

# HIGHLAND CENTRAL SCHOOL DISTRICT HIGHLAND HIGH SCHOOL 2022 CAPITAL IMPROVEMENT PROJECT - PHASE 1



**ISSUED FOR BID:** 08/18/23

**CSARCH** - ARCHITECTS

PASSERO ASSOCIATES - SITE/CIVIL & STRUCTURAL ENGINEERS

BLAKE ENGINEERING, PLLC - M.E.P. ENGINEERS

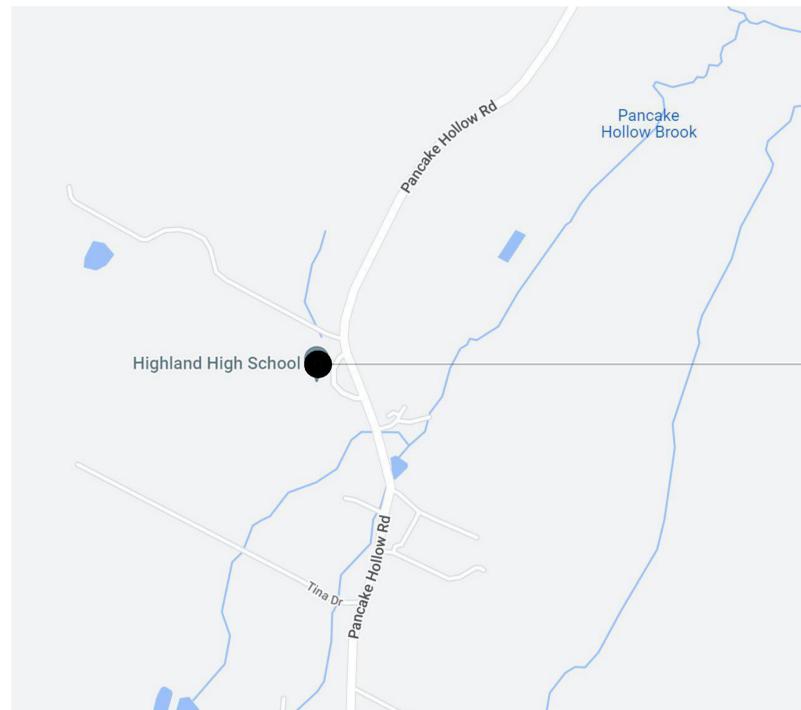
QUALITY ENVIRONMENTAL SOLUTIONS & TECHNOLOGIES, INC. - HAZARDOUS MATERIALS DESIGNER

STATE EDUCATION DEPARTMENT PROJECT CONTROL NUMBER:

HIGHLAND HIGH SCHOOL 62-08-03-04-0-009-014

THE DESIGN OF THIS PROJECT CONFORMS TO APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, AND THE MANUAL OF PLANNING STANDARDS OF THE NEW YORK STATE EDUCATION DEPARTMENT.

CSArch PROJECT NO. 197-2201.01



HIGHLAND HIGH SCHOOL  
320 PANCAKE HOLLOW ROAD,  
HIGHLAND, NY 12528

NTS



VICINITY MAP

**DRAWING LIST**

**HIGHLAND HIGH SCHOOL (HHS)**

GENERAL DRAWINGS

HHS G000 COVER  
HHS G001 SYMBOLS, ABBREVIATIONS, KEY PLANS, AND MISC.

CIVIL DRAWINGS

HHS C130 EXISTING CONDITIONS, DEMOLITION, & PROPOSED CONDITIONS PLANS

LIFE SAFETY DRAWINGS

HHS LS111 FIRST FLOOR LIFE SAFETY PLAN - AREA 'A'  
HHS LS112 FIRST FLOOR LIFE SAFETY PLAN - AREA 'B'  
HHS LS115 FIRST FLOOR LIFE SAFETY PLAN - AREA 'E'

HAZARDOUS MATERIALS DRAWINGS

HHS HAZ000 ASBESTOS ABATEMENT NOTES  
HHS HAZ101 HIGH SCHOOL FIRST FLOOR ABATEMENT PLAN

ARCHITECTURAL DEMOLITION DRAWINGS

HHS AD110 OVERALL FIRST FLOOR DEMOLITION PLAN  
HHS AD111 FIRST FLOOR DEMOLITION PLAN - AREA 'A'  
HHS AD112 FIRST FLOOR DEMOLITION PLAN - AREA 'B'  
HHS AD113 FIRST FLOOR DEMOLITION PLAN - AREA 'C'  
HHS AD115 FIRST FLOOR DEMOLITION PLAN - AREA 'D'  
HHS AD400 OVERALL ROOF DEMOLITION PLAN

ARCHITECTURAL DRAWINGS

HHS A110 OVERALL FIRST FLOOR NEW WORK PLAN  
HHS A111 FIRST FLOOR NEW WORK PLAN - AREA 'A'  
HHS A112 FIRST FLOOR NEW WORK PLAN - AREA 'B'  
HHS A113 FIRST FLOOR NEW WORK PLAN - AREA 'C'  
HHS A115 FIRST FLOOR NEW WORK PLAN - AREA 'D'  
HHS A351 SECTION DETAILS  
HHS A400 OVERALL ROOF NEW WORK PLAN



VOLUME 2 OF 4



**GENERAL NOTES:**

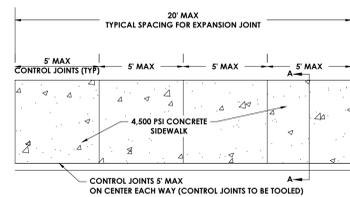
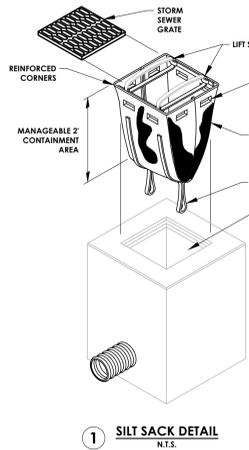
- EXISTING CONDITIONS SHOWN ARE BASED ON THE BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY BOLTON SURVEYING P.C. ON DEC. 31, 2014 AND REVISED JANUARY 11, 2015.
- CONTRACTOR SHALL FIELD VERIFY ACTUAL SITE CONDITIONS. CONTRACTOR SHALL IDENTIFY DISCREPANCIES THAT AFFECT THE WORK TO THE OWNER REPRESENTATIVE AND OBTAIN APPROVAL FOR CORRECTIONS PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY AND NOTIFY OWNER REPRESENTATIVE OF DEVIATIONS THAT AFFECT THE WORK. AND OBTAIN WRITTEN APPROVAL FROM THE OWNER REPRESENTATIVE FOR ADJUSTMENTS TO THE WORK.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES DURING THE WORK AND VERIFY THEIR FUNCTIONALITY FOLLOWING INSTALLATION OF THE PROPOSED CONCRETE SIDEWALK.
- PROPOSED SIDEWALK SHALL GENERALLY FOLLOW THE SAME DIMENSIONS AND ALIGNMENT AS THE EXISTING SIDEWALK.
- UPON COMPLETION, ALL PAVEMENT AREAS SHALL BE SMOOTH. ALL CURBS SHALL HAVE A 4-INCH REVEAL (UNLESS OTHERWISE SPECIFIED), AND STORMWATER RUNOFF SHALL DRAIN TO EITHER EXISTING OR PROPOSED CATCH BASINS.
- ALL EXISTING SURFACE UTILITIES SHALL BE FLUSH WITH ADJACENT CONCRETE OR LAWN SURFACE.
- RESTORE LAWN DAMAGED DURING THE WORK WITH MATERIALS MATCHING THE EXISTING CONDITION.

**PAVEMENT DEMOLITION NOTES:**

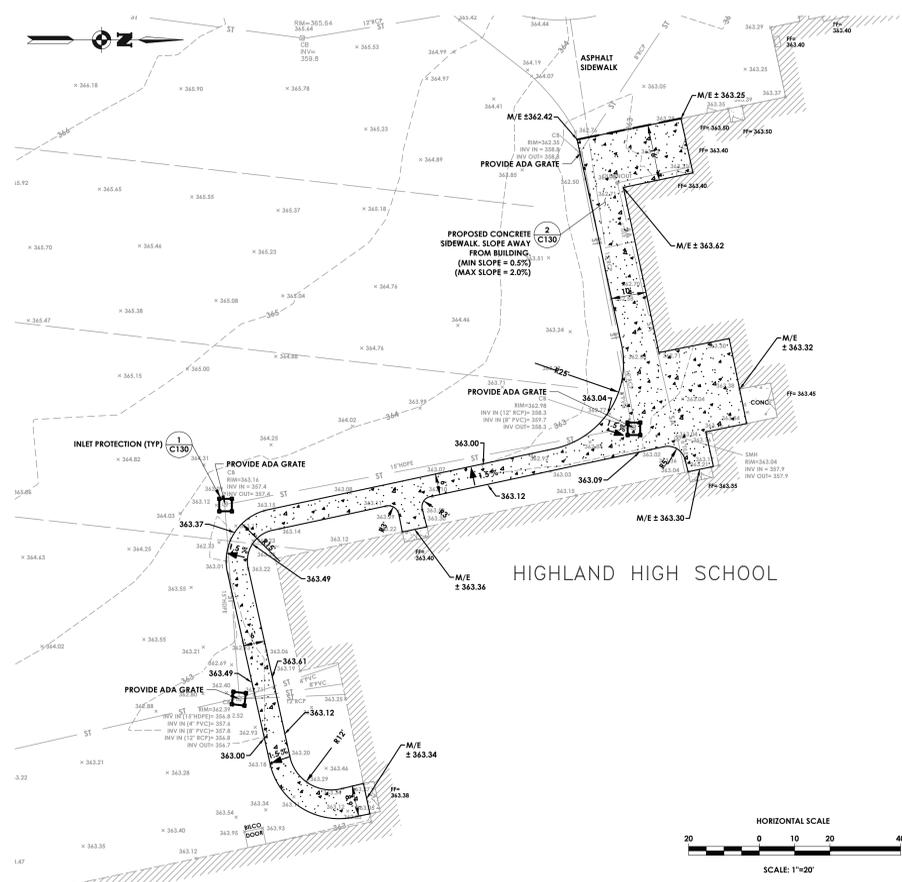
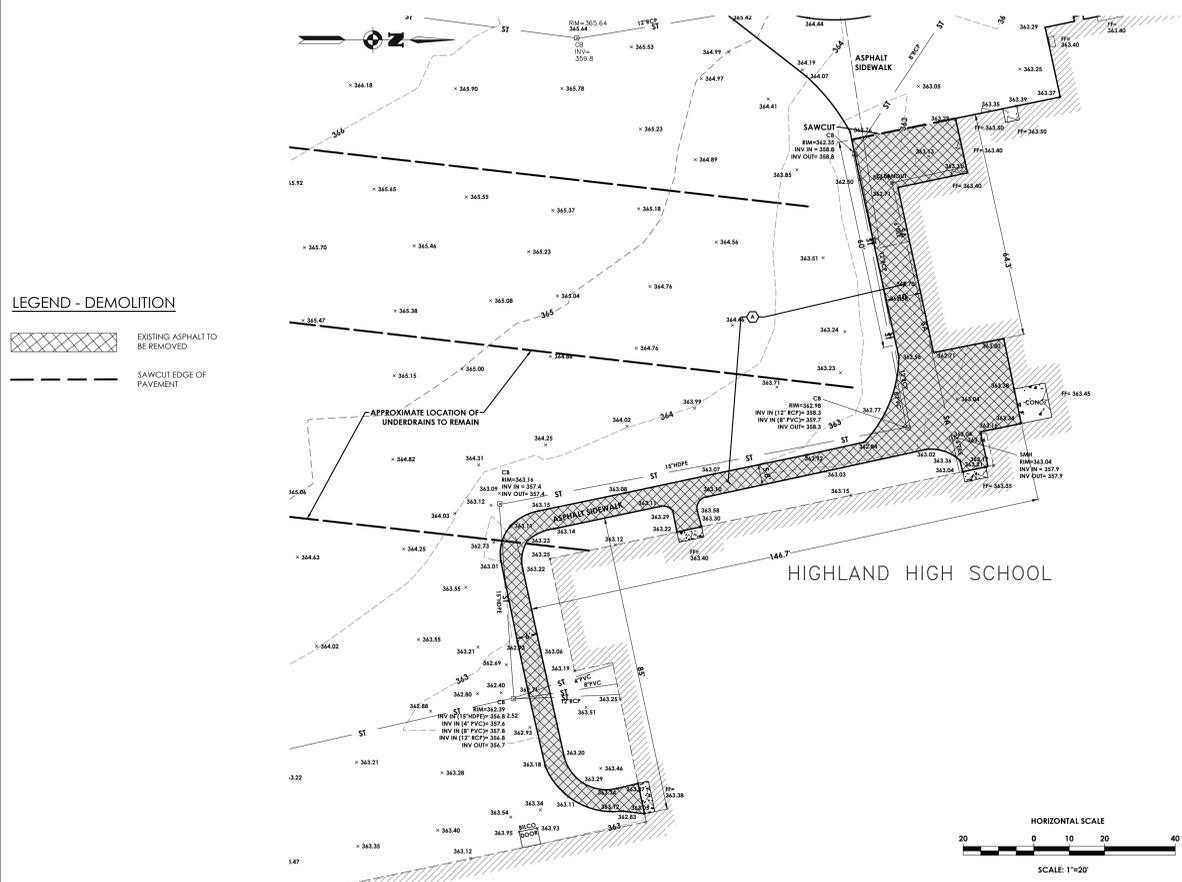
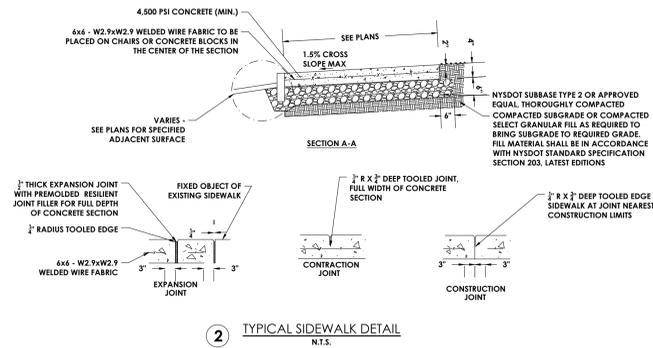
- REMOVE FULL DEPTH OF ASPHALT AND/OR CONCRETE.
- EXISTING SUITABLE SUB-BASE ENCOUNTERED DURING EXCAVATION SHALL BE STOCKPILED FOR RE-USE. EXCESS OR UNSUITABLE MATERIALS SHALL BE HAULED OFF-SITE.
- PREPARE AND PLACE A SUB-BASE COURSE COMPOSED OF A BLEND OF THE EXISTING SUB-BASE (FROM STOCKPILE) AND ADDITIONAL STONE AGGREGATE (IF NEEDED) TO OBTAIN THE SPECIFIED DEPTH.

