

INTERIOR RENOVATIONS OF THE COMMONS APARTMENTS 10.1 (ADA COMPLIANT) & 10.3

PROJECT # SU-040623

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SYMBOL LEGEND

--- EXIST. STUD WALL
--- TO BE DEMOLISHED

===== EXIST. STUD WALL
===== TO REMAIN

===== NEW STUD WALL

===== EXIST. DRY WALL

===== NEW DRY WALL

===== DRYWALL TO BE
===== COMPLETELY REMOVED

===== NEW PORCELAIN
===== FLOOR TILES

===== PLYWOOD

PLAN / DETAIL DESIGNATION

--- DETAIL REF. NUMBER
--- SHEET NUMBER

ELEVATION DESIGNATION

--- ELEVATION REF. NUMBER
--- SHEET NUMBER

SECTION DESIGNATION

--- SECTION REF. NUMBER
--- SHEET NUMBER

INTERIOR ELEVATION
DESIGNATION

ROOM NO. ROOM NAME &
NUMBER

OPENINGS DESIGNATION

--- DOOR NUMBER

--- WINDOW REF.
NUMBER

--- EXISTING DOOR
--- TO BE REMOVED

--- EXISTING DOOR
--- TO REMAIN

--- NEW DOOR

GENERAL NOTES

- ALL WORK OF THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF NEW YORK STATE BUILDING CODE, AND REGULATIONS OF OTHER AGENCIES HAVING JURISDICTION ON THE WORK OF THIS CONTRACT.
- WHERE DIMENSIONS ARE INDICATED, DIMENSIONS GOVERN OVER SCALE. ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR PRIOR TO ORDERING ANY MATERIAL OR COMMENCING ANY WORK. ANY DISCREPANCIES IN THE DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE EIC. NO CHANGE IN DRAWINGS OR SPECIFICATIONS IS ACCEPTED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. NO WORK SHALL PROCEED UNTIL SUCH DISCREPANCY HAS BEEN RECTIFIED.
- ALL WORK ON THESE DRAWINGS SHALL BE CONSIDERED NEW WORK WHETHER STATED OR NOT EXCEPT WHERE SPECIFICALLY NOTED AS "EXISTING TO REMAIN".
- COORDINATION OF ALL WORK UNDER THIS CONTRACT SHALL BE MAINTAINED TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/PROJECT.
- THE CONTRACTOR SHALL DISCONNECT AND/OR REMOVE ANY EXISTING PLUMBING, ELECTRICAL FIXTURES, WIRE CONDUITS, OR OTHER WORK WHICH MIGHT INTERFERE WITH THE WORK OF THIS CONTRACT. AFTER NEW WORK IS COMPLETED, THE DISCONNECTED OR REMOVED ITEMS SHALL BE REINSTALLED BY THE CONTRACTOR AT THE SAME LOCATION OR AT NEW LOCATION AS DIRECTED. FURNISH ALL NECESSARY NEW MATERIALS/HARDWARE FOR COMPLETION OF WORK.
- THE CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED OR EXPOSED SURFACES DUE TO CONTRACT WORK. ALL NEWLY INSTALLED, PATCHED WORK AND ALL AFFECTED AREAS SHALL BE PAINTED. ALL PAINTING WORK SHALL BE PERFORMED TO COVER THE ENTIRE HORIZONTAL OR VERTICAL SURFACE TO THE CLOSEST CORNER IN ALL FOUR DIRECTIONS. COLOR TO MATCH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL FURNISH AND INSTALL NEW MATERIALS AT NO ADDITIONAL COST TO SUNY PURCHASE, ON THE FOLLOWING CONDITIONS:
 - ANY EXISTING WORK THAT HAS BEEN REMOVED OR DAMAGED IN ORDER TO PERFORM THE CONTRACT WORK.
 - TO FURNISH THE WORK OF THIS CONTRACT IN WORKMANLIKE MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- THE CONTRACTOR SHALL INCLUDE ALL PREPARATORY AND ASSOCIATED SUPPLEMENTARY WORK TO PROVIDE A COMPLETE AND FINISHED INSTALLATION.
- WHERE MANUFACTURER'S NAMES AND PRODUCT NUMBERS ARE INDICATED ON DRAWINGS, IT SHALL BE CONSTRUED TO MEAN THE ESTABLISHMENT OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. ALL OTHER PRODUCTS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE THEY SHALL BE DEEMED EQUAL.
- SIZE OF MASONRY UNITS AND WOOD MEMBERS ON PLANS, BUILDING ELEVATIONS AND SECTIONS ARE SHOWN AS NOMINAL SIZE.
- PROVIDE GUARDS, RAILS, BARRICADES, FENCES, SIDEWALK SHEDS, CATCH PLATFORMS, DECKING, NIGHT LIGHTING, ETC., AS REQUIRED BY THE NEW YORK STATE BUILDING CODE, SECTION 3302 AND 3306 AS REQUIRED TO PROVIDE ADEQUATE PROTECTION.
- THE CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES. SITE SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
- THE CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED ACCESS FROM ALL ADJACENT SPACES INTO THE EXISTING FIRE STAIRS TO OUTSIDE OF THE BUILDING AT ALL TIMES.
- THE CONTRACTOR SHALL, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, SECURE AND PAY FOR REQUIRED INSPECTIONS, PERMIT(S), FEES, LICENSE AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL EXAMINE AND VERIFY IN THE FIELD ALL EXISTING AND GIVEN CONDITIONS AND DIMENSIONS WITH THOSE SHOWN ON THE CONTRACT DOCUMENTS. IF THE FIELD CONDITIONS AND DIMENSIONS DIFFER FROM THOSE SHOWN ON THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ALL FIELD CONDITIONS AND DIMENSIONS SHALL BE SO NOTED ON THE DRAWINGS AND SUBMITTED FOR APPROVAL.

- THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT, DUE TO THE NATURE OF THIS PROJECT, THE EXACT EXTENT OF WORK CAN NOT ALWAYS BE ACCURATELY DETERMINED PRIOR TO THE COMMENCEMENT OF THE WORK. THE CONTRACT DOCUMENTS HAVE BEEN PREPARED BASED ON FIELD INSPECTION AND OTHER INFORMATION AVAILABLE AT THE TIME. ACTUAL FIELD CONDITIONS MAY REQUIRE MODIFICATIONS TO THE CONSTRUCTION DETAILS AND WORK QUANTITIES. THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE FIELD CONDITIONS AND AS ORDERED BY THE ENGINEER.
- ALL BIDDERS SHALL INSPECT THE PROJECT SITE PRIOR TO SUBMITTING BIDS TO VERIFY THE FIELD CONDITIONS WHICH MAY BE ENCOUNTERED AND THE NATURE OF THE WORK TO BE DONE UNDER THIS CONTRACT. NO COMPENSATION WILL BE ALLOWED TO THE BIDDER FOR FAILURE TO INCLUDE ALL LABOR, MATERIALS AND EQUIPMENT COSTS NECESSARY TO COMPLETE THE WORK.
- THE CONTRACTOR SHALL PERFORM ALL WORK WITH CARE SO THAT ANY MATERIALS THAT ARE TO REMAIN IN PLACE, OR THAT ARE TO BE REMOVED AND REMAIN THE PROPERTY OF THE COLLEGE, WILL NOT BE DAMAGED. IF THE CONTRACTOR DAMAGES ANY MATERIALS THAT ARE TO REMAIN IN PLACE, OR WHICH ARE TO REMAIN THE PROPERTY OF THE COLLEGE, THE DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED IN A MANNER SATISFACTORY TO THE PARK MANAGER AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE REQUIRED TO PROTECT HIS/HER WORKERS AT ALL TIMES IN CONFORMANCE WITH APPLICABLE OSHA REGULATIONS.
- THE USE OF POWER DEVICES SUCH AS ELECTRIC HAMMERS OR OTHER PNEUMATIC TOOLS WILL NOT BE ALLOWED UNLESS APPROVED BY THE CAMPUS PROJECT REPRESENTATIVE. NO POWER-ACTUATED DEVICES MAY BE USED TO ATTACH STUDS TO EXISTING FLOORS, CEILINGS OR WALLS UNLESS A LIST OF PROPOSED TOOLS IS SUBMITTED AND APPROVED BY THE CAMPUS PROJECT REPRESENTATIVE. POWER-ACTUATED DEVICES MAY NOT BE UTILIZED WITHOUT PRIOR CONSENT FROM THE BOARD, AS PER THE ALTERATION AGREEMENT.
- CONTRACTOR TO PROVIDE FOR PAINT, DUST, DEBRIS AND NOISE CONTAINMENT AS DIRECTED BY THE CAMPUS PROJECT REPRESENTATIVE. ALL VENTS AND EXHAUSTS MUST BE FULLY SEALED TO PREVENT INFILTRATION OF DUST AND DIRT.
- ANY CHANGES TO THE SCOPE OF WORK MUST BE SUBMITTED TO THE CLIENT AND THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE COMMENCEMENT OF THAT WORK.
- CONTRACTOR SHALL SCHEDULE AND SEQUENCE WORK SO AS NOT TO INTERFERE WITH OTHER ONGOING OR SCHEDULED WORK, OR WITH ACTIVITIES OF THE OWNER. COORDINATE WITH OWNER'S REPRESENTATIVE.
- CONSTRUCTION WORK SHALL NOT IMPACT THE ADJOINING OCCUPIED APARTMENTS.
- DO NOT SCALE DRAWINGS. DETAILS, NOTES, AND THE LIKE ARE TYPICAL AND APPLY IN GENERAL TO SIMILAR CONDITIONS.

SUMMARY OF WORK

THE WORK SHALL BE AS SHOWN AND CALLED FOR IN THE CONTRACT DOCUMENTS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING GENERAL ITEMS OF WORK:

PARTIAL REMOVAL OF EXISTING STUD WALLS, DROPPED CEILING, FLOORING, PARTIAL MECHANICAL AND PLUMBING WORKS.

INSTALLATION OF NEW MECHANICAL AND ELECTRICAL WORK.

INSTALLATION OF NEW INTERIOR STUD WALLS, NEW BATHROOM FINISHES AND FIXTURES, NEW FLOORS, NEW DROPPED CEILING AND NEW GYPSUM CEILINGS, NEW DOORS. INSTALLATION AND CONNECTION OF NEW PLUMBING,

