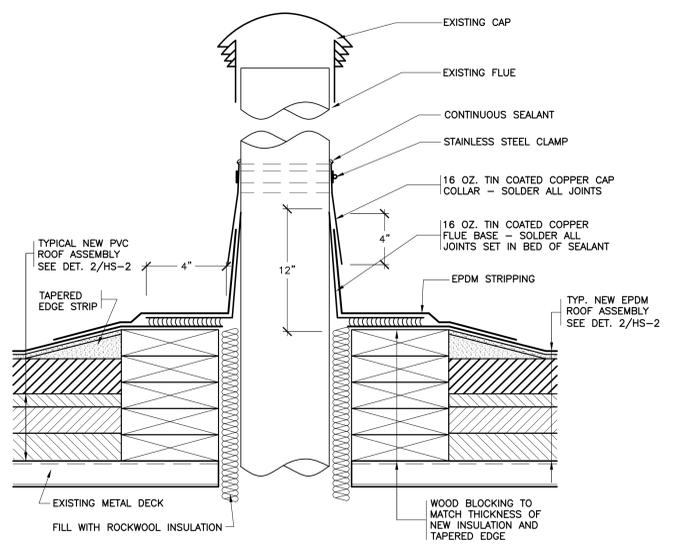
28 NEW PARAPET RAILING
NOT TO SCALE



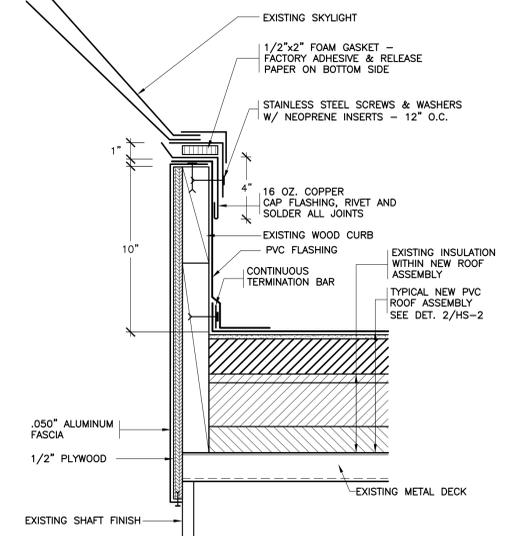
29 REVISED ROOF DRAIN
SCALE: 0" 1" 2" 4" 8"



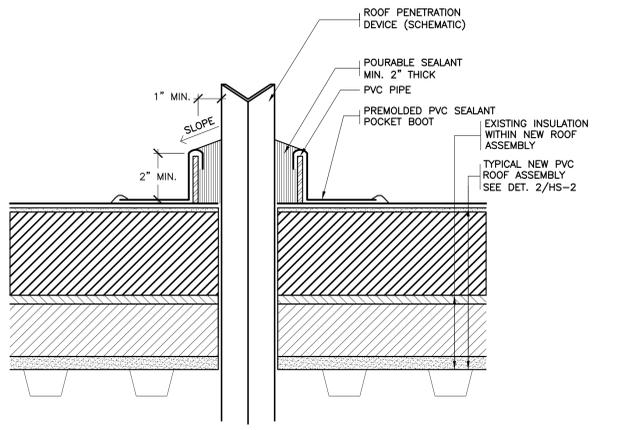
30 REVISED VENT PIPE
SCALE: 0" 1" 2" 4" 8"



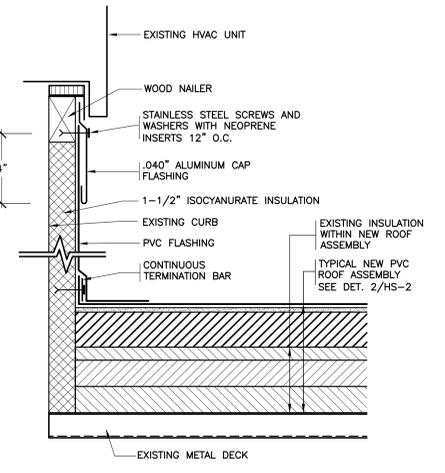
31 REVISED FLUE FLASHING
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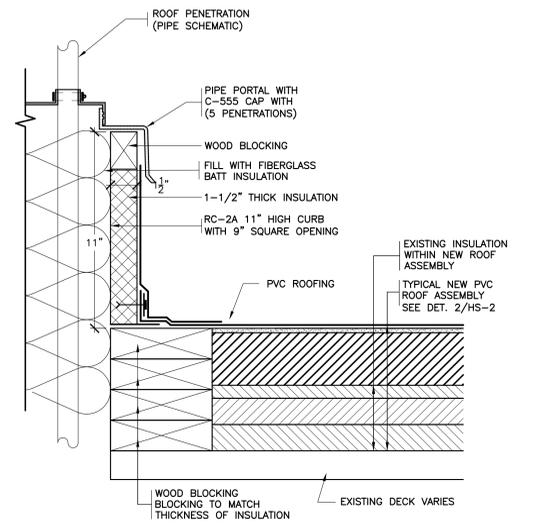
32 REVISED SKYLIGHT
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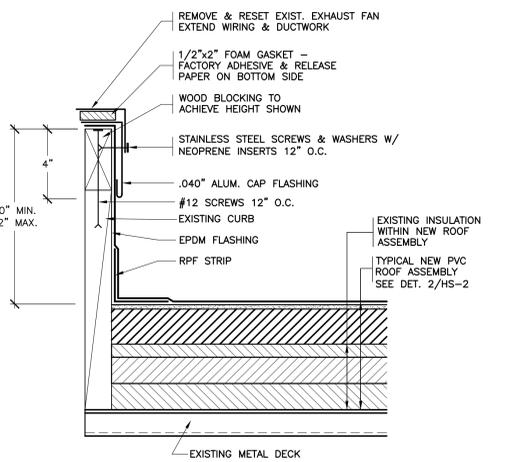
33 REVISED SEALANT POCKET
SCALE: 0" 1" 2" 4" 8"



34 REVISED HVAC CURB
SCALE: 0" 1" 2" 4" 8"



35 PORTALS PLUS
SCALE: 0" 1" 2" 4" 8"



36 REVISED EXHAUST FAN
SCALE: 0" 1" 2" 4" 8"

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Professional Seal
Job No. 2023-1002 Date 03/17/2023
Scale AS NOTED Drawn / Checked
Sheet Number HS-4

DISTRICT WIDE ROOFING PROJECT

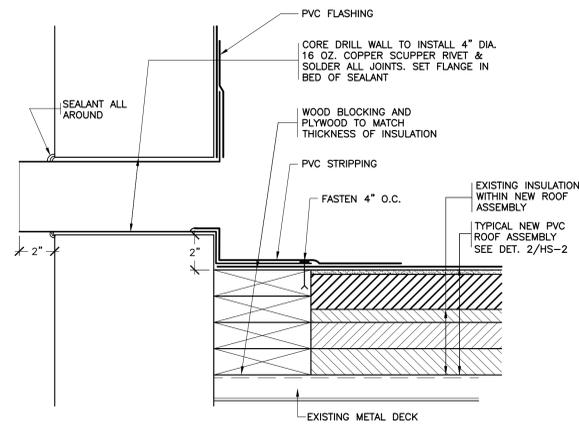
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10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520



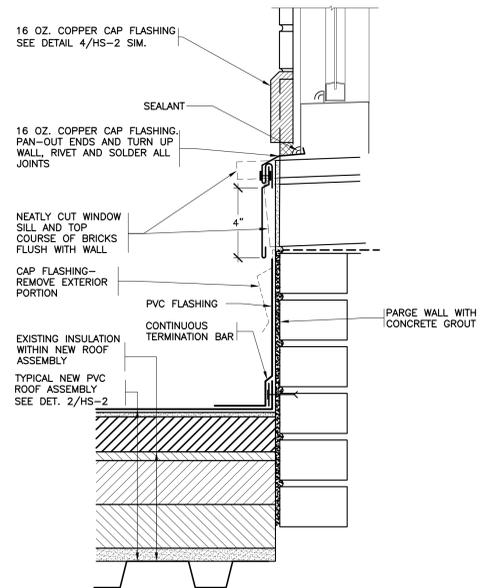
385 MAIN STREET MOUNT KISCO, NEW YORK 10549
P:914.666.5900 KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-5-004-008

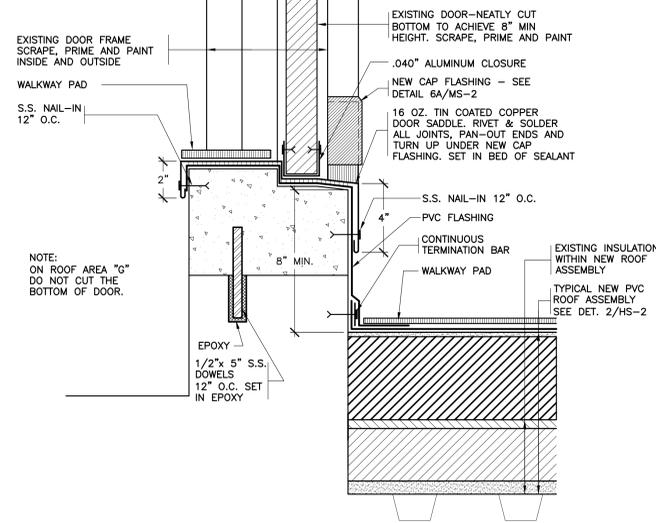
CONSTRUCTION DOCUMENTS



37 NEW OVERFLOW SCUPPER
SCALE: 0" 1" 2" 4" 8"



38 REVISED WINDOW FLASHING
SCALE: 0" 1" 2" 4" 8"



39 REVISED DOOR FLASHING
SCALE: 0" 1" 2" 4" 8"

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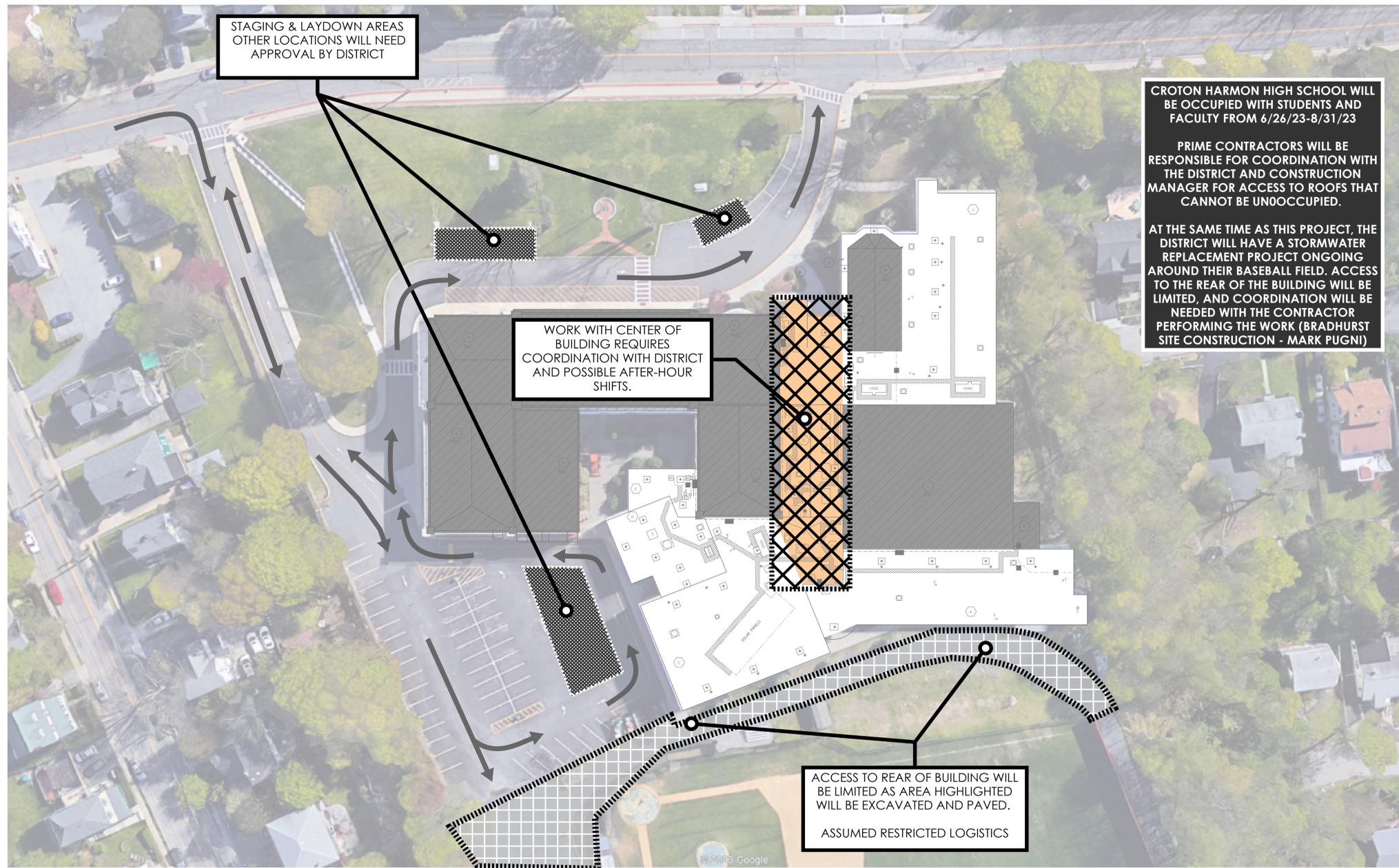
Professional Seal

2	4/20/2023	BID SET
1	3/17/2023	CONSTRUCTION DOCUMENTS

No. 1 Date Issue
Sheet Title
HIGH SCHOOL ROOF DETAILS

Job No.	2023-1002	Date	03/17/2023
Scale	AS NOTED	Drawn /	Checked

Sheet Number
HS-5



GENERAL LOGISTICS NOTES

- ROOFING CONSTRUCTION TRADE PRIME CONTRACTOR IS TO PROVIDE 6'-0" TALL CONSTRUCTION FENCE W/ PRIVACY SCREEN AROUND ALL STORED MATERIAL AND ACTIVE WORK AREAS WHERE WORK IS BEING PERFORMED OVERHEAD OR AT GROUND LEVEL.
 - ALL PRIME CONTRACTORS TO UTILIZE THE STAGING LOCATION, PROVIDED BY THE ROOFING CONTRACTOR. EACH PRIME CONTRACTOR SHALL COORDINATE MATERIAL AND EQUIPMENT WITHIN STAGING LOCATIONS, WITH THE OTHER PRIME CONTRACTORS AND CM.
 - MATERIAL WILL NOT BE PERMITTED TO BE STORED OUTSIDE FENCED-IN AREAS OR IN AREAS NOT DESIGNATED BY THE CONSTRUCTION MANAGER/OWNER. MATERIAL STORAGE ON THE INTERIOR OF THE BUILDING THAT IS NOT USED WITHIN 72HRS. WILL NOT BE PERMITTED.
 - ALL CRANES PICKS SHOULD BE SCHEDULED TO TAKE PLACE DURING THE SUMMER MONTHS, OR DURING AFTER-HOURS. THE PRIME CONTRACTOR PERFORMING THE CRANE PICK ASSUMES ALL RESPONSIBILITY FOR RESTORATION OF THE LANDSCAPE/HARDSCAPE THROUGH APPROVAL BY THE ARCHITECT/CIVIL ENGINEER/CM.
- CRANE PICKS THAT REQUIRE UTILIZING THE VILLAGE/TOWN/CITY/STATE ROAD WILL REQUIRE THE CONTRACTOR TO FILE ANY PERMITS NEEDED TO SHUTDOWN THE ROAD/LANES FOR THEIR CRANE OPERATIONS. ANY COST ASSOCIATED WITH THE PERMITTING PROCESS OR FINES INCURRED AS A RESULT OF NOT FILING THE CORRECT PERMITS, WILL BE THE RESPONSIBILITY OF THAT CONTRACTOR PERFORMING THE CRANE PICK.
- CRANE PICKS, BOOM LIFTS OR ANY OVERHEAD MATERIAL TRANSPORTATION WILL NOT BE ALLOWED WITHIN 20' OF AN OCCUPIED SPACE. THE PRIME CONTRACTOR PERFORMING THE CRANE PICK/BOOMING, WILL BE REQUIRED TO SUBMIT A CRANE/BOOM LOGISTICS PLAN SHOWING THE WORKING RADIUS OF THE EQUIPMENT AWAY FROM OCCUPIED SPACES.**
- THE ROOFING PRIME CONTRACTOR PROVIDING THE STAGING LOCATION IS RESPONSIBLE TO REPAIR THE GRADE, GRASS, SHRUBBERY, AND HARDSCAPES (ASPHALT/CONCRETE) AFTER REMOVAL OF FENCING AND MATERIAL FROM WITHIN THE STAGING LOCATION. THIS INCLUDES ANY REPAIRS AS A RESULT OF THEIR EQUIPMENT AND ACTIVITIES AROUND THE BUILDING AS A RESULT OF THEIR WORK. DAMAGE TO THE LANDSCAPE/HARDSCAPE AS A RESULT OF ANOTHER PRIME CONTRACTOR, OUTSIDE OF THE STAGING AREA, WILL BE THE RESPONSIBILITY OF THAT CONTRACTOR TO REPAIR.
- THIS INCLUDES RESTORING ANY TEMPORARY LOGISTICS FOR EGRESS, SUCH AS WALKWAYS, ASPHALT RAMPS, ETC...
- DELIVERIES ARE TO BE COORDINATED WITH THE CM AND OWNER TO AVOID INTERFERENCE WITH SCHOOL ACTIVITIES.
 - DUMPSTERS AND REFUSE CONTAINERS, PROVIDED BY THE ROOFING PRIME CONTRACTOR ARE FOR USE BY ALL PRIME CONTRACTORS, AND ARE PERMITTED WITHIN STAGING AREAS. IF DUMPSTERS ARE NEEDED OUTSIDE OF STAGING AREAS, THEY WILL NEED TO BE SECURED AND SURROUNDED BY ADDITIONAL FENCING, LOCKED WITH PRIVACY MESH AND SIGNAGE - APPROVED BY THE CM AND THE OWNER.
 - EACH PRIME CONTRACTOR IS REQUIRED TO COORDINATE WITH THE CONSTRUCTION MANAGER AND ANY OTHER TRADE- THEIR OWN WORK, IN WHICH THEY MAY IMPACT OTHER TRADES OR THE OWNER AND ITS PROPERTY.
 - THE ROOFING CONSTRUCTION PRIME CONTRACTOR IS TO PROVIDE AND MAINTAIN PERIODICALLY ALL TEMPORARY CONSTRUCTION SIGNAGE AS SHOWN ON THE LOGISTICS PLANS AND PER NYS, OSHA AND LOCAL/FEDERAL GOVERNMENT REGULATION.
- THIS INCLUDES BUT IS NOT LIMITED TO:
- JOBSITE RULES SIGN (3'-4" X 2'-3") SECURED TO SITE FENCE AT EACH ENTRANCE OF THE STAGING AREA (4 MINIMUM - 1 AT EACH LOCATION)
 - PERSONAL PROTECTIVE EQUIPMENT/ HARD HATS REQUIRED SIGNAGE AT 20' INTERVALS ON ENTIRE PERIMETER OF SITE FENCE.
 - NOTICE - PREVENT SPREAD OF CORONAVIRUS, SANITIZE/WASH YOUR HANDS FREQUENTLY", "WEAR FACE MASK WHILE MAINTAINING SOCIAL DISTANCING"
- EACH PRIME CONTRACTOR WILL BE REQUIRED TO SCHEDULE DELIVERIES WITH THE CONSTRUCTION MANAGER AND THE DISTRICT. THE DISTRICT AND/OR THE CONSTRUCTION MANAGER HOLD THE RIGHT TO REJECT DELIVERIES IF NOT SCHEDULED WITH THE CONSTRUCTION MANAGER OR DISTRICT WITH 72 HOURS OF THE DELIVERY.
 - EACH PRIME CONTRACTOR IS REQUIRED TO PROVIDE A (2X) DEDICATED FLAGMEN WHEN ACCEPTING DELIVERIES WITHIN/FROM THE STREET TO THE DEDICATED STAGING AREA. THE SITE AND SURROUNDING AREA MAY BE ACTIVE WITH STUDENTS AND FACULTY, REQUIRING THE UTMOST PROTECTION AND SAFETY.
 - PARKING FOR CONSTRUCTION PERSONNEL WILL BE ALLOWED ON SITE IN EXISTING PARKING SPACES DURING SUMMER CONSTRUCTION. ANY PARKING BEFORE OR AFTER THE SUMMER, CONTRACTOR'S WILL BE REQUIRED TO PARK OFF-SITE, AT NO ADDITIONAL COST TO THE OWNER.
 - WORKERS ARE REQUIRED TO WEAR ID BADGES, HIGH VISIBILITY VESTS, HARD HATS AND ALL OTHER REQUIRED PPE AT ALL TIMES WHILE ON SITE. WORKERS/PERSONNEL WITHOUT THESE REQUIREMENTS WILL BE ASKED TO BE REMOVED FROM THE SITE WITH A ONE-STRIKE POLICY.
 - INTERACTION BETWEEN CONSTRUCTION PERSONNEL AND STAFF/STUDENTS IS NOT PERMITTED. ANY PERSONNEL FOUND INTERACTING WITH STUDENTS OR FACULTY MAY BE ESCORTED BY LAW ENFORCEMENT FROM THE SITE. THIS IS A ZERO-STRIKE POLICY.
 - REFERENCE DIVISION 01 OF THE SPECIFICATIONS FOR ALL OTHER LOGISTICAL REQUIREMENTS IN HAND WITH INFORMATION INCLUDED ON THE LOGISTICS PLANS.
 - EACH PRIME CONTRACTOR MUST IMPLEMENT AND FOLLOW ALL NYS GUIDELINES AND REGULATIONS REGARDING COVID-19. INCLUDING BUT NOT LIMITED TO HAND WASHING/SANITIZING STATIONS, DISINFECTING, SOCIAL DISTANCING, CONTACT TRACING LOGS, ETC.. COVID-19 PROTOCOLS, POLICY AND PROCEDURES MUST BE DETAILED AND INCLUDED IN EACH PRIME CONTRACTOR'S SAFETY MANUAL AND LOGISTICS PLAN AND IS TO BE SUBMITTED TO THE CONSTRUCTION MANAGER WEEKLY. THIS REQUIREMENT EXTENDS TO ALL SUBCONTRACTORS OF THE PRIME CONTRACTOR.

DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520



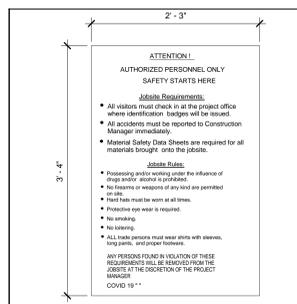
NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-0-004-008



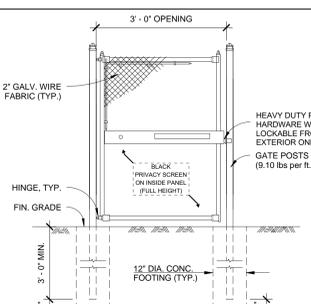
550 7th Ave 14th Floor, New York, NY 10018
1279 Rte 300 1st Floor, Newburgh, NY 12550

CONSTRUCTION DOCUMENTS

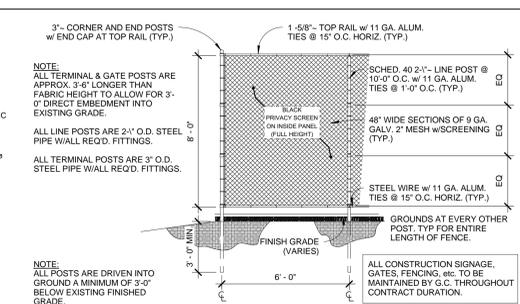
1 CROTON-HARMON HIGH SCHOOL ROOF PROJECT - OVERALL STAGING AND PHASING PLAN
SCALE = N.T.S.