**DEMOLITION NOTES:**

- DIMENSIONS SHOWN ARE APPROXIMATE AND MAY VARY BASED ON FIELD CONDITIONS.
- SECURITY PROVIDE, INSTALL AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
- DIG SAFE CONTRACTOR IS RESPONSIBLE TO CALL DIG-SAFE PRIOR TO BEGINNING DEMOLITION.
- APPLICABILITY: THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION WORK SHOWN INCLUDING ALL REMOVALS AS NECESSARY FOR THE CONSTRUCTION OF THE WORK EVEN IF NOT SPECIFICALLY NOTED ON THE CONTRACT DOCUMENTS.
- COORDINATION: CONTRACTOR SHALL COORDINATE THE REMOVAL OF DEMOLISHED MATERIAL WITH THE OWNERS REPRESENTATIVE SITE FURNISHINGS AND MATERIAL DETERMINED TO BE REMOVED SHALL BE REMOVED AND EXPORTED OFFSITE IN A LEGAL MANNER AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- PRESERVE: ALL EXISTING FEATURES TO REMAIN, DAMAGE TO EXISTING ASPHALT, LAWN AND OTHER FEATURES TO REMAIN SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES THAT ARE PROPOSED TO BE REMOVED, UNLESS OTHERWISE INDICATED, SHALL BE EXCAVATED, UTILITY MATERIAL REMOVED, AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE SPECIFICATIONS. ALL TRENCHES SHALL BE BACKFILLED WITH GRANULAR FILL, COMPACTED IN 12" LIFTS TO 95% MODIFIED PROCTOR TEST. ALL DISTURBED AREAS SHALL BE RESTORED IN KIND IN ACCORDANCE WITH THE DETAILS IN THESE PLANS AND AT A MINIMUM TO THEIR ORIGINAL STATE.
- SAWCUT: AREAS OF ASPHALT AND CONCRETE REMOVAL SHALL BE SAWCUT WITH A HEAT STRAIGHT LINE AT ALL REMOVAL LIMITS.
- PERMITS: CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS REQUIRED FOR DEMOLITION AND CONSTRUCTION, INCLUDING ALL FEES ASSOCIATED WITH THOSE PERMITS, IN THE BID.
- ENVIRONMENTAL CONDITIONS OR ISSUES, NOT PREVIOUSLY IDENTIFIED, ARE ENCOUNTERED DURING DEMOLITION. THE CONTRACTORS SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER BEFORE CONTINUING THE DEMOLITION PROCESS.



- NOTES:**
- SIDEWALK WIDTH SHALL BE MEASURED FROM THE BACK OF THE CURB TO SIDEWALK EDGE OR SIDEWALK EDGE TO SIDEWALK EDGE UNLESS OTHERWISE SPECIFIED.
  - WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSE OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL SHALL BE ON-SITE EXCAVATION SHOULDER (IF SUITABLE) AND/OR IMPORTED GENERAL FILL FREE OF CONTAMINANTS AND DELETERIOUS MATERIALS.
  - NYSDOT SUBBASE TYPE 2 SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION SECTION 304, LATEST EDITION.
  - CONCRETE SHALL NOT BE PLACED UNLESS THE AMBIENT AIR SURFACE TEMPERATURE IS BELOW 40 DEGREES UNLESS AUTHORIZED BY THE ENGINEER.
  - SIDEWALKS SHALL HAVE A CROSS SLOPE OF 1.5% PER FOOT UNLESS OTHERWISE SPECIFIED ON THE PLANS.
  - ALL EXPOSED CONCRETE SURFACES SHALL BE BROOM FINISHED AND THE EDGES SHALL BE FINISHED WITH A 1/2" RADIUS EDGING TOOL. THE FINISHED CONCRETE SURFACE SHALL BE TREATED WITH CONCRETE SEALER, HARDENER AND DUSTPROOFER. RATE AND METHOD OF APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.



**DEMOLITION KEY:**  
 REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT AND SUBBASE (~3,300 SF).

Project Title

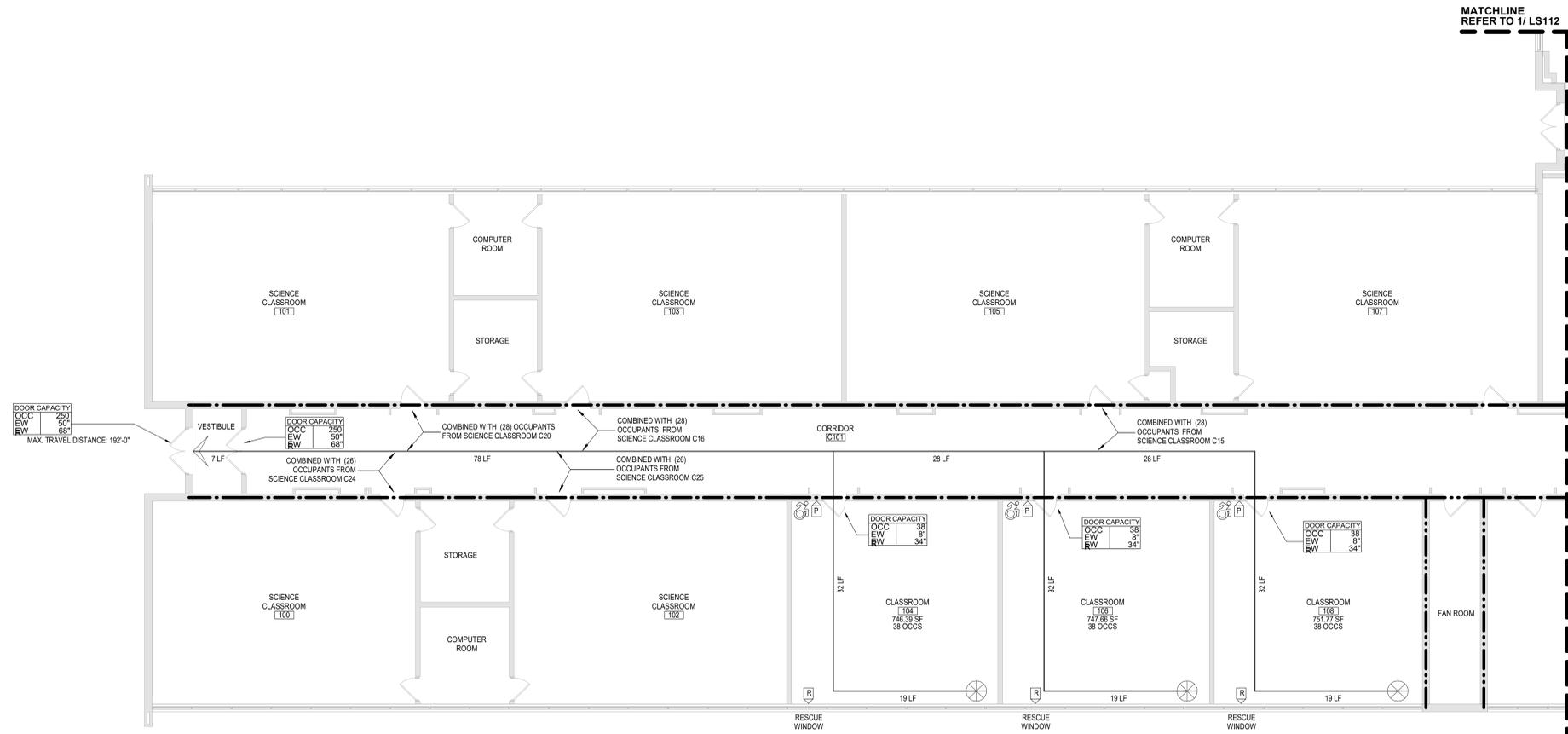


DATE	DESCRIPTION

Drawn By: **CL**  
 Checked By: **CL**  
 Proj. #: **62-08-03-04-009-014**  
 CSArch Proj. #: **197-2201.01**  
 Issued for Bid: **8/18/23**

Sheet Title  
**EXISTING CONDITIONS, DEMOLITION, AND PROPOSED CONDITIONS PLAN**

Sheet No.  
**HHS C130**  
 CONSTRUCTION DOCUMENTS

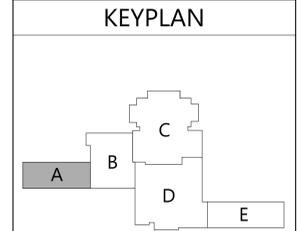


**1** FIRST FLOOR LIFE SAFETY PLAN - AREA 'A'  
LS111 1/8" = 1'-0"

CODE NOTES	LIFE SAFETY PLAN LEGEND
<p><b>ALL NEW WORK TO BE PERFORMED SHALL BE IN ACCORDANCE WITH THE FOLLOWING:</b></p> <ol style="list-style-type: none"> <li>2020 INTERNATIONAL BUILDING CODE</li> <li>2020 INTERNATIONAL EXISTING BUILDING CODE</li> <li>NYS BUILDING CODE SUPPLEMENTS</li> <li>ANSI A117.1-09</li> <li>2022 NYS ED MANUAL OF PLANNING STANDARDS</li> </ol> <p><b>ALL EXISTING CONDITIONS AND NEW WORK CONDITIONS CONTAIN THE FOLLOWING MAXIMUM TRAVEL DISTANCES:</b></p> <ol style="list-style-type: none"> <li>EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED 200 FEET FOR UNSPRINKLERED BUILDINGS OF OCCUPANCY TYPE 'E'.</li> <li>ANY POINT IN ANY GROUND FLOOR CORRIDOR MUST BE WITHIN 150 FEET ALONG THE LINE OF TRAVEL TO AN EXTERIOR DOORWAY. ANY POINT IN A CORRIDOR OTHER THAN A GROUND FLOOR CORRIDOR SHALL NOT EXCEED 120 FEET ALONG THE LINE OF TRAVEL TO THE STAIR ENCLOSURE OF AN EXIT STAIRWAY.</li> </ol> <p><b>ALL EXISTING CONDITIONS AND NEW WORK CONDITIONS CONTAIN THE FOLLOWING DEAD-END CORRIDOR INFORMATION:</b></p> <ol style="list-style-type: none"> <li>DEAD-END CORRIDOR POCKETS SHALL NOT EXCEED A MAXIMUM DEPTH OF 1 1/2 TIMES THE WIDTH OF THE POCKET, OR 1 1/2 TIMES THE WIDTH OF THE CORRIDOR, WHICHEVER IS LESS. MAX DEAD- END DISTANCE IS 20'.</li> </ol>	<p>PRIMARY EXIT</p> <p>SECONDARY EXIT</p> <p>RESCUE WINDOW (SECONDARY EXIT)</p> <p>ACCESSIBLE EXIT</p> <p>RESCUE ASSISTANCE STATION / AREA OF REFUGE</p> <p>NUMBER OF OCCUPANTS PER TABLE 1004.1.2 (ACTUAL NUMBER OF OCCUPANTS)</p> <p>REQUIRED EXIT WIDTH FOR DOOR BASED ON (OCCUPANT * 0.2)</p> <p>REQUIRED EXIT WIDTH FOR STAIRS BASED ON (OCCUPANT * 0.3)</p> <p>EXIT PATH OF TRAVEL (START - END)</p> <p>ABBREVIATIONS</p> <p>DC DEFIBRILLATOR CABINET</p> <p>EWP EXIT WIDTH PROVIDED</p> <p>EWL EXIT WIDTH REQUIRED</p> <p>FE FIRE EXTINGUISHER</p> <p>FEC FIRE EXTINGUISHER CABINET</p> <p>OCCS NUMBER OF OCCUPANTS IN SPACE</p>
<p>CONSTRUCTION HISTORY</p>	<p><b>SMOKE SEPARATION NOTES</b></p> <p>PER S.E.D. §106-1, FLOORS SMOKE SEPARATED</p> <p>PER S.E.D. §109-3.4.5, SMOKE SEPARATED ZONES APPROX. 30,000 SF OR LESS</p> <p>SMOKE BARRIER</p> <p>DUCTWORK PENETRATIONS REQUIRED</p> <p>SMOKE DAMPER</p> <p>PER S.E.D. §105-2.4, IN SPRINKLERED BUILDINGS, ALL CORRIDORS SHALL BE PROTECTED FROM THE SPREAD OF SMOKE FROM ADJACENT SPACES. DOOR CLOSERS AND SMOKE DAMPERS ARE REQUIRED</p>
	<p><b>FIRE SEPARATION NOTES</b></p> <p>1 HOUR RATED FIRE PARTITION</p> <p>2 HOUR RATED FIRE PARTITION</p>
	<p><b>CODE NARRATIVE:</b></p> <p>1960 ORIGINAL CONSTRUCTION CONSTRUCTION TYPE: IA FIRST FLOOR AREA: 101,765 SF GROSS CURRENT USE: 'E' - EDUCATION</p> <p>2001 CONSTRUCTION CONSTRUCTION TYPE: IB FIRST FLOOR AREA: 112,216 SF GROSS CURRENT USE: 'E' - EDUCATION</p> <p><b>BUILDING AREA:</b> (PER TABLE 506.2) PERMITTED FOR TYPE IB / GROUP 'E'</p> <p><b>REQUIRED CORRIDOR FIRE-RESISTANCE RATING:</b> (PER TABLE 1004.3.2.1) 1 HOUR</p>