ABBREVIATIONS

A		E		M		T	
AB	— ABOVE	EG.	— EXTERIOR WIRE	MAT.	— MATERIAL	TBD	— TO BE DECIDED
A.D	— ACCESS DOOR	EIC	— ENGINEER IN CHARGE	MAX.	— MAXIMUM	TH.	— THICKNESS
ADJ.	— ADJACENT	E.J.	— EXPANSION JOINT	MECH.	— MECHANICAL	T.O.S.	— TOP OF SLAB
ALUM.A.	— ALUMINUM	EL.	— ELEVATION	M.H.	— MANHOLE	TYP.	— TYPICAL
AOR	— ARCHITECT OF RECORD	EMG.	— EXPANDED METAL GUARD	MIN.	— MINIMUM	T.C.	— TERRA COTTA
APP'D.	— APPROVED			M.I.S.	— METAL INSECT SCREEN		
AAPR.B.	— APPROXIMATELY	E.L.	— EXISTING LEADER	MT'D	— MOUNTED	V	
ARCH.	— ARCHITECT	ENT.	— ENTRANCE	M.O.	— MASONRY OPENING	VENT.	— VENTILATOR
ASPH.	— ASPHALT	EOR	— ENGINEER OF RECORD	M.S.	— MINERAL SURFACED	VERT.	— VERTICAL
AUX.	— AUXILIARY	EQ.	— EQUAL			V.I.F.	— VERIFY IN FIELD
&	— AND	EQUIP.	— EQUIPMENT			V.	— VENT
∠	— ANGLE	EXP.	— EXPANSION			V.C.	— VERTICAL CRACK
⊥	— AT	EXT.	— EXISTING	N		W	
		E.C.	— EXTERIOR ELECTRICAL CONDUIT	N.D.	— NOMINAL DIAMETER		
				NEC.	— NECESSARY		
				N.I.C.	— NOT IN CONTRACT NO.		
				N.T.S.	— NOT TO SCALE		
B		F		O			
BR	— BRICK	F.B.	— FACE BRICK			W/	— WITH
B.O.	— BASE OF	FD	— FLOOR DRAIN			W.F.	— WIDE FLANGE
B.A.	— BRICK COURSE	FIN.	— FINISH			W.H.	— WEEP HOLE
B.L.	— BUILDING LINE	FL.	— FLOOR			W.I.	— WROUGHT IRON
BLDG.	— BUILDING	F.A.I.	— FRESH AIR INTAKE			W.M.	— WIRE MESH
BLK	— BLOCK	F.P.	— FIREPROOFING			W.P.	— WATERPROOFING
BM.	— BEAM	FR.	— FRAME			WT.	— WEIGHT
B.S.	— BLUE STONE						
B.S.&A.	— BOARD OF STANDARDS AND APPEAL						
B.U.R	— BUILT-UP ROOF	G		P			
C							
C.	— CASEMENT	GA.	— GAUGE	PAV.	— PAVEMENT		
CAB'T.	— CABINET	GALV.	— GALVANIZED	P&D	— PLUMBING AND DRAINAGE		
CL	— CENTER LINE	G.B.W.	— GLASS BLOCK WINDOW	PL.	— PLASTER		
C.J.	— CONTROL JOINT	G.C.	— GENERAL CONTRACTOR				
CL'G	— CEILING	G.I.	— GALVANIZED IRON	R			
COL.	— COLUMN	GL.	— GLASS				
CONT.	— CONTINUOUS	GRNT.	— GRANITE				
CONC.	— CONCRETE						
C.R.	— CLASSROOM	H					
CU.YD.	— CUBIC YARD						
D							
DEPT.	— DEPARTMENT						
DET.	— DETAIL						
D.H.	— DOUBLE HUNG						
DIA.	— DIAMETER						
DIM.	— DIMENSION						
DN.	— DOWN						
DO.	— DITTO						
DR.	— DOOR						
DWG.	— DRAWING						
D.C.	— DIAGONAL CRACK						

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Checked by:	AKBER AFRIDI, P.E.
Project: INTERIOR RENOVATIONS OF THE COMMONS APARTMENTS 10.1 (ADA COMPLIANT) & 10.3	
Address: 735 Anderson Hill Road Purchase NY 10577	
Drawing Title: GENERAL NOTES, SUMMARY OF WORKS, & MISCELLANEOUS INFO.	
	Drawing No.: T002.00
	Scale: AS NOTED
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DRAWING LIST	
SHEET NO.	SHEET TITLE
COVER & GENERAL NOTES	
T001.00	COVER SHEET
T002.00	SYMBOL LEGEND, ABBREVIATIONS, GENERAL NOTES, SUMMARY OF WORK
T003.00	LIST OF DRAWINGS
T004.00	ADA CODE COMPLIANCE
FIRE PROTECTION DRAWINGS	
SP-001.00	SPRINKLER LEGENDS, NOTES, ABBREVIATIONS, SCHEDULE AND DETAILS
SP-101.00	SPRINKLER FIRST FLOOR DEMO AND NEW WORK
SP-201.00	SPRINKLER SPECIFICATIONS
ARCHITECTURAL DRAWINGS	
A101.00	LOCATION/KEY PLAN (FOR REFERENCE ONLY)
A102.00	ADA APARTMENT 10.1 PARTIAL REMOVALS & PROPOSED PLANS
A103.00	APARTMENT 10.3 PARTIAL REMOVALS & PROPOSED PLANS
A201.00	WALL SECTIONS
A202.00	ENLARGED BATHROOM PLANS, ADA APARTMENT 10.1
A203.00	BATHROOM WALL ELEVATIONS & FINISHES, ADA APARTMENT 10.1
A204.00	ENLARGED BATHROOM PLANS, APARTMENT 10.3
A205.00	BATHROOM WALL ELEVATIONS & FINISHES, APARTMENT 10.3
A206.00	ENLARGED KITCHEN DETAILS, ADA APARTMENT 10.1
A207.00	MILLWORK DETAILS, ADA APARTMENT 10.1
A208.00	ENLARGED KITCHEN DETAILS, APARTMENT 10.3
A209.00	MILLWORK DETAILS, APARTMENT 10.3
A210.00	BEDROOM CLOSET DETAILS (TYP.), APARTMENT 10.1 & 10.3
A301.00	FINISHES PLAN (FLOOR & WALL), ADA APARTMENT 10.1
A302.00	FINISHES PLAN (FLOOR & WALL), APARTMENT 10.3
A303.00	FINISHES (CEILING & SOFFIT), ADA APARTMENT 10.1
A304.00	FINISHES (CEILING & SOFFIT), APARTMENT 10.3
A305.00	DOOR DETAILS, (TYPICAL)
A401.00	ELECTRICAL LAYOUT PLAN, ADA APARTMENT 10.1
A402.00	ELECTRICAL LAYOUT PLAN, APARTMENT 10.3
MECHANICAL DRAWINGS	
M-001.00	MECHANICAL LEGENDS, ABBREVIATIONS, NOTES AND SCHEDULE
M-101.00	MECHANICAL FIRST AND SECOND FLOOR NEW WORK
M-301.00	MECHANICAL DETAILS
M-401.00	MECHANICAL SPECIFICATIONS, SHEET 1 OF 2
M-402.00	MECHANICAL SPECIFICATIONS, SHEET 2 OF 2

PLUMBING DRAWINGS	
P-001.00	PLUMBING LEGENDS, ABBREVIATIONS, NOTES, SCHEDULE AND DETAILS
P-101.00	PLUMBING FIRST FLOOR DEMOLITION AND RISER DIAGRAMS
P-102.00	PLUMBING SECOND FLOOR DEMOLITION AND RISER DIAGRAMS
P-201.00	PLUMBING FIRST FLOOR NEW WORK AND RISER DIAGRAMS
P-202.00	PLUMBING SECOND FLOOR NEW WORK AND RISER DIAGRAMS
P-301.00	PLUMBING DETAILS
P-401.00	PLUMBING SPECIFICATIONS
ELECTRICAL DRAWINGS	
E-001.00	ELECTRICAL LEGEND, ABBREVIATIONS AND NOTES
E-101.00	ELECTRICAL FIRST FLOOR POWER AND LIGHTING - DEMOLITION PLANS
E-102.00	ELECTRICAL SECOND FLOOR POWER, LIGHTING - DEMOLITION PLANS
E-201.00	ELECTRICAL FIRST FLOOR POWER, LIGHTING - NEW WORK PLANS
E-202.00	ELECTRICAL SECOND FLOOR POWER, LIGHTING - NEW WORK PLANS
E-401.00	ELEC. SPECIFICATIONS, SHEET 1 OF 2
E-402.00	ELEC. SPECIFICATIONS, SHEET 2 OF 2
FIRE ALARM DRAWINGS	
FA-101.00	FIRST FLOOR AND SECOND FLOOR FIRE DEMOLITION

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Drawn by: AZHER MALIK		
Checked by: AKBER AFRIDI, P.E.		
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Address: 735 Anderson Hill Road Purchase NY 10577		
Drawing Title: LIST OF DRAWINGS		
	Drawing No.:	T003.00
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ELONGATED OPENINGS IN FLOOR OR GROUND SURFACES	
2010 ADAAG FIG.	302.3
2009 ICC A117.1 FIG.	302.3

VERTICAL CHANGES IN LEVEL	
2010 ADAAG FIG.	303.2
2009 ICC A117.1 FIG.	303.2

VERTICAL CHANGES IN LEVEL	
2010 ADAAG FIG.	303.3
2009 ICC A117.1 FIG.	303.2(A) & 303.2(B)

VERTICAL CHANGES IN LEVEL	
2010 ADAAG FIG.	304.3.2
2009 ICC A117.1 FIG.	304.3(A) & 304.3(B)

CLEAR FLOOR OR GROUND SPACE	
2010 ADAAG FIG.	305.3
2009 ICC A117.1 FIG.	305.3

POSITION OF CLEAR FLOOR OR GROUND SPACE	
2010 ADAAG FIG.	305.5
2009 ICC A117.1 FIG.	305.5

MANEUVERING CLEARANCE IN ALCOVE, FORWARD APPROACH	
2010 ADAAG FIG.	305.7.1
2009 ICC A117.1 FIG.	305.7(A)

MANEUVERING CLEARANCE IN ALCOVE, PARALLEL APPROACH	
2010 ADAAG FIG.	305.7.2
2009 ICC A117.1 FIG.	305.7(B) 20"