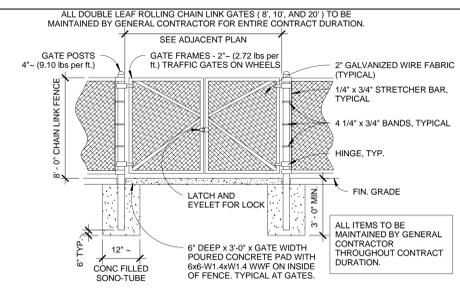
2 JOBSITE RULES SIGN DETAIL
NOT TO SCALE



3 TEMPORARY 8' SWING GATE
NOT TO SCALE



4 DETAIL @ CONSTRUCTION FENCE PANELS
NOT TO SCALE



5 DETAIL @ CONSTRUCTION GATE
NOT TO SCALE

MODIFICATION TO FENCE DETAILS 3.4.5/ GEN-SL-1:
TEMPORARY FENCE FOOTINGS MAY BE USED AS LONG AS THE STRUCTURE OF THE FENCE WITHSTANDS WINDSPEEDS IN EXCESS OF 110MPH

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No.	Date	Issue
1	4/20/2023	ISSUED FOR BID

Professional Seal

High School Roofing Logistics

Job No. 2023-1002 Date 4/18/23
Scale N.T.S. Drawn / Checked JH - TCC
Sheet Number HS LOG-1

DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520



NY SED PROJECT CONTROL NO.

HIGH SCHOOL	66-02-02-03-0-001-032
MIDDLE SCHOOL	66-02-02-03-0-002-029
ELEMENTARY SCHOOL	66-02-02-03-0-003-033
NEW BUSINESS OFFICE	66-02-02-03-1-010-007
BUS GARAGE	66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS

GENERAL NOTES:

- THESE DRAWINGS ARE SUPPLEMENTED BY DETAILED TECHNICAL SPECIFICATIONS. PERFORM THE WORK AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.
- DIMENSIONS AND CONDITIONS ON THE ROOF PLAN AND DETAILS ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR.
- ONLY CERTAIN FASTENERS ARE SHOWN ON THE DRAWINGS, REFER TO THE SPECIFICATIONS FOR ADDITIONAL FASTENER REQUIREMENTS.
- TEST EACH DRAIN LINE WITH A RUNNING HOSE FOR AT LEAST ONE HOUR PRIOR TO STARTING ANY OTHER WORK ON SITE. PROVIDE A WRITTEN REPORT OF ANY CLOGGED LINES TO THE OWNER.
- CLOSED DRAIN LINES REPORTED TO THE OWNER BEFORE WORK STARTS WILL BE CLEANED BY THE OWNER.
- COVER & PROTECT ALL DRAIN OPENINGS AT THE BEGINNING OF EACH WORK DAY. REMOVE THE COVERS AT THE END OF EACH DAY AND BEFORE PRECIPITATION OCCURS.
- PERFORM WHATEVER WORK IS REQUIRED SO ALL DRAIN LINES ARE CLEAN AND FREE FLOWING UPON COMPLETION OF THE PROJECT.
- REMOVE AND RESET ANY SITE LIGHT FIXTURES, WIRES AND CONDUITS THAT INTERFERE WITH THE NEW EAVE FLASHINGS. REPLACE COMPONENTS THAT CANNOT BE PROPERLY REINSTALLED.
- WIRE BRUSH, PRIME & PAINT ROOF TOP EQUIPMENT HOUSINGS, EXTERIOR & INTERIOR ACCESS LADDERS, BULKHEAD DOORS & DOOR FRAMES (BOTH SIDES), GAS LINES, AND THE VENT PIPES. DO NOT PAINT OVER EQUIPMENT NAME PLATES AND LABELS.
- REPAIR EXHAUST EQUIPMENT HOUSINGS SO THEY ARE WATERTIGHT; REPLACE ANY MISSING PIECES.
- REMOVE, MODIFY AND REMOUNT THE EXISTING LADDERS - REWORK THEM SO THEY ARE OSHA COMPLIANT. SCRAPE, PRIME AND PAINT THE LADDERS. FILL OLD FASTENER HOLES WITH COLOR MATCHING MORTAR.
- RE-CALK ALL VERTICAL MASONRY CONTROL AND EXPANSION JOINTS IN THE CHANGE IN ELEVATION WALLS ABOVE LOWER LEVEL ROOFS. REMOVE EXISTING SEALANT AND BACK UP MATERIALS, AND INSTALL NEW BACKER ROD AND SEALANT.
- INSULATE THE EXISTING DRAIN LINES WHERE EXPOSED INSIDE THE BUILDING, ALL NEW DRAIN LINES, AND THE UNDERSIDES OF THE NEW DRAIN BOWLS.
- INSTALL NEW WALKWAY PADS WHERE SHOWN ON THE ROOF PLAN.
- REMOVE CURB AT PIPE PENETRATION AND INSTALL, FASTEN A 22 GA. GALVANIZED PLATE ON TOP OF METAL DECK. REMOVE EXTEND AND MODIFY, WIRING & PIPES, FLASH AS PER DETAIL 18/MS-3 (VENT PIPE SIMILAR).

- LEGEND:**
- (A) ROOF AREA DESIGNATION
 - - EXP EXPANSION JOINT (SEE DET. 13&14/MS-3)
 - ⊕ ROOF DRAIN (SEE DET. 17/MS-3)
 - ⊕ OVERFLOW ROOF DRAIN (SEE DET. 17/MS-3) SIMILAR
 - V VENT PIPE (SEE DET. 18/MS-3)
 - ⊕ CURB PENETRATION (SEE DET. 18/MS-3 & NOTE 13) SIMILAR
 - ⊕ LOUVERED PENTHOUSE (SEE DET. 19/MS-3)
 - ⊕ SEALANT POCKET (SEE DET. 20/MS-3)
 - ⊕ ACCESS DOOR (SEE DET. 21/MS-3)
 - H.P. INSULATION HIGH POINT
 - TAPERED ISOCYANURATE INSULATION, SLOPE 1/8" PER FT
 - CRICKET- SLOPE 1/4" PER FT
 - ▨ WALKWAY PADS

ROOF PROTECTION NOTES:

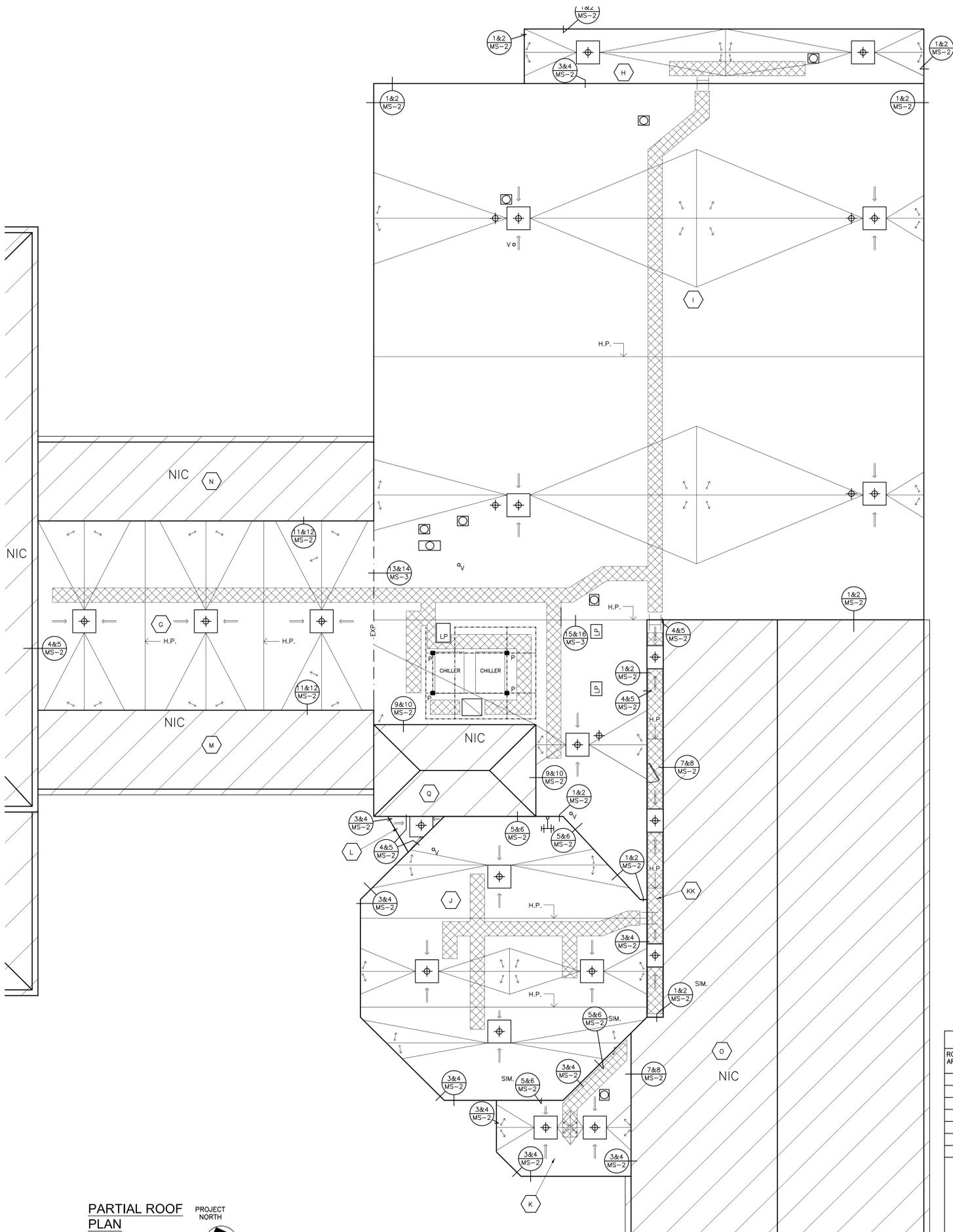
- AVOID WALKING ON NEW AND EXISTING ROOF AREAS.
- DO NOT STORE MATERIAL OR EQUIPMENT, AND DO NOT PILE DEBRIS ON NEW AND EXISTING ROOF AREAS.
- INSTALL 1 INCH THICK EXTRUDED POLYSTYRENE INSULATION OVER 6 MIL FIRE RETARDANT POLYETHYLENE, COVERED WITH 2x10 WOOD PLANKS TO PROTECT ROOFING WHERE CONSTRUCTION WORK AND TRAFFIC WILL OCCUR.
- NEATLY CUT AND POSITION ROOF PROTECTION COMPONENTS TO FIT WITHIN 1/2 INCH OF ROOF PENETRATIONS, EAVES AND CHANGE IN ELEVATION WALLS.
- DO NOT COVER THE ROOF DRAINS. MAINTAIN THE ROOF DRAIN STRAINERS VISIBLE AND CLEAR AT ALL TIMES.

CODE COMPLIANCE REQUIREMENTS:

- INSTALL NEW ROOFING TO MEET THE FOLLOWING MINIMUM REQUIREMENTS:
 - A. NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, WHICH INCLUDES BY REFERENCE THE NEW YORK STATE ENERGY CONSERVATION CODE.
 - B. UNDERWRITERS LABORATORIES INC. CLASS A EXTERNAL FIRE RATING FOR ROOF ASSEMBLIES TESTED IN ACCORDANCE WITH ASTM E 108 OR UL 790.
 - C. UNDERWRITERS LABORATORIES INC. STANDARD 1256 FOR ROOF ASSEMBLIES WITH FOAM INSULATION.
- INSTALL ROOFING TO COMPLY WITH THE WIND UPLIFT REQUIREMENTS OF THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, BASED ON THIS CRITERIA:
 - RISK CATEGORY III
 - BASIC WIND SPEED 130 MPH
 - EXPOSURE CATEGORY B
 - BUILDING HEIGHT 30 FT.
- INSTALL ROOFING AS INDICATED TO RESIST THE FOLLOWING UPLIFT LOADS, CALCULATED IN ACCORDANCE WITH ASCE 7 USING A SAFETY FACTOR OF 2:
 - FIELD ZONE: 90 PSF
 - PERIMETER ZONE: 135 PSF
 - CORNER ZONE: 150 PSF
- FABRICATE AND INSTALL ROOF PERIMETER FLASHINGS THAT COMPLY WITH THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND WITH ANSI/SPRI ES-1 "WIND STANDARD FOR EDGE SYSTEMS USED WITH LOW SLOPE ROOFING SYSTEMS", ON A BUILDING USING THE CRITERIA DESCRIBED ABOVE.
- FABRICATE AND INSTALL WOOD BLOCKING COMPONENTS TO RESIST A FORCE OF 275 POUNDS PER LINEAL FOOT APPLIED IN ANY DIRECTION.

CUPOLA REHABILITATION NOTES

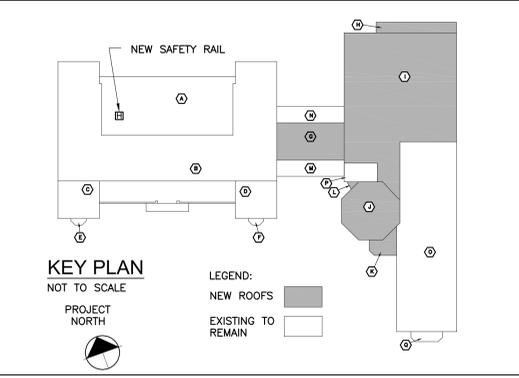
- THE CUPOLA IS NOT ILLUSTRATED IN THESE DRAWINGS; VISUALLY INSPECT IT.
- SCRAPE AND REMOVE ALL LOOSE AND PEELING PAINT. UTILIZE DROP CLOTHES AND HEPA VACUUMS TO COLLECT AND DISPOSE OF THE PAINT CHIPS
 - INSTALL EXTERIOR SPACKLE TO FILL VOIDS WHERE PAINT WAS REMOVED, THEN SAND THE SPACKLE SMOOTH
 - REMOVE AND REPLACE ROTTED AND DETERIORATED WOOD COMPONENTS
 - BACK PRIME NEW WOOD BEFORE INSTALLATION; SPOT PRIME THE SPACKLE AND THEN PRIME THE ENTIRE CUPOLA USING EXTERIOR ALKYD PRIMER.
 - INSTALL TWO FINISH COATS OF EXTERIOR ALKYD PAINT, COLORS TO BE SELECTED.
 - INSTALL A NEW WEATHER VANE, SUPPORTED WITH A 3/4 INCH DIAMETER STAINLESS STEEL ROD, SECURED TO BRACKETS MOUNTED WITHIN THE CUPOLA.



DECK TYPE CHART & INSULATION REQUIREMENTS

ROOF AREA	DECK TYPE	THICKNESS OF EXISTING INSULATION	STARTING THICKNESS OF NEW INSULATION	MIN. R-VALUE OF NEW & EXISTING INSULATION	AVERAGE THICKNESS OF NEW & EXISTING INSULATION	AVERAGE R-VALUE OF NEW & EXISTING INSULATION
G	METAL	5.5"	1.5"	30	7.6"	44.7
H	METAL	3.0"	2.5"	30	5.5"	31.9
I	METAL	3.5"	2.0"	30	6.9"	40.4
J	METAL	3.5"	2.0"	30	6.0"	34.8
K	METAL	4.0"	1.5"	30	6.2"	36.0
KK	METAL	3.0"	2.5"	30	6.2"	36.0
L	METAL	3.0"	2.5"	30	5.8"	33.6

- NOTES:**
- INSTALL CONTINUOUS INSULATION ABOVE THE DECK TO ACHIEVE A TOTAL MINIMUM R-VALUE OF 30, AND TO MEET THE NYS ENERGY CONSERVATION CONSTRUCTION CODE, INCLUDING THE INTERNATIONAL ENERGY CONSERVATION CODE AND THE NY STATE SUPPLEMENT, FOR A BUILDING IN CLIMATE ZONE 4.
 - INSTALL NEW 2 INCH FLAT ISOCYANURATE INSULATION OVER THE EXISTING 3.75 INCH INSULATION, UNLESS OTHERWISE NOTED. INSTALL THE ISOCYANURATE INSULATION IN MULTIPLE LAYERS, STAGGER ALL JOINTS BETWEEN LAYERS 12 INCHES.
 - INSTALL A COVER BOARD USING LOW RISE FOAM ADHESIVE OVER THE INSULATION AND CRICKETS.



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2 4/20/2023 BID SET
1 3/17/2023 CONSTRUCTION DOCUMENTS
No. 1 Date Issue
Sheet Title

PIERRE VAN CORTLANDT M.S. ROOF PLAN

Job No. 2023-1002 Date 03/17/2023
Scale AS NOTED Drawn / Checked

Sheet Number **MS-1**

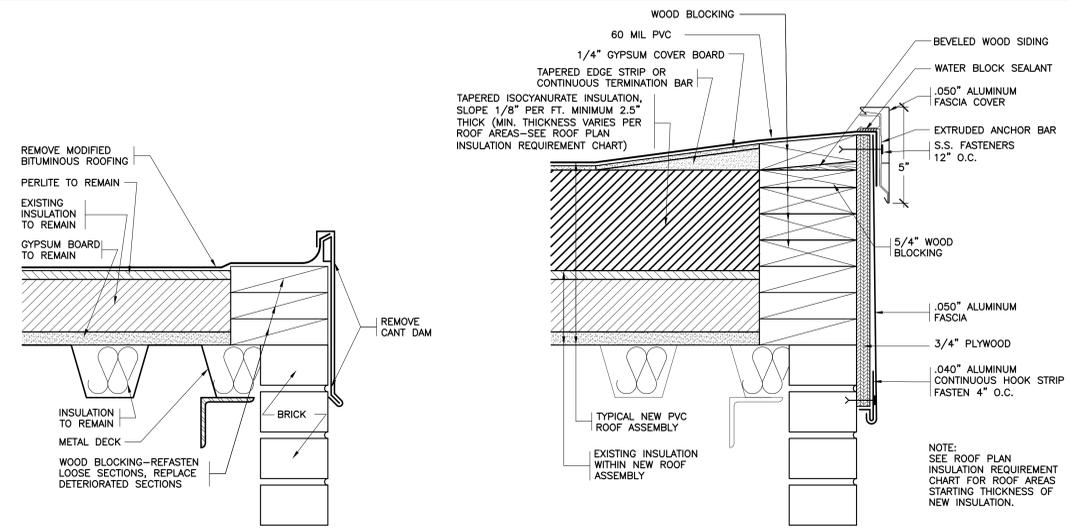
DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520

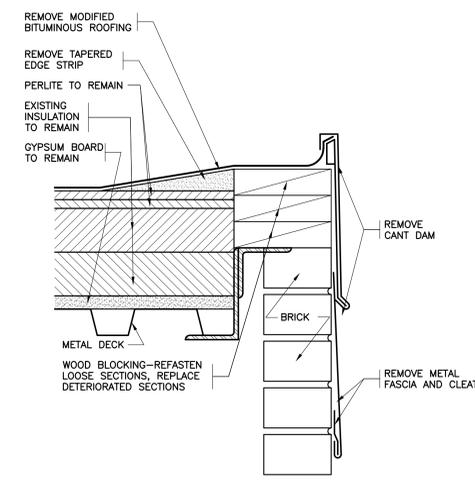


NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-5-004-008

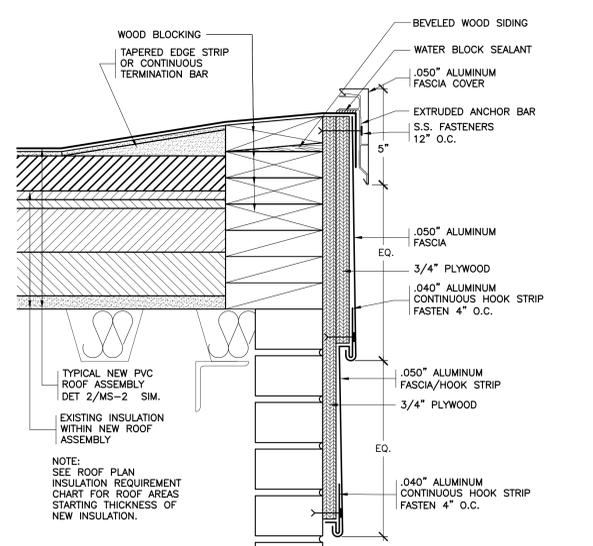
CONSTRUCTION DOCUMENTS



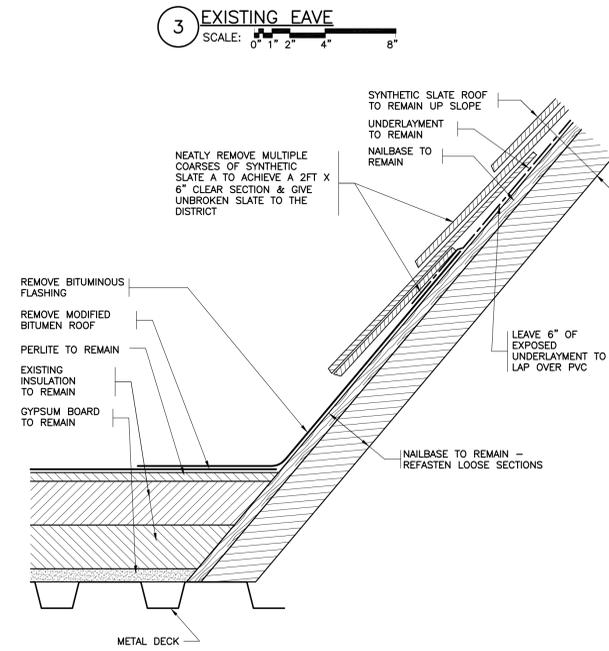
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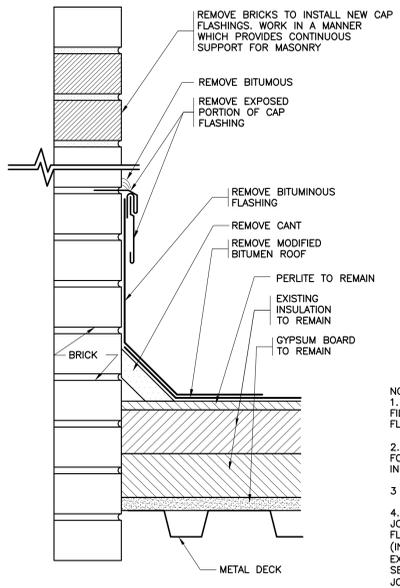
2 REVISED EAVE
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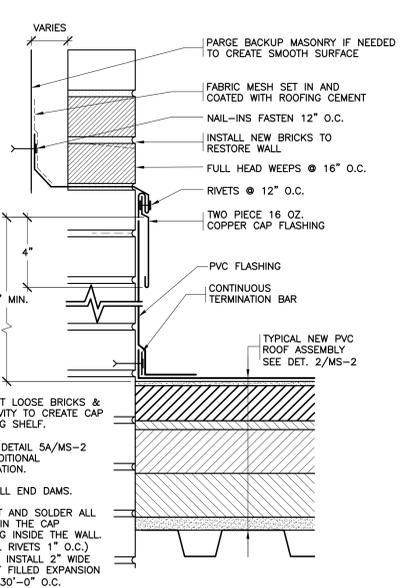
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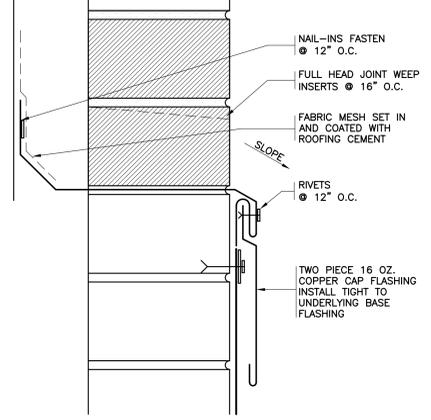
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SCALE: 0" 1" 2" 4" 8"