MATCHLINE REFER TO 1/ LS112

MATCHLINE REFER TO 1/ LS112



19 Front St., Newburgh - New York 12550-7601  
 845-561-3379 www.csarch.com  
 CSARCH

Project Title  
**HIGHLAND CENTRAL SCHOOL DISTRICT  
 HIGHLAND HIGH SCHOOL  
 2022 CAPITAL IMPROVEMENT PROJECT - PHASE 1**

Expiration Date: 02/28/2025

DATE	DESCRIPTION

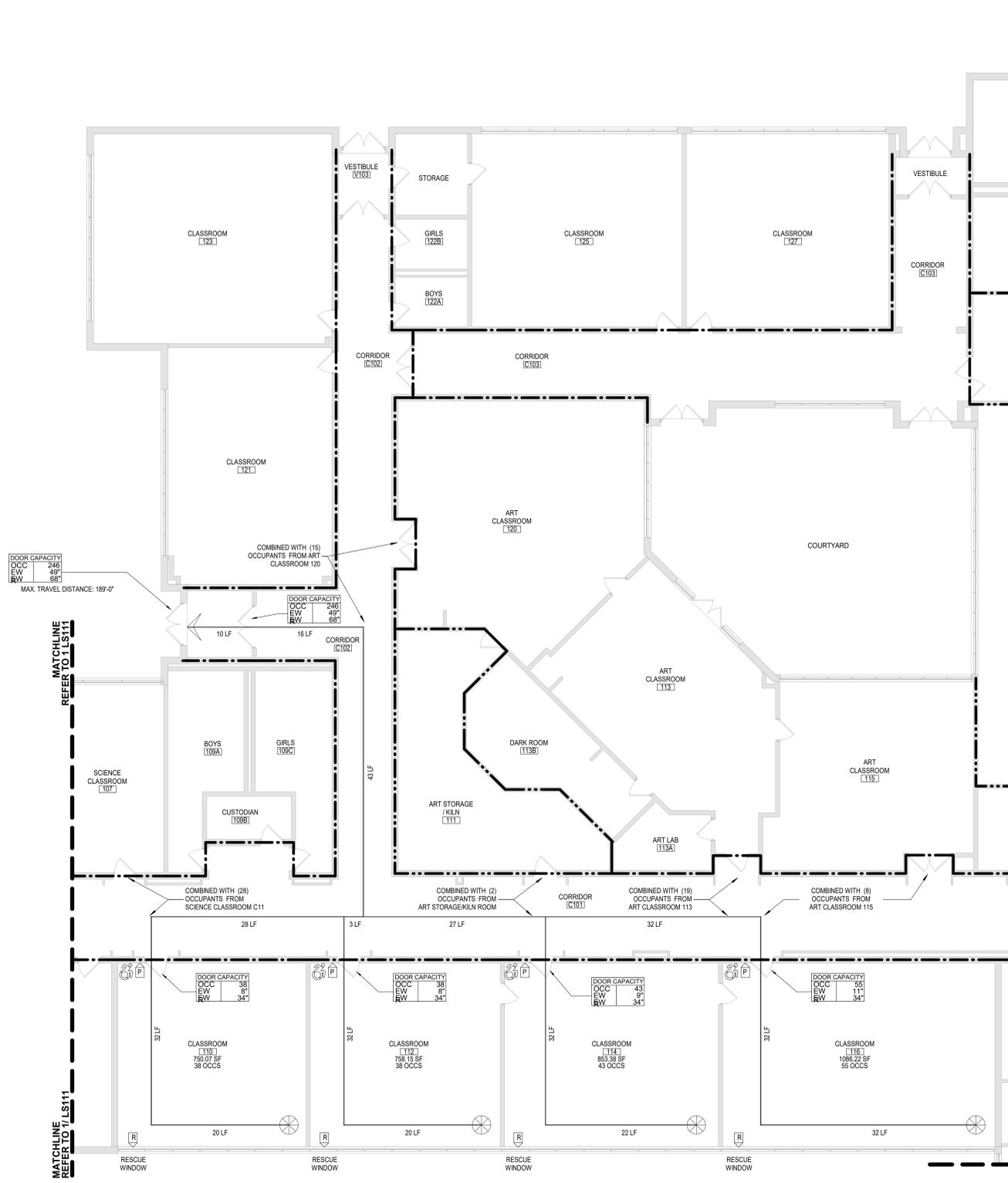
Drawn By: CSA  
 Checked By: CSA  
 Proj. #: 62-08-03-04-0-009-014  
 CSArch Proj. #: 197-2201.01  
 Issued for Bid: 08/18/23

Sheet Title  
**FIRST FLOOR LIFE SAFETY PLAN - AREA 'A'**

Sheet No.  
**HHS LS111**

CONSTRUCTION DOCUMENTS

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**1** FIRST FLOOR LIFE SAFETY PLAN - AREA 'B'  
LS112 1/8" = 1'-0"

<p><b>CODE NOTES</b></p> <p>ALL NEW WORK TO BE PERFORMED SHALL BE IN ACCORDANCE WITH THE FOLLOWING:</p> <ol style="list-style-type: none"> <li>2020 INTERNATIONAL BUILDING CODE</li> <li>2020 INTERNATIONAL EXISTING BUILDING CODE</li> <li>NYS BUILDING CODE SUPPLEMENTS</li> <li>ANSI A117.1-09</li> <li>2022 NYS ED MANUAL OF PLANNING STANDARDS</li> </ol> <p>ALL EXISTING CONDITIONS AND NEW WORK CONDITIONS CONTAIN THE FOLLOWING MAXIMUM TRAVEL DISTANCES:</p> <ol style="list-style-type: none"> <li>EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED 200 FEET FOR UNSPRINKLERED BUILDINGS OF OCCUPANCY TYPE 'E'.</li> <li>ANY POINT IN ANY GROUND FLOOR CORRIDOR MUST BE WITHIN 150 FEET ALONG THE LINE OF TRAVEL TO AN EXTERIOR DOORWAY. ANY POINT IN A CORRIDOR OTHER THAN A GROUND FLOOR CORRIDOR SHALL NOT EXCEED 120 FEET ALONG THE LINE OF TRAVEL TO THE STAIR ENCLOSURE OF AN EXIT STAIRWAY.</li> </ol> <p>ALL EXISTING CONDITIONS AND NEW WORK CONDITIONS CONTAIN THE FOLLOWING DEAD-END CORRIDOR INFORMATION:</p> <ol style="list-style-type: none"> <li>DEAD-END CORRIDOR POCKETS SHALL NOT EXCEED A MAXIMUM DEPTH OF 1 1/2 TIMES THE WIDTH OF THE POCKET, OR 1 1/2 TIMES THE WIDTH OF THE CORRIDOR, WHICHEVER IS LESS. MAX DEAD- END DISTANCE IS 20'.</li> </ol>	<p><b>LIFE SAFETY PLAN LEGEND</b></p> <ul style="list-style-type: none"> <li>PRIMARY EXIT</li> <li>SECONDARY EXIT</li> <li>RESCUE WINDOW (SECONDARY EXIT)</li> <li>ACCESSIBLE EXIT</li> <li>RESCUE ASSISTANCE STATION / AREA OF REFUGE</li> <li>NUMBER OF OCCUPANTS PER TABLE 1004.1.2 (ACTUAL NUMBER OF OCCUPANTS)</li> <li>REQUIRED EXIT WIDTH FOR DOOR BASED ON (OCCUPANT * 0.2)</li> <li>REQUIRED EXIT WIDTH FOR STAIRS BASED ON (OCCUPANT * 0.3)</li> <li>EXIT PATH OF TRAVEL (START - END)</li> </ul> <p>ABBREVIATIONS</p> <ul style="list-style-type: none"> <li>DC DEFIBRILLATOR CABINET</li> <li>EWP EXIT WIDTH PROVIDED</li> <li>EWL EXIT WIDTH REQUIRED</li> <li>FE FIRE EXTINGUISHER</li> <li>FEC FIRE EXTINGUISHER CABINET</li> <li>OCCS NUMBER OF OCCUPANTS IN SPACE</li> </ul>
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<p><b>KEYPLAN</b></p>	
<p><b>DRAMA BY:</b> CSA <b>CHECKED BY:</b> CSA <b>PROJ. #:</b> 62-08-03-04-0-009-014 <b>CSArch Proj. #:</b> 197-2201.01 <b>ISSUED FOR BID:</b> 08/18/23</p> <p><b>Sheet Title</b> FIRST FLOOR LIFE SAFETY PLAN - AREA 'B'</p> <p><b>Sheet No.</b> HHS LS112</p> <p>COPYRIGHT © ALL RIGHTS RESERVED CONSTRUCTION DOCUMENTS</p>	

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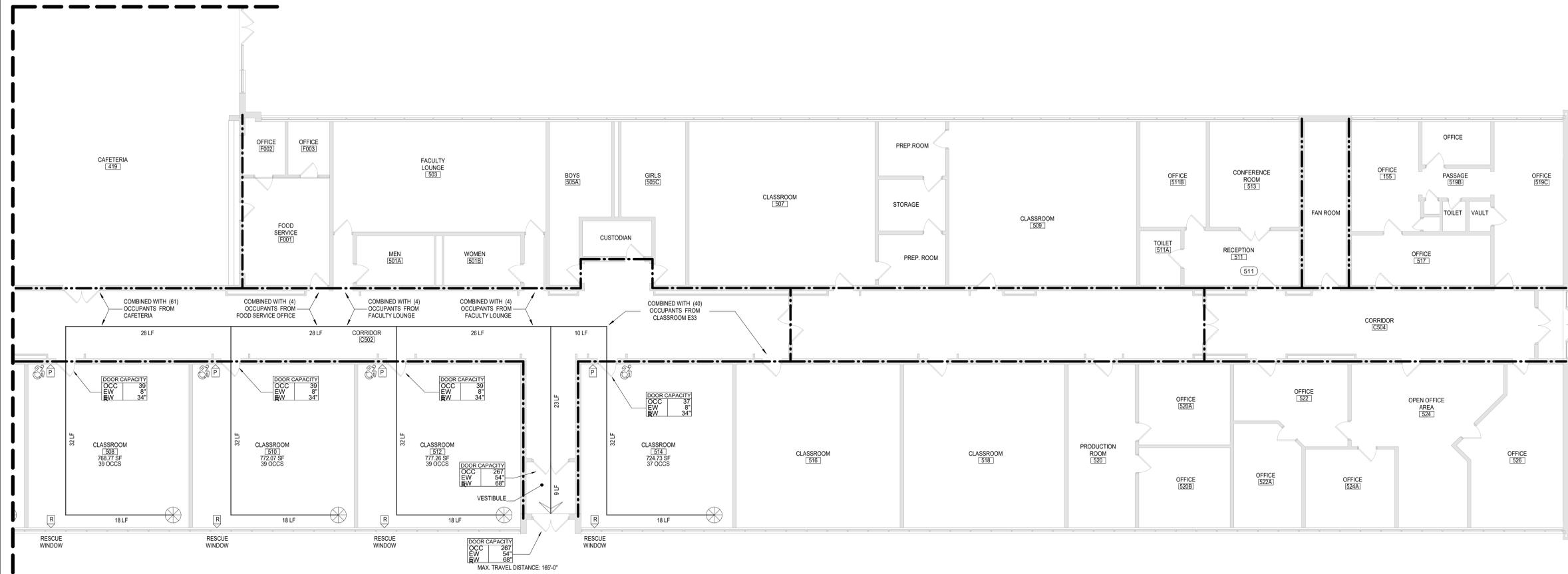
HIGHLAND CENTRAL SCHOOL DISTRICT  
HIGHLAND HIGH SCHOOL  
2022 CAPITAL IMPROVEMENT PROJECT - PHASE 1

Professional Engineer  
623344  
STATE OF NEW YORK  
Expiration Date: 02/28/2025

DATE	DESCRIPTION

CS ARCH

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**1** FIRST FLOOR LIFE SAFETY PLAN - AREA 'E'  
LS115 1/8" = 1'-0"

CODE NOTES	LIFE SAFETY PLAN LEGEND
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**KEYPLAN**

Drawn By: CJA  
Checked By: CJA  
Proj. #: 62-08-03-04-0-009-014  
CSArch Proj. #: 197-2201.01  
Issued for Bid: 08/18/23

Sheet Title  
**FIRST FLOOR LIFE SAFETY PLAN - AREA 'E'**

Sheet No.  
**HHS LS115**

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**HIGHLAND CENTRAL SCHOOL DISTRICT  
HIGHLAND HIGH SCHOOL  
2022 CAPITAL IMPROVEMENT PROJECT - PHASE 1**

Project Title

EXPIRES

EXPIRATION DATE: 02/28/2025

DATE DESCRIPTION

STATE OF NEW YORK  
REGISTERED ARCHITECT  
62334  
02/28/2025

CONSTRUCTION DOCUMENTS

PRE-ABATEMENT WORK NOTES:

1. THESE DRAWINGS HAVE BEEN PREPARED BY UTILIZING THE OWNERS ORIGINAL CONSTRUCTION DOCUMENTS IN ORDER TO ILLUSTRATE THE EXISTING CONDITIONS OF THE SITE AND STRUCTURES THEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACTUAL VERIFICATION OF ALL EXISTING CONDITIONS IN THE FIELD.
2. THE CONTRACTOR SHALL DETERMINE EXACT FINAL LOCATIONS OF PERSONNEL AND WASTE DECONTAMINATION ENCLOSURES, PICK UP AREA FOR REFUSE AND ASBESTOS DEBRIS, THESE LOCATIONS SHALL BE REVIEWED AND PROPERLY APPROVED BY THE DISTRICT PRIOR TO COMMENCEMENT OF WORK. THIS CONTRACTOR SHALL ESTABLISH, LABEL AND MAINTAIN PROPER EXITS AND WAYS OF DEPARTURE WITHIN EACH WORK AREA FOR NORMAL AND EMERGENCY USE BY WORKERS DURING ALL ABATEMENT.
3. THE CONTRACTOR, PRIOR TO BIDDING, SHALL BE RESPONSIBLE TO BECOME COMPLETELY FAMILIAR WITH ALL ASPECTS OF THE PROJECT, INCLUDING, BUT NOT LIMITED TO, ALL DEMOLITION AND CONSTRUCTION WORK AS SHOWN IN THE COMPLETE SET OF DRAWINGS AND IN THE PROJECT MANUAL/SPECIFICATIONS, IN ORDER THAT THE FULL SCOPE OF WORK WHICH MAY ENCOUNTER ASBESTOS CONTAINING MATERIALS IS UNDERSTOOD AND ACCOUNTED FOR BY THE CONTRACTOR IN THIS PROJECT WHETHER OR NOT SHOWN IN THESE DOCUMENTS.