TOE CLEARANCE	
2010 ADAAG FIG.	306.2
2009 ICC A117.1 FIG.	306.2

KNEE CLEARANCE	
2010 ADAAG FIG.	306.3
2009 ICC A117.1 FIG.	306.3

LIMITS OF PROTRUDING OBJECTS	
2010 ADAAG FIG.	307.2
2009 ICC A117.1 FIG.	307.2

POST MOUNTED PROTRUDING OBJECTS	
2010 ADAAG FIG.	307.3
2009 ICC A117.1 FIG.	307.3

UNOBSTRUCTED FORWARD REACH	
2010 ADAAG FIG.	308.2.1
2009 ICC A117.1 FIG.	308.2.1

OBSTRUCTED HIGH FORWARD REACH	
2010 ADAAG FIG.	308.2.2
2009 ICC A117.1 FIG.	308.2.2

OBSTRUCTED SIDE REACH	
2010 ADAAG FIG.	308.3.1
2009 ICC A117.1 FIG.	308.3.1

OBSTRUCTED HIGH SIDE REACH	
2010 ADAAG FIG.	308.3.2
2009 ICC A117.1 FIG.	308.3.2

CLEAR WIDTH OF AN ACCESSIBLE ROUTE	
2010 ADAAG FIG.	403.5.1
2009 ICC A117.1 FIG.	403.5

CLEAR WIDTH OF DOORWAYS	
2010 ADAAG FIG.	404.2.3
2009 ICC A117.1 FIG.	404.2.2

MANEUVERING CLEARANCES AT RECESSED DOORS AND GATES	
2010 ADAAG FIG.	404.2.3
2009 ICC A117.1 FIG.	404.2.2

ADULT SIDE WALL GRAB BARS	
2010 ADAAG SECTION	604.5.1
2009 ICC A117.1 FIG.	604.5.1

ADULT REAR WALL GRAB BARS AT WATER CLOSETS	
2010 ADAAG SECTION	604.5.2
2009 ICC A117.1 FIG.	604.5.2

ADULT DISPENSER OUTLET LOCATION	
2010 ADAAG SECTION	604.7
2009 ICC A117.1 FIG.	604.7

ADULT USE HEIGHT OF LAVATORIES AND SINKS	
2010 ADAAG SECTION	606.2
2009 ICC A117.1 FIG.	606.3

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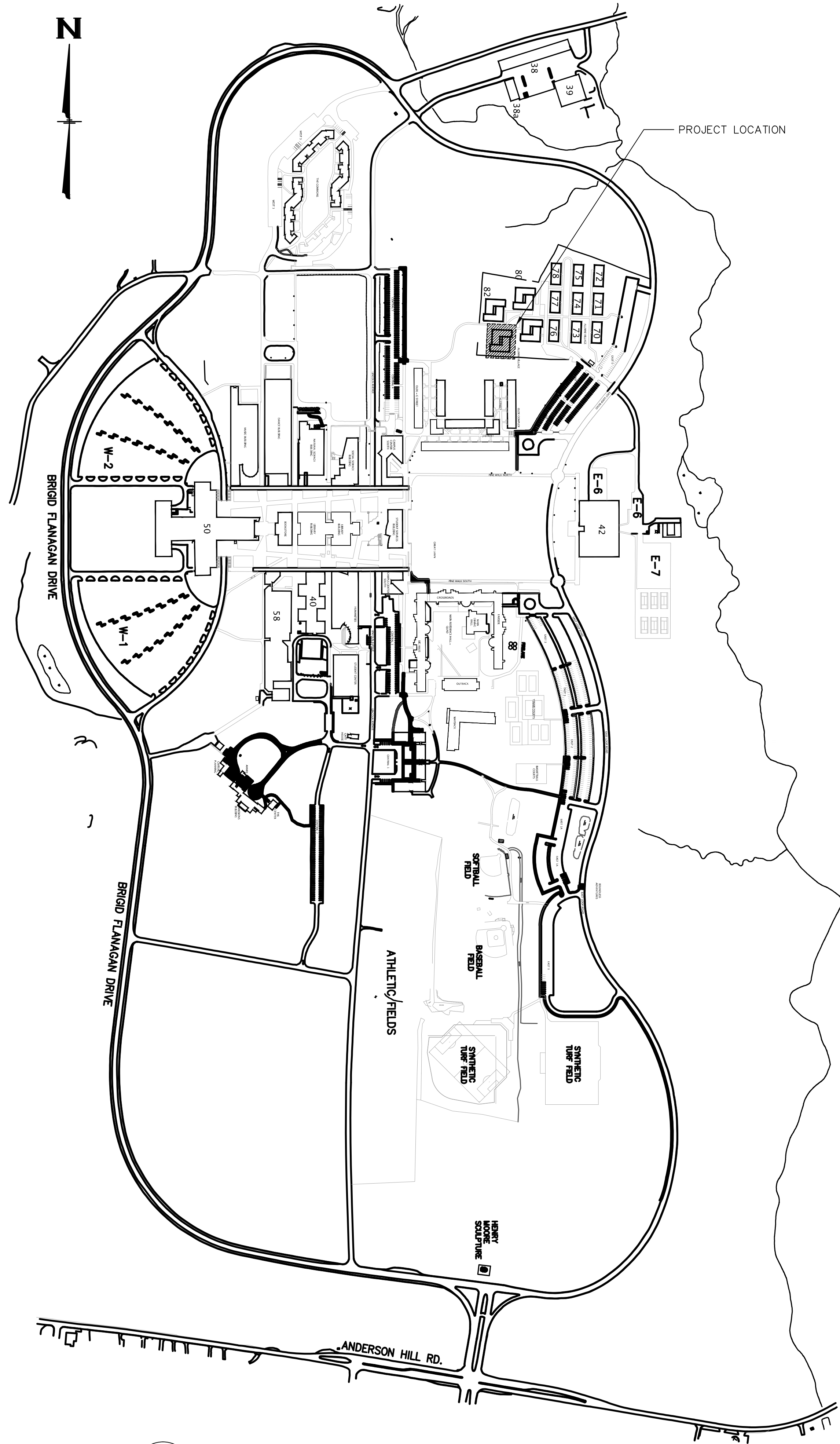
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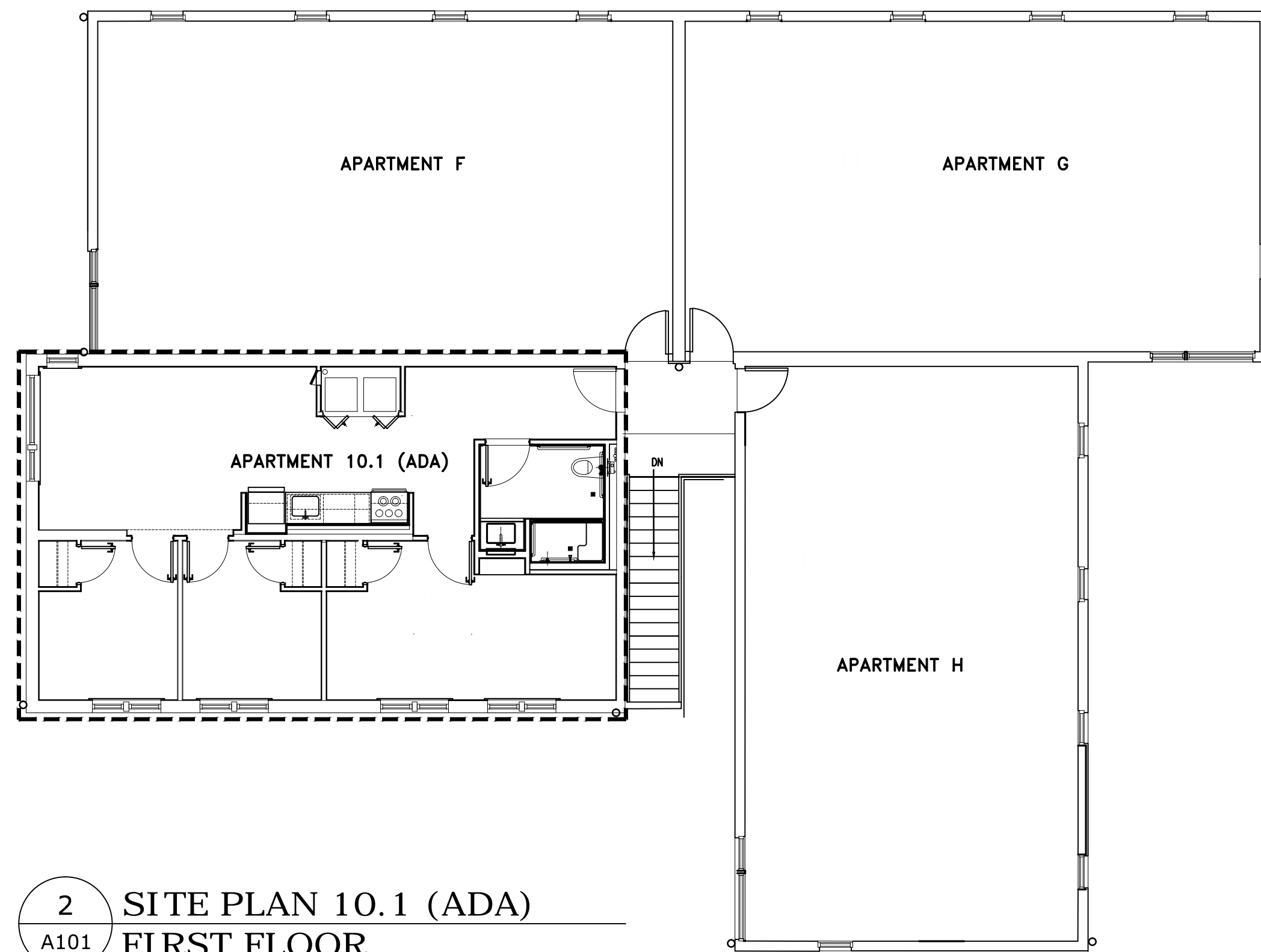
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Address:	
735 Anderson Hill Road Purchase NY 10577	
Drawing Title:	
ADA CODE COMPLIANCE	

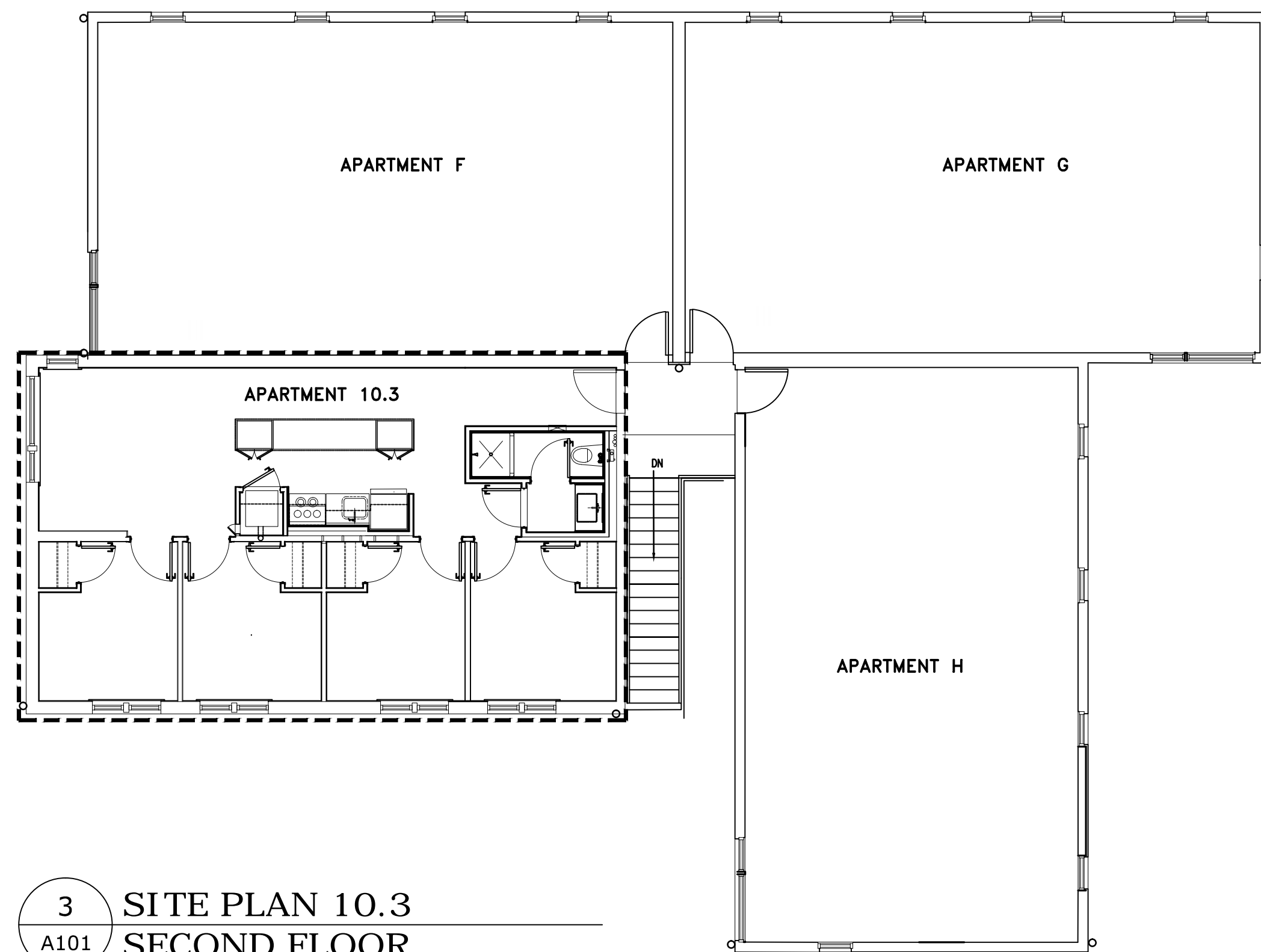
Drawing No.:	T004.00
	Scale: AS NOTED
	Date: 08/24/2020



1 **LOCATION PLAN**
A101
0 8' 16' 32' 64'
SCALE: 1/16" = 1'-0"



2 **SITE PLAN 10.1 (ADA)**
A101 **FIRST FLOOR**
0 4' 8' 16' 32'
SCALE: 1/8" = 1'-0"



3 **SITE PLAN 10.3**
A101 **SECOND FLOOR**
0 4' 8' 16' 32'
SCALE: 1/8" = 1'-0"

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THE COMMONS APARTMENTS
10.1 (ADA COMPLIANT) & 10.3**