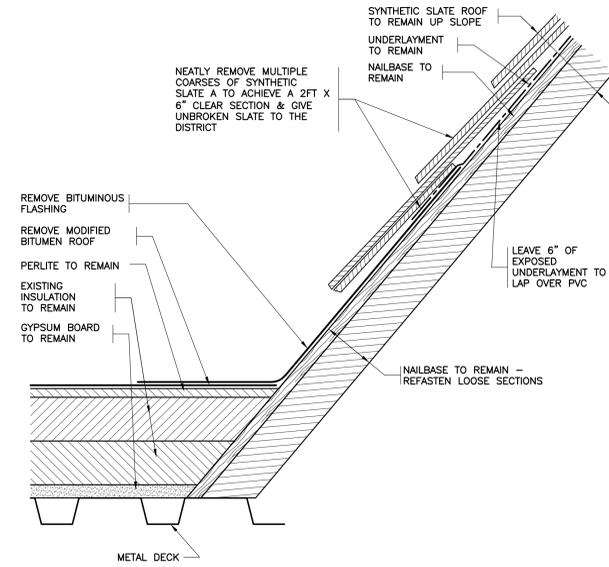
5 EXISTING BASE FLASHING
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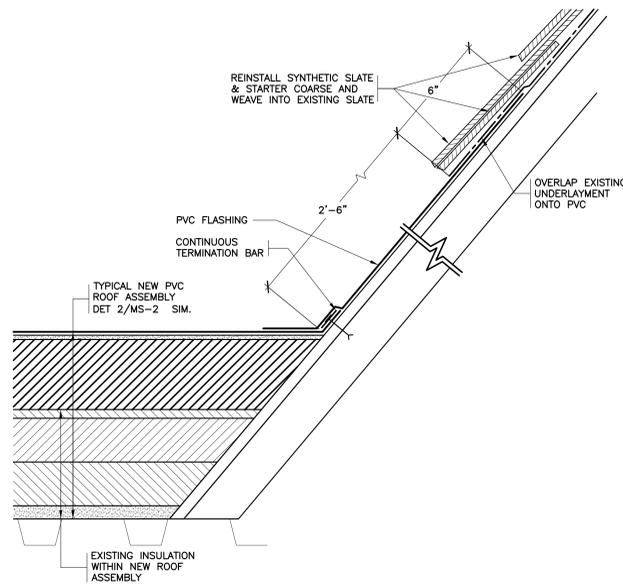
6 REVISED BASE FLASHING
SCALE: 0" 1" 2" 4" 8"



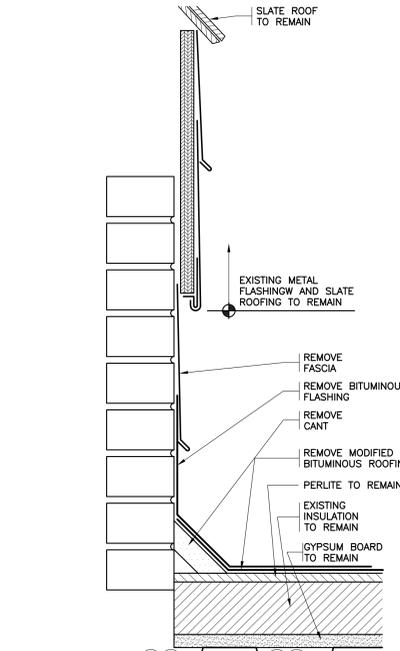
6A REVISED CAP FLASHING
SCALE: 0" 1" 2" 4" 8"



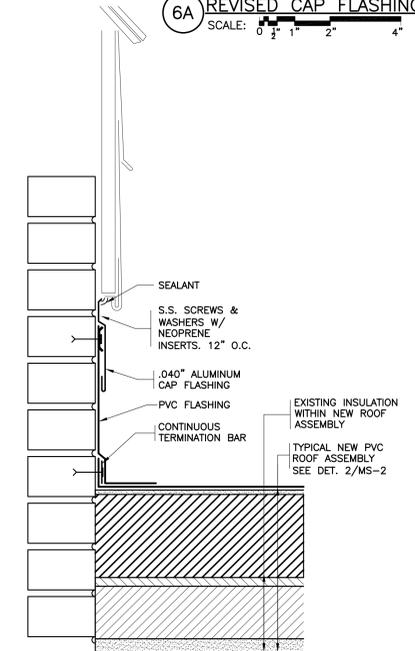
7 EXISTING TRANSITION
SCALE: 0" 1" 2" 4" 8"



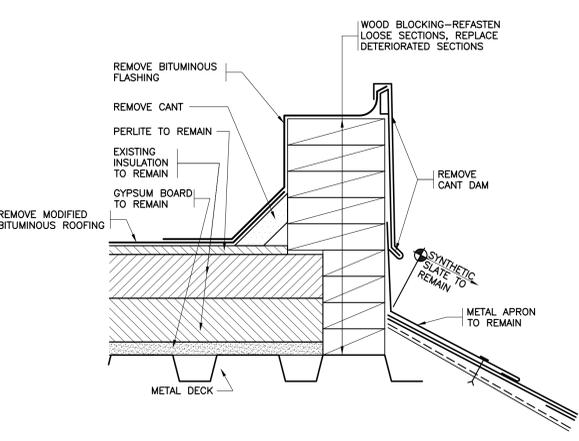
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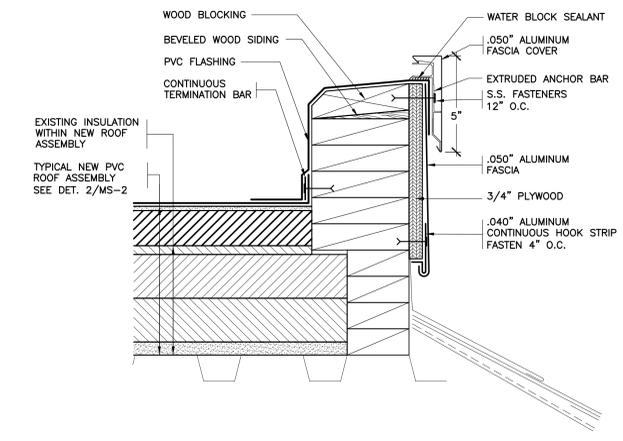
9 EXISTING BASE FLASHING
SCALE: 0" 1" 2" 4" 8"



10 REVISED BASE FLASHING
SCALE: 0" 1" 2" 4" 8"



11 EXISTING TRANSITION
SCALE: 0" 1" 2" 4" 8"



12 REVISED TRANSITION
SCALE: 0" 1" 2" 4" 8"

NOTES:
1. RESET LOOSE BRICKS & FILL CAVITY TO CREATE CAP FLASHING SHELF.
2. SEE DETAIL 5A/MS-2 FOR ADDITIONAL INFORMATION.
3. INSTALL END DAMS.
4. RIVET AND SOLDER ALL JOINTS IN THE CAP FLASHING INSIDE THE WALL. (INSTALL RIVETS 1" O.C.) EXCEPT, INSTALL 2" WIDE SEALANT FILLED EXPANSION JOINTS 30"-0" O.C.

NOTE:
SEE ROOF PLAN INSULATION REQUIREMENT CHART FOR ROOF AREAS STARTING THICKNESS OF NEW INSULATION.

NOTE:
SEE ROOF PLAN INSULATION REQUIREMENT CHART FOR ROOF AREAS STARTING THICKNESS OF NEW INSULATION.

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2	4/20/2023	BID SET
1	3/17/2023	CONSTRUCTION DOCUMENTS
No. 1	Date	Issue

Sheet Title
PIERRE VAN CORTLANDT M.S. ROOF DETAILS

Job No.	2023-1002	Date	03/17/2023
Scale	AS NOTED	Drawn / Checked	

Sheet Number
MS-2

DISTRICT WIDE ROOFING PROJECT

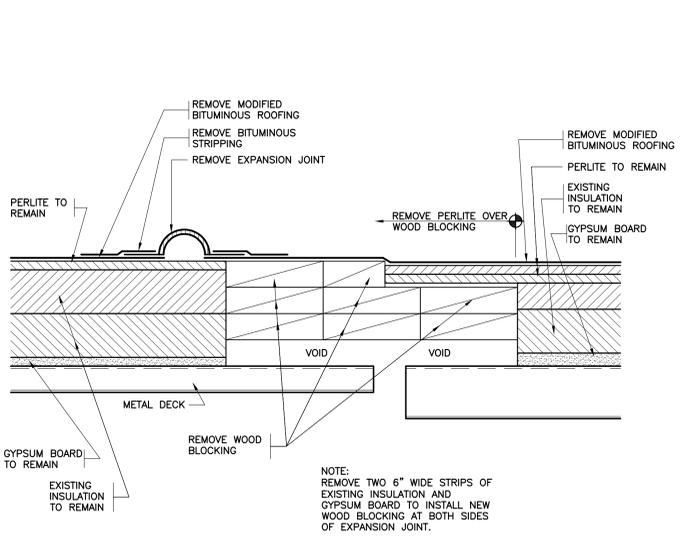
CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520

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KG+D . ARCHITECTS PC
385 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KGDARCHITECTS.COM

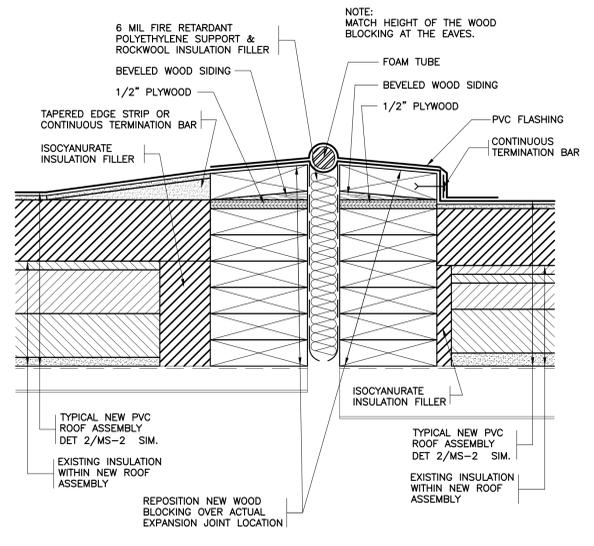
NY SED PROJECT CONTROL NO.

HIGH SCHOOL	66-02-02-03-0-001-032
MIDDLE SCHOOL	66-02-02-03-0-002-029
ELEMENTARY SCHOOL	66-02-02-03-0-003-033
NEW BUSINESS OFFICE	66-02-02-03-1-010-007
BUS GARAGE	66-02-02-03-0-004-008

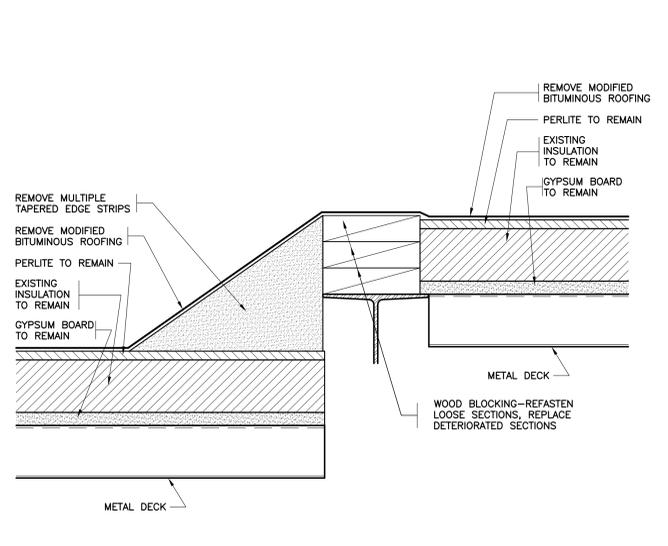
CONSTRUCTION DOCUMENTS



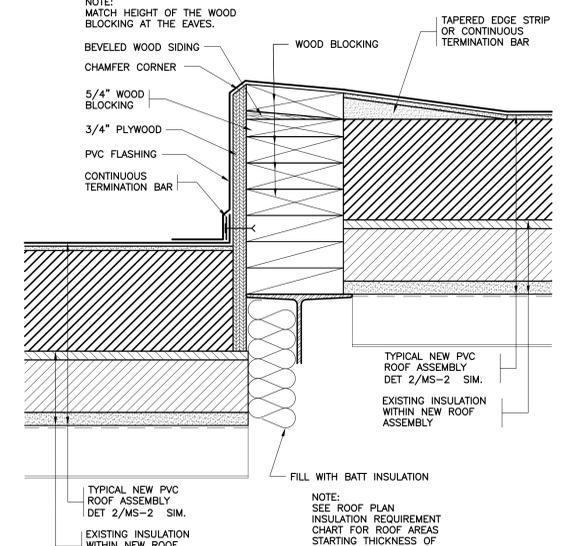
13 EXISTING EXPANSION JOINT
SCALE: 0" 1" 2" 4" 8"



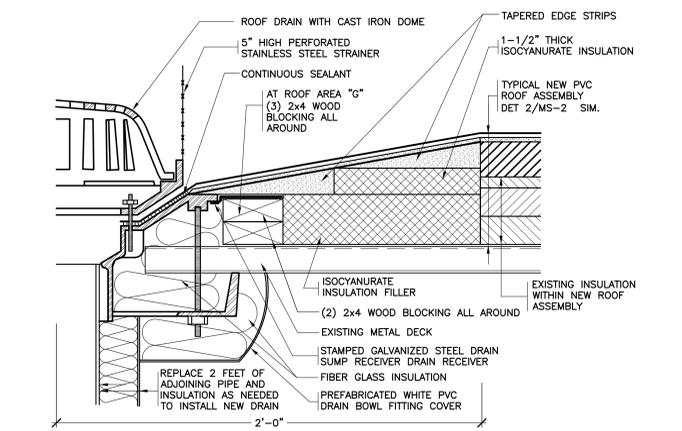
14 REVISED EXPANSION JOINT
SCALE: 0" 1" 2" 4" 8"



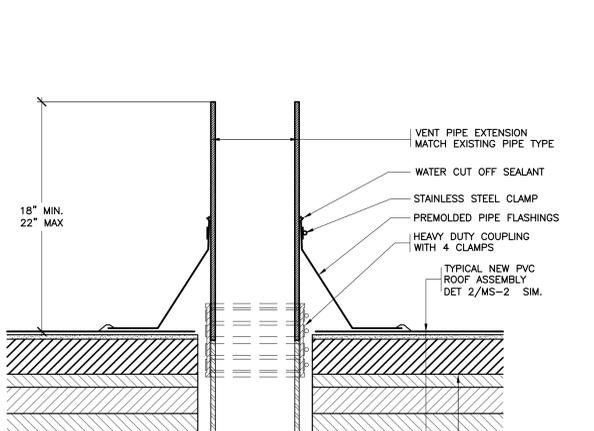
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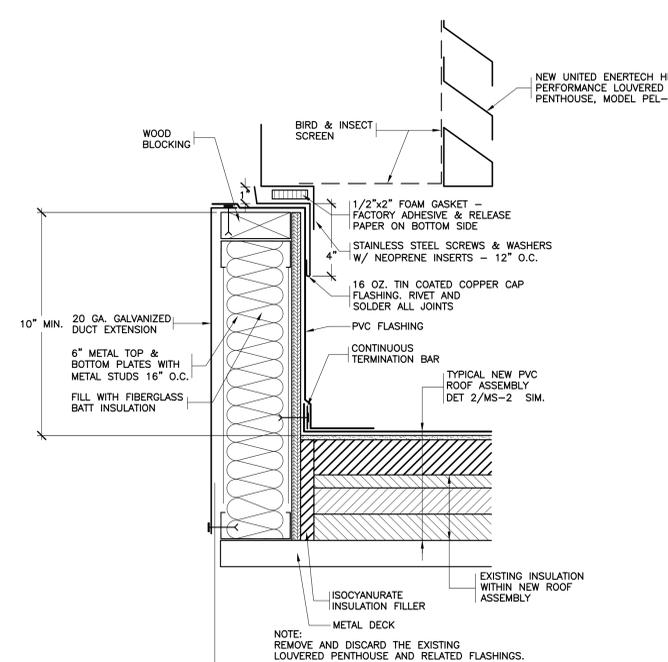
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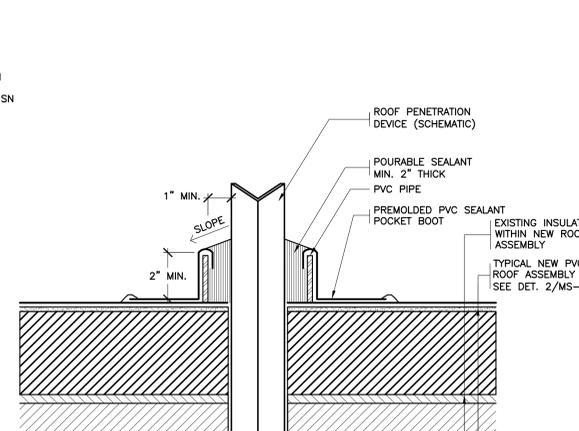
17 REVISED ROOF DRAIN
SCALE: 0" 1" 2" 4" 8"



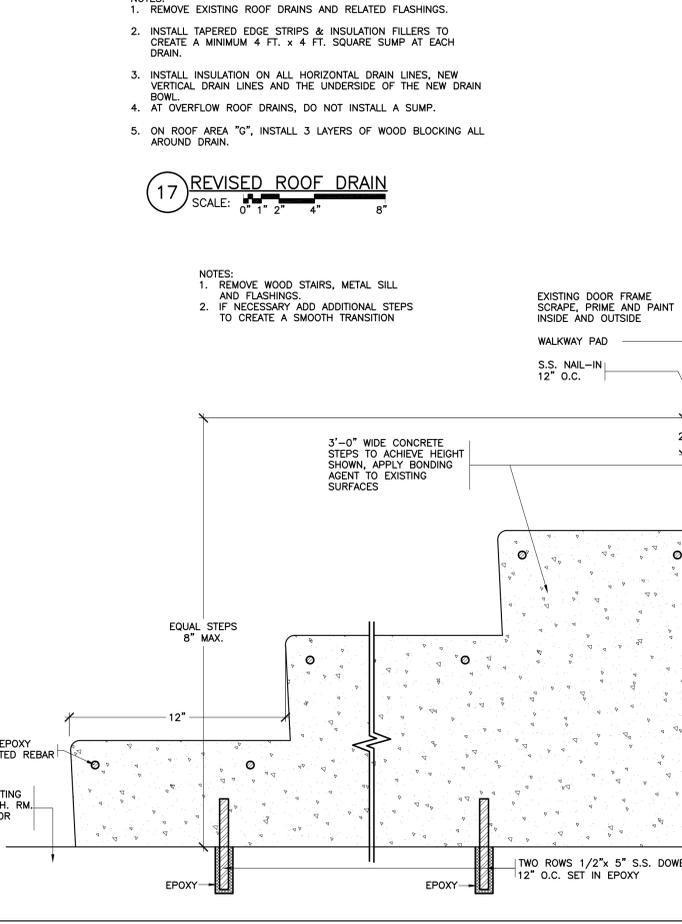
18 REVISED VENT PIPE
SCALE: 0" 1" 2" 4" 8"



19 NEW LOUVERED PENTHOUSE
SCALE: 0" 1" 2" 4" 8"



20 REVISED SEALANT POCKET
SCALE: 0" 1" 2" 4" 8"



21 REVISED DOOR FLASHING
SCALE: 0" 1" 2" 4" 8"

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2	4/20/2023	BID SET
1	3/17/2023	CONSTRUCTION DOCUMENTS

No. 1 Date Issue

Sheet Title

PIERRE VAN CORTLANDT M.S ROOF DETAILS

Job No.	2023-1002	Date	03/17/2023
Scale	AS NOTED	Drawn / Checked	
Sheet Number	MS-3		

DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520



KG+D . ARCHITECTS PC

285 MAIN STREET MOUNT KISCO, NEW YORK 10549
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NY SED PROJECT CONTROL NO.

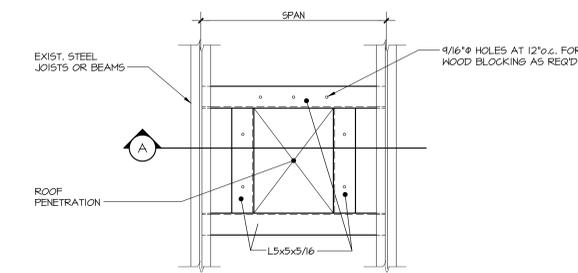
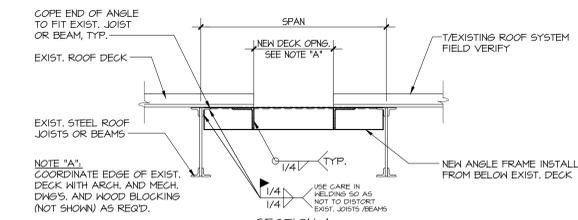
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS



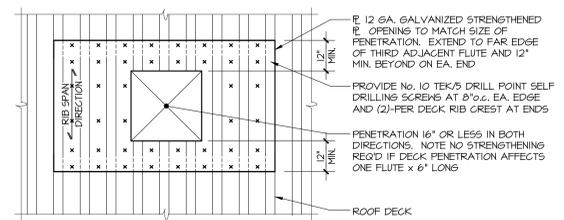
Structural Engineers

83 Wooster Heights Rd, Ste 200
Danbury, CT 06810
[203] 490-4140 | www.tdeg.com

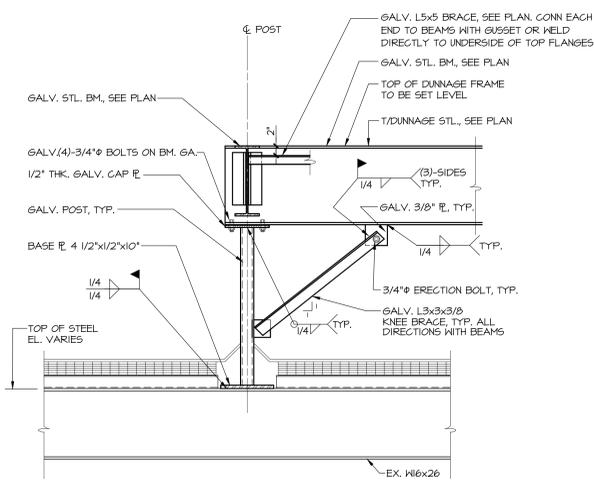


- NOTES:
1. SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF ALL ROOF PENETRATIONS.
 2. WHEREVER POSSIBLE LOCATE SUPPORT POINTS OF FRAMES OVER TOP CHORD PANEL POINTS. SEE JOIST REINFORCING DETAIL FOR ADDITIONAL WEB MEMBERS.