ASBESTOS REMOVAL GENERAL NOTES:

1. ASBESTOS ABATEMENT INDICATED ON THIS DRAWING SHALL BE PERFORMED BY A NYS DEPARTMENT OF LABOR LICENSED ASBESTOS CONTRACTOR, THAT SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND QUANTITIES PRIOR TO BID.
2. THE CONTRACTOR SHALL PERFORM ALL CONTRACT WORK IN ACCORDANCE WITH CONTRACT SPECIFICATIONS, NEW YORK STATE DEPARTMENT OF LABOR (NYS DOL) INDUSTRIAL CODE RULE 56, OSHA, NESHAPS, AHEA, NYSDEC AND ALL OTHER APPLICABLE CODES.
3. THE CONTRACTOR SHALL MAINTAIN THE SITE AS NEAT AS POSSIBLE AND ORDERLY DURING THE WORK. ALL LOOSE DEBRIS WHICH MAY BLOW OFF THE SITE SHALL BE COLLECTED AND DISPOSED OF PROPERLY BY THE CONTRACTOR ON A DAILY BASIS AS PART OF THE PROJECT.
4. THE CONTRACTOR SHALL PROVIDE BARRIERS AROUND THE WORK AREAS IN ORDER TO ENSURE SAFE PASSAGE BY ANY PERSON. THESE BARRIERS SHALL ALSO SERVE TO KEEP ALL UNAUTHORIZED PERSONS OUT THE PROJECT AREA FOR THE DURATION OF THE WORK.
5. VARIANCES: CONTRACTOR SHALL PAY FOR AND OBTAIN ANY NECESSARY SITE SPECIFIC VARIANCES.
6. THE CONTRACTOR SHALL MAINTAIN SECURITY IN THE BUILDING AND THE WORK AREAS AT ALL TIMES.
7. PROJECT STAGING, STORAGE, SCHEDULING AND ACCESS SHALL BE COORDINATED WITH AND APPROVED BY THE ARCHITECT, CM AND OWNER PRIOR TO PROCEEDING WITH WORK.
8. SHOULD IT BE NECESSARY, CONTRACTOR SHALL COORDINATE SHUT DOWN AND LOCK OUT OF THE ELECTRICAL POWER WITH OWNER'S POWER WITH OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF WORK.
9. ALL TEMPORARY POWER TO THE WORK AREA SHALL BE BROUGHT IN FROM OUTSIDE THE WORK AREA THROUGH A GROUND-FULT CIRCUIT INTERRUPTER AT THE SOURCE.
10. CONTRACTOR SHALL COORDINATE HOOKUP OF WATER SERVICE FOR DECONTAMINATION PURPOSES WITH OWNER'S REPRESENTATIVE. WATER FOR THE DECONTAMINATION UNITS IS AVAILABLE FROM THE OWNER.
11. THE OWNER OR OWNER'S REPRESENTATIVE IS RESPONSIBLE TO CONTRACT FOR NYS DOL PROJECTS MONITORING/AIR SAMPLING TECHNICIAN SERVICES AS REQUIRED.
12. CONTRACTOR TO PROVIDE A COPY OF SDS'S FOR ANY CHEMICAL AGENTS TO BE USED DURING THE ASBESTOS ABATEMENT TO THE PROJECT MONITOR AND THE OWNER'S REPRESENTATIVE.
13. CONTRACTOR SHALL REQUEST AND RECEIVE PROJECT MONITOR AND OWNER'S REPRESENTATIVE APPROVAL OF ALL WORK BEFORE ANY ABATEMENT IS UNDERTAKEN.
14. UNDER NO CIRCUMSTANCES SHALL CONTAMINATED WASTE WATER BE FILTERED THROUGH A SYSTEM WITHOUT AT LEAST A 5.0 MICRON PARTICLE SIZE COLLECTION CAPABILITY.
15. DRAWINGS ATTEMPT TO INDICATE THE GENERAL SCOPE OF EXISTING CONDITIONS AND ITEMS EFFECTED BY THE ABATEMENT WORK. CONTRACTOR SHALL EXAMINE THE WORK AREA PRIOR TO BID AND SHALL INCLUDE FIELD VARIATIONS FROM THOSE SHOWN WITH IN THE GENERAL INTENT OF THE WORK.
16. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ASBESTOS CONTAINING MATERIALS CONTAINED WITHIN THE PROJECT AND ASSOCIATED WITH ALL PROJECT WORK, IN COMPLIANCE WITH ALL APPLICABLE LAWS, RULES, REGULATIONS AND ALL REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
17. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ASBESTOS CONTAINING MATERIALS CONTAINED WITHIN THE PROJECT AND ASSOCIATED WITH ALL PROJECT WORK, IN THE MOST EFFICIENT AND COST EFFECTIVE METHOD POSSIBLE, WHICH ALSO COMPLIES WITH THE REQUIREMENTS LISTED ABOVE.

POST-ABATEMENT WORK NOTES:

1. PROVIDE ALL APPLICABLE CODE RULE 56 PROCEDURES, CLEAN UP, AND ADDITIONAL TESTING AS REQUIRED.
2. PRIOR TO ABATEMENT, ALL CONTRACTORS WILL SURVEY EXISTING CONDITIONS IN THE ABATEMENT AND GENERAL WORK AREAS. ITEMS/MATERIALS/ETC. DAMAGED, OR NON-FUNCTIONAL SHALL BE LISTED, NOTED, PHOTOGRAPHED AND REVIEWED WITH THE PROJECT INSPECTOR. ALL OTHER ITEMS/MATERIALS SHALL BE REVIEWED WITH THE PROJECT INSPECTOR. ALL OTHER ITEMS/MATERIALS SHALL BE ASSUMED TO BE IN GOOD CONDITION AND GOOD WORKING ORDER. IT SHALL BE THE RESPONSIBILITY OF THE ABATEMENT CONTRACTOR TO MAINTAIN ALL MATERIALS, ITEMS, EQUIPMENT, SYSTEMS, ETC. IN ITS ORIGINAL CONDITION AND RETURN TO OWNER/GC, ETC. IN SAME CONDITION AT THE END OF THIS CONTRACT.
3. REMOVE ALL TEMPORARY ENCLOSURES, BARRIERS, ETC. REINSTALL ITEMS/WORK PREVIOUSLY REMOVED, ALL TAPE AND ADHESIVE RESIDUALS TO BE REMOVED. TEST AND REPAIR.
4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE AGAINST DAMAGE TO THE EXISTING WORK TO REMAIN IN PLACE. ANY DAMAGE TO SUCH WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND OWNER AT NO ADDITIONAL COST TO THE CONTRACT.
5. AT COMPLETION OF THE ABATEMENT WORK, A CONDITION SURVEY SHALL BE DONE BY ALL CONTRACTORS AND PROJECT INSPECTOR (SEE NOTE #2). ANY VARIATION (I.E. DAMAGE BY THE CONTRACTOR), AND OTHERWISE NOT INCLUDED AS PART OF THE RECONSTRUCTION WORK, SHALL BE REPAIRED/RESTORED BY THE ABATEMENT CONTRACTOR.
6. THE CONTRACTOR SHALL, UPON COMPLETION OF THE REMOVAL, PROVIDE WRITTEN DOCUMENTATION (INCLUDING ALL APPROPRIATE THIRD PARTY TESTING RESULTS) THAT THE PROJECT WORK AREAS ARE COMPLETELY FREE OF ALL ASBESTOS CONTAINING MATERIALS.
7. THE CONTRACTOR SHALL PROVIDE RECORDS OF ALL ASBESTOS CONTAINING MATERIALS REMOVED FROM THE SITE, INCLUDING THE COMPOSITION AND VOLUMES OF DISPOSED MATERIALS AND THE FINAL DISPOSAL SITE(S).



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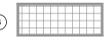
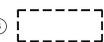


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Construction Documents: 1/31/22

Sheet Title  
ASBESTOS  
ABATEMENT  
NOTES

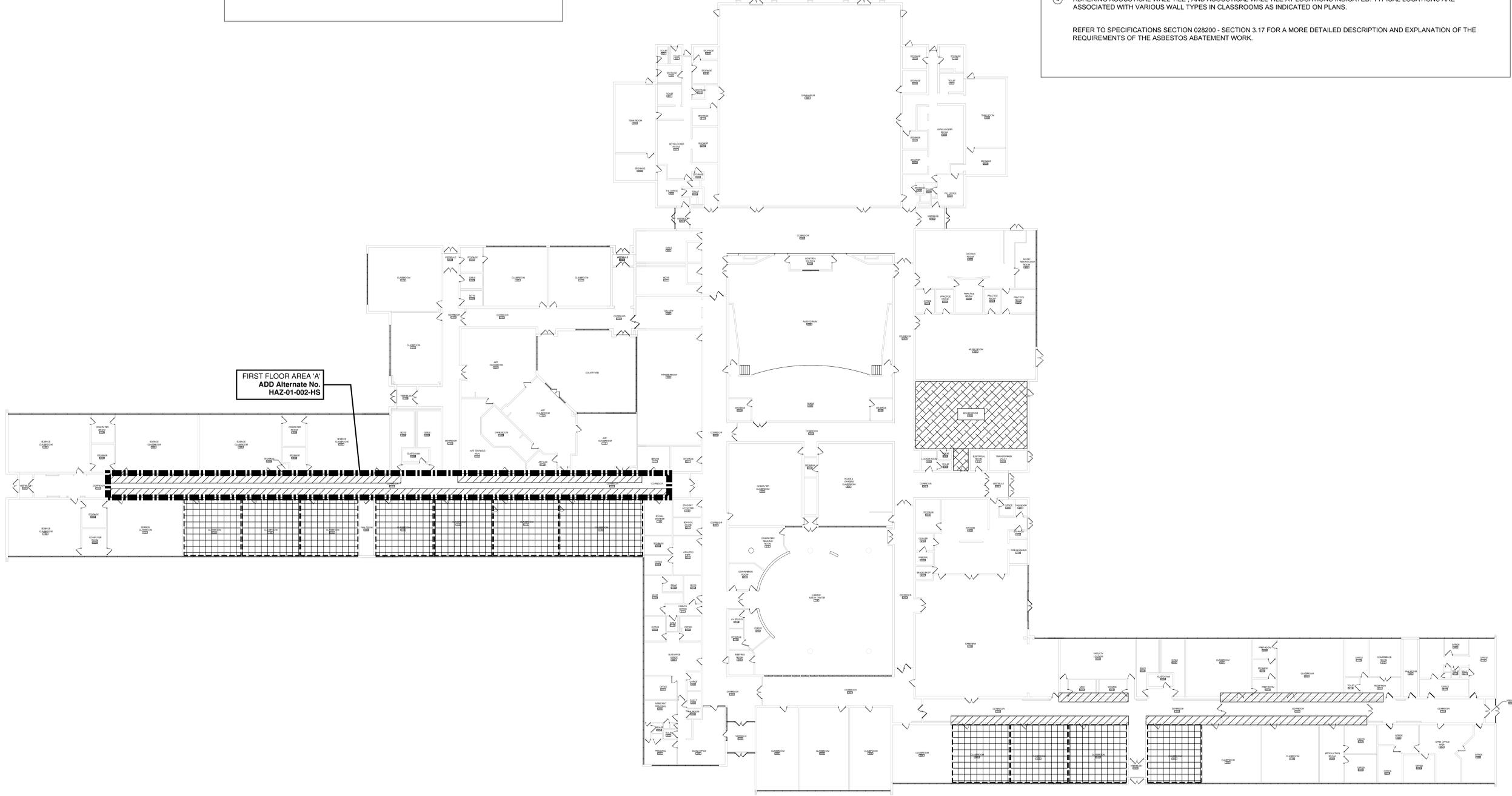
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ASBESTOS ABATEMENT LEGEND	
①	 REMOVE AND DISPOSE OF FRIABLE ACM JOINT COMPOUND AND SHEETROCK AT WALL AND CEILING LOCATIONS. REFER TO NOTE 1
②	 REMOVE AND DISPOSE OF ACM MUDDIED JOINT PACKING (MJP) AND THERMAL SYSTEMS INSULATION AT DESIGNATED LOCATIONS. REFER TO NOTE 2
③	 REMOVE AND DISPOSE OF ACM FLOOR TILE AND MASTIC AT DESIGNATED LOCATIONS. REMOVE AND DISPOSE OF RUBBER WALL BASE AS ACM AT DESIGNATED LOCATIONS. REFER TO NOTE 3
④	 CONTRACTOR TO REMOVE AND DISPOSE OF ACM CONTAMINATED GLUE DABS AT DESIGNATED LOCATIONS. REFER TO NOTE 4.