Address:
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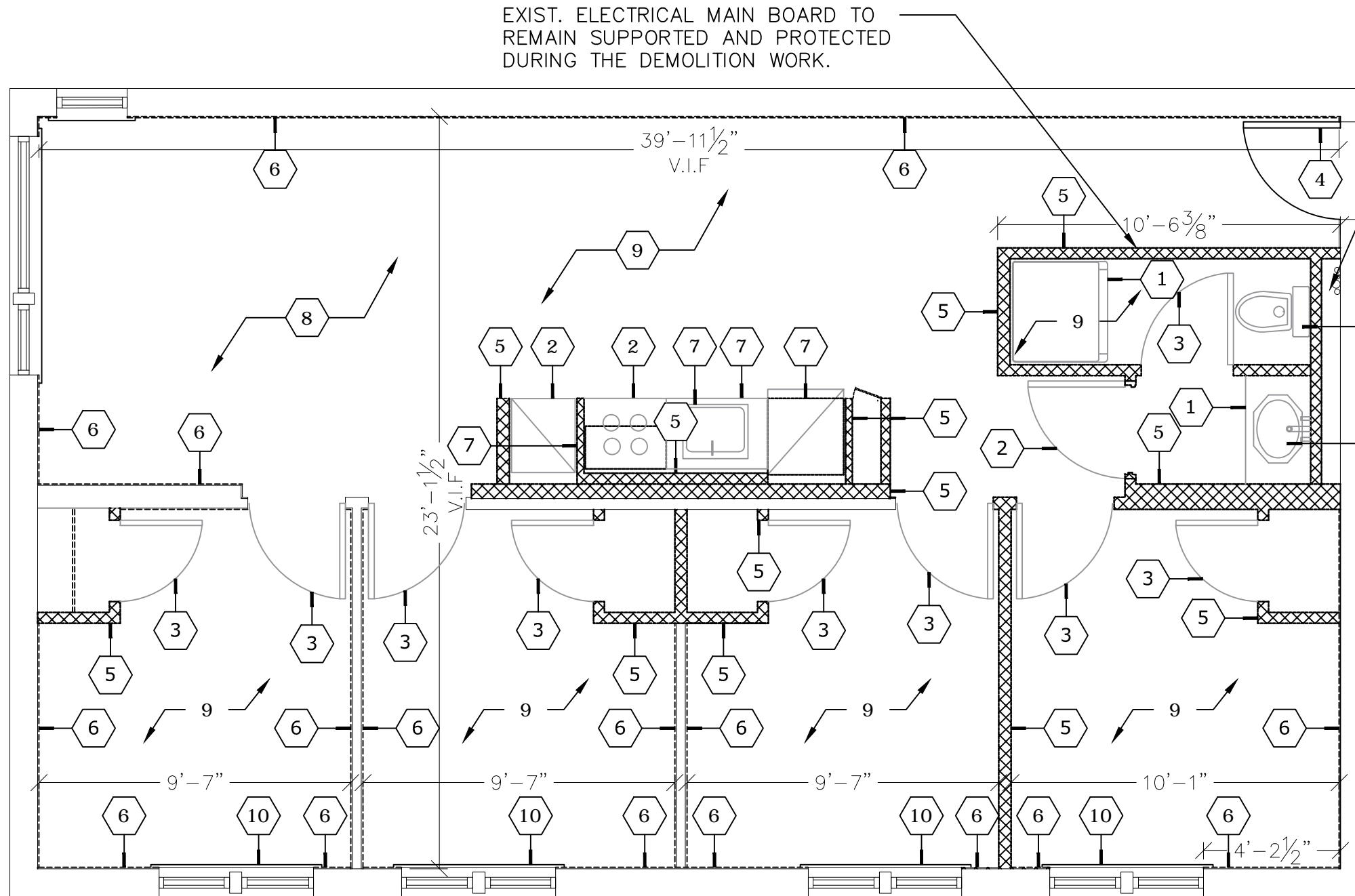
Drawing Title:
**LOCATION/KEY PLAN
(FOR REFERENCE ONLY)**

Drawing No.:
A101.00

Scale: AS NOTED

Date: 08/24/2020

SU-040623



1
A102
DEMOLITION PLAN
ADA APARTMENT 10.1
SCALE: 1/4" = 1'-0"

ALL DAMAGE TO ADJOINING WORK DUE TO FAILURE TO PROVIDE ADEQUATE PROTECTION SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

PROTECT EXIST. PLUMBING WORK DURING DEMOLITION OF EXIST. STUD WALLS AND REMOVAL OF EXIST. FIXTURES. REFER TO PLUMBING DWGS. FOR THE REMOVAL OF EXIST. PLUMBING.

DEMOLITION KEY

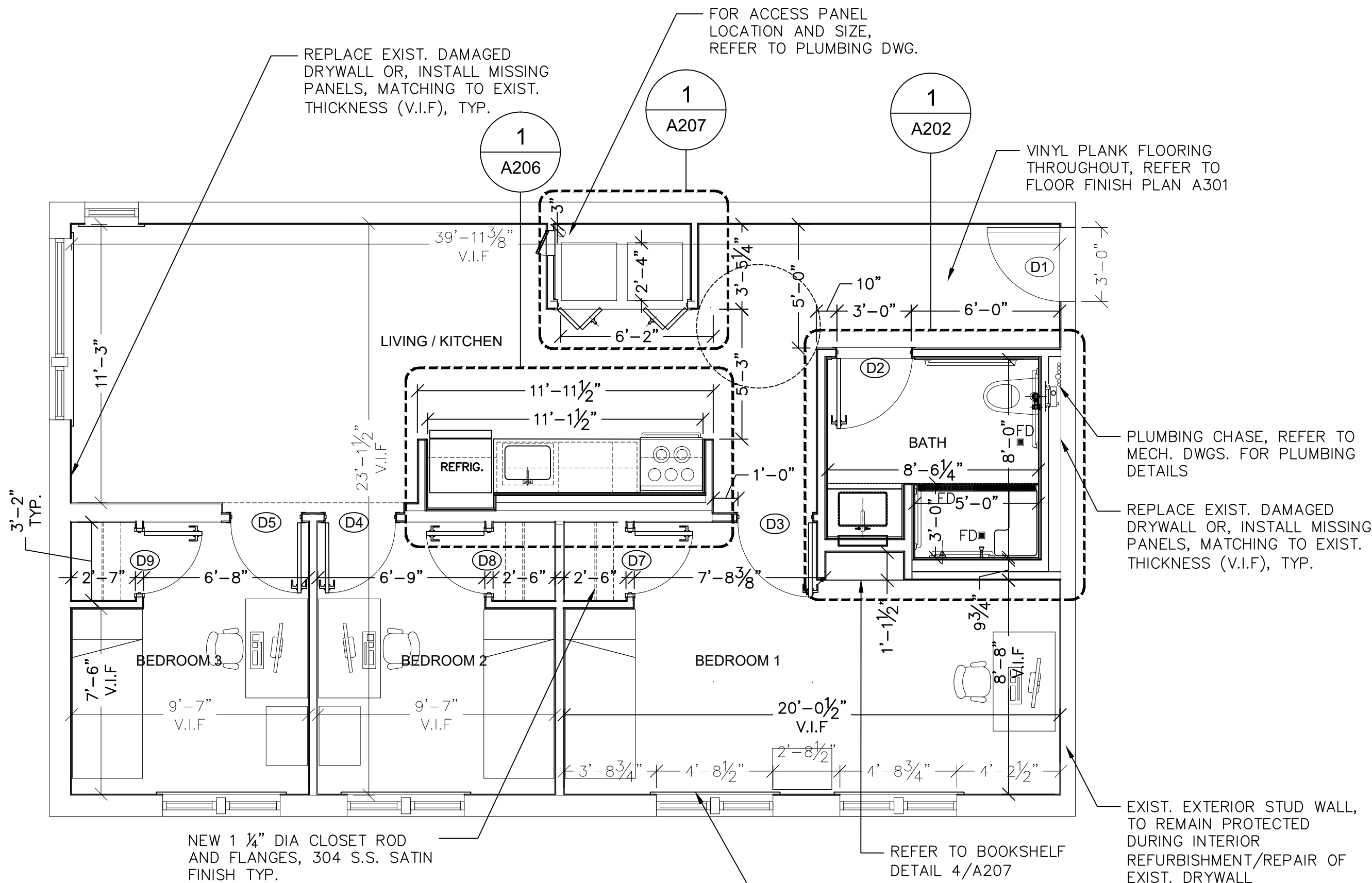
- 1 REMOVE TOILET FIXTURES AND ASSOCIATED HARDWARE AND ASSOCIATED PLUMBING AND CARRIERS. PREPARE FOR NEW FIXTURES IN RELOCATED AREAS. PATCH AREAS AS NECESSARY TO MATCH ADJACENT FINISHES.
- 2 DISCONNECT AND REMOVE KITCHEN APPLIANCES.
- 3 REMOVE EXISTING DOOR AND DOOR HARDWARE.
- 4 EXIST. DOOR TO REMAIN.
- 5 REMOVE INTERIOR NON LOAD-BEARING WALL AND ASSOCIATED FRAMING AND BLOCKING AND SUPPORT AS INDICATED.
- 6 REMOVE DAMAGED EXIST. DRYWALL, AND PREPARE EXIST. FRAMING FOR NEW DRYWALL. EXIST. DRYWALL IN GOOD CONDITION TO REMAIN.
- 7 REMOVE CASEWORK AND BUILT-IN THROUGHOUT WORK AREA.
- 8 REMOVE FINISH FLOOR AND REPAIR FOR NEW FLOOR FINISH.
- 9 REMOVE EXIST. DRYWALL CEILING CAREFULLY.
- 10 UNINSTALL EXIST. WINDOW APRON AND CASING.

GENERAL NOTES

1. SHUT DOWN ALL EXIST UTILITY CONNECTION PRIOR TO DISCONNECTING FIXTURES AND FAUCETS.
2. DISCONNECT AND SAFELY REMOVE ALL EXIST. EQUIPMENT.
3. CAP ALL EXIST. UTILITY CONNECTIONS PRIOR TO REINSTATING THE UTILITIES.
4. FOR REMOVAL OF ELECTRIC WIRING, SWITCHES, OUTLETS REFER TO ELECTRICAL DWGS.
5. FOR SMOKE DETECTORS AND OTHER EQUIPMENT REFER TO MEP DWGS.
6. NEW ROUGH DOOR OPENING SIZE MAY VARY ON METAL DOOR FRAME SIZE.
7. USE R-21, 5 1/2" INSULATION BATTS FOR 2"x6" STUD WALL.
8. USE R-15, 3 1/2" INSULATION BATTS FOR 2"x4" STUD WALL.

LEGEND

- EXIST. WALL, TO REMAIN
- REMOVE EXIST. FRAMING/DRYWALL
- NEW PARTIAL DRYWALL INSTALLATION
- NEW DRYWALL, FRAMING AND SHEET ROCK



2
A102
FIRST FLOOR PLAN
ADA APARTMENT 10.1
SCALE: 1/4" = 1'-0"

ADA COMPLIANT APARTMENT 10.1, APPLIANCES (BY OTHERS)

No.	APPLIANCE	CAPACITY					POWER SUPPLY	
		WIDTH	DEPTH	HEIGHT	CAPACITY	COLOR	AMPS	WATTS
01	SPEED QUEEN (COMMERCIAL FRONT LOAD) WASHER	27"	27 3/4"	44 1/2"	4.5 CF	WHITE	15 A	
02	SPEED QUEEN (COMMERCIAL FRONT LOAD) DRYER	27"	30 3/8"		7.4 CF	WHITE	30 A	
03	FRIGIDAIRE REFRIGERATOR	30"	30 3/8"	66.38"	18.3 CF	S. STEEL	15 A	
04	FRIGIDAIRE COOKING RANGE (4 BURNERS)	30"	32"	34"	6.3 CF	S. STEEL	40 A	1500-4800
05	FRIGIDAIRE MICROWAVE (OVER THE RANGE)	30"	15 3/4"	16 3/8"	1.9 CF	S. STEEL	15 A	1000

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Lizardos Engineering Associates D.P.C.