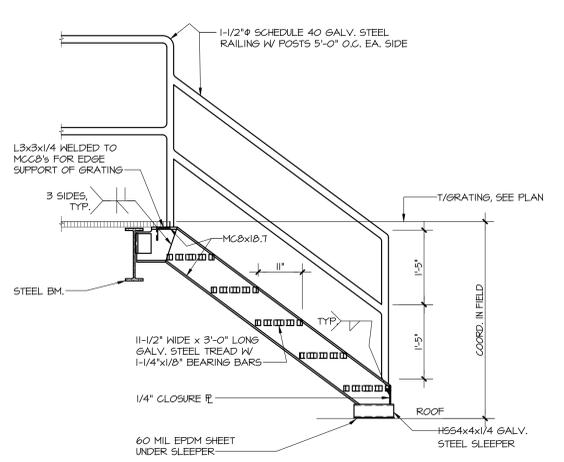
TYP. ROOF CURB SUPPORT/DECK PENETRATION DETAIL
NO SCALE



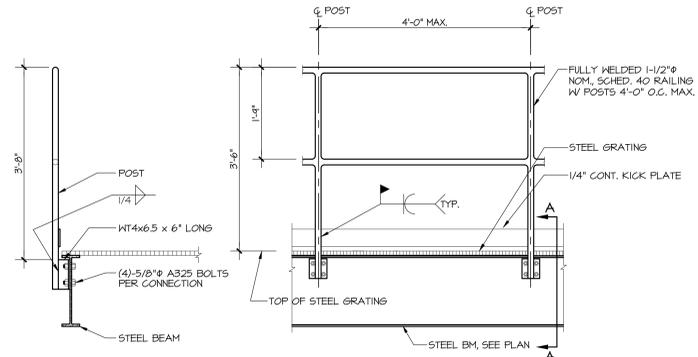
ROOF OPENING DETAIL 1'-4\"/>



TYPICAL DUNNAGE POST AND BRACE SECTION
3/4\"/>



SECTION
3/4\"/>



SECTION
3/4\"/>

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1	03/17/2023	SED SUBMISSION
2	04/20/2023	ISSUED FOR BID

SECTIONS AND DETAILS

Job No.	23043.00	Date	03/17/2023
Scale	AS NOTED	Drawn / Checked	JMB/JDR
Sheet Number	S200		

DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520



KG+D . ARCHITECTS PC
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NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-03-0-001-032
MIDDLE SCHOOL 66-02-03-0-002-029
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NEW BUSINESS OFFICE 66-02-03-1-010-007
BUS GARAGE 66-02-03-5-004-008



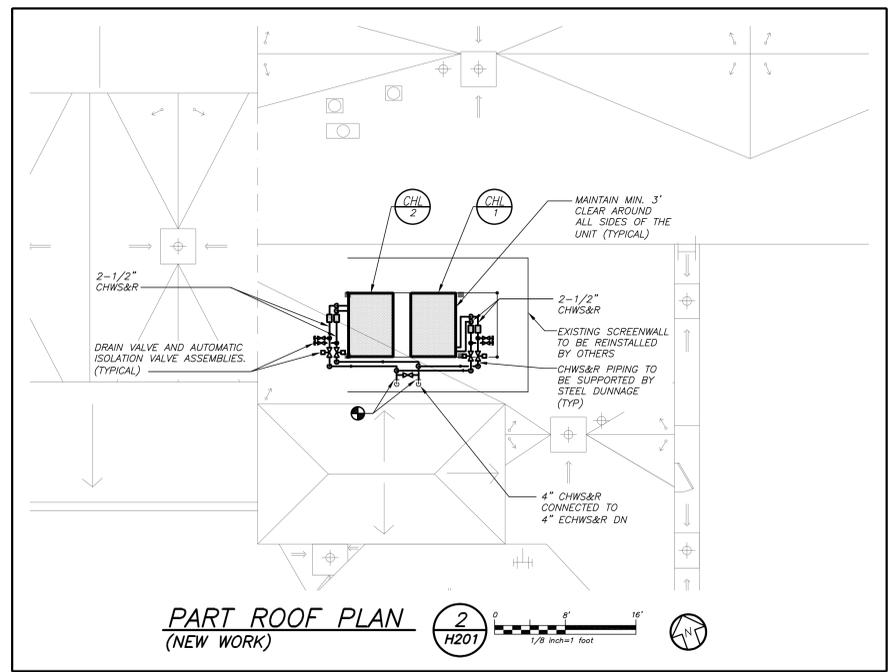
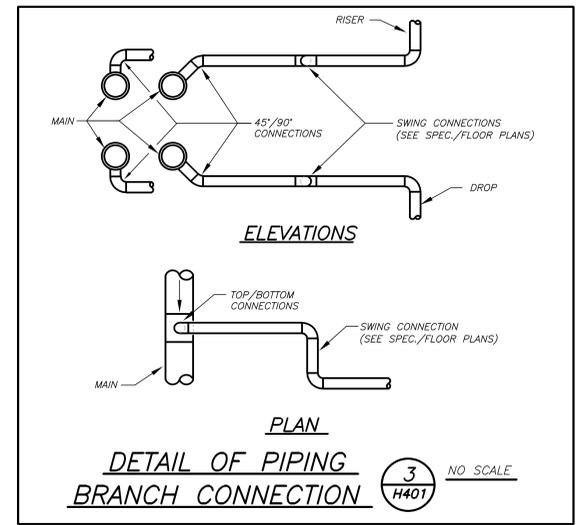
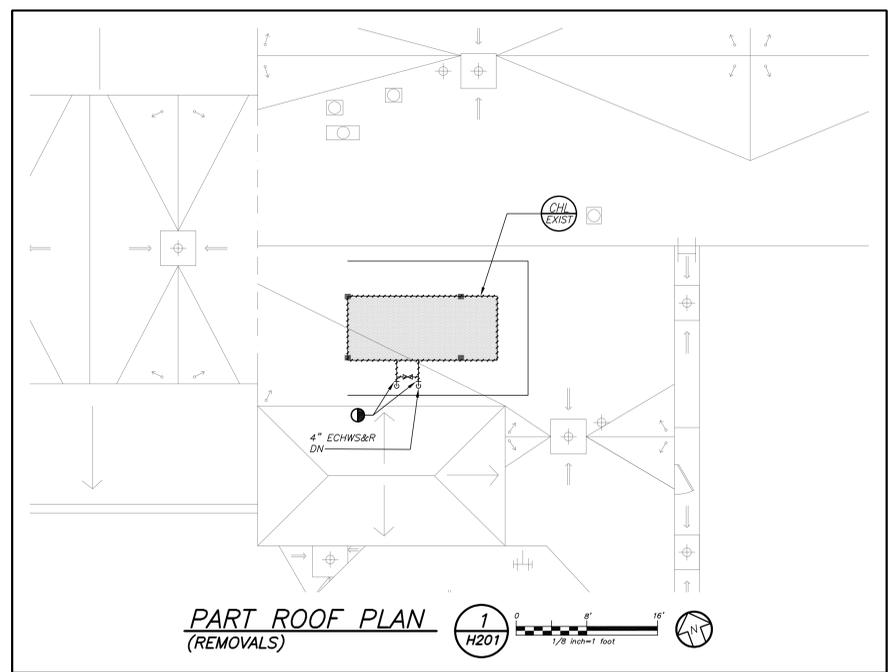
CONSTRUCTION DOCUMENTS

LEGEND

	EXISTING DUCTWORK, EQUIPMENT, ETC. TO REMAIN
	EXISTING DUCTWORK, EQUIPMENT, ETC. TO BE REMOVED
	EXISTING CHILLED WATER SUPPLY PIPE
	EXISTING CHILLED WATER RETURN PIPE
	CHILLED WATER SUPPLY PIPE
	CHILLED WATER RETURN PIPE
	FLOW DIRECTION WITHIN PIPE
	SHUT OFF VALVE
	COMBINATION BALANCING & SHUT-OFF VALVE
	2 - WAY CONTROL VALVE
	PIPE CONNS. (BOTTOM; TOP 45 OR 90; PIPE UP)
	EXISTING CHILLER IDENTIFICATION
	NEW CHILLER IDENTIFICATION
	POINT OF DISCONNECTION
	POINT OF CONNECTION, NEW TO EXISTING
	ABOVE FINISHED FLOOR
	GENERAL CONTRACTOR
	SECTION/DETAIL/ELEVATION/PART PLAN NUMBER
	DRAWING NUMBER
	SECTION/ELEVATION IDENTIFICATION

REMOVAL NOTES:

- THE SCOPE OF REMOVAL SHOWN ON "REMOVALS" DRAWINGS IS DIAGRAMMATIC ONLY AND INDICATES THE INTENT OF THE WORK TO BE PERFORMED AND NOT THE COMPLETE SCOPE OF DEMOLITION AND/OR REMOVAL WORK. IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO REMOVE ANY RELATED MECHANICAL DEVICES EVEN IF NOT SPECIFICALLY INDICATED TO BE REMOVED ON THESE DRAWINGS IN ORDER TO ACCOMMODATE NEW WORK.
- DEVICES SHOWN CROSS HATCHED ON DRAWINGS ARE ITEMS TO BE REMOVED. ANY DEVICES REMOVED SHALL INCLUDE (BUT SHALL NOT BE LIMITED TO) THE REMOVAL OF ALL ASSOCIATED PIPING, CONTROLS, ETC. THAT ARE NOT INCORPORATED IN THE NEW LAYOUT, UNTIL SUCH REMOVAL IS COMPLETE. THIS CONTRACTOR SHALL PERFORM ALL WORK REQUIRED TO INSURE CONTINUITY OF SERVICE TO EXISTING REMAINING EQUIPMENT. NO EXTRAS RELATING TO THE SCOPE OF WORK DESCRIBED WILL BE ALLOWED.
- EQUIPMENT, PIPING, ETC., REQUIRED TO RECONNECT SHALL BE INSTALLED CONCEALED WITHIN THE NEW SUSPENDED CEILINGS. PARTITIONS AND/OR WALLS, FLOORS, NO SURFACE MOUNTED OR EXPOSED EQUIPMENT, PIPING, ETC., SHALL BE PERMITTED, UNLESS SPECIFICALLY INDICATED WHERE PIPING IS INSTALLED EXPOSED.
- ALL ITEMS TO BE REMOVED SHALL BE REVIEWED WITH THE OWNER PRIOR TO REMOVAL. OWNER SHALL HAVE FIRST SALVAGE RIGHTS. ITEMS THE OWNER WISHES TO KEEP SHALL BE REMOVED WITH CARE AND STORED AS DIRECTED BY OWNER. ITEMS THE OWNER DOES NOT WISH TO KEEP SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.

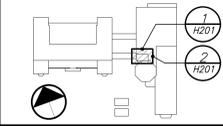


SCHEDULE OF AIR COOLED CHILLERS

MARK	SERVICE	LOCATION	MODEL N#	COOLING CAPACITY (TONS)	GPM	COMPRESSOR QTY / SIZE	FAN QTY / WATTS	ELECTRIC SERVICE	MCA	MOCF	PHYSICAL DATA DIMENSION / WEIGHT	REMARKS
CHL 1	CHILLED WATER	ROOF	ACHH40VBAB	35	84	4/10 TONS	4/900	208/3/60	147.9	150	85"X60"X88"/2300LBS	REFER TO [REMOVED]
CHL 2	CHILLED WATER	ROOF	ACHH40VBAB	35	84	4/10 TONS	4/900	208/3/60	147.9	150	85"X60"X88"/2300LBS	REFER TO [REMOVED]

NOTES:

- AS MANUFACTURED BY "LG"
- DESIGN CONDITIONS BASED ON OUTDOOR AMBIENT TEMPERATURE 95°F COOLING, 44°F LWT AND 54°F EWT
- REFRIGERANT USED SHALL BE R-410a.
- INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- E.E.R. = 10.82, NPLV = 19.40
- BASED ON ARI STANDARD 370, MAXIMUM 87 dBA SOUND POWER LEVEL, MAXIMUM 55 dBA SOUND PRESSURE LEVEL @ 30FT.
- ALL COMPRESSORS SHALL BE INVERTER TYPE.
- PROVIDE LG MULTISTE EDGE 10 CONTROLLERS MODEL PBASE10 WITH ENCLOSURE PANEL AND SOFTWARE FOR INTERFACE WITH ATC SUB-CONTRACTOR. EACH CONTROLLER CONTROLS TWO (2) CHILLER MODULES.
- PROVIDE START-UP SERVICE AND COMMISSIONING BY FACTORY CERTIFIED TECHNICIAN.
- PROVIDE NEOPRENE VIBRATION ISOLATION PADS. SECURE TO NEW DUNNAGE.
- PROPYLENE GLYCOL 30%. CONTRACTOR RESPONSIBLE TO PROVIDE GLYCOL.
- BEFORE WORK BEGINS, CONTRACTOR TO DETERMINE THE EXISTING FLOW FROM EACH CHILLED WATER PUMP WITH ALL CONTROL VALVES FULLY OPEN. AT CONCLUSION OF PROJECT, CONTRACTOR SHALL BALANCE SYSTEM TO MAINTAIN THOSE FLOW RATES AT SIMILAR CONDITIONS (NUMBER OF PUMPS OPERATING, VALVE POSITIONS, ETC.)



NOTE: ALL EXISTING DESIGN ARRANGEMENTS AND PLANS SUBMITTED OR REPRESENTED BY THE DRAWING ARE OWNED BY AND ARE THE PROPERTY OF WATER GARDEN DESIGN AND ARCHITECTS PC (WAD) AND ARE CREATED FOR USE ON THIS PROJECT. NONE OF SAID IDEAS, DESIGN ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF WAD.

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CONTRACTOR SHALL MAINTAIN THOSE FLOW RATES AT SIMILAR CONDITIONS (NUMBER OF PUMPS OPERATING, VALVE POSITIONS, ETC.)

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1	03/17/2023	CONSTRUCTION DOCUMENTS

Sheet Title: **LEGEND, NOTES, SCHEDULE, DETAILS & PART ROOF PLANS**

Job No.: 2023-1002 Date: 04/17/2023

Scale: AS NOTED Drawn / Checked: BGA / BGA

Sheet Number: **H201**

DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520

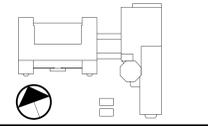


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285 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P914.666.5900 KG0ARCHITECTS.COM

NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-5-004-008

BARILE GALLAGHER & ASSOCIATES
CONSULTING ENGINEERS
39 BARBARA AVE. BELLEVILLE, NJ 07003
914.238.8988 GENERAL@BGA-ENG.COM WWW.BGA-ENG.COM

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ELECTRICAL LEGENDS, NOTES, AND ABBREVIATIONS

Job No. 2023-1002 Date 04/17/2023
Scale AS NOTED Drawn / Checked BGA / BGA

Sheet Number **E001**

LEGEND

	HOMERUN TO DESIGNATED PANEL, ARROWHEAD INDICATES SINGLE POLE CIRCUIT. HOMERUN SHALL CONSIST OF 2#12-3/4" U.O.N.
	HOMERUN TO DESIGNATED PANEL, NUMBERS IN PARENTHESIS INDICATE MULTIPLE CIRCUIT, I.E. 3-HOTS AND 1-GROUND U.O.N.
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	NEW
	20A FLUSH WALL MOUNTED GROUND FAULT INTERRUPTING TYPE DUPLEX RECEPTACLE HUBBELL #GF3362.
	SURFACE MOUNTED EXISTING ELECTRICAL PANELBOARD.
	HEAVY DUTY TYPE DISCONNECT SWITCH WITH FINAL FLEXIBLE EQUIPMENT CONNECTION. 240 INDICATES VOLTAGE, 3 INDICATES NO. OF POLES, 60 INDICATES AMPERE RATING, NF INDICATES NON-FUSED (OR FUSE SIZE) U.O.N. REFER TO SPECIFICATION AND DRAWINGS FOR ENCLOSURE. WP* WHERE USED INDICATES WEATHERPROOF ENCLOSURE (NEMA 3R).
	MOTOR (F.B.O. WIRED BY ELEC.) - NUMBER INDICATES HORSEPOWER. REFER TO PANEL SCHEDULES FOR WIRING AND OVER CURRENT PROTECTION.
	TAG SYMBOL. NUMERAL DENOTES REFERENCE TO A WORK NOTE.
MECHANICAL EQUIPMENT IDENTIFICATION:	
	EQUIPMENT ABBREVIATION (FE, SF, HW, ETC. SEE ABBREVIATIONS ON THIS DWG.)
	EQUIPMENT NUMBER
DETAIL/PART PLAN NUMBER IDENTIFICATION:	
	DETAIL/PART PLAN NUMBER
	DRAWING NUMBER

ABBREVIATIONS

ABBV.	DESCRIPTION
A	AMP/AMPERE
AWG	AMERICAN WIRE GAUGE
C	CONDUIT
C.B.	CIRCUIT BREAKER
CHL	CHILLER
CKT	CIRCUIT
(E)	EXISTING TO REMAIN
E.C.	ELECTRICAL CONTRACTOR
EXIST	EXISTING
G,GRD	GROUND
GFI	GROUND FAULT INTERRUPTER
HVAC	HEATING, VENTILATING AND AIR-CONDITIONING UNIT
KVA	KILOVOLT AMPERE
MCB	MAIN CIRCUIT BREAKER
MDP	MAIN DISTRIBUTION PANEL
NTS	NOT TO SCALE
PNL	PANEL
(R)	REMOVE EXISTING
RECP/T	RECEPTACLE
W	WATT
WP	WEATHERPROOF

GENERAL REMOVAL NOTES

- BEFORE COMMENCING WORK, EXAMINE ALL ADJOINING AREAS THAT MAY BE AFFECTED BY REMOVAL. REPORT TO THE GENERAL CONTRACTOR ANY CONDITION THAT PREVENTS PERFORMANCE OF THE WORK.
- BECOME THOROUGHLY FAMILIAR WITH EXISTING CONDITIONS WHERE CONNECTIONS MUST BE MADE, CHANGED OR ALTERED. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREINAFTER AND NO CONSIDERATION WILL BE GRANTED BY REASON OF FAMILIARITY ON THE PART OF THE CONTRACTOR WITH ACTUAL PHYSICAL CONDITIONS AT THE SITE. INSPECT EACH AND EVERY AREA AFFECTED BY THE ALTERATION OF THE SPACE BEFORE SUBMITTAL OF BID.
- ALL ELECTRICAL EQUIPMENT IN THE AREA OF WORK IS EXISTING TO BE REMOVED UNLESS OTHERWISE NOTED. THIS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - DISTRIBUTION BOARDS AND PANELBOARDS.
 - CIRCUIT BREAKERS AND DISCONNECT SWITCHES.
- ALL CONDUCTORS AND CONDUIT ASSOCIATED WITH REMOVED ELECTRICAL EQUIPMENT SHALL BE REMOVED COMPLETELY BACK TO ITS SOURCE OF POWER AND DISCONNECTED.
- ALL POWER CONDUCTORS, CONTROL WIRING AND CONDUIT ASSOCIATED WITH MECHANICAL EQUIPMENT SUCH AS FANS, AIR CONDITIONING UNITS, PUMPS, ETC. DESIGNATED FOR REMOVAL ON THE HVAC AND PLUMBING REMOVAL DRAWINGS SHALL BE REMOVED CLEAR BACK TO THE SOURCE OF POWER AND DISCONNECTED. ALL MOTOR STARTERS, DISCONNECT SWITCHES, CONTROL DEVICES, ETC. SHALL BE REMOVED. REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- CIRCUIT BREAKERS AND/OR SWITCHES IN PANELBOARD(S) OR DISTRIBUTION BOARD(S) MADE SPARE DUE TO REMOVAL SHALL BE DESIGNATED AS SUCH ON THE PANEL SCHEDULE.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO TRACE AND RELOCATE ALL EXISTING FEEDERS AND BRANCH CIRCUIT WIRING WHICH PASSES THROUGH THE REMOVAL AREA THAT SERVE EXISTING OCCUPIED SPACES TO REMAIN. COORDINATE WITH BUILDING MANAGER PRIOR TO ANY SHUTDOWNS OR DISRUPTIONS THAT MAY BE REQUIRED TO ACCOMPLISH THIS WORK.
- DISPOSE OF ALL REMOVED EQUIPMENT, WHICH IS NOT INTENDED TO BE REUSED. PRIOR TO DISPOSAL, CONTACT BUILDING MANAGER TO DETERMINE IF ANY REMOVED EQUIPMENT IS DESIRED FOR STOCK.
- EXISTING CIRCUIT BREAKERS IN PANEL(S) ARE TO BE RE-USED. ELECTRICAL CONTRACTOR TO DISCONNECT PANEL AND CIRCUIT BREAKERS WITH GREAT CARE TO ENSURE AGAINST DAMAGE. THIS CONTRACTOR SHALL PROVIDE NEW CIRCUIT BREAKERS AS REQUIRED. ALL NEW CIRCUIT BREAKERS INSTALLED INTO EXISTING PANELBOARDS SHALL BE UL LISTED FOR USE IN THE PANEL.
- EXISTING EQUIPMENT DESIGNATED FOR REUSE SHALL BE CLEANED, REFURBISHED AND RESTORED TO OPTIMUM PERFORMANCE. THIS SHALL INCLUDE BUT NOT LIMITED TO CLEANING OF LIGHT FIXTURES, REPLACEMENT OF INCANDESCENT BALLASTS AND LAMPS, RESISTANCE TESTING OF BRANCH CIRCUITRY AND FEEDERS, ETC.
- EXTEND EXISTING CIRCUITRY TO THOSE DEVICES THAT ARE TO BE RELOCATED. MATCH EXISTING TYPE AND SIZE. RELOCATION OF EXISTING EQUIPMENT SHALL BE PERFORMED ONLY UPON OWNERS ACCEPTANCE OF EXISTING EQUIPMENT.
- EXTEND EXISTING CIRCUITS SERVING EQUIPMENT TO REMAIN FROM PANELS THAT ARE TO BE REMOVED TO NEW PANELS OR EXISTING PANELS THAT ARE TO REMAIN.