**ASBESTOS ABATEMENT NOTES**

- ① ASBESTOS CONTRACTOR IS RESPONSIBLE FOR TOTAL AND COMPLETE REMOVAL AND DISPOSAL OF FRIABLE ACM CONTAINING JOINT COMPOUND AND ASSOCIATED SHEETROCK WALLS TO A HEIGHT OF SIX FEET, TYPICAL AT CORRIDOR LOCKER REMOVAL LOCATIONS. LIGHT FIXTURES WILL BE STABILIZED, HEPA VACUUMED, WET WIPED, PLASTICIZED AND REMAIN IN PLACE. ALL SMOKE AND CARBON MONOXIDE (CO) DETECTORS WILL BE PROTECTED WITH 2 LAYERS OF SIX MIL THICKNESS, FIRE RETARDANT POLY.
- ② ASBESTOS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR TOTAL AND COMPLETE REMOVAL AND DISPOSAL OF FRIABLE ASBESTOS CONTAINING MUDDIED JOINT PIPE (MJP) THERMAL SYSTEMS INSULATION LOCATED IN THE BOILER ROOM. SUSPENDED LIGHT FIXTURES WILL BE STABILIZED, HEPA VACUUMED, WET WIPED, PLASTICIZED AND REMAIN IN PLACE. GRID TO BE REMOVED UNDER CONTAINMENT TO ACCESS ACM. ALL SMOKE AND CARBON MONOXIDE (CO) DETECTORS WILL BE PROTECTED WITH 2 LAYERS OF SIX MIL THICKNESS, FIRE RETARDANT POLY.
- ③ ASBESTOS CONTRACTOR IS RESPONSIBLE FOR TOTAL AND COMPLETE REMOVAL AND DISPOSAL OF NON-FRIABLE ACM FLOOR TILE AND MASTIC AT LOCATIONS INDICATED ON THE PLANS.
- ④ ASBESTOS CONTRACTOR IS RESPONSIBLE FOR TOTAL AND COMPLETE REMOVAL AND DISPOSAL OF ACM GLUE DABS ADHERING ACOUSTICAL WALL TILE, AND ACOUSTICAL WALL TILE AT LOCATIONS INDICATED. TYPICAL LOCATIONS ARE ASSOCIATED WITH VARIOUS WALL TYPES IN CLASSROOMS AS INDICATED ON PLANS.

REFER TO SPECIFICATIONS SECTION 028200 - SECTION 3.17 FOR A MORE DETAILED DESCRIPTION AND EXPLANATION OF THE REQUIREMENTS OF THE ASBESTOS ABATEMENT WORK.



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Sheet Title  
**HIGH SCHOOL FIRST FLOOR ABATEMENT PLAN**

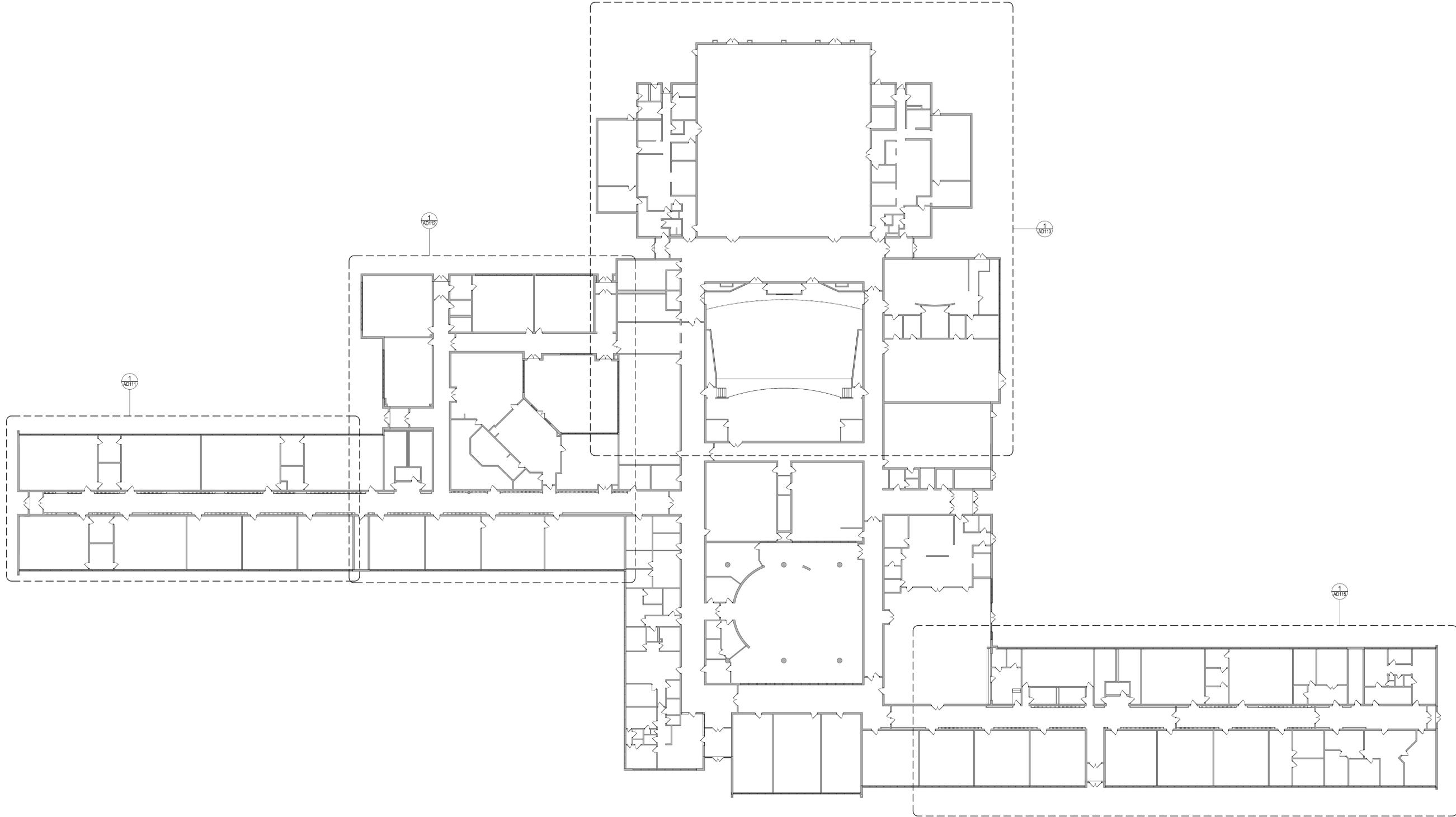
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CONSTRUCTION DOCUMENTS

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**1** OVERALL FIRST FLOOR DEMOLITION PLAN  
 AD110 1" = 20'-0"

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 HIGHLAND HIGH SCHOOL  
 2022 CAPITAL IMPROVEMENT PROJECT - PHASE 1

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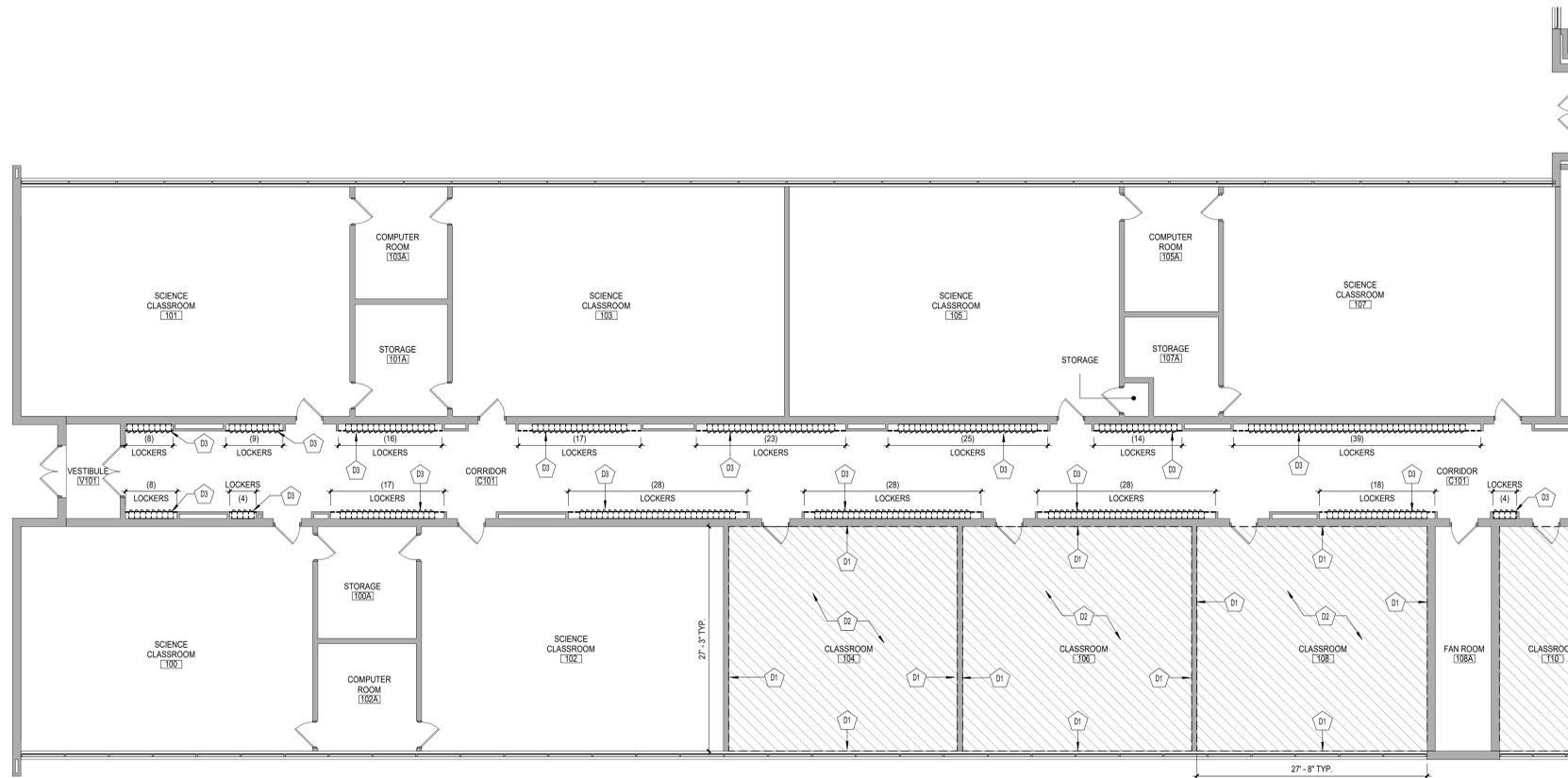
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Sheet Title  
 OVERALL FIRST FLOOR DEMOLITION PLAN

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 HHS AD110

CONSTRUCTION DOCUMENTS



**1** FIRST FLOOR DEMOLITION PLAN - AREA 'A'  
AD111 1/8" = 1'-0"

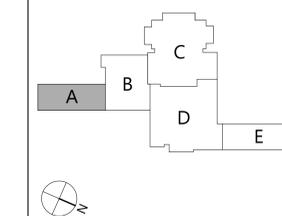
**GENERAL NOTES**

- COORDINATE ALL REMOVALS WITH NEW CONSTRUCTION.
- PATCH AND REPLACE EXISTING AND NEWLY CREATED HOLES IN WALLS (DUE TO REMOVAL) WITH MATERIALS TO MATCH EXISTING CONSTRUCTION.
- SALVAGED ITEMS SHALL BE TURNED OVER TO OWNER UNO.
- ALL KEYED REMOVALS SHALL INCLUDE REMOVAL OF ANY AND ALL ANCHORING SYSTEMS INCLUDING OBJECTS EMBEDDED INTO EXISTING WALLS.
- REFER TO ASBESTOS AND MEP DRAWINGS FOR ADDITIONAL REMOVAL INFORMATION.
- PROVIDE TEMPORARY SHORING AS NECESSARY AT ALL AREAS OF WALL REMOVAL AND NEW WALL PENETRATIONS.
- DRILL CORNERS OF ALL NEW SAWCUT OPENING PRIOR TO SAWCUTTING, TO PREVENT CUTTING INTO SCHEDULED CONSTRUCTION TO REMAIN.
- ALL EXISTING LOCKERS ARE 8" WIDE x 10" DEEP & SINGLE TIER.

**KEY NOTES - DEMOLITION**

KEY	DESCRIPTION
D1	REMOVE WALL MOUNTED ACOUSTICAL PANELS IN THEIR ENTIRETY AND PATCH AS REQUIRED. COORDINATE WITH HAZARDOUS MATERIALS DRAWINGS.
D2	REMOVE EXISTING RESILIENT TILE FLOORING, WALL BASE, AND MASTIC IN ITS ENTIRETY. COORDINATE WITH HAZARDOUS MATERIALS DRAWINGS.
D3	EXISTING CORRIDOR LOCKERS INCLUDING OVERHEAD GYPSUM/ASTER SOFFIT AND RUBBER WALL BASE TO BE REMOVED. COORDINATE WITH HAZARDOUS MATERIAL DRAWINGS.