Designer: AKBER AFRIDI, P.E.
Drawn by: AZHER MALIK
Checked by: AKBER AFRIDI, P.E.

Project: INTERIOR RENOVATIONS OF THE COMMONS APARTMENTS 10.1 (ADA COMPLIANT) & 10.3

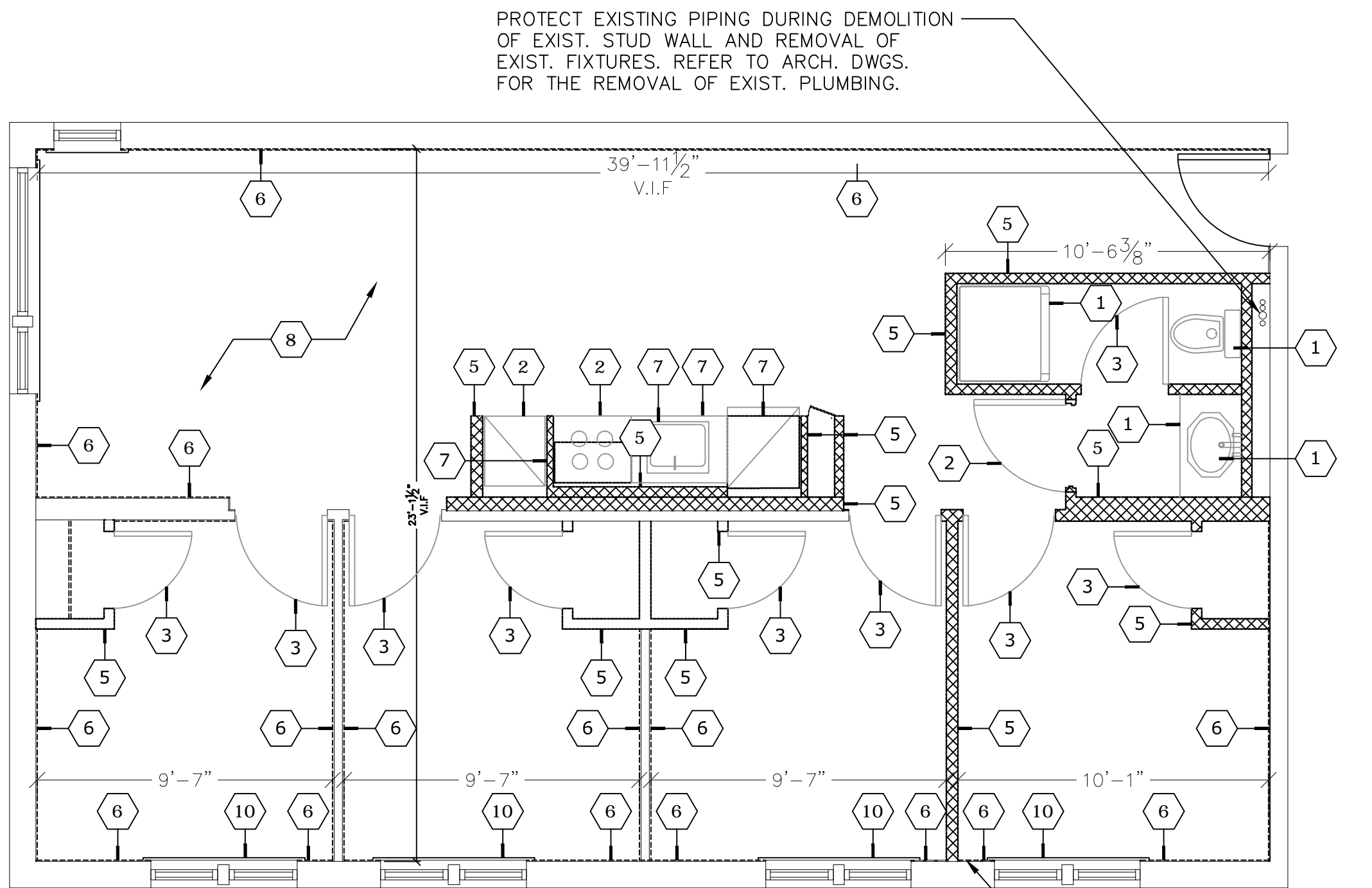
Address:
735 Anderson Hill Road
Purchase NY 10577

Drawing Title: ADA APARTMENT 10.1, PARTIAL REMOVALS & PROPOSED PLANS

Drawing No.:
A102.00

Scale: AS NOTED

Date: 08/24/2020



1 DEMOLITION PLAN
A103 APARTMENT 10.3
0 2' 4' 8' 16'
SCALE: 1/4" = 1'-0"

ALL DAMAGE TO ADJOINING WORK DUE TO FAILURE TO PROVIDE ADEQUATE PROTECTION SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

ANY DAMAGE TO EXIST. DRYWALL/FRAMING TO BE REPORTED PRIOR TO REPLACING IN KIND

DEMOLITION KEY

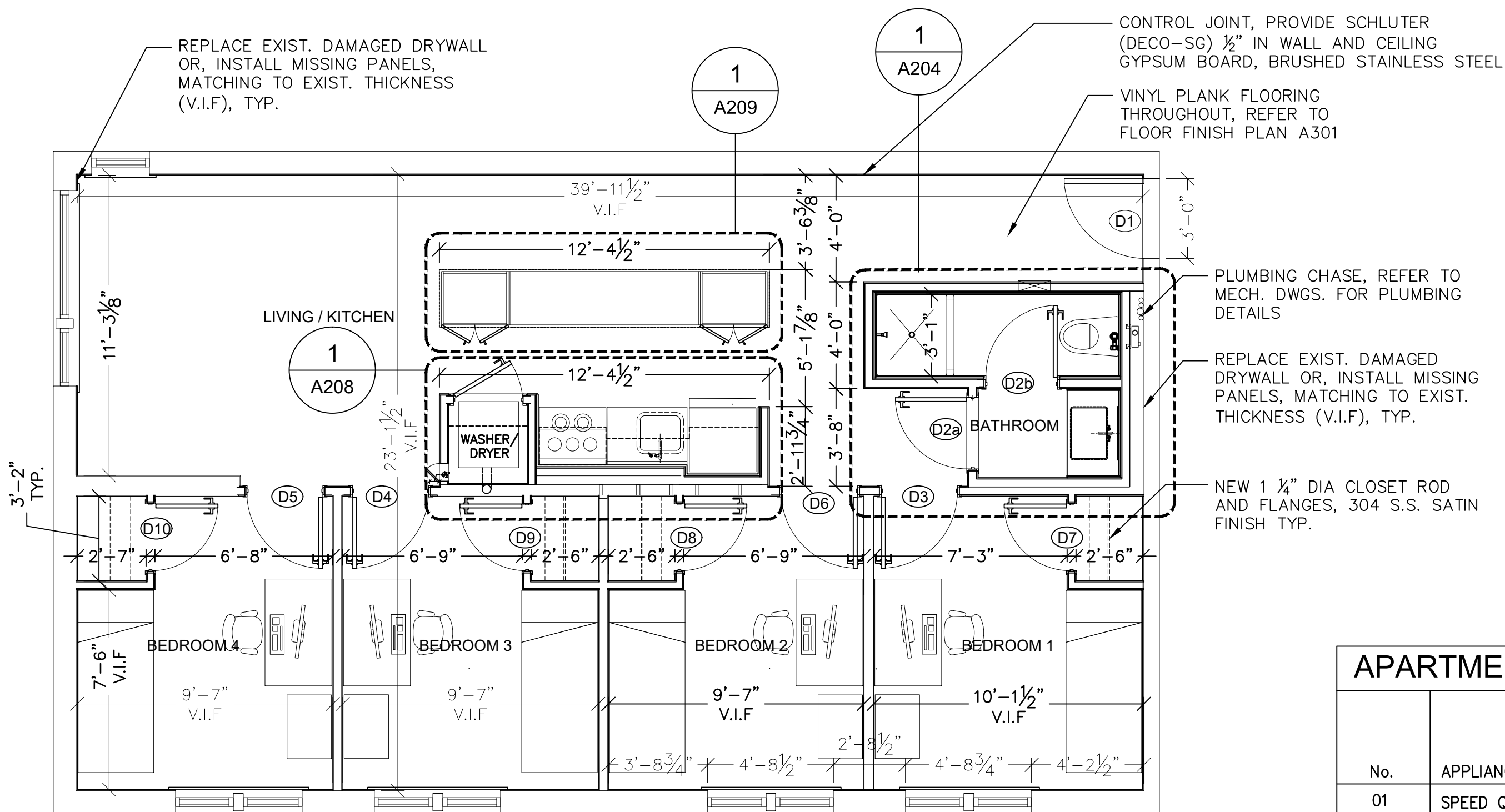
- 1 REMOVE TOILET FIXTURES AND ASSOCIATED HARDWARE AND ASSOCIATED PLUMBING AND CARRIERS. PREPARE FOR NEW FIXTURES IN RELOCATED AREAS. PATCH AREAS AS NECESSARY TO MATCH ADJACENT FINISHES.
- 2 DISCONNECT AND REMOVE KITCHEN APPLIANCES.
- 3 REMOVE EXISTING DOOR AND DOOR HARDWARE.
- 4 EXISTING DOOR TO REMAIN.
- 5 REMOVE INTERIOR NON LOAD-BEARING WALL AND ASSOCIATED FRAMING AND BLOCKING AND SUPPORT AS INDICATED.
- 6 EXISTING DRYWALL TO REMAIN. REMOVE ANY BROKEN PIECES WALL AND PREPARE STUD WALL FOR NEW DRYWALL.
- 7 REMOVE CASEWORK AND BUILT-IN THROUGHOUT WORK AREA.
- 8 REMOVE FINISH FLOOR AND PREPARE FOR NEW FLOOR FINISH.
- 9 REMOVE EXIST. DRYWALL CEILING CAREFULLY.
- 10 UNINSTALL EXIST. WINDOW APRON AND CASING.

GENERAL NOTES

1. SHUT DOWN ALL EXIST UTILITY CONNECTION PRIOR TO DISCONNECTING FIXTURES AND FAUCETS.
2. DISCONNECT AND SAFELY REMOVE ALL EXIST. EQUIPMENT.
3. CAP ALL EXIST. UTILITY CONNECTIONS PRIOR TO REINSTATING THE UTILITIES.
4. FOR REMOVAL OF ELECTRIC WIRING, SWITCHES, OUTLETS REFER TO ELECTRICAL DWGS.
5. FOR SMOKE DETECTORS AND OTHER EQUIPMENT REFER TO MEP DWGS.
6. NEW ROUGH DOOR OPENING SIZE MAY VARY ON METAL DOOR FRAME SIZE.
7. USE R-21, 5 1/2" INSULATION BATTS FOR 2"x6" STUD WALL.
8. USE R-15, 3 1/2" INSULATION BATTS FOR 2"x4" STUD WALL.

LEGEND

- EXIST. WALL, TO REMAIN
- REMOVE EXIST. FRAMING/DRYWALL
- NEW PARTIAL DRYWALL INSTALLATION
- NEW DRYWALL, FRAMING AND SHEET ROCK



2 SECOND FLOOR PLAN
A103 APARTMENT 10.3
0 2' 4' 8' 16'
SCALE: 1/4" = 1'-0"

APARTMENT 10.3, APPLIANCES (BY OTHERS)

No.	APPLIANCE	CAPACITY					POWER SUPPLY	
		WIDTH	DEPTH	HEIGHT	CAPACITY	COLOR	AMPS	WATTS
01	SPEED QUEEN (COMMERCIAL FRONT LOAD) STACKED WASHER/DRYER	27"	27 3/4"	78 1/4"	21.5 LB 18 LB	WHITE	30 A 30 A	
02	FRIGIDAIRE REFRIGERATOR	30"	30 3/8"	66.38"	18.3 CF	S. STEEL	15 A	
03	FRIGIDAIRE COOKING RANGE (4 BURNERS)	30"	32"	34"	6.3 CF	S. STEEL	40 A	1500-4800
04	FRIGIDAIRE MICROWAVE (OVER THE RANGE)	30"	15 3/4"	16 3/8"	1.9 CF	S. STEEL	15 A	1000

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Lizardos Engineering Associates D.P.C.