GENERAL NOTES

- DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK. CONTRACTOR SHALL FURNISH ALL NECESSARY OUTLETS, SUPPORTS, FITTINGS AND ACCESSORIES TO FULFILL APPLICABLE CODES, REGULATIONS, BUILDING STANDARDS AND THE BEST PRACTICES OF THE TRADE FOR FIRST CLASS ELECTRICAL INSTALLATION.
- THE DRAWINGS INDICATE SIZE AND GENERAL LOCATION OF WORK. SCALED DIMENSIONS SHALL NOT BE USED. THE EXACT LOCATION AND ELEVATION OF ALL ELECTRICAL EQUIPMENT SHALL BE COORDINATED IN FIELD WITH RESPECTIVE CONTRACTOR/OWNER.
- WHERE PANELBOARDS, SWITCHES, CIRCUIT BREAKERS, ETC. ARE EXISTING AND TO BE REUSED THE CONTRACTOR SHALL CLEAN AND REFURBISH THE EQUIPMENT. THIS SHALL INCLUDE TIGHTENING ALL CONNECTIONS, REPLACING DEFECTIVE MECHANISMS AND PROVIDING ALL REQUIRED AND NECESSARY MISCELLANEOUS COMPONENTS SO THAT THE EQUIPMENT SHALL BE IN PERFECT WORKING ORDER.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO SUBMISSION OF BID TO DETERMINE WHAT WORK MUST BE PERFORMED AFTER NORMAL BUSINESS HOURS. UNLESS OTHERWISE DIRECTED ANY NOISY WORK (CHOPPING, CORE DRILLING, HAMMERING, ETC.) AND BUILDING POWER INTERRUPTIONS SHALL BE PERFORMED OUTSIDE OF NORMAL BUSINESS HOURS. CONFIRM NORMAL BUSINESS HOURS WITH BUILDING OWNER. NO ADDITIONAL COST WILL BE CHARGED TO OWNER FOR WORK PERFORMED OUTSIDE NORMAL BUSINESS HOURS.
- ALL WORK WHERE SHOWN WITH DARK/SOLID LINES ON THE DRAWINGS IS NEW UNLESS OTHERWISE NOTED. WHERE SHOWN WITH DASHED LINES WITH LETTER (E) IS EXISTING TO REMAIN, WITH LETTER (R) IS EXISTING TO BE REMOVED, WITH LETTER (ER) IS EXISTING RELOCATED, WITH LETTER (RN) IS EXISTING TO BE REPLACED WITH NEW AND WITH LETTER (RR) IS EXISTING TO BE REMOVED AND RELOCATED.
- CIRCUIT NUMBERS TO EXISTING PANELS ARE SHOWN FOR INTENT ONLY. ACTUAL CIRCUIT NUMBERS TO BE USED SHALL BE AS PER FIELD CONDITIONS BY UTILIZING SPARE CIRCUITS, BREAKERS OR SPACES IN EXISTING PANEL. SIZE AS INDICATED ON THE PLANS. THE ELECTRICAL CONTRACTOR SHALL BALANCE LOAD OF CIRCUITS EVENLY ON ALL PHASES.
- FEEDERS AND BRANCH CIRCUITRY SHALL BE RUN IN MINIMUM 3/4" CONDUIT UNLESS OTHERWISE NOTED. FINAL CONNECTIONS TO MOTORS MAY BE MADE WITH FLEXIBLE METALLIC CONDUIT (NO LONGER THAN 18"), IN UNFINISHED AREAS CONDUIT SHALL BE RUN EXPOSED AND IN FINISHED AREAS CONDUIT SHALL BE RUN CONCEALED.
- PROVIDE PANEL NAME PLATE MADE OF BLACK LAMINATED PLASTIC WITH WHITE ENGRAVED LETTERING AND TYPE WRITTEN DIRECTORY FOR ALL NEW AND EXISTING PANELS BEING USED FOR THIS PROJECT.
- ALL CONDUCTORS SHALL BE COPPER, TYPE THHN/THWN INSULATED. ALL CONDUCTORS SHALL HAVE 600 VOLT RATED INSULATION UNLESS OTHERWISE NOTED.
- THE USE OF FLEXIBLE CONDUIT FROM LIGHTING FIXTURES TO JUNCTION BOX IS PERMITTED ONLY WHEN A SEPARATE GROUND WIRE IS INSTALLED WITH THE CONDUCTORS INSIDE FLEXIBLE CONDUIT. THE GROUND WIRE MUST BOND THE FIXTURE HOUSING TO THE JUNCTION BOX. MAXIMUM LENGTH 6'-0".
- EXACT LOCATION AND MOUNTING HEIGHTS OF ALL DEVICES SHALL BE COORDINATED WITH THE ARCHITECT PRIOR TO THE INSTALLATION.
- WALL MOUNTED EQUIPMENT (SWITCHES, RECEPTACLES, ETC.) SHALL BE SURFACE MOUNTED IN UNFINISHED AREAS AND ON EXISTING CONCRETE BLOCK WALLS AND FLUSH MOUNTED IN NEW WALLS/PARTITIONS.
- CONDUIT RUNS SHALL BE PARALLEL WITH OR AT RIGHT ANGLES TO WALLS AND CEILINGS. CONDUIT SHALL BE SUPPORTED BY APPROVED MEANS. SUPPORTS FOR HORIZONTAL RUNS OF CONDUIT SHALL NOT EXCEED SEVEN FEET ON CENTERS.
- PROVIDE PULL BOXES, JUNCTION BOXES, CONDUIT ELBOWS AND OFFSETS TO SUIT FIELD CONDITIONS AND THE NATIONAL ELECTRICAL CODE.
- ALL EMPTY CONDUIT SHALL BE PROVIDED WITH A DRAGWIRE.
- THE MINIMUM WIRE SIZE FOR 120 VOLT BRANCH CIRCUITS SHALL BE NO. 12 AWG, EXCEPT OVER 100' IN LENGTH SHALL BE NO. 10 AWG.
- PROVIDE ALL REQUIRED AND NECESSARY ACCESSORIES (EX. CONNECTORS, ADAPTERS, BUSHINGS, CLAMPS, ETC.) TO FACILITATE COMPLETE INSTALLATION.
- COORDINATE LOCATION OF ALL MECHANICAL EQUIPMENT WITH HVAC CONTRACTOR IN FIELD. FUSES FOR ALL MOTOR LOADS SHALL BE DUAL ELEMENT TIME DELAY TYPE.
- ALL JUNCTION OR OUTLET BOXES SHALL BE INSTALLED SO AS TO ALLOW ACCESS TO COVER. PROVIDE ARCHITECT APPROVED ACCESS DOORS OR PLATES AS REQUIRED IN AREAS WHERE UNOBSTRUCTED ACCESS TO BOX OR OUTLET IS NOT POSSIBLE.
- PRIOR TO ANY CHASING, CHOPPING OR CORE DRILLING BEING PERFORMED, THE CONTRACTOR SHALL FIELD INVESTIGATE CONDITIONS AND COORDINATE ALL WORK TO ENSURE THAT IT WILL BE IN HARMONY AND NOT AFFECT ANY EXISTING BUILDING SYSTEMS. THIS WORK MUST BE APPROVED BY BUILDING OWNER PRIOR TO PROCEEDING.
- OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE RESISTANCE RATED WALLS, PARTITIONS, FLOORS OR CEILINGS SHALL BE FIRE STOPPED USING APPROVED METHODS. ALL SLEEVES MUST HAVE BUSHINGS. SEALANT SHALL BE 3 HOUR FIRE BARRIER #GP-25 (NO LESS THAN 3" THICK BACKED UP WITH MINERAL WOOL).
- ALL PANELBOARD COVERS SHALL BE INSTALLED IN PLACE AT THE COMPLETION OF EACH DAYS WORK.
- PREPARE 'AS-BUILT' DRAWINGS THAT REFLECT ACTUAL CONSTRUCTION AND SHOW DEVIATIONS FROM DESIGN DRAWINGS.
- ALL NEW CIRCUIT BREAKERS INSTALLED INTO EXISTING PANELBOARDS SHALL BE UL LISTED FOR USE IN THE PANEL.

DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520

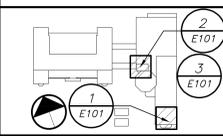
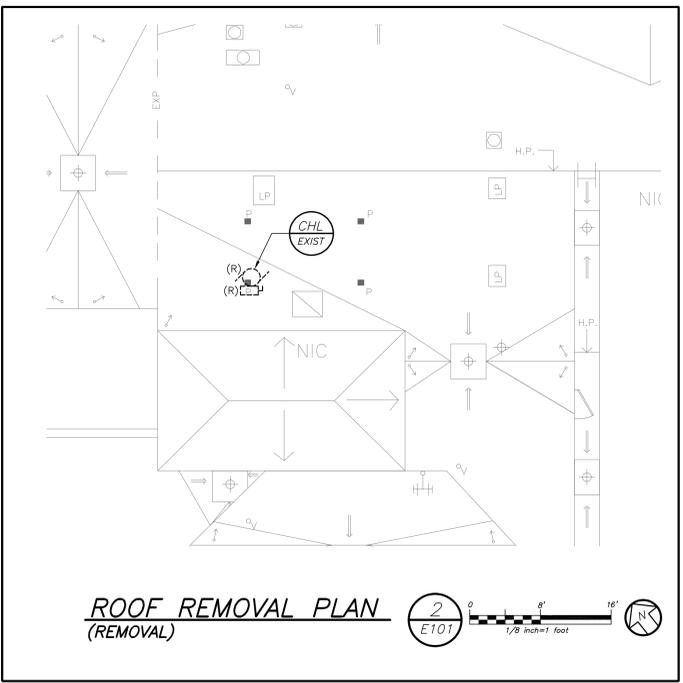
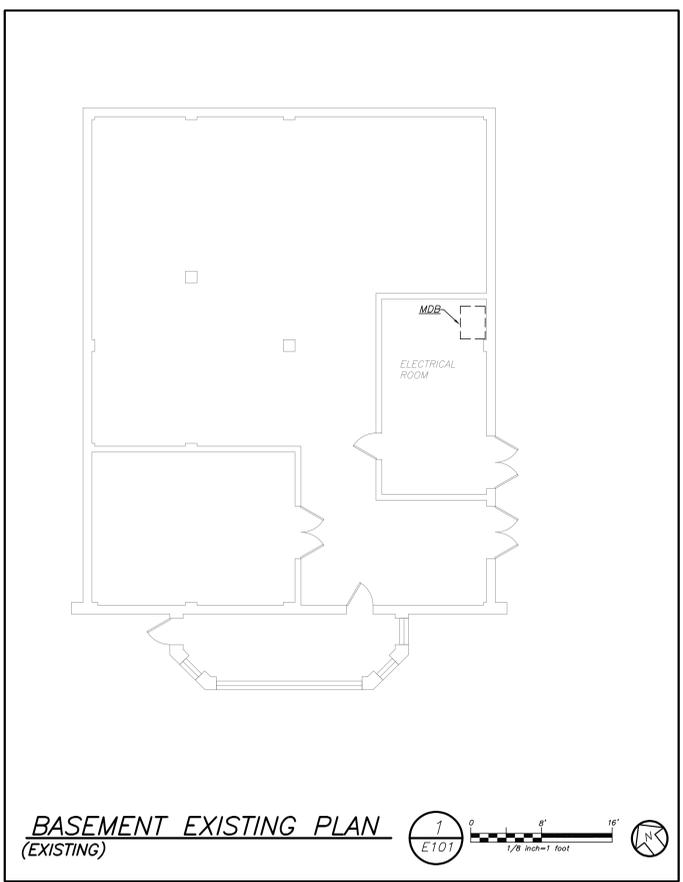
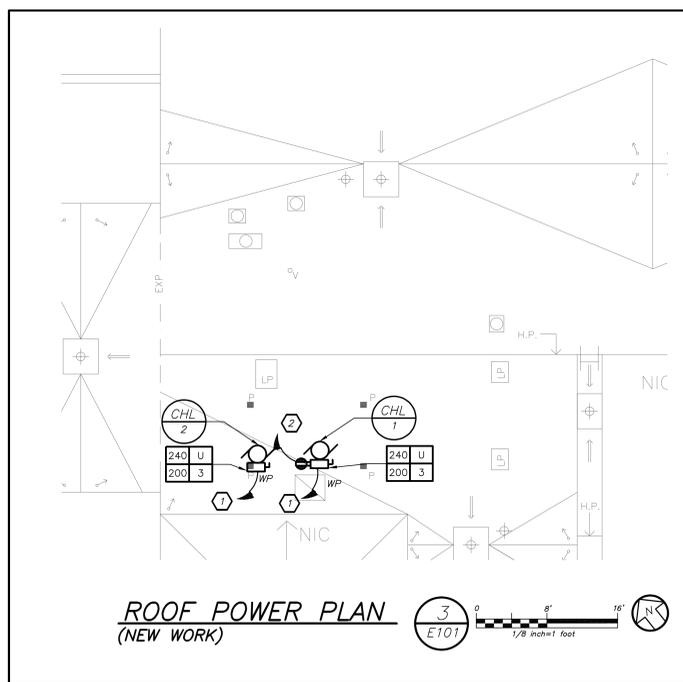


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P:914.666.5900 KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.
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MIDDLE SCHOOL 66-02-02-03-0-002-029
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BARILE GALLAGHER & ASSOCIATES
CONSULTING ENGINEERS
39 BARBARA AVE. BELMONTVILLE, NY 10510
914.236.8888 GENERAL@BGA-ENG.COM WWW.BGA-ENG.COM

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- GENERAL NOTES:**
- ALL DISCONNECTS AND STARTERS SHALL BE REMOVED, REMOVE ALL BRANCH CIRCUITRY AND CONDUIT SHALL BE REMOVED BACK TO SOURCE.
- WORK NOTES:**
- PROVIDE 3#1/0+1#6G IN 2" CONDUIT TO MDB IN THE MAIN ELECTRICAL ROOM. PROVIDE 3P-150 AMP BREAKER AT DISTRIBUTION BOARD.
 - PROVIDE 2#12+1#12G IN 3/4" C TO PANEL LP LOCATED BELOW CHILLER IN 2ND FLOOR HALLWAY.

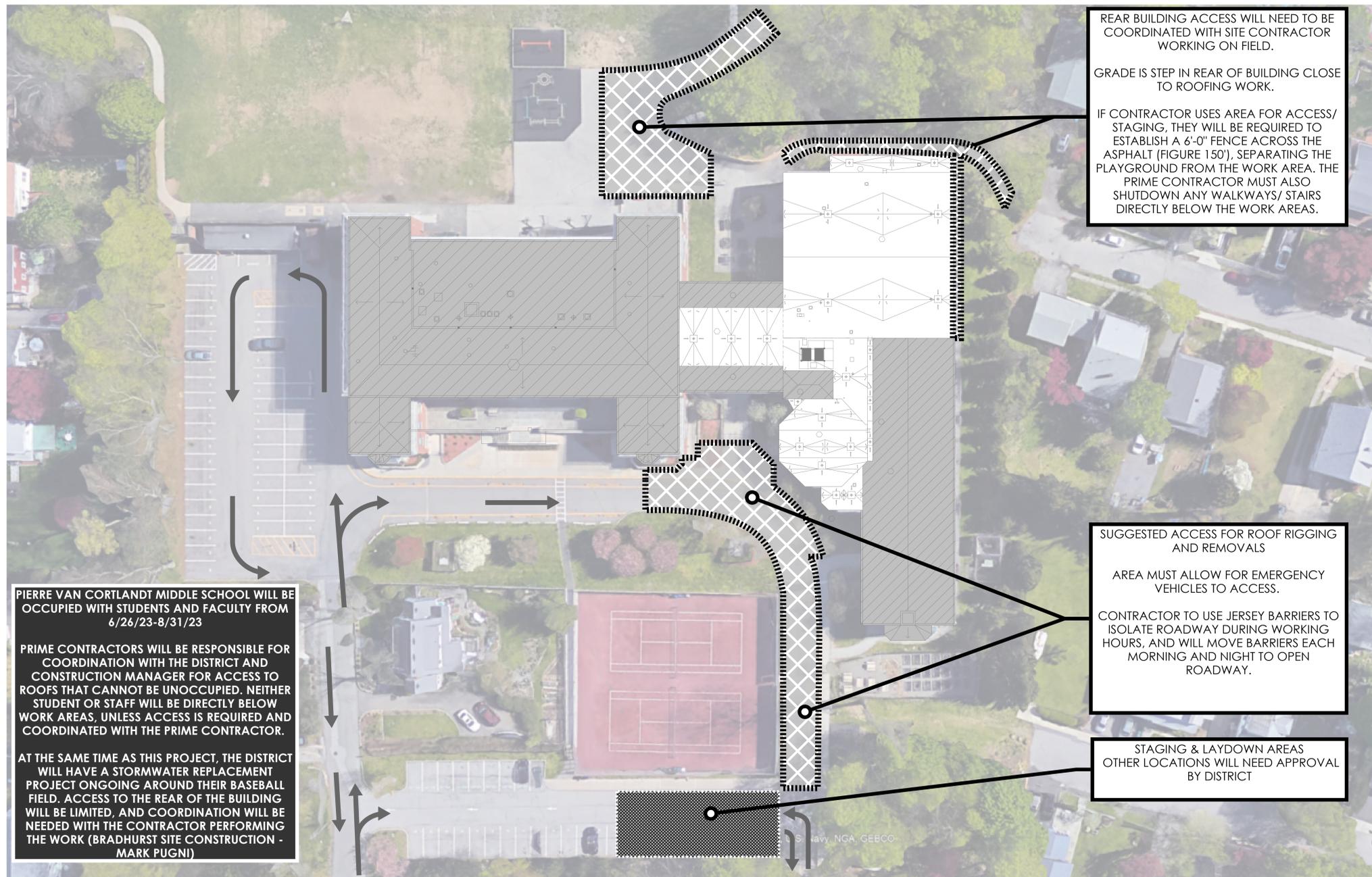
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No.	Date	Issue
1	04/20/2023	ISSUED FOR BID
1	03/17/2023	CONSTRUCTION DOCUMENTS

ROOF ELECTRICAL REMOVALS AND NEW POWER PLAN

Job No. 2023-1002 Date 04/17/2023
Scale AS NOTED Drawn / Checked BGA / BGA

Sheet Number **E101**



GENERAL LOGISTICS NOTES

1. ROOFING CONSTRUCTION TRADE PRIME CONTRACTOR IS TO PROVIDE 6'-0" TALL CONSTRUCTION FENCE W/ PRIVACY SCREEN AROUND ALL STORED MATERIAL AND ACTIVE WORK AREAS WHERE WORK IS BEING PERFORMED OVERHEAD OR AT GROUND LEVEL.
 2. ALL PRIME CONTRACTORS TO UTILIZE THE STAGING LOCATION, PROVIDED BY THE ROOFING CONTRACTOR. EACH PRIME CONTRACTOR SHALL COORDINATE MATERIAL AND EQUIPMENT WITHIN STAGING LOCATIONS, WITH THE OTHER PRIME CONTRACTORS AND CM.
 3. MATERIAL WILL NOT BE PERMITTED TO BE STORED OUTSIDE FENCED-IN AREAS OR IN AREAS NOT DESIGNATED BY THE CONSTRUCTION MANAGER/OWNER. MATERIAL STORAGE ON THE INTERIOR OF THE BUILDING THAT IS NOT USED WITHIN 72HRS. WILL NOT BE PERMITTED.
 4. ALL CRANES PICKS SHOULD BE SCHEDULED TO TAKE PLACE DURING THE SUMMER MONTHS, OR DURING AFTER-HOURS. THE PRIME CONTRACTOR PERFORMING THE CRANE PICK ASSUMES ALL RESPONSIBILITY FOR RESTORATION OF THE LANDSCAPE/HARDSCAPE THROUGH APPROVAL BY THE ARCHITECT/CIVIL ENGINEER/CM.
- CRANE PICKS THAT REQUIRE UTILIZING THE VILLAGE/TOWN/CITY/STATE ROAD WILL REQUIRE THE CONTRACTOR TO FILE ANY PERMITS NEEDED TO SHUTDOWN THE ROAD/LANES FOR THEIR CRANE OPERATIONS. ANY COST ASSOCIATED WITH THE PERMITTING PROCESS OR FINES INCURRED AS A RESULT OF NOT FILING THE CORRECT PERMITS, WILL BE THE RESPONSIBILITY OF THAT CONTRACTOR PERFORMING THE CRANE PICK.
- CRANE PICKS, BOOM LIFTS OR ANY OVERHEAD MATERIAL TRANSPORTATION WILL NOT BE ALLOWED WITHIN 20' OF AN OCCUPIED SPACE. THE PRIME CONTRACTOR PERFORMING THE CRANE PICK/BOOMING, WILL BE REQUIRED TO SUBMIT A CRANE/BOOM LOGISTICS PLAN SHOWING THE WORKING RADIUS OF THE EQUIPMENT AWAY FROM OCCUPIED SPACES.
- 5. THE ROOFING PRIME CONTRACTOR PROVIDING THE STAGING LOCATION IS RESPONSIBLE TO REPAIR THE GRADE, GRASS, SHRUBBERY, AND HARDSCAPES (ASPHALT/CONCRETE) AFTER REMOVAL OF FENCING AND MATERIAL FROM WITHIN THE STAGING LOCATION. THIS INCLUDES ANY REPAIRS AS A RESULT OF THEIR EQUIPMENT AND ACTIVITIES AROUND THE BUILDING AS A RESULT OF THEIR WORK. DAMAGE TO THE LANDSCAPE/HARDSCAPE AS A RESULT OF ANOTHER PRIME CONTRACTOR, OUTSIDE OF THE STAGING AREA, WILL BE THE RESPONSIBILITY OF THAT CONTRACTOR TO REPAIR.

THIS INCLUDES RESTORING ANY TEMPORARY LOGISTICS FOR EGRESS, SUCH AS WALKWAYS, ASPHALT RAMPS, ETC...

- 6. DELIVERIES ARE TO BE COORDINATED WITH THE CM AND OWNER TO AVOID INTERFERENCE WITH SCHOOL ACTIVITIES.
- 7. DUMPSTERS AND REFUSE CONTAINERS, PROVIDED BY THE ROOFING PRIME CONTRACTOR ARE FOR USE BY ALL PRIME CONTRACTORS, AND ARE PERMITTED WITHIN STAGING AREAS. IF DUMPSTERS ARE NEEDED OUTSIDE OF STAGING AREAS, THEY WILL NEED TO BE SECURED AND SURROUNDED BY ADDITIONAL FENCING, LOCKED WITH PRIVACY MESH AND SIGNAGE - APPROVED BY THE CM AND THE OWNER.
- 8. EACH PRIME CONTRACTOR IS REQUIRED TO COORDINATE WITH THE CONSTRUCTION MANAGER AND ANY OTHER TRADE- THEIR OWN WORK, IN WHICH THEY MAY IMPACT OTHER TRADES OR THE OWNER AND ITS PROPERTY.
- 9. THE ROOFING CONSTRUCTION PRIME CONTRACTOR IS TO PROVIDE AND MAINTAIN PERIODICALLY ALL TEMPORARY CONSTRUCTION SIGNAGE AS SHOWN ON THE LOGISTICS PLANS AND PER NYS, OSHA AND LOCAL/FEDERAL GOVERNMENT REGULATION.

THIS INCLUDES BUT IS NOT LIMITED TO:

 - JOBSITE RULES SIGN (3'-4" X 2'-3") SECURED TO SITE FENCE AT EACH ENTRANCE OF THE STAGING AREA (4 MINIMUM - 1 AT EACH LOCATION)
 - PERSONAL PROTECTIVE EQUIPMENT/ HARD HATS REQUIRED/ SIGNAGE AT 20' INTERVALS ON ENTIRE PERIMETER OF SITE FENCE.
 - "NOTICE - PREVENT SPREAD OF CORONAVIRUS, SANITIZE/WASH YOUR HANDS FREQUENTLY", "WEAR FACE MASK WHILE MAINTAINING SOCIAL DISTANCING"- 10. EACH PRIME CONTRACTOR WILL BE REQUIRED TO SCHEDULE DELIVERIES WITH THE CONSTRUCTION MANAGER AND THE DISTRICT. THE DISTRICT AND/OR THE CONSTRUCTION MANAGER HOLD THE RIGHT TO REJECT DELIVERIES IF NOT SCHEDULED WITH THE CONSTRUCTION MANAGER OR DISTRICT WITH 72 HOURS OF THE DELIVERY.
- 11. EACH PRIME CONTRACTOR IS REQUIRED TO PROVIDE A (2X) DEDICATED FLAGMEN WHEN ACCEPTING DELIVERIES WITHIN/FROM THE STREET TO THE DEDICATED STAGING AREA. THE SITE AND SURROUNDING AREA MAY BE ACTIVE WITH STUDENTS AND FACULTY, REQUIRING THE UTMOST PROTECTION AND SAFETY.
- 12. PARKING FOR CONSTRUCTION PERSONNEL WILL BE ALLOWED ON SITE IN EXISTING PARKING SPACES DURING SUMMER CONSTRUCTION. ANY PARKING BEFORE OR AFTER THE SUMMER, CONTRACTOR'S WILL BE REQUIRED TO PARK OFF-SITE, AT NO ADDITIONAL COST TO THE OWNER.
- 13. WORKERS ARE REQUIRED TO WEAR ID BADGES, HIGH VISIBILITY VESTS, HARD HATS AND ALL OTHER REQUIRED PPE AT ALL TIMES WHILE ON SITE. WORKERS/PERSONNEL WITHOUT THESE REQUIREMENTS WILL BE ASKED TO BE REMOVED FROM THE SITE WITH A ONE-STRIKE POLICY.
- 14. INTERACTION BETWEEN CONSTRUCTION PERSONNEL AND STAFF/STUDENTS IS NOT PERMITTED. ANY PERSONNEL FOUND INTERACTING WITH STUDENTS OR FACULTY MAY BE ESCORTED BY LAW ENFORCEMENT FROM THE SITE. THIS IS A ZERO-STRIKE POLICY.
- 15. REFERENCE DIVISION 01 OF THE SPECIFICATIONS FOR ALL OTHER LOGISTICAL REQUIREMENTS IN HAND WITH INFORMATION INCLUDED ON THE LOGISTICS PLANS.
- 16. EACH PRIME CONTRACTOR MUST IMPLEMENT AND FOLLOW ALL NYS GUIDELINES AND REGULATIONS REGARDING COVID-19, INCLUDING BUT NOT LIMITED TO HAND WASHING/SANITIZING STATIONS, DISINFECTING, SOCIAL DISTANCING, CONTACT TRACING LOGS, ETC., COVID-19 PROTOCOLS, POLICY AND PROCEDURES MUST BE DETAILED AND INCLUDED IN EACH PRIME CONTRACTOR'S SAFETY MANUAL AND LOGISTICS PLAN AND IS TO BE SUBMITTED TO THE CONSTRUCTION MANAGER WEEKLY. THIS REQUIREMENT EXTENDS TO ALL SUBCONTRACTORS OF THE PRIME CONTRACTOR.

DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520



NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-0-004-008



CONSTRUCTION DOCUMENTS

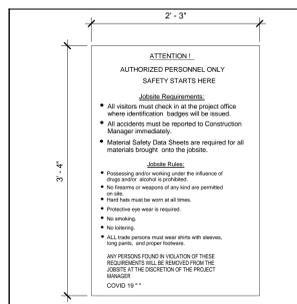
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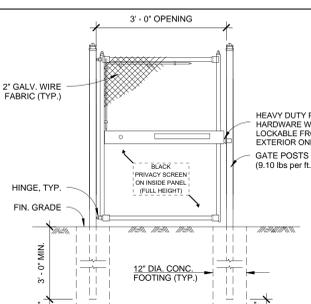
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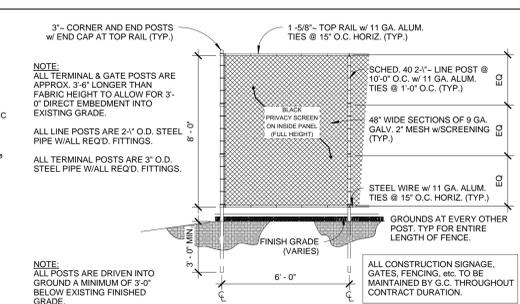
1 PVC LOG-1 PIERRE VAN CORTLANDT MIDDLE SCHOOL ROOFING PROJECT - OVERALL STAGING AND PHASING PLAN
SCALE = N.T.S.



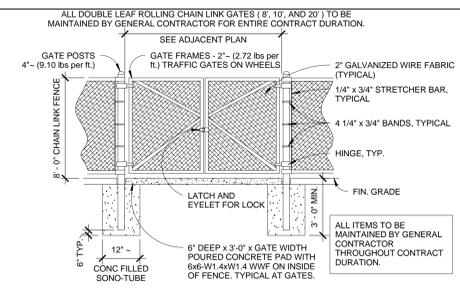
2 JOBSITE RULES SIGN DETAIL
NOT TO SCALE



3 TEMPORARY 8' SWING GATE
NOT TO SCALE



4 DETAIL @ CONSTRUCTION FENCE PANELS
NOT TO SCALE



5 DETAIL @ CONSTRUCTION GATE
NOT TO SCALE

MODIFICATION TO FENCE DETAILS 3.4.5/ GEN-SL-1:
TEMPORARY FENCE FOOTINGS MAY BE USED AS LONG AS THE STRUCTURE OF THE FENCE WITHSTANDS WINDSPEEDS IN EXCESS OF 110MPH

No.	Date	Issue
1	4/20/2023	ISSUED FOR BID

Sheet Title
PIERRE VAN CORTLANDT MS LOGISTICS

Job No.	Date
2023-1002	4/18/23

Scale	Drawn / Checked
N.T.S.	JH - TCC

Sheet Number
PVC LOG-1

DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520



385 MAIN STREET MOUNT KISCO, NEW YORK, 10549
P:914.666.5900 KGDARCHITECTS.COM

NY SED PROJECT CONTROL NO.

HIGH SCHOOL	66-02-02-03-0-001-032
MIDDLE SCHOOL	66-02-02-03-0-002-029
ELEMENTARY SCHOOL	66-02-02-03-0-003-033
NEW BUSINESS OFFICE	66-02-02-03-1-010-007
BUS GARAGE	66-02-02-03-5-004-008

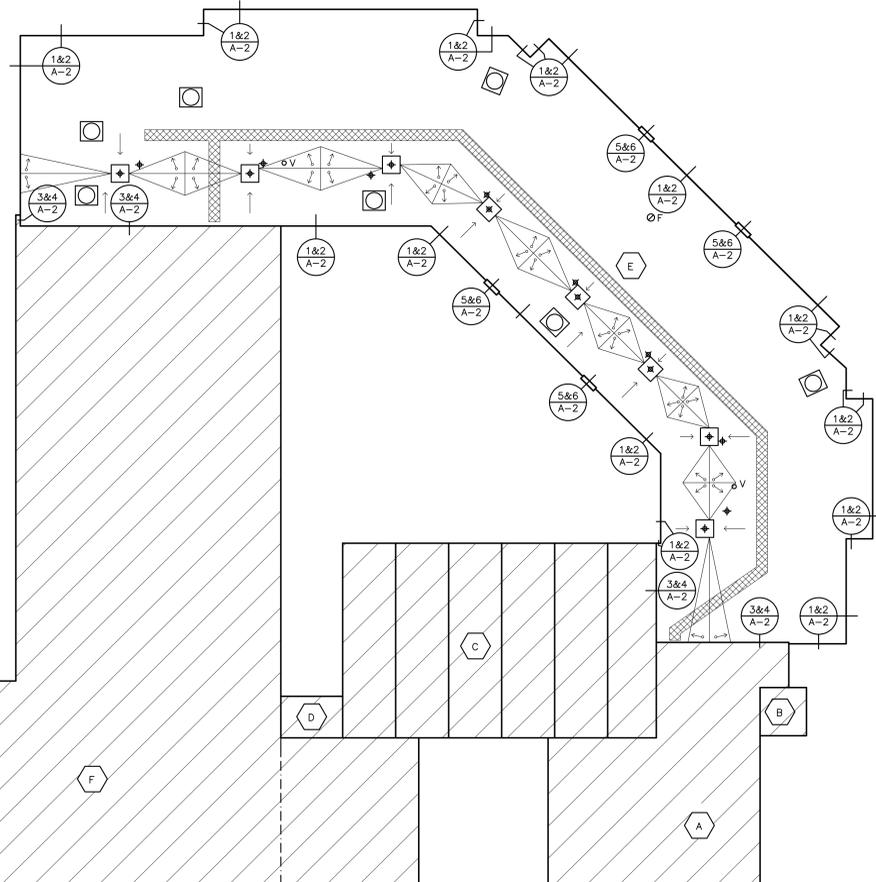
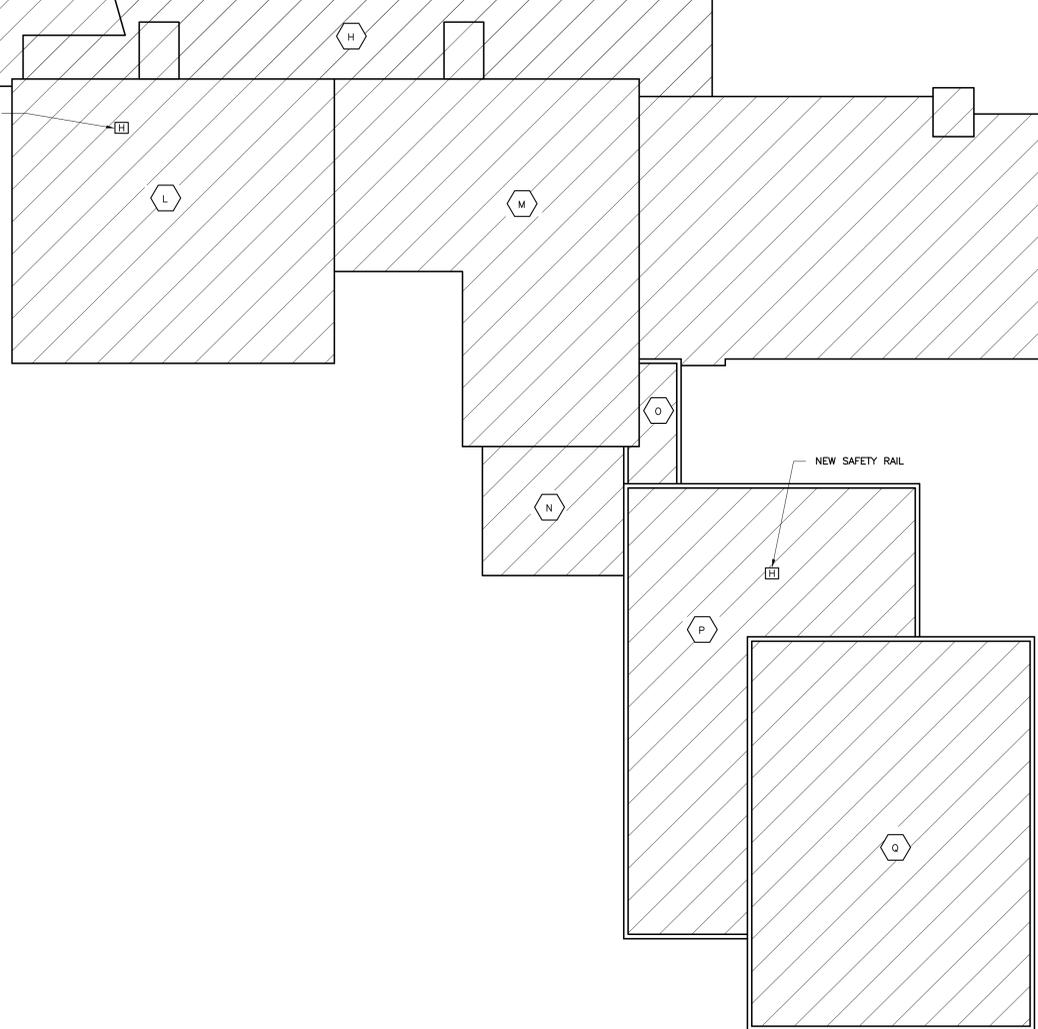
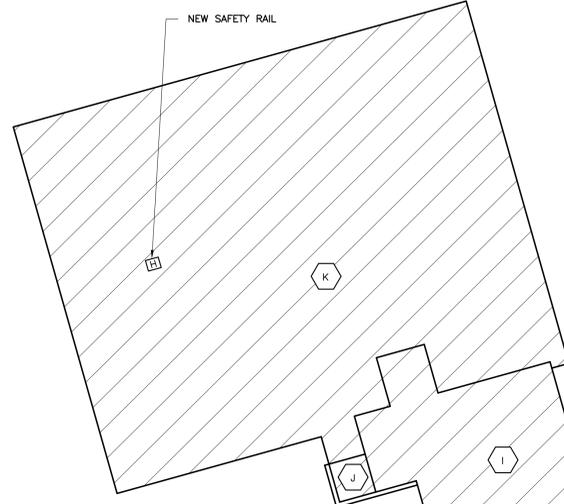
CONSTRUCTION DOCUMENTS

DECK TYPE CHART & INSULATION REQUIREMENTS

ROOF AREA	DECK TYPE	THICKNESS OF EXISTING INSULATION	STARTING THICKNESS OF NEW INSULATION	MIN. R-VALUE OF NEW & EXISTING INSULATION	AVERAGE THICKNESS OF NEW & EXISTING INSULATION	AVERAGE R-VALUE OF NEW & EXISTING INSULATION
E	METAL	3.75"	2.0"	30	5.75"	31.9

NOTES:
1. INSTALL CONTINUOUS INSULATION ABOVE THE DECK TO ACHIEVE A TOTAL MINIMUM R-VALUE OF 30, AND TO MEET THE NYS ENERGY CONSERVATION CONSTRUCTION CODE, INCLUDING THE INTERNATIONAL ENERGY CONSERVATION CODE AND THE NY STATE SUPPLEMENT, FOR A BUILDING IN CLIMATE ZONE 4.
2. INSTALL NEW 2 INCH FLAT ISOCYANURATE INSULATION OVER THE EXISTING 3.75 INCH INSULATION, UNLESS OTHERWISE NOTED. INSTALL THE ISOCYANURATE INSULATION IN MULTIPLE LAYERS. STAGGER ALL JOINTS BETWEEN LAYERS 12 INCHES.
3. INSTALL A COVER BOARD USING LOW RISE FOAM ADHESIVE OVER THE INSULATION AND CRICKETS.
4. EXISTING CRICKETS TO REMAIN.

- LEGEND:**
- ⬡ ROOF AREA DESIGNATION
 - ⊕ ROOF DRAIN (SEE DET. 7/ES-2)
 - ⊕ ROOF DRAIN (SEE DET. 7/ES-2)
 - ⊕ VENT PIPE (SEE DET. 8/ES-2)
 - ⊕ FLUE (SEE DET. 9/ES-2)
 - ⊕ EXHAUST FAN (SEE DET. 10/ES-2)
 - ⊕ ROOF HATCH (SEE DET. 11/ES-2)
 - ↘ DECK SLOPE
 - ↗ CRICKET
 - ▨ WALKWAY PADS



GENERAL NOTES:

- THESE DRAWINGS ARE SUPPLEMENTED BY DETAILED TECHNICAL SPECIFICATIONS. PERFORM THE WORK AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.
- DIMENSIONS AND CONDITIONS ON THE ROOF PLAN AND DETAILS ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR.
- ONLY CERTAIN FASTENERS ARE SHOWN ON THE DRAWINGS, REFER TO THE SPECIFICATIONS FOR ADDITIONAL FASTENER REQUIREMENTS.
- TEST EACH DRAIN LINE WITH A RUNNING HOSE FOR AT LEAST ONE HOUR PRIOR TO STARTING ANY OTHER WORK ON SITE. PROVIDE A WRITTEN REPORT OF ANY CLOGGED LINES TO THE OWNER.
 - A. CLOGGED DRAIN LINES REPORTED TO THE OWNER BEFORE WORK STARTS WILL BE CLEANED BY THE OWNER.
 - B. COVER & PROTECT ALL DRAIN OPENINGS AT THE BEGINNING OF EACH WORK DAY. REMOVE THE COVERS AT THE END OF EACH DAY AND BEFORE PRECIPITATION OCCURS.
 - C. PERFORM WHATEVER WORK IS REQUIRED SO ALL DRAIN LINES ARE CLEAN AND FREE FLOWING UPON COMPLETION OF THE PROJECT.
- REMOVE AND RESET SITE LIGHT FIXTURES, WIRES AND CONDUITS THAT INTERFERE WITH THE ROOF EAVE FLASHINGS. REPLACE COMPONENTS THAT CANNOT BE PROPERLY REINSTALLED.
- REPAIR EXHAUST EQUIPMENT HOUSINGS SO THEY ARE WATERTIGHT; REPLACE ANY MISSING PIECES.
- REMOVE EXISTING ROOF HATCH SAFETY RAILS AND INSTALL NEW RAILS.
- INSULATE THE EXISTING DRAIN LINES WHERE EXPOSED INSIDE THE BUILDING, ALL NEW DRAIN LINES, AND THE UNDERSIDES OF THE NEW DRAIN BOWLS.
- INSTALL NEW WALKWAY PADS WHERE SHOWN ON THE ROOF PLAN.

ROOF PROTECTION NOTES:

- AVOID WALKING ON NEW AND EXISTING ROOF AREAS.
- DO NOT STORE MATERIAL OR EQUIPMENT, AND DO NOT PILE DEBRIS ON NEW AND EXISTING ROOF AREAS.
- INSTALL 1 INCH THICK EXTRUDED POLYSTYRENE INSULATION OVER 6 MIL FIRE RETARDANT POLYETHYLENE, COVERED WITH 2x10 WOOD PLANKS TO PROTECT ROOFING WHERE CONSTRUCTION WORK AND TRAFFIC WILL OCCUR.
- NEATLY CUT AND POSITION ROOF PROTECTION COMPONENTS TO FIT WITHIN 1/2 INCH OF ROOF PENETRATIONS, EAVES AND CHANGE IN ELEVATION WALLS.
- DO NOT COVER THE ROOF DRAINS. MAINTAIN THE ROOF DRAIN STRAINERS VISIBLE AND CLEAR AT ALL TIMES.

CODE COMPLIANCE REQUIREMENTS:

- INSTALL NEW ROOFING TO MEET THE FOLLOWING MINIMUM REQUIREMENTS:
 - A. NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, WHICH INCLUDES BY REFERENCE THE NEW YORK STATE ENERGY CONSERVATION CODE.
 - B. UNDERWRITERS LABORATORIES INC. CLASS A EXTERNAL FIRE RATING FOR ROOF ASSEMBLIES TESTED IN ACCORDANCE WITH ASTM E 108 OR UL 790.
 - C. UNDERWRITERS LABORATORIES INC. STANDARD 1256 FOR ROOF ASSEMBLIES WITH FOAM INSULATION.
- INSTALL ROOFING TO COMPLY WITH THE WIND UPLIFT REQUIREMENTS OF THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, BASED ON THIS CRITERIA:
 - RISK CATEGORY III
 - BASIC WIND SPEED 130 MPH
 - EXPOSURE CATEGORY B
 - BUILDING HEIGHT 30 FT.
- INSTALL ROOFING AS INDICATED TO RESIST THE FOLLOWING UPLIFT LOADS, CALCULATED IN ACCORDANCE WITH ASCE 7 USING A SAFETY FACTOR OF 2:
 - FIELD ZONE: 90 PSF
 - PERIMETER ZONE: 135 PSF
 - CORNER ZONE: 150 PSF
- FABRICATE AND INSTALL ROOF PERIMETER FLASHINGS THAT COMPLY WITH THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND WITH ANSI/SPRI ES-1 "WIND STANDARD FOR EDGE SYSTEMS USED WITH LOW SLOPE ROOFING SYSTEMS", ON A BUILDING USING THE CRITERIA DESCRIBED ABOVE.
- FABRICATE AND INSTALL WOOD BLOCKING COMPONENTS TO RESIST A FORCE OF 275 POUNDS PER LINEAL FOOT APPLIED IN ANY DIRECTION.

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Professional Seal

ROOF PLAN
0' 4' 8' 16'



2	4/20/2023	BID SET
1	3/17/2023	CONSTRUCTION DOCUMENTS

CARRIE E. TOMPKINS
E.S.
ROOF PLAN

Job No.	2023-1002	Date	03/17/2023
Scale	AS NOTED	Drawn / Checked	

Sheet Number
ES-1

DISTRICT WIDE ROOFING PROJECT

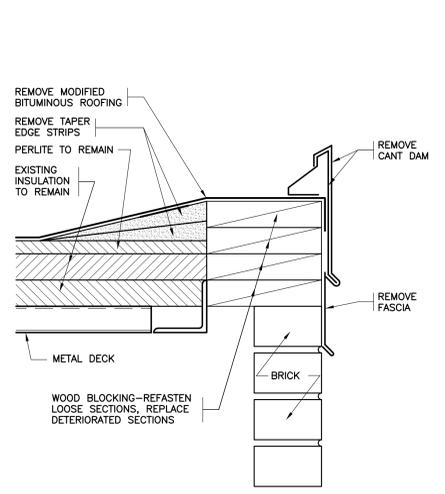
CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520



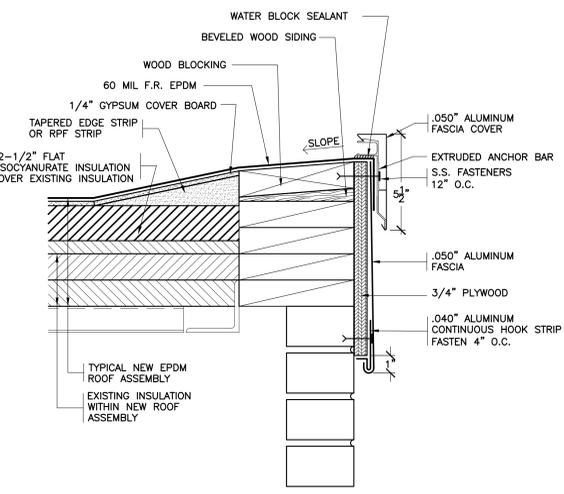
NY SED PROJECT CONTROL NO.

HIGH SCHOOL	66-02-02-03-0-001-032
MIDDLE SCHOOL	66-02-02-03-0-002-029
ELEMENTARY SCHOOL	66-02-02-03-0-003-033
NEW BUSINESS OFFICE	66-02-02-03-1-010-007
BUS GARAGE	66-02-02-03-5-004-008

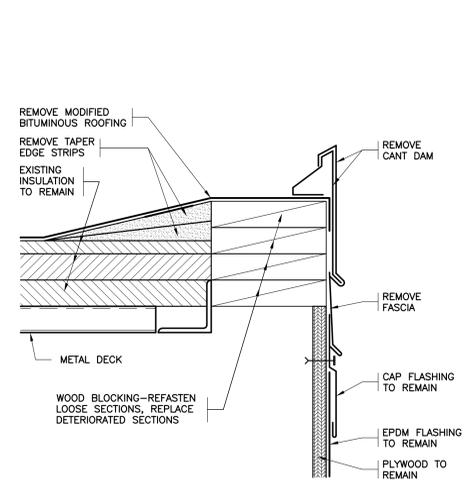
CONSTRUCTION DOCUMENTS



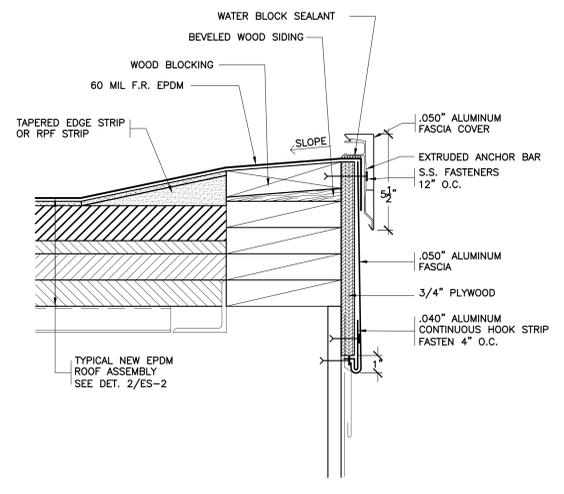
1 EXISTING EAVE
SCALE: 0" 1" 2" 4" 8"



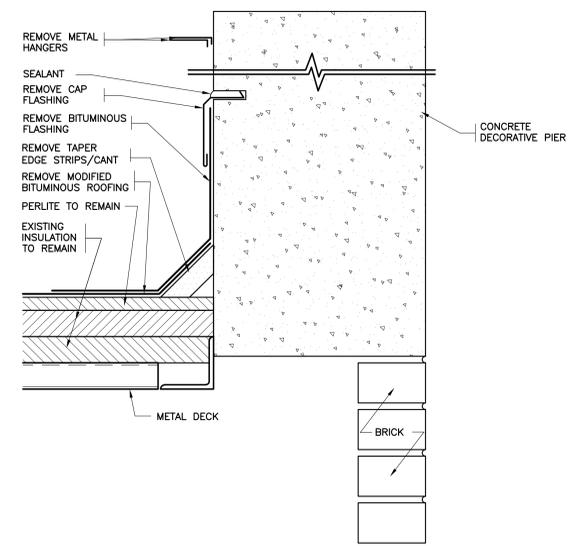
2 REVISED EAVE
SCALE: 0" 1" 2" 4" 8"



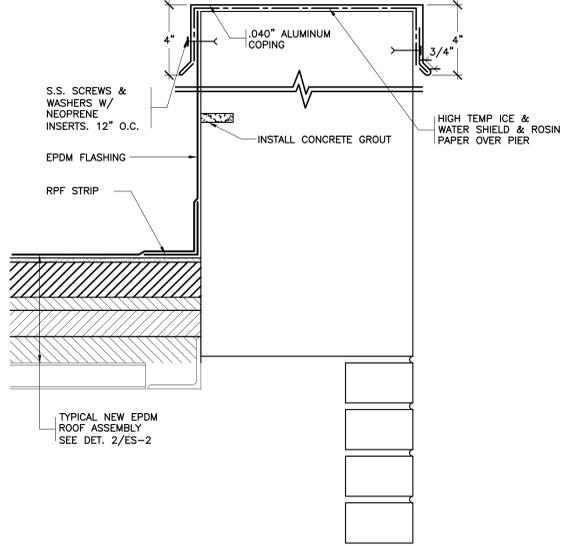
3 EXISTING EAVE TRANSITION
SCALE: 0" 1" 2" 4" 8"



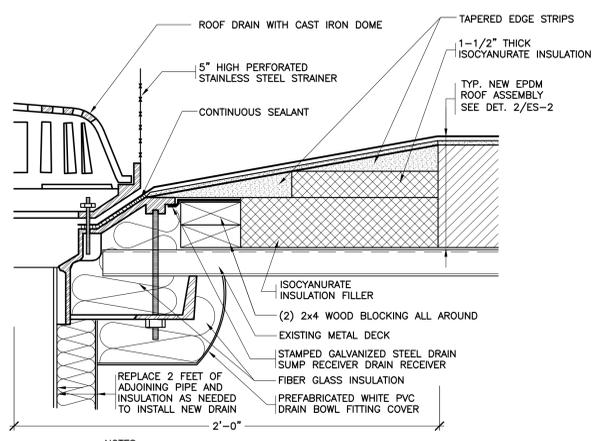
4 REVISED EAVE TRANSITION
SCALE: 0" 1" 2" 4" 8"



5 EXISTING PIER
SCALE: 0" 1" 2" 4" 8"

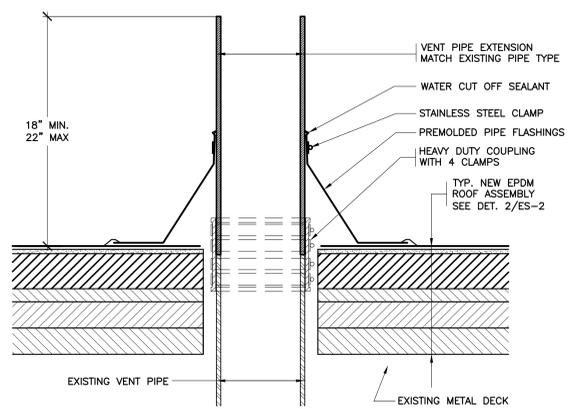


6 REVISED PIER
SCALE: 0" 1" 2" 4" 8"



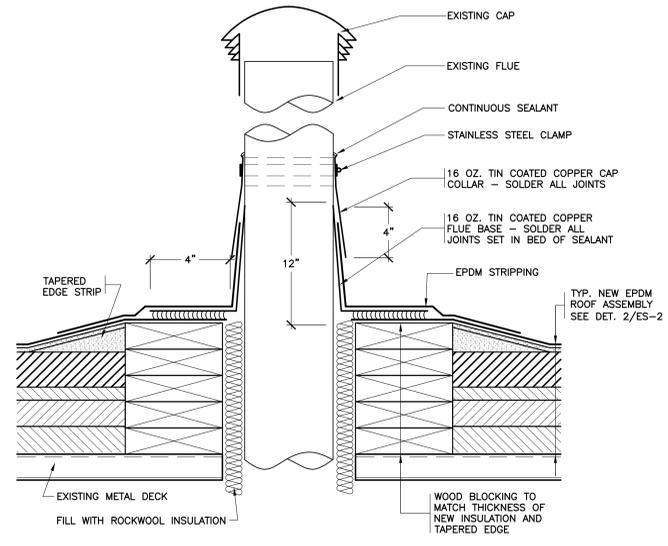
- NOTES:
1. REMOVE EXISTING ROOF DRAINS AND RELATED FLASHINGS.
 2. INSTALL TAPERED EDGE STRIPS & INSULATION FILLERS TO CREATE A MINIMUM 4 FT. x 4 FT. SQUARE SUMP AT EACH DRAIN.
 3. INSTALL INSULATION ON ALL HORIZONTAL DRAIN LINES, NEW VERTICAL DRAIN LINES AND THE UNDERSIDE OF THE NEW DRAIN BOWL.
 4. DO NOT INSTALL OVERFLOW DRAINS IN SUMPS, INSTALL FLUSH WITH ROOF SURFACE.