**KEYPLAN**



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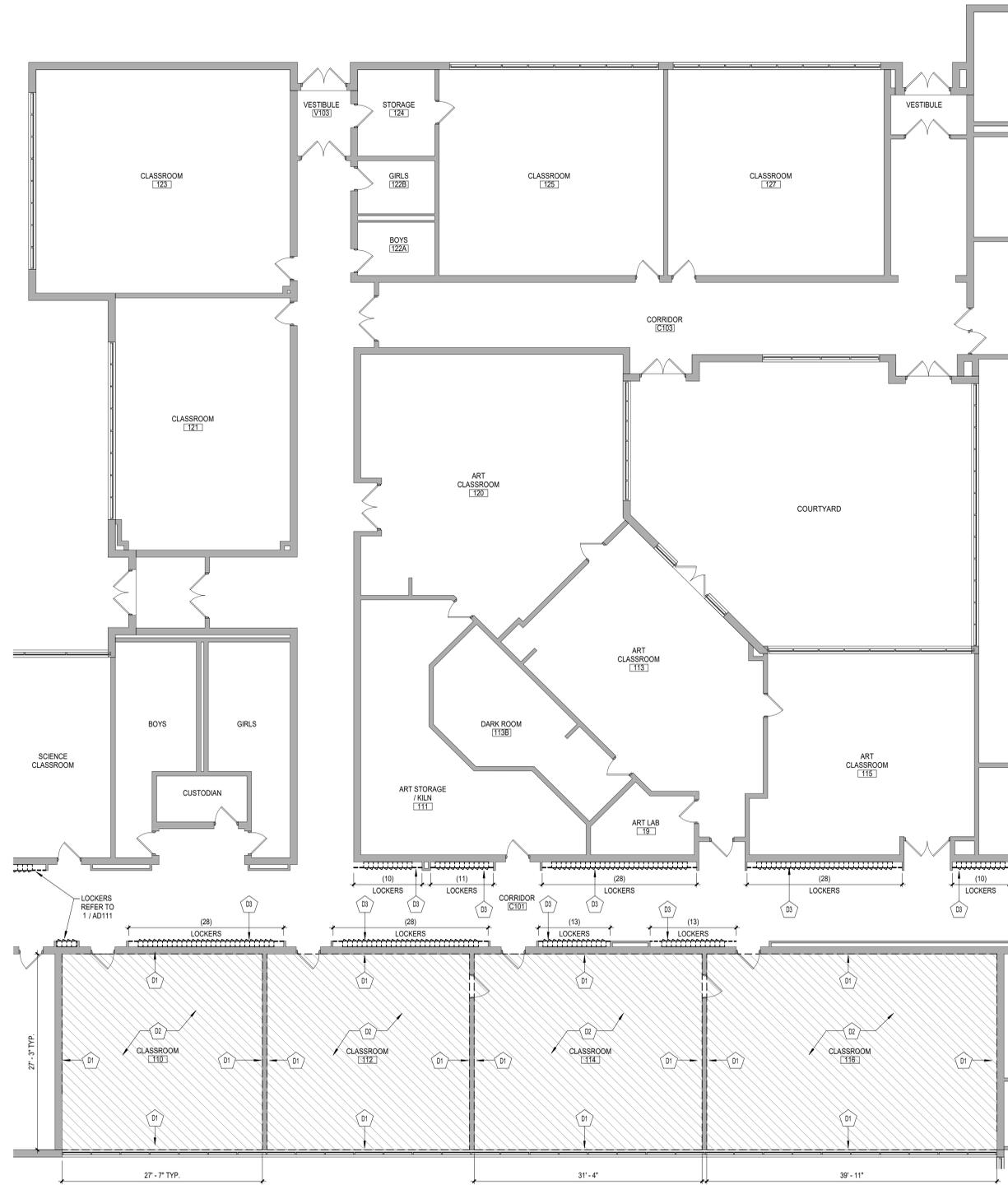
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Sheet Title  
FIRST FLOOR DEMOLITION PLAN - AREA 'A'

Sheet No.  
HHS  
AD111

CONSTRUCTION DOCUMENTS

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**1** FIRST FLOOR DEMOLITION PLAN - AREA 'B'  
AD112 1/8" = 1'-0"

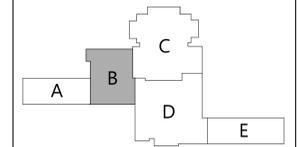
**GENERAL NOTES**

- COORDINATE ALL REMOVALS WITH NEW CONSTRUCTION.
- PATCH AND REPLACE EXISTING AND NEWLY CREATED HOLES IN WALLS (DUE TO REMOVAL) WITH MATERIALS TO MATCH EXISTING CONSTRUCTION.
- SALVAGED ITEMS SHALL BE TURNED OVER TO OWNER UNO.
- ALL KEYED REMOVALS SHALL INCLUDE REMOVAL OF ANY AND ALL ANCHORING SYSTEMS INCLUDING OBJECTS EMBEDDED INTO EXISTING WALLS.
- REFER TO ASBESTOS AND MEP DRAWINGS FOR ADDITIONAL REMOVAL INFORMATION.
- PROVIDE TEMPORARY SHORING AS NECESSARY AT ALL AREAS OF WALL REMOVAL AND NEW WALL PENETRATIONS.
- DRILL CORNERS OF ALL NEW SAWCUT OPENING PRIOR TO SAWCUTTING, TO PREVENT CUTTING INTO SCHEDULED CONSTRUCTION TO REMAIN.
- ALL EXISTING LOCKERS ARE 8" WIDE x 10" DEEP & SINGLE TIER.

**KEY NOTES - DEMOLITION**

DESCRIPTION	DESCRIPTION
D1	REMOVE WALL MOUNTED ACOUSTICAL PANELS IN THEIR ENTIRETY AND PATCH AS REQUIRED. COORDINATE WITH HAZARDOUS MATERIALS DRAWINGS.
D2	REMOVE EXISTING RESILIENT TILE FLOORING, WALL BASE AND MASTIC IN ITS ENTIRETY. COORDINATE WITH HAZARDOUS MATERIALS DRAWINGS.
D3	EXISTING CORRIDOR LOCKERS INCLUDING OVERHEAD GYPSUM/PLASTER SOFFIT AND RUBBER WALL BASE TO BE REMOVED. COORDINATE WITH HAZARDOUS MATERIAL DRAWINGS.

**KEYPLAN**



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HIGHLAND HIGH SCHOOL  
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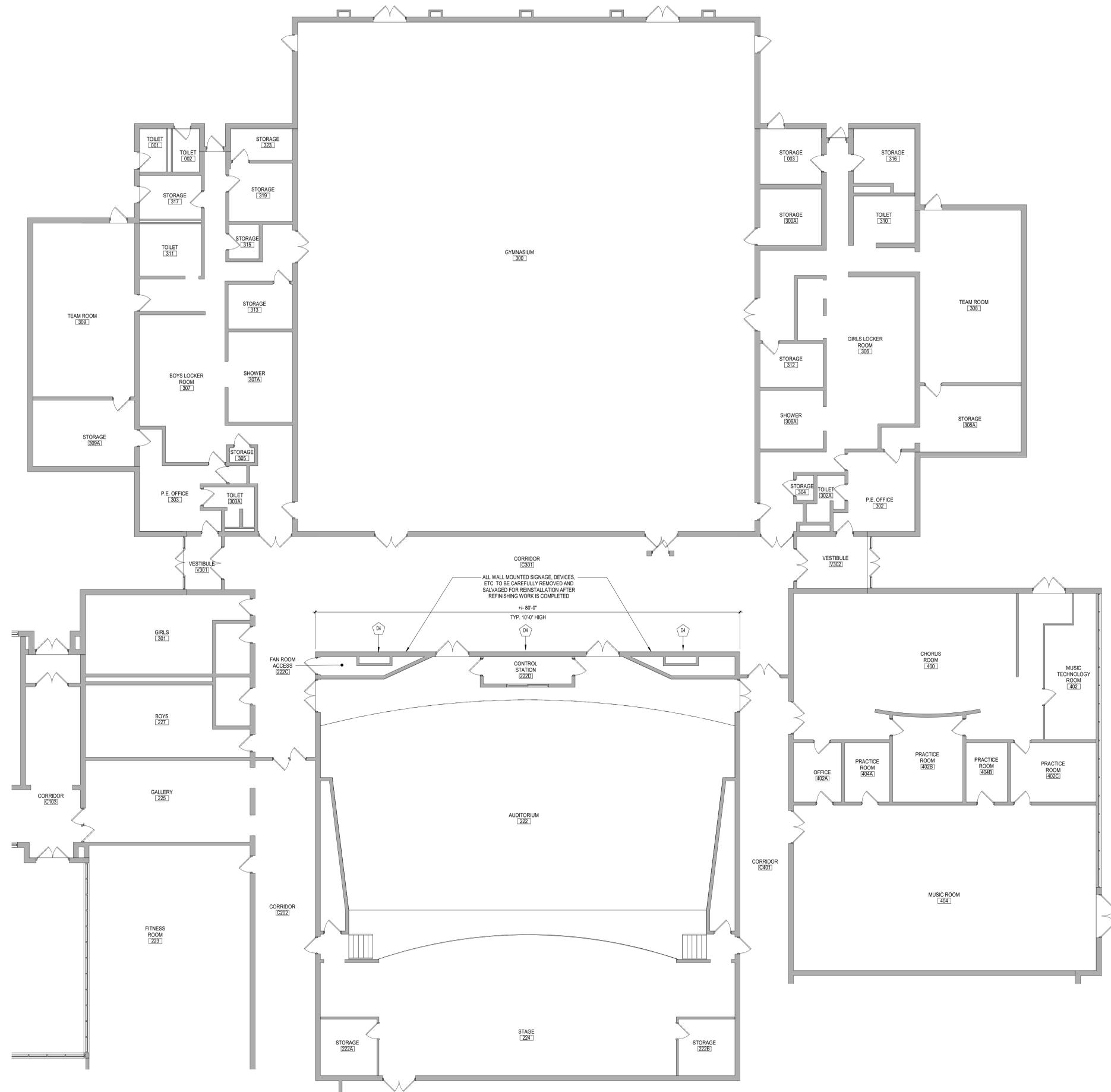
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Sheet Title  
**FIRST FLOOR  
DEMOLITION  
PLAN - AREA  
'B'**

Sheet No.  
**HHS  
AD112**



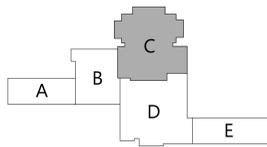
**GENERAL NOTES**

- COORDINATE ALL REMOVALS WITH NEW CONSTRUCTION.
- PATCH AND REFACE EXISTING AND NEWLY CREATED HOLES IN WALLS (DUE TO REMOVAL) WITH MATERIALS TO MATCH EXISTING CONSTRUCTION.
- SALVAGED ITEMS SHALL BE TURNED OVER TO OWNER UNO.
- ALL KEYPED REMOVALS SHALL INCLUDE REMOVAL OF ANY AND ALL ANCHORING SYSTEMS INCLUDING OBJECTS EMBEDDED INTO EXISTING WALLS.
- REFER TO ASBESTOS AND MEP DRAWINGS FOR ADDITIONAL REMOVAL INFORMATION.
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- ALL EXISTING LOCKERS ARE 8" WIDE x 10" DEEP & SINGLE TIER.

**KEY NOTES - DEMOLITION**

DESCRIPTION
D4 REMOVE FINISH AND SEALER FROM EXISTING WOOD PANEL WALL WITH WOOD STRIPPING MATERIAL SPECIFIED. SAND WOOD PANELS AND PREP FOR REFINISHING.

**KEYPLAN**



**1** FIRST FLOOR DEMOLITION PLAN - AREA 'C'  
AD113 1/8" = 1'-0"

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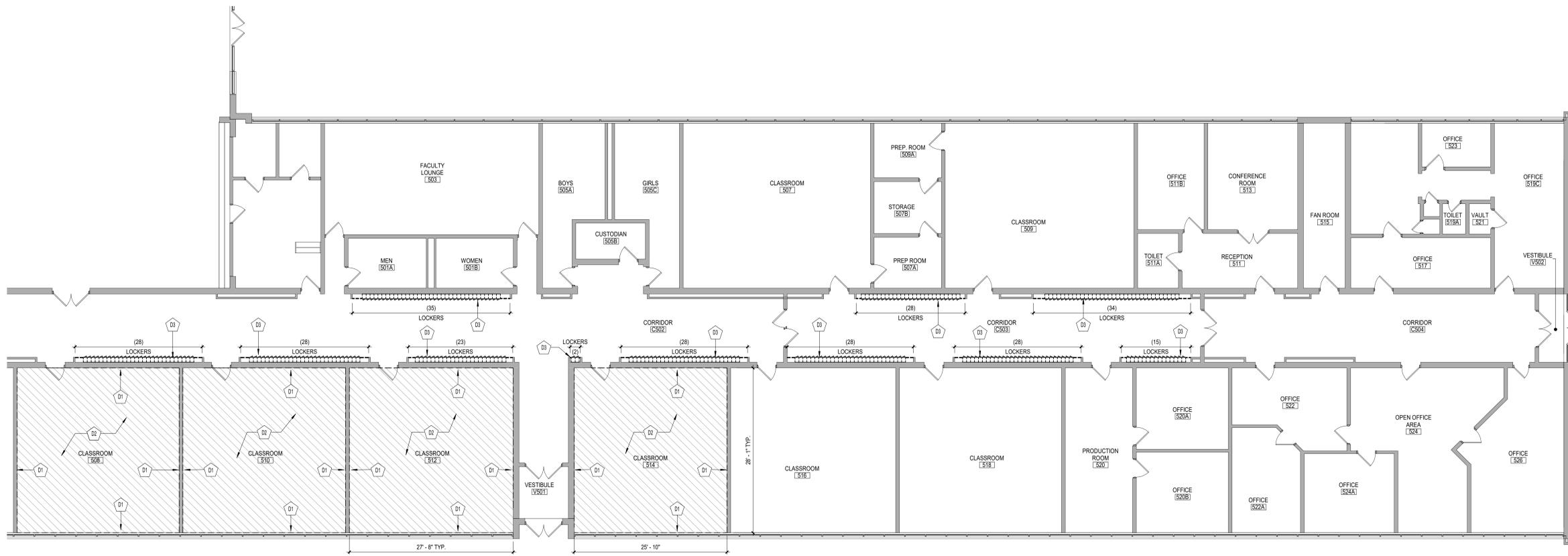
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Sheet Title  
**FIRST FLOOR  
DEMOLITION  
PLAN - AREA  
'C'**

Sheet No.  
**HHS  
AD113**

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**1** FIRST FLOOR DEMOLITION PLAN - AREA 'E'  
AD115 1/8" = 1'-0"

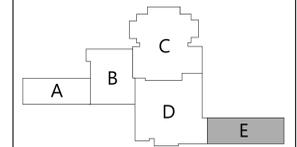
**GENERAL NOTES**

1. COORDINATE ALL REMOVALS WITH NEW CONSTRUCTION.
2. PATCH AND REPLACE EXISTING AND NEWLY CREATED HOLES IN WALLS (DUE TO REMOVAL) WITH MATERIALS TO MATCH EXISTING CONSTRUCTION.
3. SALVAGED ITEMS SHALL BE TURNED OVER TO OWNER UNO.
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5. REFER TO ASBESTOS AND MEP DRAWINGS FOR ADDITIONAL REMOVAL INFORMATION.
6. PROVIDE TEMPORARY SHORING AS NECESSARY AT ALL AREAS OF WALL REMOVAL AND NEW WALL PENETRATIONS.
7. DRILL CORNERS OF ALL NEW SAWCUT OPENING PRIOR TO SAWCUTTING, TO PREVENT CUTTING INTO SCHEDULED CONSTRUCTION TO REMAIN.
8. ALL EXISTING LOCKERS ARE 8" WIDE x 10" DEEP & SINGLE TIER.