Designer: AKBER AFRIDI, P.E.

Drawn by: AZHER MALIK

Checked by: AKBER AFRIDI, P.E.

Project:
**INTERIOR RENOVATIONS OF
THE COMMONS APARTMENTS
10.1 (ADA COMPLIANT) & 10.3**

Address:
735 Anderson Hill Road
Purchase NY 10577

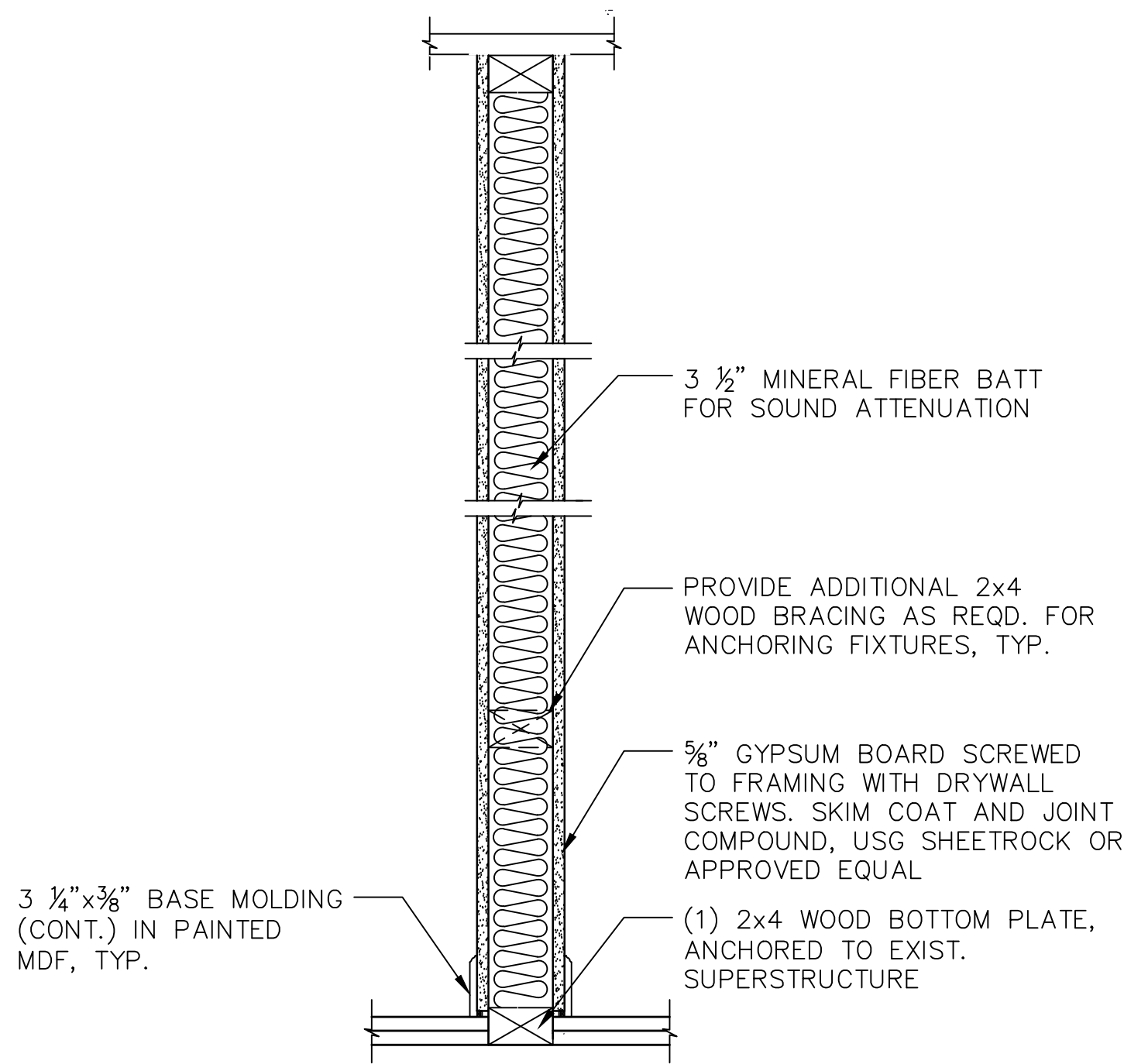
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**APARTMENT 10.3, PARTIAL
REMOVAL & PROPOSED PLANS**

Drawing No.:
A103.00

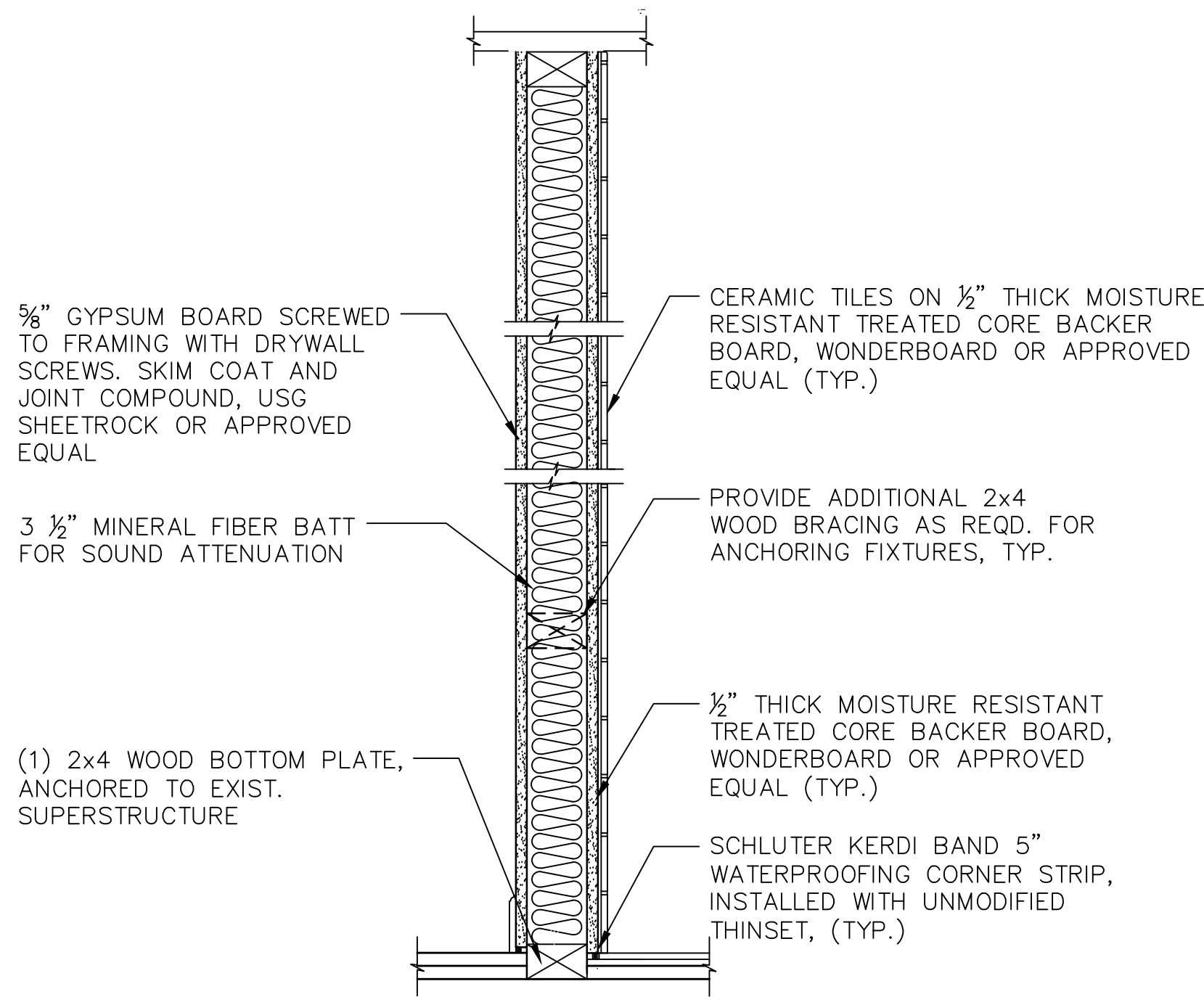
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Date: 08/24/2020