7 REVISED ROOF DRAIN
SCALE: 0" 1" 2" 4" 8"

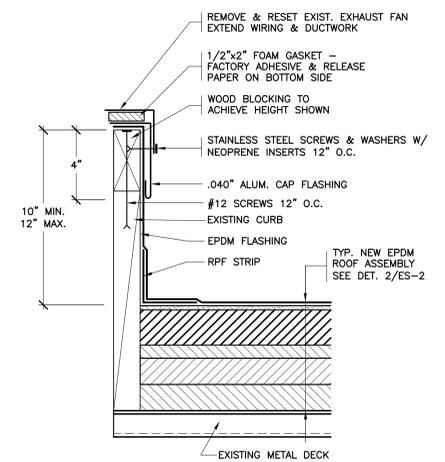


- NOTES:
1. REMOVE ALL EXISTING FLASHINGS.
 2. REMOVE KENNEDY COUPLINGS AND EXTEND VENT PIPES TO MEET HEIGHT REQUIREMENT.
 3. INSTALL PREMOLDED PIPE FLASHINGS WHENEVER POSSIBLE. WHEN PREMOLDED PIPE FLASHINGS CANNOT BE INSTALLED USE FIELD WRAPPED FLASHINGS.

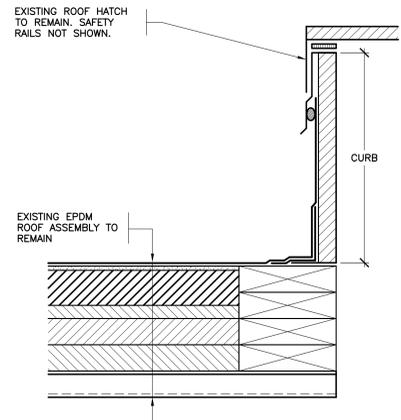
8 REVISED VENT PIPE
SCALE: 0" 1" 2" 4" 8"



9 REVISED FLUE FLASHING
SCALE: 0" 1" 2" 4" 8"



10 REVISED EXHAUST FAN
SCALE: 0" 1" 2" 4" 8"



- NOTE:
- INSTALL NEW SAFETY RAILS ON THE EXISTING ROOF HATCHES ON AREAS "A", "L" & "P". REMOVE THE EXISTING RAILS.

11 TYPICAL ROOF HATCH
SCALE: 0" 1" 2" 4" 8"

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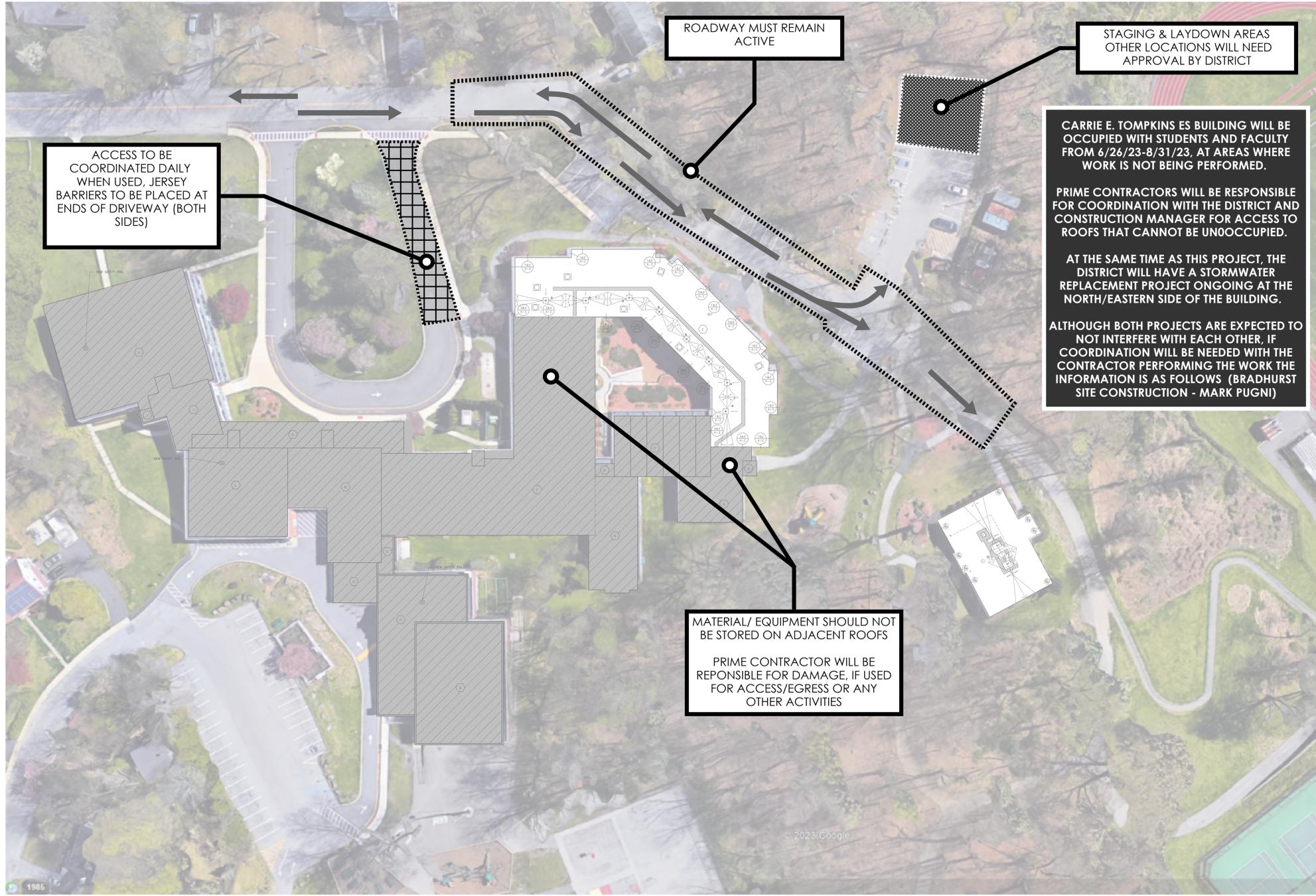
Professional Seal

2	4/20/2023	BID SET
1	3/17/2023	CONSTRUCTION DOCUMENTS
No. 1	Date	Issue

CARRIE E. TOMPKINS
E.S.
ROOF DETAILS

Job No.	2023-1002	Date	03/17/2023
Scale	AS NOTED	Drawn /	Checked

Sheet Number
ES-2



GENERAL LOGISTICS NOTES

- ROOFING CONSTRUCTION TRADE PRIME CONTRACTOR IS TO PROVIDE 6'-0" TALL CONSTRUCTION FENCE W/ PRIVACY SCREEN AROUND ALL STORED MATERIAL AND ACTIVE WORK AREAS WHERE WORK IS BEING PERFORMED OVERHEAD OR AT GROUND LEVEL.
 - ALL PRIME CONTRACTORS TO UTILIZE THE STAGING LOCATION, PROVIDED BY THE ROOFING CONTRACTOR. EACH PRIME CONTRACTOR SHALL COORDINATE MATERIAL AND EQUIPMENT WITHIN STAGING LOCATIONS, WITH THE OTHER PRIME CONTRACTORS AND CM.
 - MATERIAL WILL NOT BE PERMITTED TO BE STORED OUTSIDE FENCED-IN AREAS OR IN AREAS NOT DESIGNATED BY THE CONSTRUCTION MANAGER/OWNER. MATERIAL STORAGE ON THE INTERIOR OF THE BUILDING THAT IS NOT USED WITHIN 72HRS, WILL NOT BE PERMITTED.
 - ALL CRANES PICKS SHOULD BE SCHEDULED TO TAKE PLACE DURING THE SUMMER MONTHS, OR DURING AFTER-HOURS. THE PRIME CONTRACTOR PERFORMING THE CRANE PICK, ASSUMES ALL RESPONSIBILITY FOR RESTORATION OF THE LANDSCAPE/HARDSCAPE THROUGH APPROVAL BY THE ARCHITECT/CIVIL ENGINEER/CM.
- CRANE PICKS THAT REQUIRE UTILIZING THE VILLAGE/TOWN/CITY/STATE ROAD WILL REQUIRE THE CONTRACTOR TO FILE ANY PERMITS NEEDED TO SHUTDOWN THE ROAD/LANES FOR THEIR CRANE OPERATIONS. ANY COST ASSOCIATED WITH THE PERMITTING PROCESS OR FINES INCURRED AS A RESULT OF NOT FILING THE CORRECT PERMITS, WILL BE THE RESPONSIBILITY OF THAT CONTRACTOR PERFORMING THE CRANE PICK.
- CRANE PICKS, BOOM LIFTS OR ANY OVERHEAD MATERIAL TRANSPORTATION WILL NOT BE ALLOWED WITHIN 20' OF AN OCCUPIED SPACE. THE PRIME CONTRACTOR PERFORMING THE CRANE PICK/BOOM LIFT WILL BE REQUIRED TO SUBMIT A CRANE/BOOM LOGISTICS PLAN SHOWING THE WORKING RADIUS OF THE EQUIPMENT AWAY FROM OCCUPIED SPACES.**
- THE ROOFING PRIME CONTRACTOR PROVIDING THE STAGING LOCATION IS RESPONSIBLE TO REPAIR THE GRADE, GRASS, SHRUBBERY, AND HARDSCAPES (ASPHALT/CONCRETE) AFTER REMOVAL OF FENCING AND MATERIAL FROM WITHIN THE STAGING LOCATION. THIS INCLUDES ANY REPAIRS AS A RESULT OF THEIR EQUIPMENT AND ACTIVITIES AROUND THE BUILDING AS A RESULT OF THEIR WORK. DAMAGE TO THE LANDSCAPE/HARDSCAPE AS A RESULT OF ANOTHER PRIME CONTRACTOR, OUTSIDE OF THE STAGING AREA, WILL BE THE RESPONSIBILITY OF THAT CONTRACTOR TO REPAIR.
- THIS INCLUDES RESTORING ANY TEMPORARY LOGISTICS FOR EGRESS, SUCH AS WALKWAYS, ASPHALT RAMPS, ETC...
- DELIVERIES ARE TO BE COORDINATED WITH THE CM AND OWNER TO AVOID INTERFERENCE WITH SCHOOL ACTIVITIES.
 - DUMPSTERS AND REFUSE CONTAINERS, PROVIDED BY THE ROOFING PRIME CONTRACTOR ARE FOR USE BY FOR ALL PRIME CONTRACTORS, AND ARE PERMITTED WITHIN STAGING AREAS. IF DUMPSTERS ARE NEEDED OUTSIDE OF STAGING AREAS, THEY WILL NEED TO BE SECURED AND SURROUNDED BY ADDITIONAL FENCING, LOCKED WITH PRIVACY MESH AND SIGNAGE - APPROVED BY THE CM AND THE OWNER.
 - EACH PRIME CONTRACTOR IS REQUIRED TO COORDINATE WITH THE CONSTRUCTION MANAGER AND THE DISTRICT, THEIR OWN WORK, IN WHICH THEY MAY IMPACT OTHER TRADES OR THE OWNER AND ITS PROPERTY.
 - THE ROOFING CONSTRUCTION PRIME CONTRACTOR IS TO PROVIDE AND MAINTAIN PERIODICALLY ALL TEMPORARY CONSTRUCTION SIGNAGE AS SHOWN ON THE LOGISTICS PLANS AND PER NYS, OSHA AND LOCAL/FEDERAL GOVERNMENT REGULATION.
- THIS INCLUDES BUT IS NOT LIMITED TO:
- JOBSITE RULES SIGN (3'-4" X 2'-3") SECURED TO SITE FENCE AT EACH ENTRANCE OF THE STAGING AREA (4 MINIMUM - 1 AT EACH LOCATION)
 - PERSONAL PROTECTIVE EQUIPMENT/ HARD HATS REQUIRED SIGNAGE AT 20' INTERVALS ON ENTIRE PERIMETER OF SITE FENCE.
 - "NOTICE - PREVENT SPREAD OF CORONAVIRUS, SANITIZE/WASH YOUR HANDS FREQUENTLY", "WEAR FACE MASK WHILE MAINTAINING SOCIAL DISTANCING"
- EACH PRIME CONTRACTOR WILL BE REQUIRED TO SCHEDULE DELIVERIES WITH THE CONSTRUCTION MANAGER AND THE DISTRICT. THE DISTRICT AND/OR THE CONSTRUCTION MANAGER HOLD THE RIGHT TO REJECT DELIVERIES IF NOT SCHEDULED WITH THE CONSTRUCTION MANAGER OR DISTRICT WITH 72 HOURS OF THE DELIVERY.
 - EACH PRIME CONTRACTOR IS REQUIRED TO PROVIDE A (2X) DEDICATED FLAGMEN WHEN ACCEPTING DELIVERIES WITHIN/FROM THE STREET TO THE DEDICATED STAGING AREA. THE SITE AND SURROUNDING AREA MAY BE ACTIVE WITH STUDENTS AND FACULTY, REQUIRING THE UTMOST PROTECTION AND SAFETY.
 - PARKING FOR CONSTRUCTION PERSONNEL WILL BE ALLOWED ON SITE IN EXISTING PARKING SPACES DURING SUMMER CONSTRUCTION. ANY PARKING BEFORE OR AFTER THE SUMMER, CONTRACTOR'S WILL BE REQUIRED TO PARK OFF-SITE, AT NO ADDITIONAL COST TO THE OWNER.
 - WORKERS ARE REQUIRED TO WEAR ID BADGES, HIGH VISIBILITY VESTS, HARD HATS AND ALL OTHER REQUIRED PPE AT ALL TIMES WHILE ON SITE. WORKERS/PERSONNEL WITHOUT THESE REQUIREMENTS WILL BE ASKED TO BE REMOVED FROM THE SITE WITH A ONE-STRIKE POLICY.
 - INTERACTION BETWEEN CONSTRUCTION PERSONNEL AND STAFF/STUDENTS IS NOT PERMITTED. ANY PERSONNEL FOUND INTERACTING WITH STUDENTS OR FACULTY MAY BE ESCORTED BY LAW ENFORCEMENT FROM THE SITE. THIS IS A ZERO-STRIKE POLICY.
 - REFERENCE DIVISION 01 OF THE SPECIFICATIONS FOR ALL OTHER LOGISTICAL REQUIREMENTS IN HAND WITH INFORMATION INCLUDED ON THE LOGISTICS PLANS.
 - EACH PRIME CONTRACTOR MUST IMPLEMENT AND FOLLOW ALL NYS GUIDELINES AND REGULATIONS REGARDING COVID-19, INCLUDING BUT NOT LIMITED TO HAND WASHING/SANITIZING STATIONS, DISINFECTING, SOCIAL DISTANCING, CONTACT TRACING LOGS, ETC., COVID-19 PROTOCOLS, POLICY AND PROCEDURES MUST BE DETAILED AND INCLUDED IN EACH PRIME CONTRACTOR'S SAFETY MANUAL AND LOGISTICS PLAN AND IS TO BE SUBMITTED TO THE CONSTRUCTION MANAGER WEEKLY. THIS REQUIREMENT EXTENDS TO ALL SUBCONTRACTORS OF THE PRIME CONTRACTOR.

DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520



NY SED PROJECT CONTROL NO.
HIGH SCHOOL 66-02-02-03-0-001-032
MIDDLE SCHOOL 66-02-02-03-0-002-029
ELEMENTARY SCHOOL 66-02-02-03-0-003-033
NEW BUSINESS OFFICE 66-02-02-03-1-010-007
BUS GARAGE 66-02-02-03-0-004-008



CONSTRUCTION DOCUMENTS

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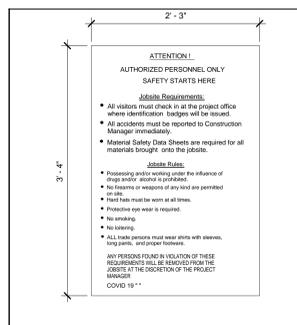
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1	4/20/2023	ISSUED FOR BID
No.	Date	Issue

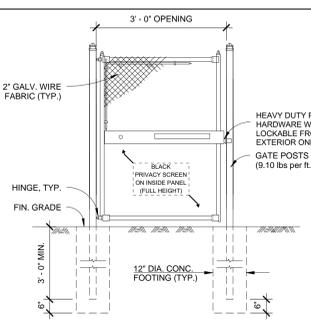
CARRIE E. TOMPKINS ES & DISTRICT OFFICE ROOFING LOGISTICS

Job No.	2023-1002	Date	4/18/23
Scale	N.T.S.	Drawn / Checked	JH - TCC
Sheet Number	CET/DO LOG-1		

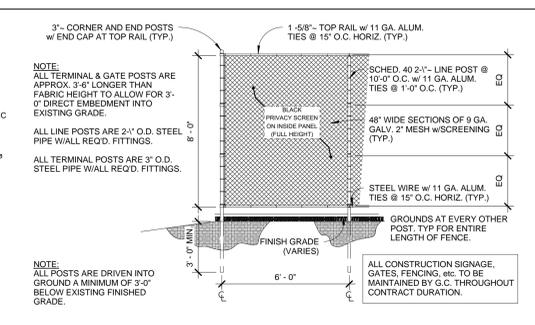
1 CARRIE E. TOMPKINS ES & DISTRICT OFFICE ROOF PROJECT - OVERALL STAGING AND PHASING PLAN
SCALE = N.T.S.



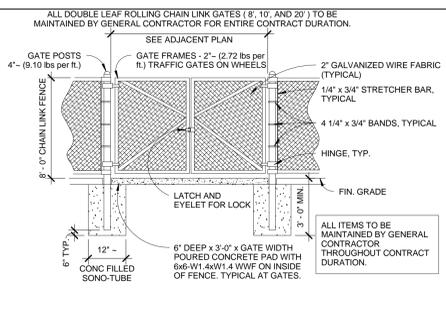
2 JOBSITE RULES SIGN DETAIL
NOT TO SCALE



3 TEMPORARY 8' SWING GATE
NOT TO SCALE



4 DETAIL @ CONSTRUCTION FENCE PANELS
NOT TO SCALE



5 DETAIL @ CONSTRUCTION GATE
NOT TO SCALE

MODIFICATION TO FENCE DETAILS 3.4.5/ GEN-SL-1:
TEMPORARY FENCE FOOTINGS MAY BE USED AS LONG AS THE STRUCTURE OF THE FENCE WITHSTANDS WINDSPEEDS IN EXCESS OF 110MPH

DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520



NY SED PROJECT CONTROL NO.	
HIGH SCHOOL	66-02-02-03-0-001-032
MIDDLE SCHOOL	66-02-02-03-0-002-029
ELEMENTARY SCHOOL	66-02-02-03-0-003-033
NEW BUSINESS OFFICE	66-02-02-03-1-010-007
BUS GARAGE	66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS

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1	3/17/2023	CONSTRUCTION DOCUMENTS
2	4/20/2023	BID SET

Sheet Title
ADMIN ROOF PLAN

Job No.	2023-1002	Date	03/17/2023
Scale	AS NOTED	Drawn /	Checked

Sheet Number
AD-1

DECK TYPE CHART & INSULATION REQUIREMENTS						
ROOF AREA	DECK TYPE	EXISTING THICKNESS OF INSULATION (FLAT)	STARTING THICKNESS OF NEW INSULATION	MIN. R-VALUE OF NEW & EXISTING INSULATION	AVERAGE THICKNESS OF NEW & EXISTING INSULATION	AVERAGE R-VALUE OF NEW & EXISTING INSULATION
A	METAL	2.75"	3"	30	7.7"	45.3

NOTES:
1. INSTALL CONTINUOUS INSULATION ABOVE THE DECK TO ACHIEVE A MINIMUM TOTAL R-VALUE OF 30, AND TO MEET THE NYS ENERGY CONSERVATION CONSTRUCTION CODE, INCLUDING THE INTERNATIONAL ENERGY CONSERVATION CODE AND THE NY STATE SUPPLEMENT, FOR A BUILDING IN CLIMATE ZONE 4.
2. INSTALL NEW TAPERED ISOCYANURATE INSULATION THAT SLOPES 1/8 INCH PER FOOT; MINIMUM STARTING THICKNESS 3 INCHES ON TOP OF THE EXISTING 2.75" INSULATION, UNLESS OTHERWISE NOTED. INSTALL THE ISOCYANURATE INSULATION IN MULTIPLE LAYERS, WITH THE THICKEST LAYER BEING 3 INCHES. STAGGER ALL JOINTS BETWEEN LAYERS AT LEAST 12 INCHES.
3. INSTALL ISOCYANURATE INSULATION CRICKETS OVER THE TAPERED INSULATION.
4. INSTALL A COVER BOARD USING LOW RISE FOAM ADHESIVE OVER THE INSULATION AND CRICKETS.

ROOF PROTECTION NOTES:

1. AVOID WALKING ON NEW AND EXISTING ROOF AREAS.
2. DO NOT STORE MATERIAL OR EQUIPMENT, AND DO NOT PILE DEBRIS ON NEW AND EXISTING ROOF AREAS.
3. INSTALL 1 INCH THICK EXTRUDED POLYSTYRENE INSULATION OVER 6 MIL FIRE RETARDANT POLYETHYLENE, COVERED WITH 2x10 WOOD PLANKS TO PROTECT ROOFING WHERE CONSTRUCTION WORK AND TRAFFIC WILL OCCUR.
4. NEATLY CUT AND POSITION ROOF PROTECTION COMPONENTS TO FIT WITHIN 1/2 INCH OF ROOF PENETRATIONS, EAVES AND CHANGE IN ELEVATION WALLS.
5. DO NOT COVER THE ROOF DRAINS. MAINTAIN THE ROOF DRAIN STRAINERS VISIBLE AND CLEAR AT ALL TIMES.