**KEY NOTES - DEMOLITION**

KEY	DESCRIPTION
D1	REMOVE WALL MOUNTED ACOUSTICAL PANELS IN THEIR ENTIRETY AND PATCH AS REQUIRED. COORDINATE WITH HAZARDOUS MATERIALS DRAWINGS.
D2	REMOVE EXISTING RESILIENT TILE FLOORING, WALL BASE, AND MASTIC IN ITS ENTIRETY. COORDINATE WITH HAZARDOUS MATERIALS DRAWINGS.
D3	EXISTING CORRIDOR LOCKERS INCLUDING OVERHEAD GYPSUM/PLASTER SOFFIT AND RUBBER WALL BASE TO BE REMOVED. COORDINATE WITH HAZARDOUS MATERIAL DRAWINGS.

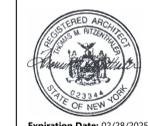
**KEYPLAN**



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 HIGHLAND HIGH SCHOOL  
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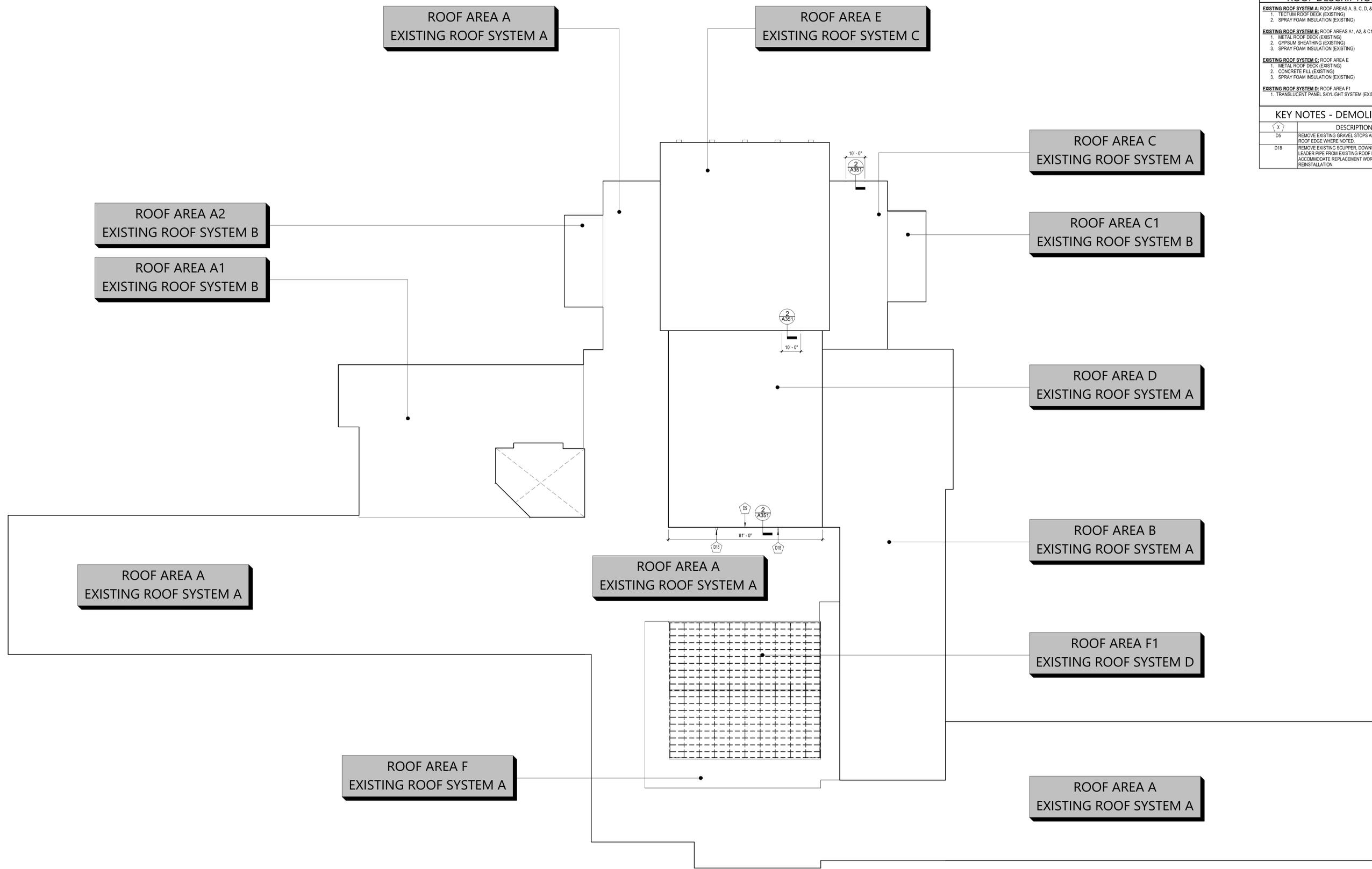
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Sheet Title  
**FIRST FLOOR  
 DEMOLITION  
 PLAN - AREA  
 'E'**

Sheet No.  
**HHS  
 AD115**

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ROOF DESCRIPTIONS	
<b>EXISTING ROOF SYSTEM A:</b> ROOF AREAS A, B, C, D, & F	
1. TECTUM ROOF DECK (EXISTING)	
2. SPRAY FOAM INSULATION (EXISTING)	
<b>EXISTING ROOF SYSTEM B:</b> ROOF AREAS A1, A2, & C1	
1. METAL ROOF DECK (EXISTING)	
2. GYPSUM SHEATHING (EXISTING)	
3. SPRAY FOAM INSULATION (EXISTING)	
<b>EXISTING ROOF SYSTEM C:</b> ROOF AREA E	
1. METAL ROOF DECK (EXISTING)	
2. CONCRETE FILL (EXISTING)	
3. SPRAY FOAM INSULATION (EXISTING)	
<b>EXISTING ROOF SYSTEM D:</b> ROOF AREA F1	
1. TRANSLUCENT PANEL SKYLIGHT SYSTEM (EXISTING)	

**KEY NOTES - DEMOLITION**

SYMBOL	DESCRIPTION
D5	REMOVE EXISTING GRAVEL STOPS AND FASCIAS FROM ROOF EDGE WHERE NOTED.
D18	REMOVE EXISTING SCUPPER, DOWNSPOUT, AND LEADER PIPE FROM EXISTING ROOF EDGE TO ACCOMMODATE REPLACEMENT WORK. SALVAGE FOR REINSTALLATION.

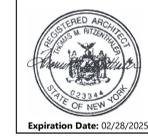
**1** OVERALL ROOF DEMOLITION PLAN  
AD400 1" = 20'-0"

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HIGHLAND HIGH SCHOOL  
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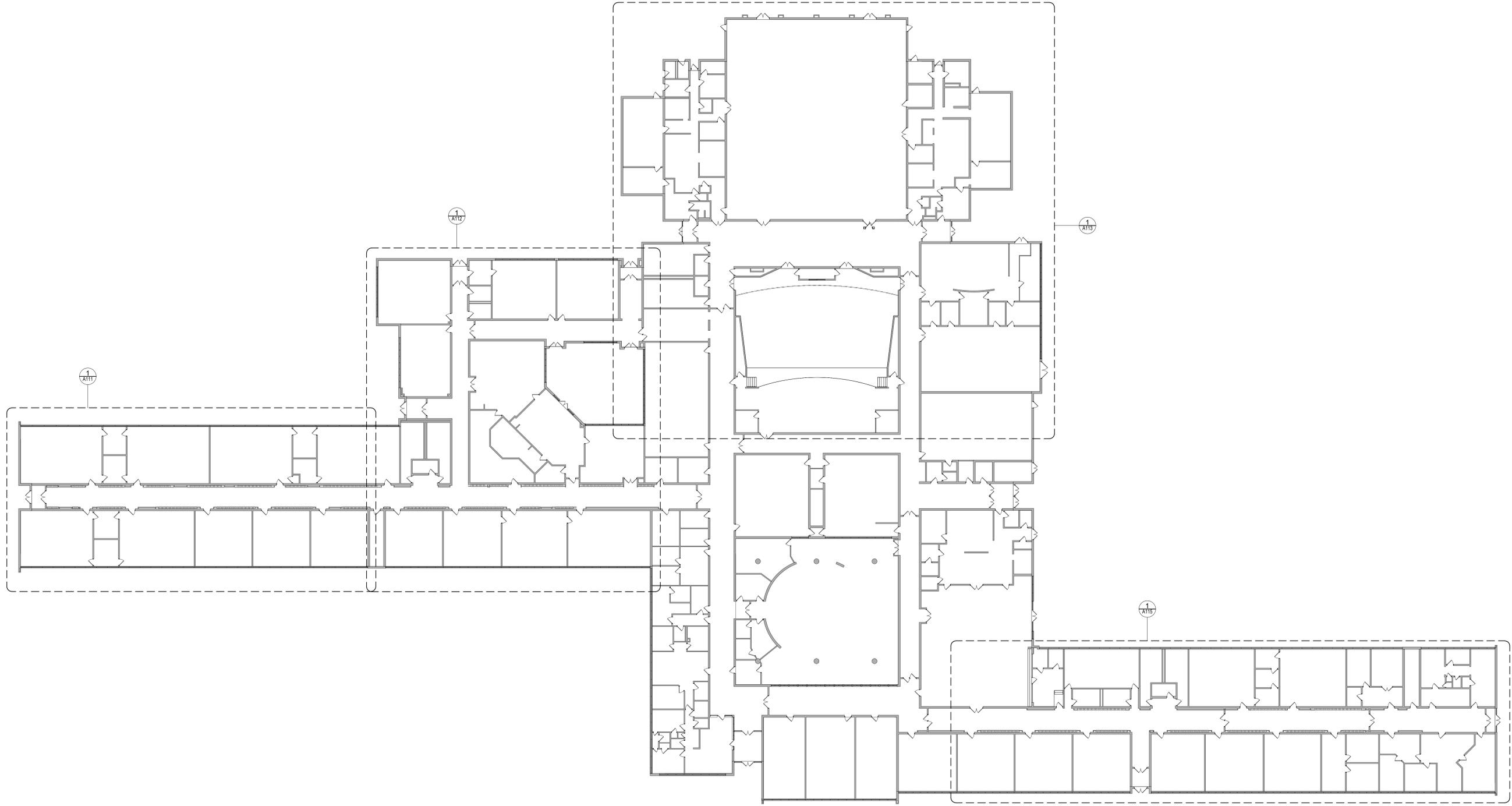


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**OVERALL ROOF DEMOLITION PLAN**

Sheet No.  
**HHS AD400**  
CONSTRUCTION DOCUMENTS



**1** OVERALL FIRST FLOOR NEW WORK PLAN  
 A110 1" = 20'-0"

Consultant

HIGHLAND CENTRAL SCHOOL DISTRICT  
 HIGHLAND HIGH SCHOOL  
 2022 CAPITAL IMPROVEMENT PROJECT - PHASE 1

Project Title



Expiration Date: 02/28/2025

DATE	DESCRIPTION

Drawn By: CSA  
 Checked By: CSA  
 Proj. #: 62-08-03-04-0-009-014  
 CSArch Proj. #: 197-2201-01  
 Issued for Bid: 08/18/23

Sheet Title  
 OVERALL FIRST FLOOR NEW WORK PLAN

Sheet No.  
**HHS  
 A110**

CONSTRUCTION DOCUMENTS

**GENERAL NOTES**

- REFER TO SHEET G001 FOR ADDITIONAL GENERAL NOTES.
- REFER TO A700-SERIES DRAWINGS PARTITION TYPES AND ADDITIONAL NOTES.
- REFER TO A800-SERIES DRAWINGS FOR DOOR, STOREFRONT, CURTAINWALL, WINDOW AND LOUVER SCHEDULES, DETAILS AND NOTES.
- ALL NEW LOCKERS ARE 15" WIDE x 10" DEEP & TWO TIER

**KEY NOTES - NEW WORK**

NO.	DESCRIPTION
1	PAINT ENTIRE WALL INCLUDING AREA WHERE ACOUSTICAL WALL PANELS WERE PREVIOUSLY REMOVED.
2	PROVIDE NEW 12"x12" VCT FLOORING AND RUBBER WALL BASE OVER EXISTING SUBSTRATE.
3	PROVIDE GYPSUM BOARD PATCHING AND NEW 4" RUBBER WALL BASE AT NEW LOCKERS. NEW LOCKER SYSTEMS TO BE PROVIDED BY LOCKER VENDOR. REFER TO DETAILS FOR ADDITIONAL INFORMATION.