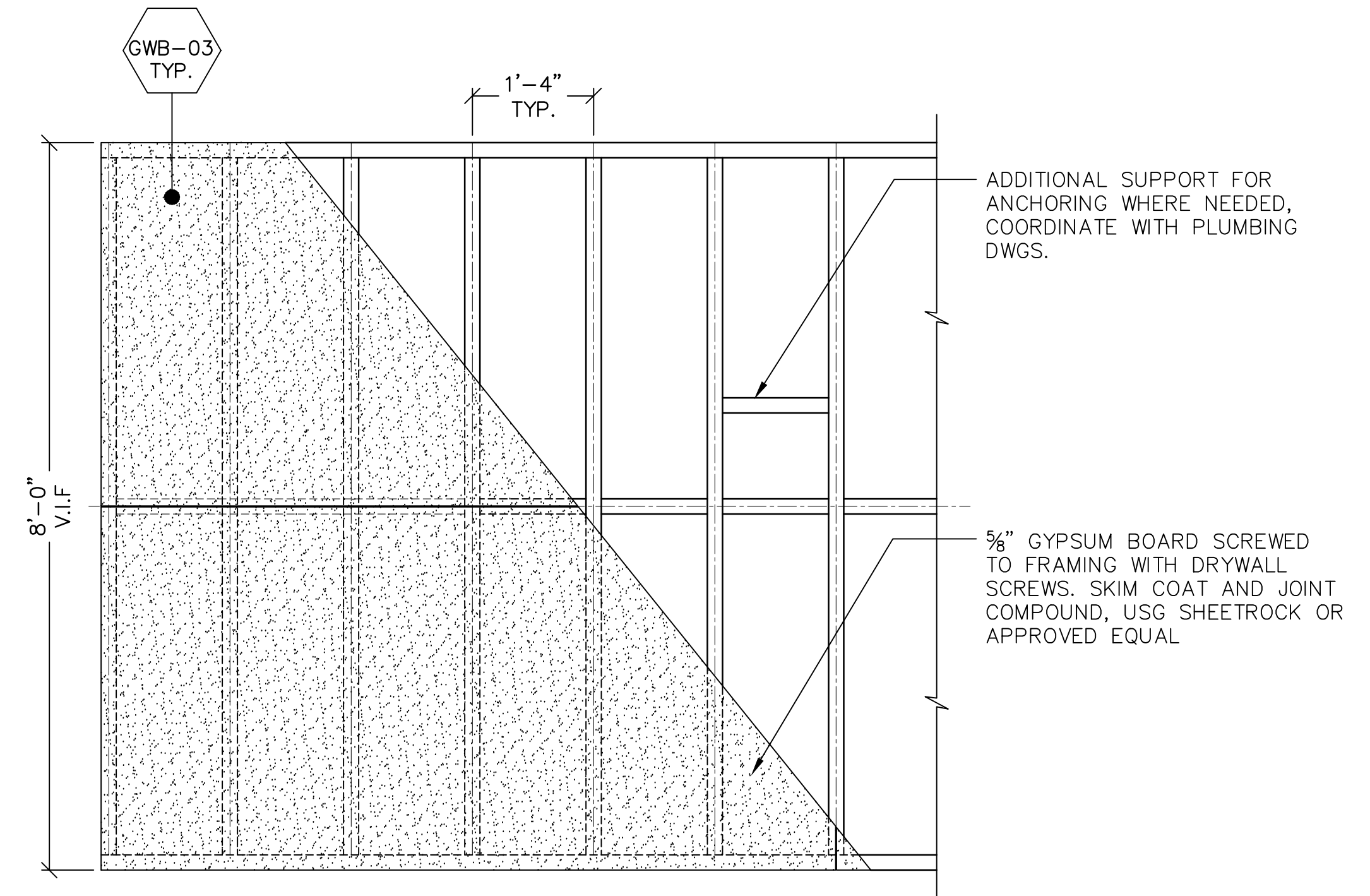
SU-040623



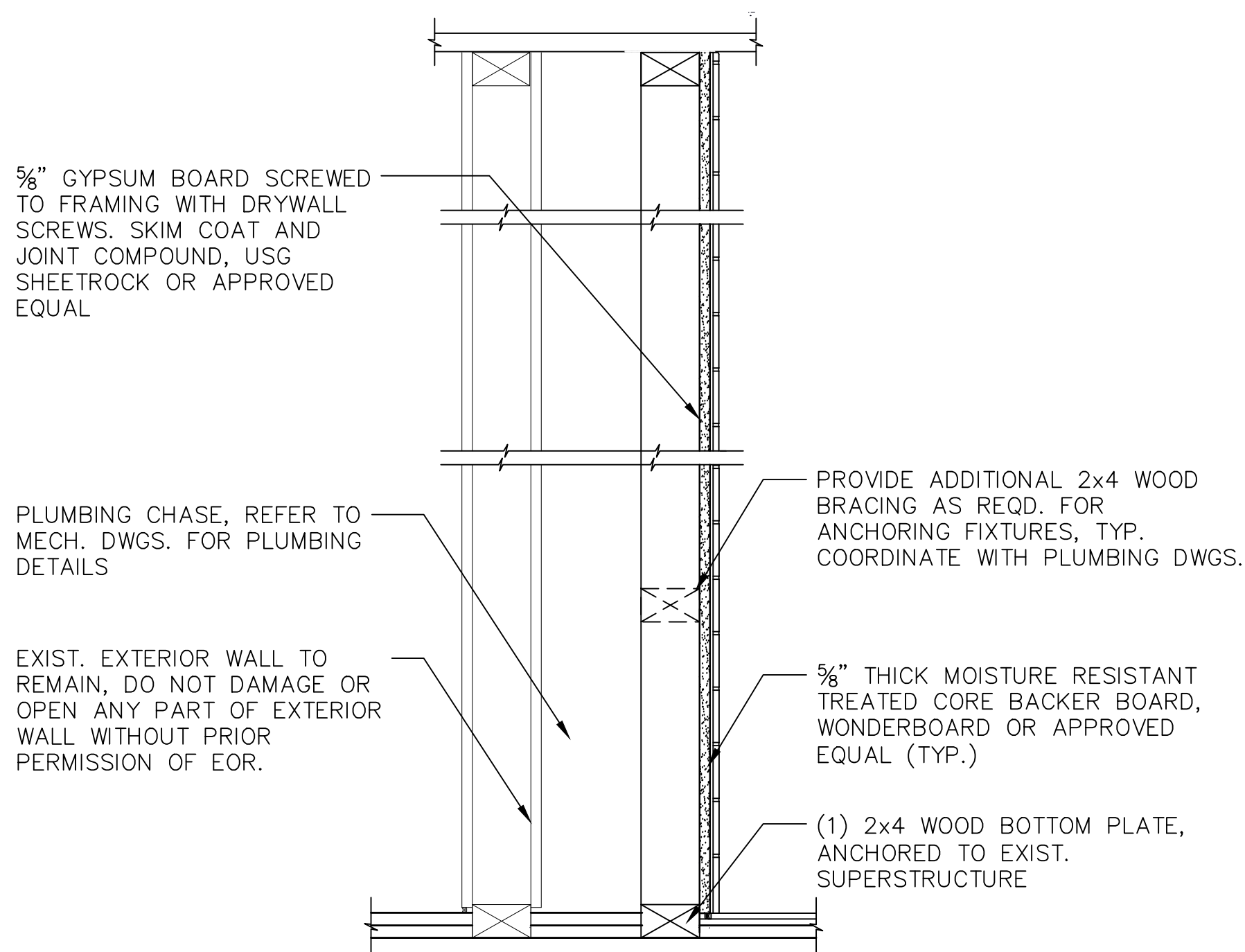
1 SECTION - INT. GYPSUM DRYWALL
A201
0 6" 1' 2'
SCALE: 1 1/2" = 1'-0"



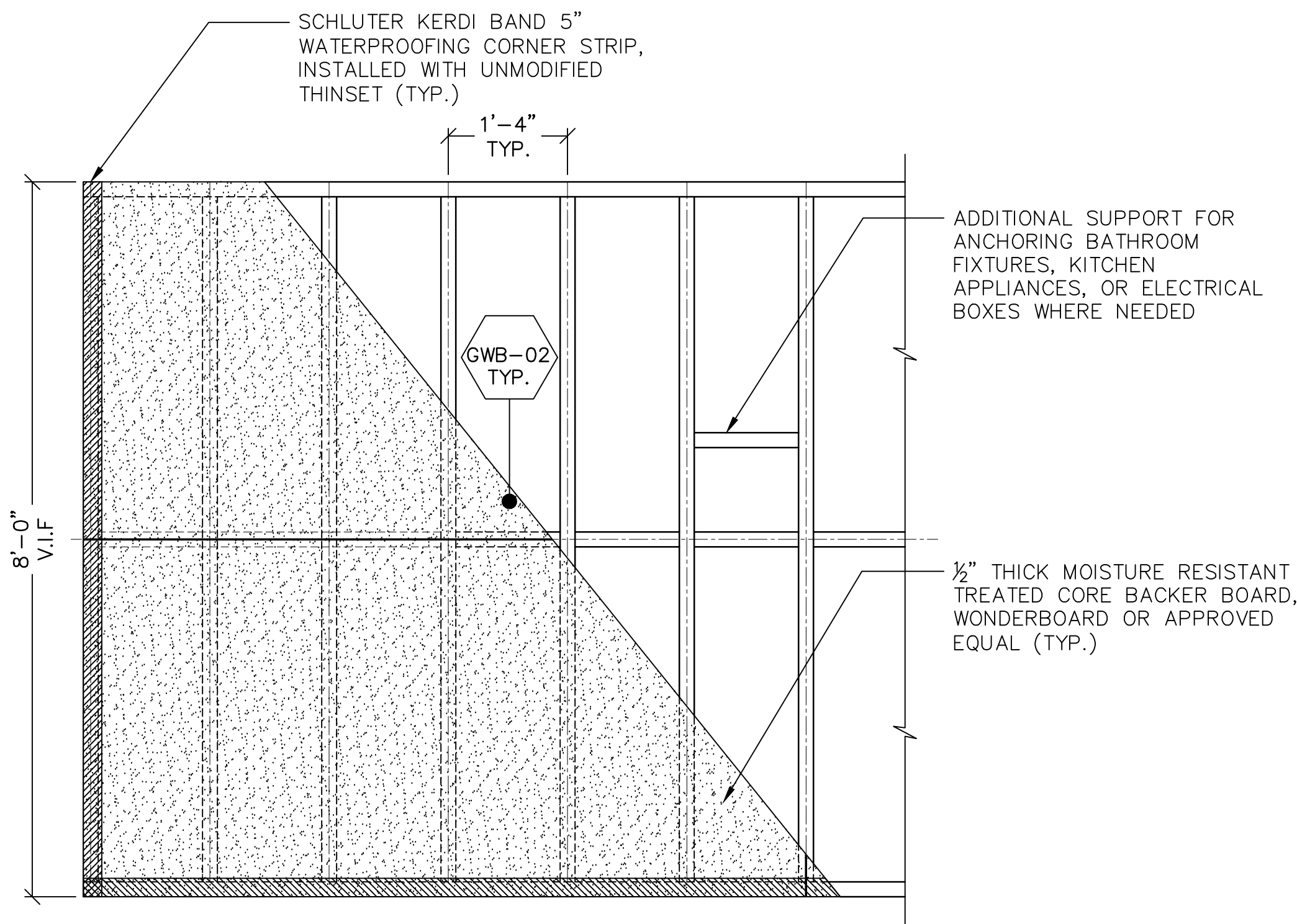
3 SECTION - CERAMIC WALL TILE
ON BACKER BOARD
A201
0 6" 1' 2'
SCALE: 1 1/2" = 1'-0"



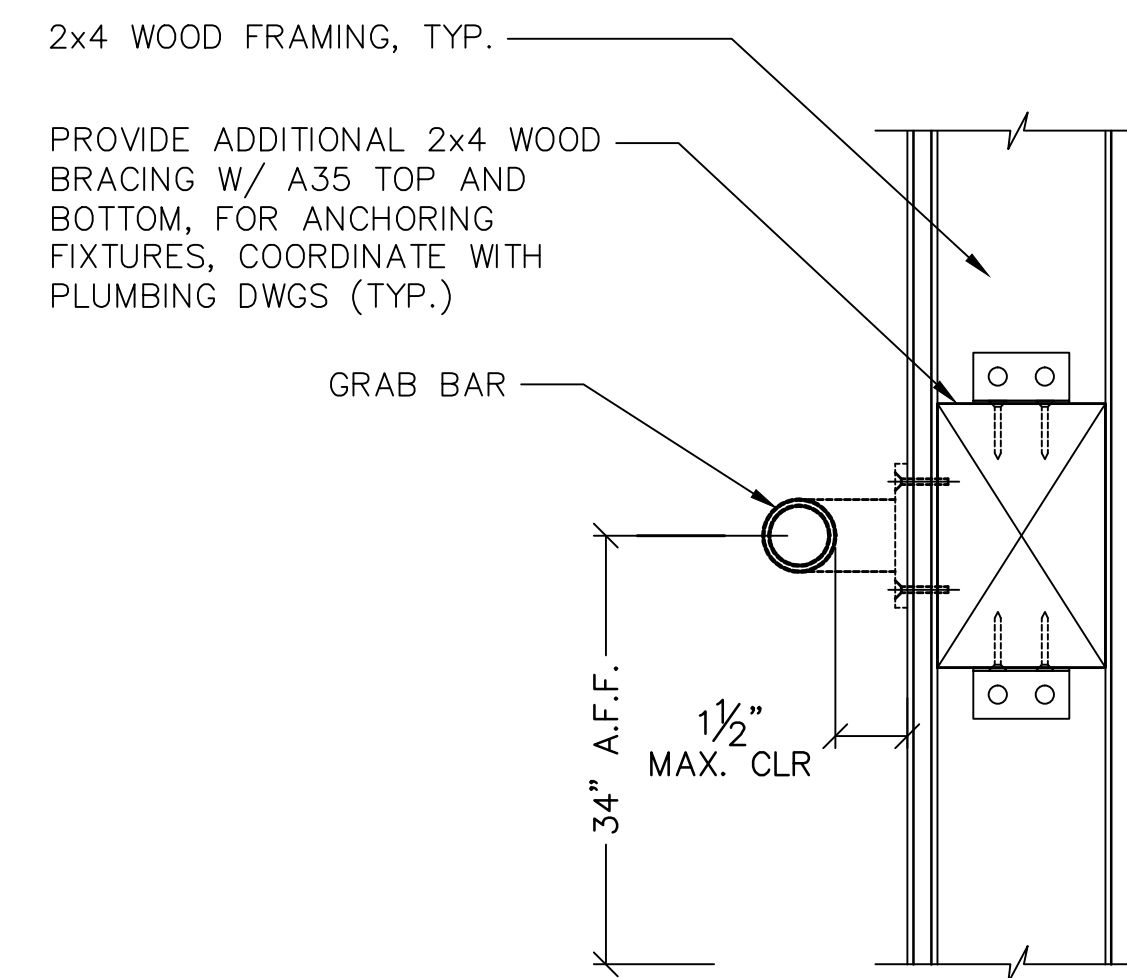
5 TYP. DRYWALL / FRAMING
A201
0 1' 2' 4'
SCALE: 3/4" = 1'-0"



2 SECTION - CERAMIC WALL TILE
ON BACKER BOARD
A201
0 6" 1' 2'
SCALE: 1 1/2" = 1'-0"



4 DRYWALL / FRAMING
(KITCHEN & BATHROOM)
A201
0 1' 2' 4'
SCALE: 3/4" = 1'-0"



6 HORIZONTAL WOOD BRACING
TYP. DETAIL
A201
0 3" 6" 1'
SCALE: 3" = 1'-0"

NOTE:

- GRAB BAR MOUNTING TO WITHSTAND 250 LBS IN BENDING SHEAR AND TENSION W/ 1/8" MIN. RADIUS ON ALL EDGES. BAR SHALL NOT ROTATE IN FITTINGS.
- A GRAB BAR AND ANY WALL SURFACE ADJACENT TO IT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8".
- ALL OTHER EQUIPMENT SHALL BE ADA COMPLIANT WITH ADDITIONAL HORIZONTAL BRACING.