CODE COMPLIANCE REQUIREMENTS:

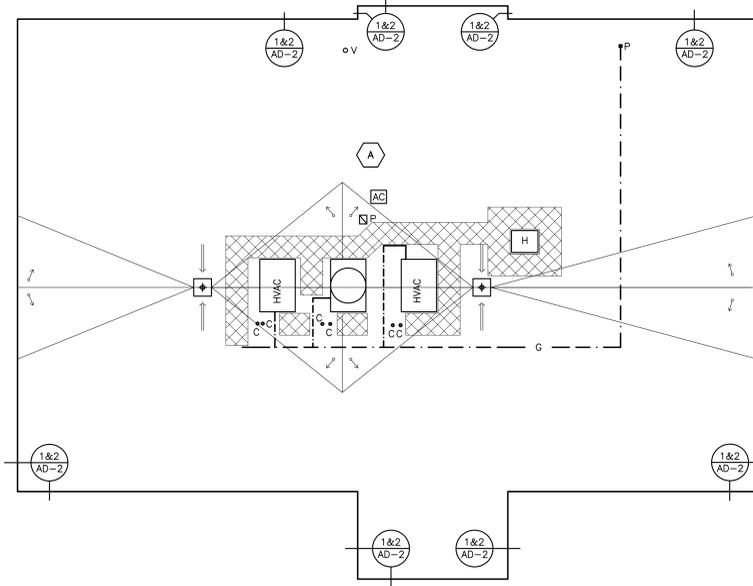
1. INSTALL NEW ROOFING TO MEET THE FOLLOWING MINIMUM REQUIREMENTS:
 - A. NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, WHICH INCLUDES BY REFERENCE THE NEW YORK STATE ENERGY CONSERVATION CODE.
 - B. UNDERWRITERS LABORATORIES INC. CLASS A EXTERNAL FIRE RATING FOR ROOF ASSEMBLIES TESTED IN ACCORDANCE WITH ASTM E 108 OR UL 790.
 - C. UNDERWRITERS LABORATORIES INC. STANDARD 1256 FOR ROOF ASSEMBLIES WITH FOAM INSULATION.
2. INSTALL ROOFING TO COMPLY WITH THE WIND UPLIFT REQUIREMENTS OF THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, BASED ON THIS CRITERIA:
 - RISK CATEGORY III
 - BASIC WIND SPEED 130 MPH
 - EXPOSURE CATEGORY B
 - BUILDING HEIGHT 30 FT.
3. INSTALL ROOFING AS INDICATED TO RESIST THE FOLLOWING UPLIFT LOADS, CALCULATED IN ACCORDANCE WITH ASCE 7 USING A SAFETY FACTOR OF 2:
 - FIELD ZONE: 90 PSF
 - PERIMETER ZONE: 135 PSF
 - CORNER ZONE: 150 PSF
4. FABRICATE AND INSTALL ROOF PERIMETER FLASHINGS THAT COMPLY WITH THE NY STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND WITH ANSI/SPRI ES-1 "WIND STANDARD FOR EDGE SYSTEMS USED WITH LOW SLOPE ROOFING SYSTEMS", ON A BUILDING USING THE CRITERIA DESCRIBED ABOVE.
5. FABRICATE AND INSTALL WOOD BLOCKING COMPONENTS TO RESIST A FORCE OF 275 POUNDS PER LINEAL FOOT APPLIED IN ANY DIRECTION.

GENERAL NOTES:

1. THESE DRAWINGS ARE SUPPLEMENTED BY DETAILED TECHNICAL SPECIFICATIONS. PERFORM THE WORK AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.
2. DIMENSIONS AND CONDITIONS ON THE ROOF PLAN AND DETAILS ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR.
3. ONLY CERTAIN FASTENERS ARE SHOWN ON THE DRAWINGS, REFER TO THE SPECIFICATIONS FOR ADDITIONAL FASTENER REQUIREMENTS.
4. TEST EACH DRAIN LINE WITH A RUNNING HOSE FOR AT LEAST ONE HOUR PRIOR TO STARTING ANY OTHER WORK ON SITE. PROVIDE A WRITTEN REPORT OF ANY CLOGGED LINES TO THE OWNER.
 - A. CLOGGED DRAIN LINES REPORTED TO THE OWNER BEFORE WORK STARTS WILL BE CLEANED BY THE OWNER.
 - B. COVER & PROTECT ALL DRAIN OPENINGS AT THE BEGINNING OF EACH WORK DAY. REMOVE THE COVERS AT THE END OF EACH DAY AND BEFORE PRECIPITATION OCCURS.
 - C. PERFORM WHATEVER WORK IS REQUIRED SO ALL DRAIN LINES ARE CLEAN AND FREE FLOWING UPON COMPLETION OF THE PROJECT.
5. REMOVE AND RESET EXISTING AC CONDENSERS ON 2 X 2 FOOT X 2 INCH THICK CONCRETE PAVERS SET ON WALKWAY PADS A MINIMUM OF 10 FT. AWAY FROM THE ROOF EAVE. FASTEN THE CONDENSERS TO THE PAVERS WITH STAINLESS STEEL NAIL-INS. DISCONNECT, ADJUST, MODIFY, AND RECONNECT THE EXISTING SUPPLY & RETURN LINES AND CONDUITS.
6. REMOVE AND RESET SITE LIGHT FIXTURES, WIRES AND CONDUITS THAT INTERFERE WITH THE NEW EAVE FLASHINGS. REPLACE COMPONENTS THAT CANNOT BE PROPERLY REINSTALLED.
7. REMOVE EXISTING ROOF TOP ELECTRICAL CONDUIT AND GAS PIPE SUPPORTS. RE-SET THE CONDUIT AND PIPES ON ADJUSTABLE HEIGHT FACTORY MANUFACTURED PIPE SUPPORTS PLACED ON WALKWAY PADS SPACED 5 FEET ON CENTER. SECURE THE CONDUITS AND PIPES TO THE PIPE SUPPORTS WITH GALVANIZED CLIPS & BOLTS.
8. REPAIR EXHAUST EQUIPMENT HOUSINGS SO THEY ARE WATERTIGHT; REPLACE ANY MISSING PIECES.
9. INSULATE ALL NEW DRAIN LINES, AND THE UNDERSIDES OF THE NEW DRAIN BOWLS.
10. INSTALL NEW WALKWAY PADS WHERE SHOWN ON THE ROOF PLAN.

LEGEND:

- A ROOF AREA DESIGNATION
- + ROOF DRAIN (SEE DET. 3/AD-2)
- V VENT PIPE (SEE DET. 4/AD-2)
- F EXHAUST FAN (SEE DET. 5/AD-2)
- H ROOF HATCH (SEE DET. 6/AD-2)
- P PORTAL-PLUS CURB (SEE DET. 7/AD-2)
- HVAC HVAC CURB (SEE DET. 8/AD-2)
- P SEALANT POCKET (SEE DET. 9/AD-2)
- G GAS PIPE (SEE DET. 10/AD-2)
- I TAPERED ISOCYANURATE INSULATION, SLOPE 1/8" PER FT
- C CRICKET- SLOPE 1/4" PER FT
- W WALKWAY PADS



ROOF PLAN
0' 2' 4' 8'



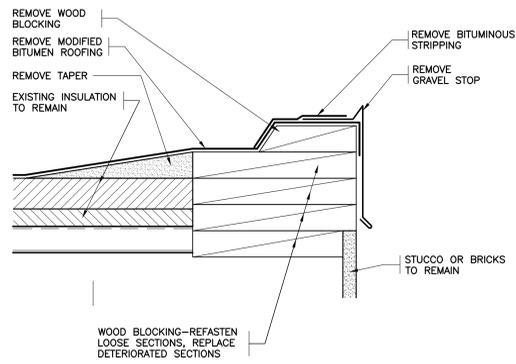
DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520

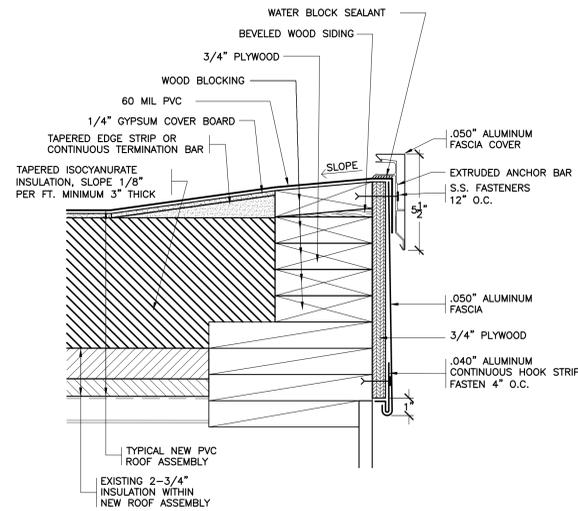
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NY SED PROJECT CONTROL NO.
 HIGH SCHOOL 66-02-02-03-0-01-032
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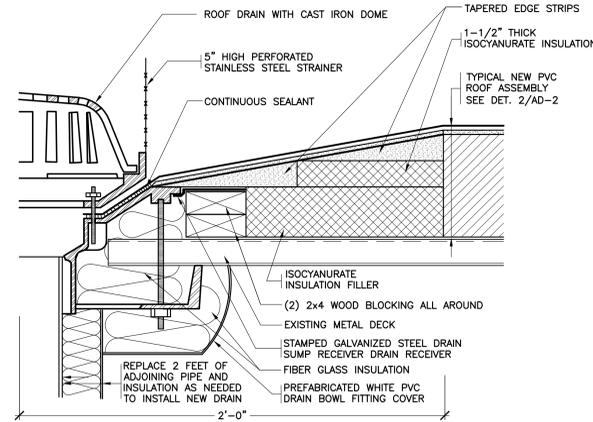
CONSTRUCTION DOCUMENTS



1 EXISTING FAVE
SCALE: 0" 1" 2" 4" 8"

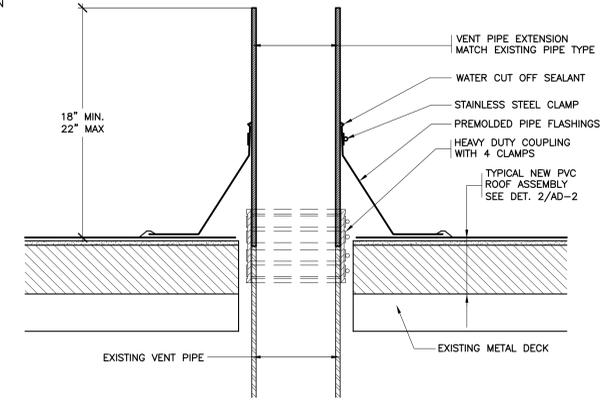


2 REVISED FAVE
SCALE: 0" 1" 2" 4" 8"



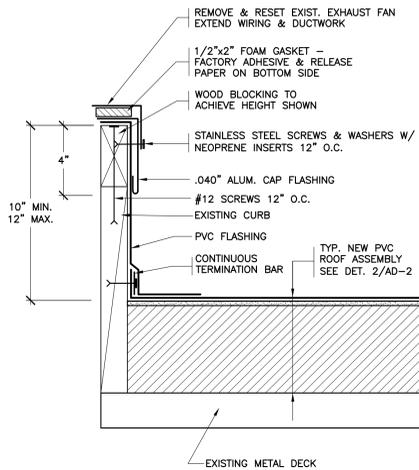
- NOTES:
 1. REMOVE EXISTING ROOF DRAINS AND RELATED FLASHINGS.
 2. INSTALL TAPERED EDGE STRIPS & INSULATION FILLERS TO CREATE A MINIMUM 4 FT. x 4 FT. SQUARE SUMP AT EACH DRAIN.
 3. INSTALL INSULATION ON ALL HORIZONTAL DRAIN LINES, NEW VERTICAL DRAIN LINES AND THE UNDERSIDE OF THE NEW DRAIN BOWL.

3 REVISED ROOF DRAIN
SCALE: 0" 1" 2" 4" 8"

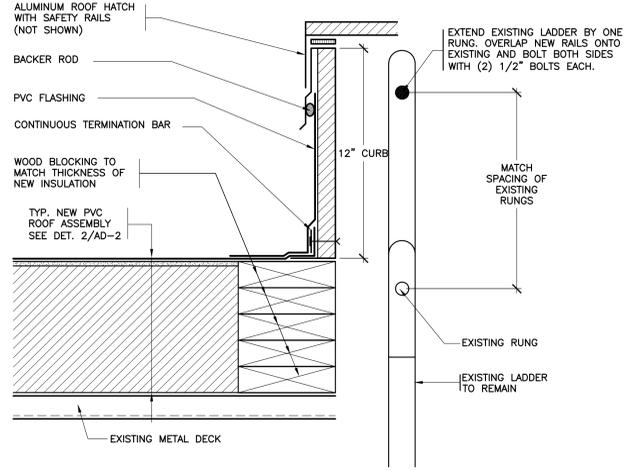


- NOTES:
 1. REMOVE ALL EXISTING FLASHINGS.
 2. REMOVE KENNEDY COUPLINGS AND EXTEND VENT PIPES TO MEET HEIGHT REQUIREMENT.
 3. INSTALL PREMOLDED PIPE FLASHINGS WHENEVER POSSIBLE. WHEN PREMOLDED PIPE FLASHINGS CANNOT BE INSTALLED USE FIELD WRAPPED FLASHINGS.

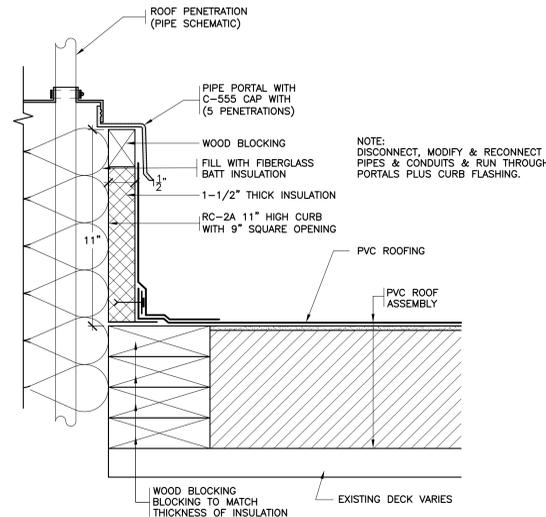
4 REVISED VENT PIPE
SCALE: 0" 1" 2" 4" 8"



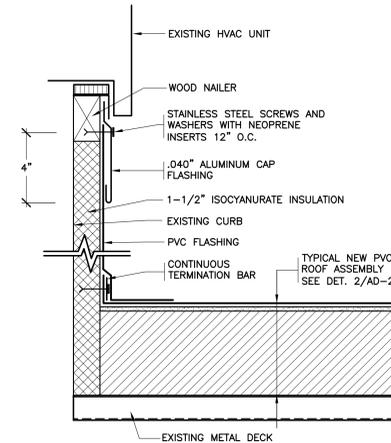
5 REVISED EXHAUST FAN
SCALE: 0" 1" 2" 4" 8"



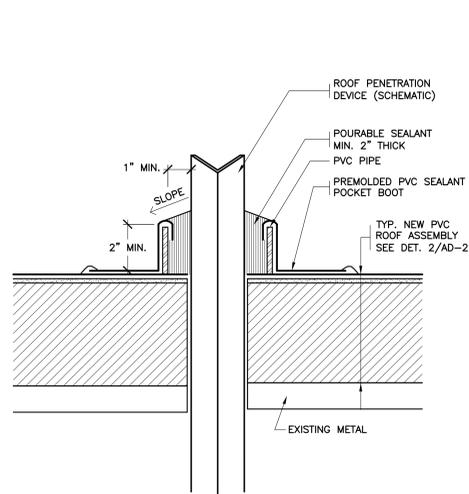
6 TYPICAL ROOF HATCH
SCALE: 0" 1" 2" 4" 8"



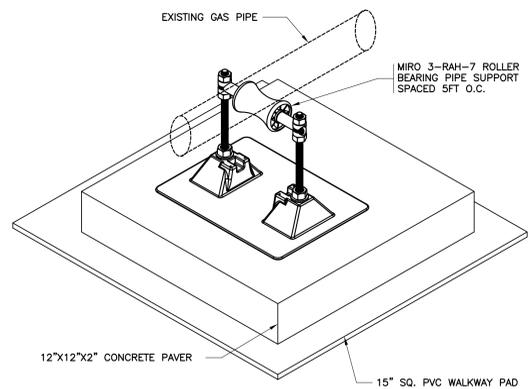
7 PORTALS PLUS ON PVC
SCALE: 0" 1" 2" 4" 8"



8 REVISED HVAC CURB
SCALE: 0" 1" 2" 4" 8"



9 REVISED SEALANT POCKET
SCALE: 0" 1" 2" 4" 8"



- NOTES:
 1. WIRE BRUSH PRIME AND PAINT GAS LINES.
 2. PVC ROOF ASSEMBLY NOT SHOWN.
 3. REMOVE AND DISCARD EXISTING WOOD PIPE SUPPORTS.

10 GAS PIPE SUPPORT
NOT TO SCALE

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2	4/20/2023	BID SET
1	3/17/2023	CONSTRUCTION DOCUMENTS

No. 1 Date Issue

ADMIN ROOF DETAILS

Job No.	2023-1002	Date	03/17/2023
Scale	AS NOTED	Drawn / Checked	

Sheet Number

DISTRICT WIDE ROOFING PROJECT

CROTON-HARMON UNION FREE SCHOOL DISTRICT
10 GERSTEIN STREET
CROTON-ON-HUDSON, NEW YORK 10520

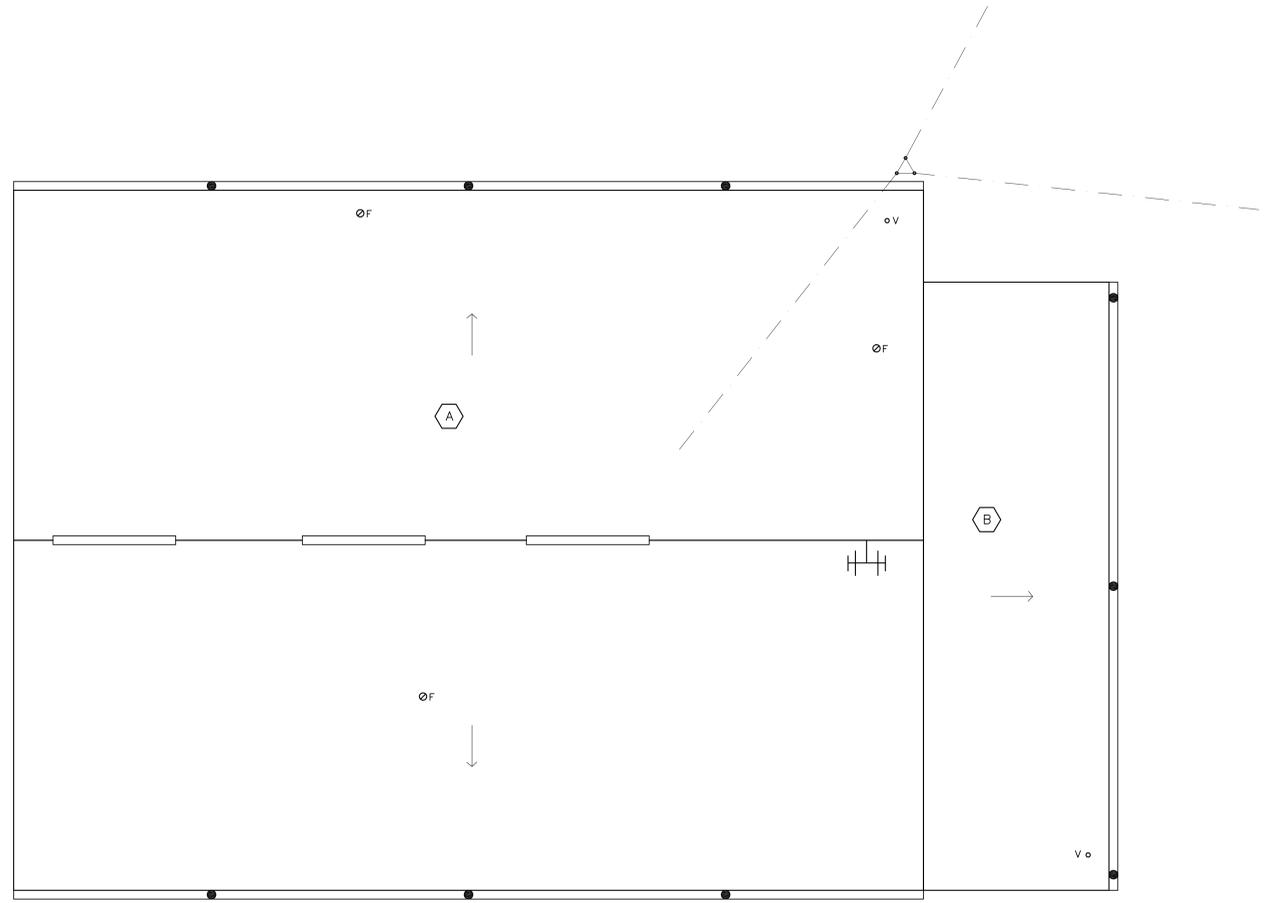


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NY SED PROJECT CONTROL NO.

HIGH SCHOOL	66-02-02-03-0-001-032
MIDDLE SCHOOL	66-02-02-03-0-002-029
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NEW BUSINESS OFFICE	66-02-02-03-1-010-007
BUS GARAGE	66-02-02-03-5-004-008

CONSTRUCTION DOCUMENTS



- LEGEND:**
- A ROOF AREA DESIGNATION
 - ØF FLUE
 - DECK SLOPE
 - ⊕ ANTENNA
 - V VENT PIPE
 - ØF FLUE
 - GUTTER & LEADER
 - RIDGE VENTILATOR

- GENERAL NOTES:**
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 - ONLY CERTAIN FASTENERS ARE SHOWN ON THE DRAWINGS, REFER TO THE SPECIFICATIONS FOR ADDITIONAL FASTENER REQUIREMENTS.
 - CLEAN THE GUTTERS.
 - TEST EACH DOWNSPOUT WITH A RUNNING HOSE FOR AT LEAST ONE HOUR PRIOR TO STARTING ANY OTHER WORK ON SITE. REMOVE, CLEAN AND REINSTALL ANY CLOGGED DOWNSPOUTS.
 - INSTALL A NEW STORM COLLAR AND FLUE PIPE CAP, ON THE UNIT HEATER FLUE.
 - REMOVE LOOSE SCREWS, AND SCREWS WITH CRUSHED OR DETERIORATED NEOPRENE WASHERS; INSTALL ONE SIZE LARGER STAINLESS STEEL SCREWS & WASHERS WITH NEOPRENE INSERTS IN THE SAME HOLES.
 - INSTALL WHITE ETERNABOND SELF ADHESIVE ROOF SEAL STRIPS OVER SEAMS IN THE RIDGE CAP-VENT ASSEMBLY AND OVER SEAMS ON THE METAL ROOF ALONG ALL FOUR RAKE ENDS.
 - REPLACE THE GUY WIRE ATTACHMENT EYE-BOLTS, WITH 1/2 DIAMETER STAINLESS STEEL EYE BOLTS; DRILL OUT THE EXISTING HOLES SO THE NEW BOLTS FIT. INSTALL THE EYE BOLTS WITH DOUBLE NUTS AND WASHERS ABOVE AND BELOW THE METAL ROOF PANELS, SET THE WASHERS IN SEALANT.



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2	4/20/2023	BID SET
1	3/17/2023	CONSTRUCTION DOCUMENTS

No. _____ Date _____ Issue _____

Sheet Title

BUS GARAGE ROOF PLAN

Job No.	2023-1002	Date	03/17/2023
Scale	AS NOTED	Drawn /	Checked

Sheet Number

BS-1