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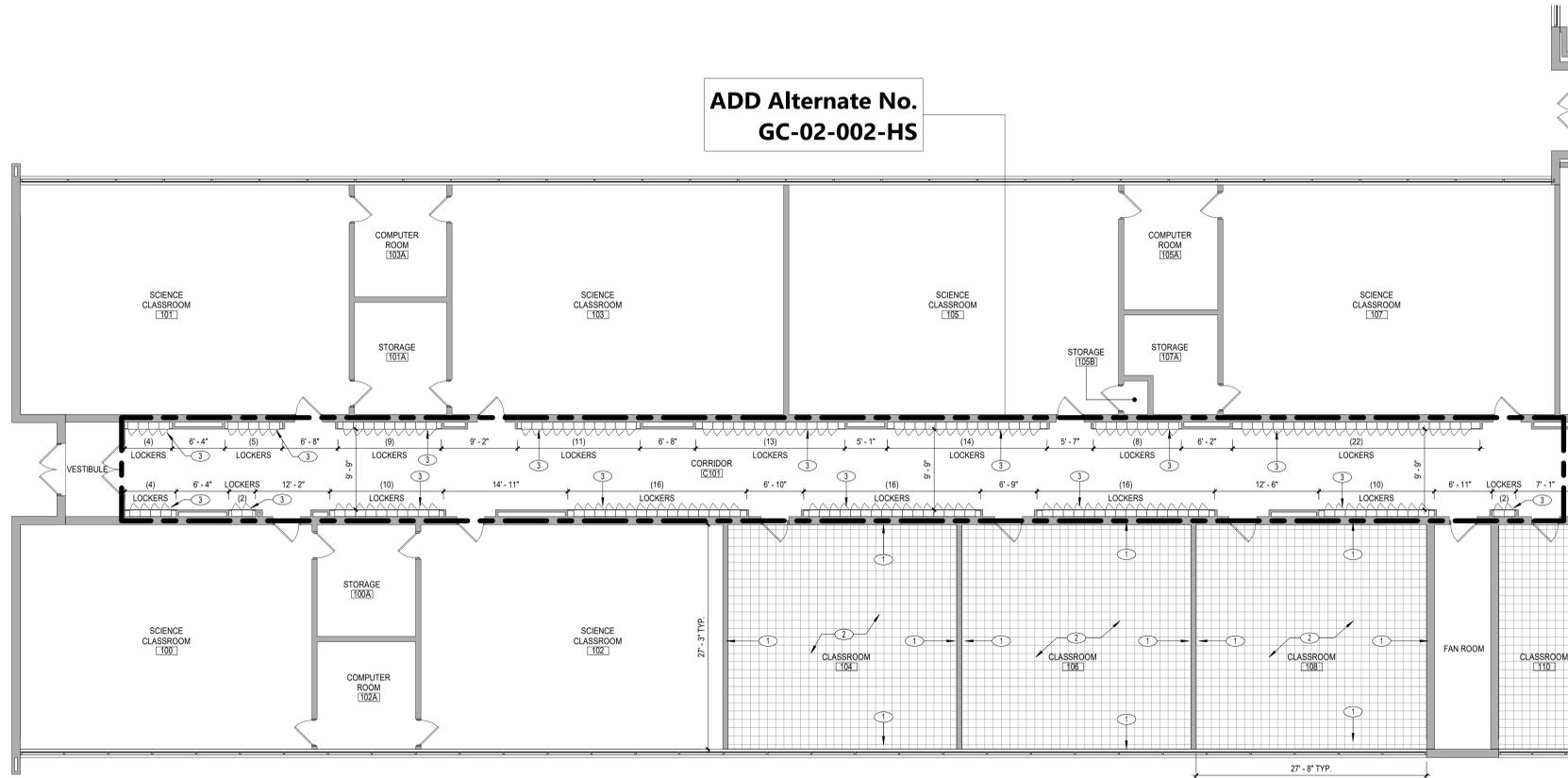
NO.	DATE	DESCRIPTION

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Sheet Title  
FIRST FLOOR  
NEW WORK  
PLAN - AREA  
'A'

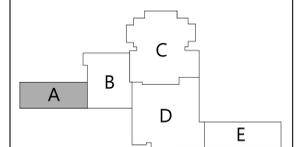
Sheet No.  
**HHS  
A111**  
CONSTRUCTION DOCUMENTS

**ADD Alternate No.  
GC-02-002-HS**



**1** FIRST FLOOR NEW WORK PLAN - AREA 'A'  
A111 1/8" = 1'-0"

**KEYPLAN**



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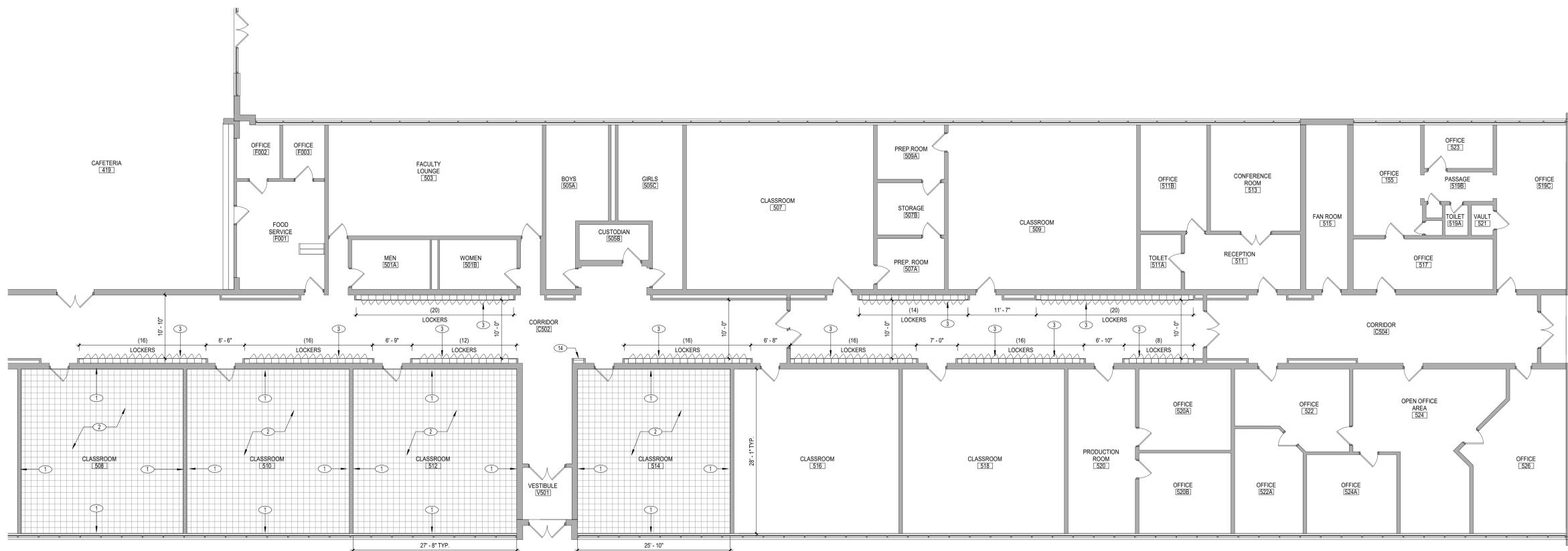


**GENERAL NOTES**

1. REFER TO SHEET G001 FOR ADDITIONAL GENERAL NOTES.
2. REFER TO A700-SERIES DRAWINGS PARTITION TYPES AND ADDITIONAL NOTES.
3. REFER TO A800-SERIES DRAWINGS FOR DOOR, STOREFRONT, CURTAINWALL, WINDOW AND LOUVER SCHEDULES, DETAILS AND NOTES.
4. ALL NEW LOCKERS ARE 15" WIDE x 10" DEEP & TWO TIER

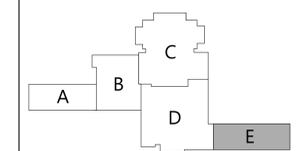
**KEY NOTES - NEW WORK**

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2	PROVIDE NEW 12"x12" VCT FLOORING AND RUBBER WALL BASE OVER EXISTING SUBSTRATE.
3	PROVIDE GYPSUM BOARD PATCHING AND NEW 4" RUBBER WALL BASE AT NEW LOCKERS. NEW LOCKER SYSTEMS TO BE PROVIDED BY LOCKER VENDOR. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
14	INFILL WALL WHERE LOCKERS WERE PREVIOUSLY REMOVED.



**1** FIRST FLOOR NEW WORK PLAN - AREA 'E'  
A115 1/8" = 1'-0"

**KEYPLAN**



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**FIRST FLOOR  
NEW WORK  
PLAN - AREA  
'E'**

Sheet No.  
**HHS  
A115**

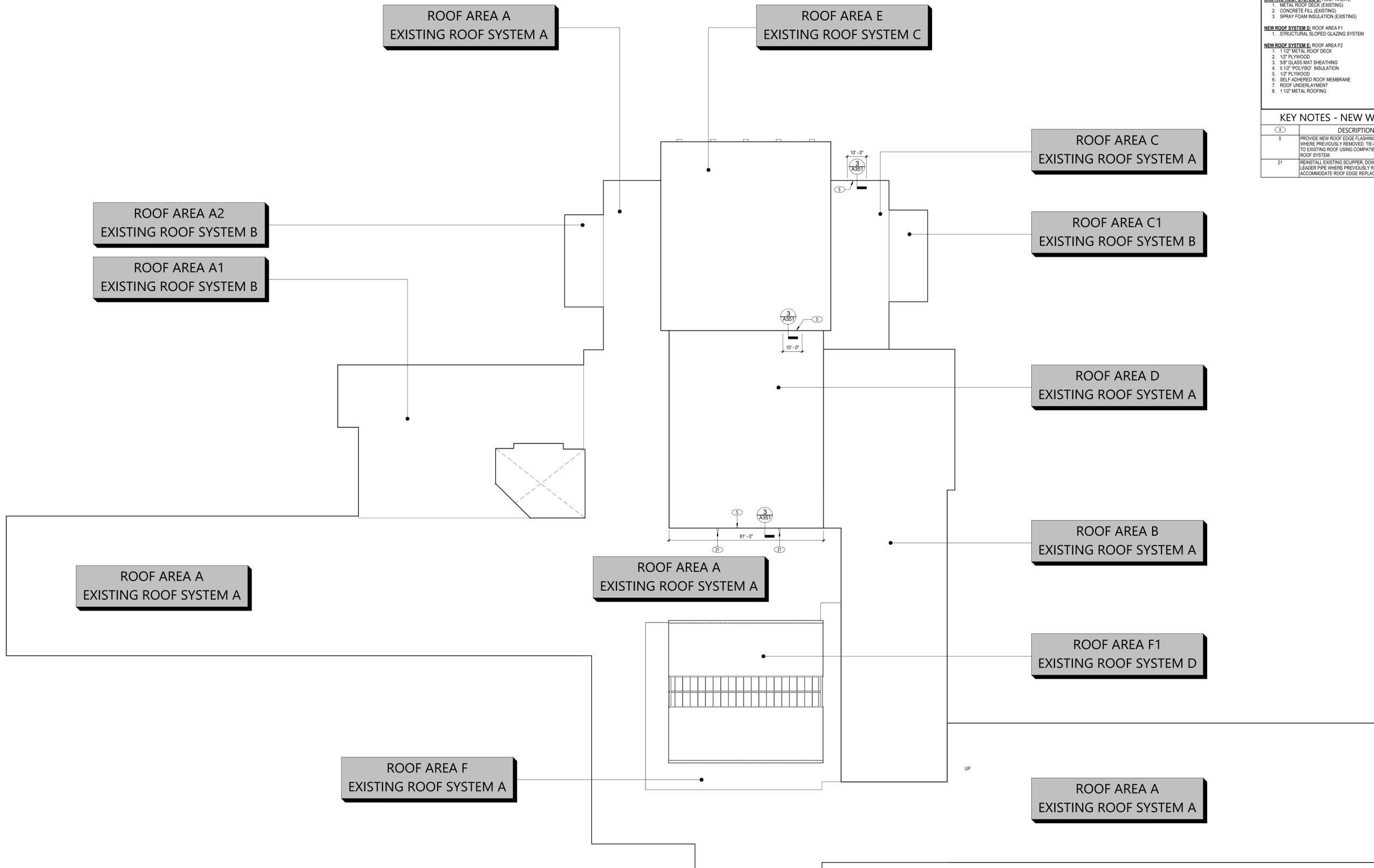
CONSTRUCTION DOCUMENTS



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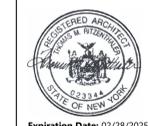
ROOF DESCRIPTIONS	
<b>EXISTING ROOF SYSTEM A:</b> ROOF AREAS A, B, C, D, & F	
1. TECTUM ROOF DECK (EXISTING)	
2. SPRAY FOAM INSULATION (EXISTING)	
<b>EXISTING ROOF SYSTEM B:</b> ROOF AREAS A1, A2, & C1	
1. METAL ROOF DECK (EXISTING)	
2. GYPSUM SHEATHING (EXISTING)	
3. SPRAY FOAM INSULATION (EXISTING)	
<b>EXISTING ROOF SYSTEM C:</b> ROOF AREA E	
1. METAL ROOF DECK (EXISTING)	
2. CONCRETE FILL (EXISTING)	
3. SPRAY FOAM INSULATION (EXISTING)	
<b>NEW ROOF SYSTEM D:</b> ROOF AREA F1	
1. STRUCTURAL SLOPED GLAZING SYSTEM	
<b>NEW ROOF SYSTEM E:</b> ROOF AREA F2	
1. 1 1/2" METAL ROOF DECK	
2. 1/2" PLYWOOD	
3. 5/8" GLASS MAT SHEATHING	
4. 5 1/2" POLYISO' INSULATION	
5. 1/2" PLYWOOD	
6. SELF ADHERED ROOF MEMBRANE	
7. ROOF UNDERLAYMENT	
8. 1 1/2" METAL ROOFING	

KEY NOTES - NEW WORK	
(X)	DESCRIPTION
5	PROVIDE NEW ROOF EDGE FLASHINGS AND FASCIAS WHERE PREVIOUSLY REMOVED. TIE-IN NEW FLASHINGS TO EXISTING ROOF USING COMPATIBLE SPRAY FOAM ROOF SYSTEM.
21	REINSTALL EXISTING SCUPPER, DOWNSPOUT, AND LEADER PIPE WHERE PREVIOUSLY REMOVED TO ACCOMMODATE ROOF EDGE REPLACEMENT WORK.

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Sheet Title  
**OVERALL ROOF NEW WORK PLAN**

Sheet No.  
**HHS A400**  
CONSTRUCTION DOCUMENTS

**1** OVERALL ROOF NEW WORK PLAN  
A400 1" = 20'-0"