2 04/06/2023 100% SUBMISSION

1 09/24/2022 80% SUBMISSION

No. Date Revision

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Designer: AKBER AFRIDI, P.E.

Drawn by: AZHER MAJID

Checked by: AKBER AFRIDI, P.E.

Project:
**INTERIOR RENOVATIONS OF
THE COMMONS APARTMENTS
10.1 (ADA COMPLIANT) & 10.3**

Address:
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Purchase NY 10577

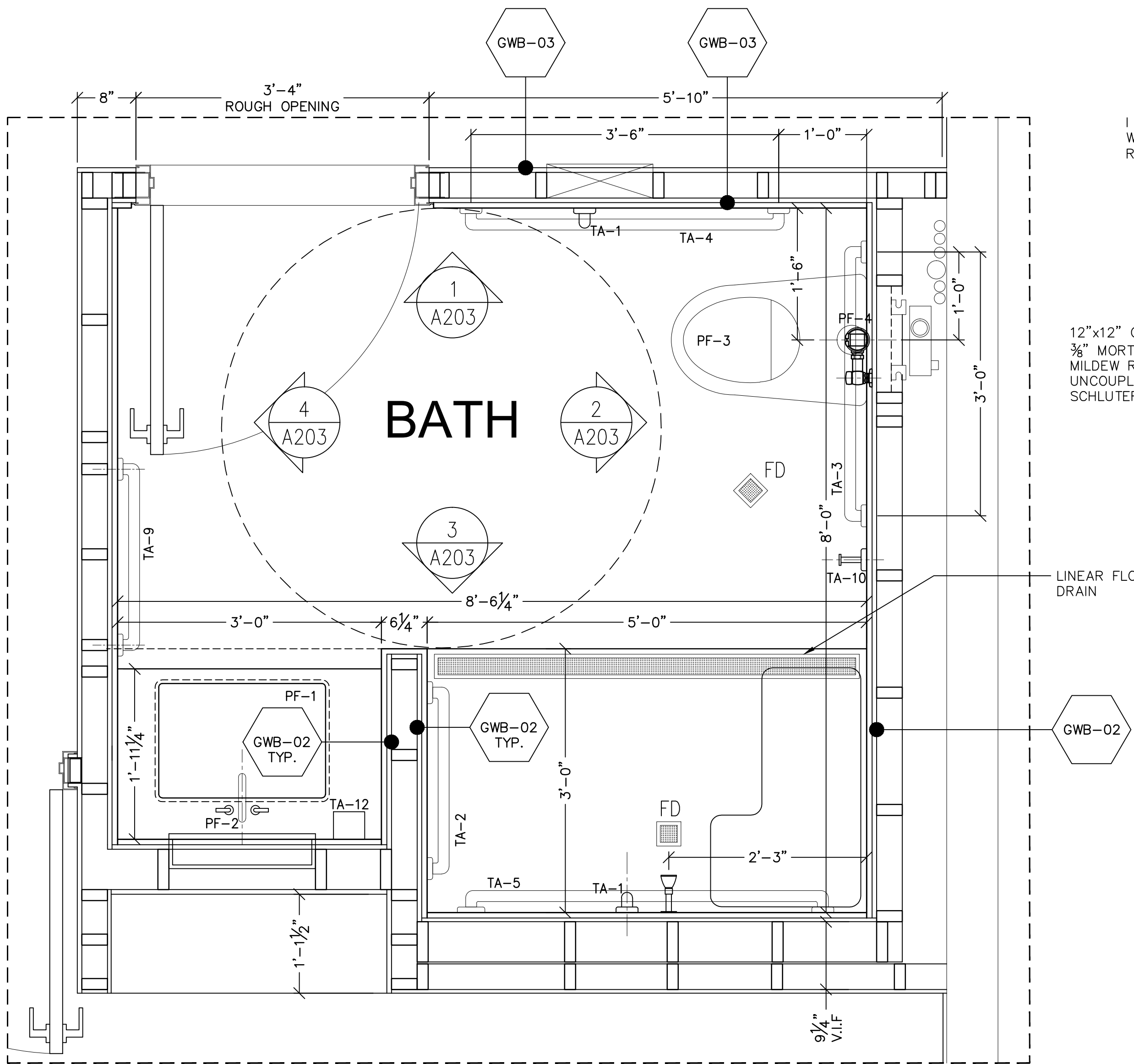
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WALL SECTIONS

Drawing No.:
A201.00

Scale: AS NOTED

Date: 08/24/2020

SU-040623



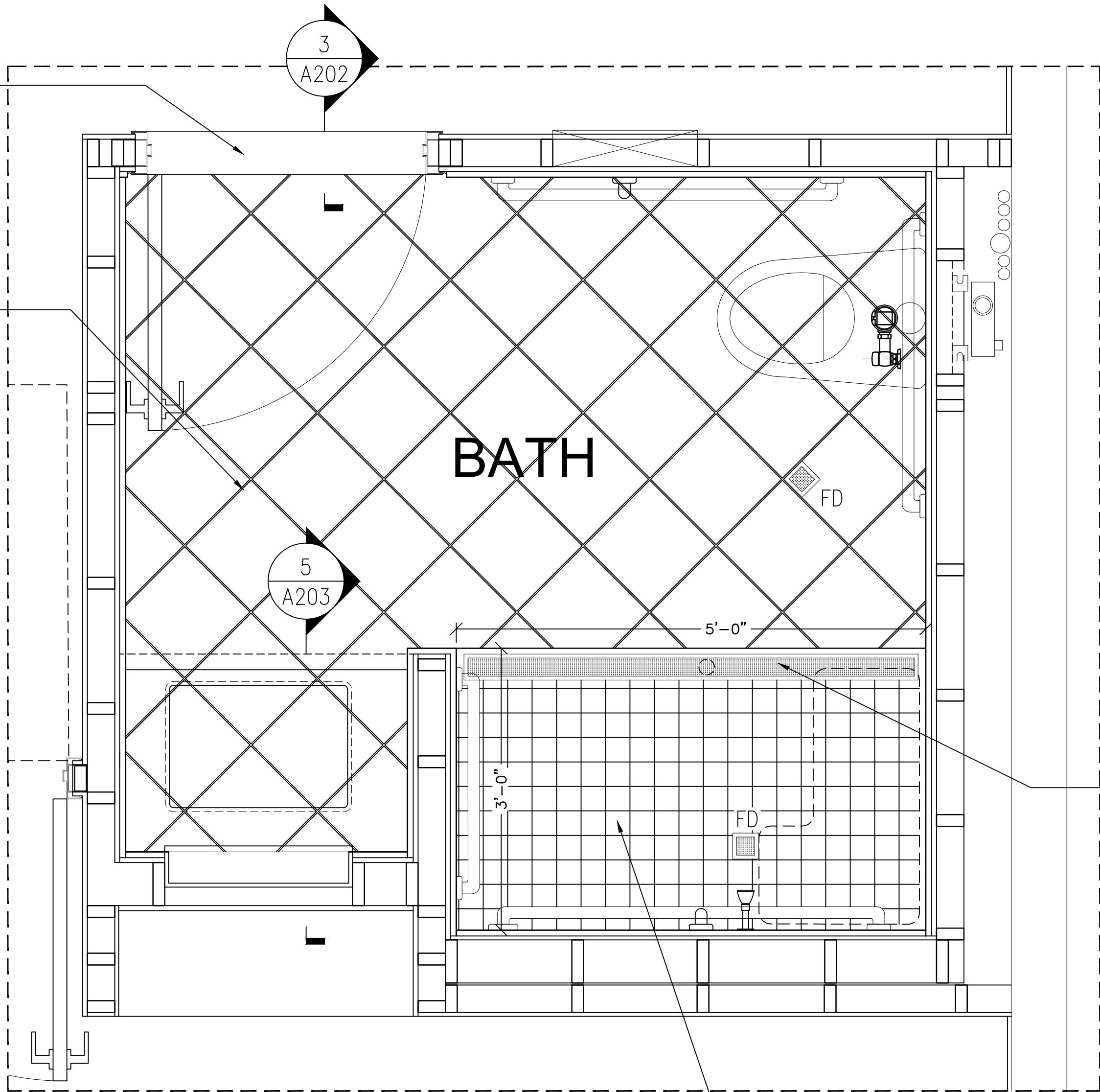
1 ADA BATHROOM LAYOUT PLAN
A202

0 6" 1' 2' 4'
SCALE: 1" = 1'-0"

1 1/2" THICK POLISHED
WHITE MARBLE THRESHOLD,
REFER TO DETAIL 3/A202

12"x12" CERAMIC TILES LAYED ON
3/8" MORTAR BED, OVER MOLD AND
MILDEW RESISTANT POLYETHYLENE
UNCOUPLING UNDERLAYMENT,
SCHLUTER OR APPROVED EQUAL

LINEAR FLOOR
DRAIN



2 ADA BATHROOM PLAN - FLOOR TILES
A202

0 6" 1' 2' 4'
SCALE: 1" = 1'-0"

2"x2" MOSAIC/CERAMIC TILES LAYED ON
3/8" MORTAR BED, OVER WATERPROOFING
MEMBRANE UNDERLAYMENT, SCHLUTER
OR APPROVED EQUAL

LINEAR STAINLESS STEEL
SHOWER DRAIN, KOHLER,
U.S. TRENCH DRAIN OR
APPROVED EQUAL

NOTES

1. LEVEL SUBFLOOR AS REQUIRED PRIOR TO INSTALLING FINISH FLOOR.
2. STAGGER SUBFLOOR JOINTS IN BOTH DIRECTIONS.
3. PROVIDE COLOR SAMPLES AND FULL SIZE TILE SAMPLES FOR APPROVAL PRIOR TO INSTALLATION OF TILES/VINYL PLANKS.
4. FOR SHOWER AREA, BATHROOM AND KITCHEN WALLS, USE SCHLUTER KERDI MEMBRANE, CORNER STRIPS AND FIXTURE AND FAUCET SEALS.
5. FOR BATHROOM FLOOR UNCOUPLING MEMBRANE, USE SCHLUTER DITRA OR APPROVED EQUAL.
6. DOOR STOP IN BATHROOM, TO BE INSTALLED ON BASEBOARD/TILED WALL. DO NOT INSTALL ON FINISH FLOOR.
7. ELECTRICAL RECEPTACLES NEAR WET AREA TO BE GFCI OUTLETS.

LEGEND

- VINYL FLOOR PLANK (VF-01)
- CERAMIC TILES (KITCHEN)
- 12"x12" CERAMIC FLOOR TILES (BATHROOM)
- 2"x2" CERAMIC FLOOR TILES (SHOWER)
- PLYWOOD/SUBFLOOR

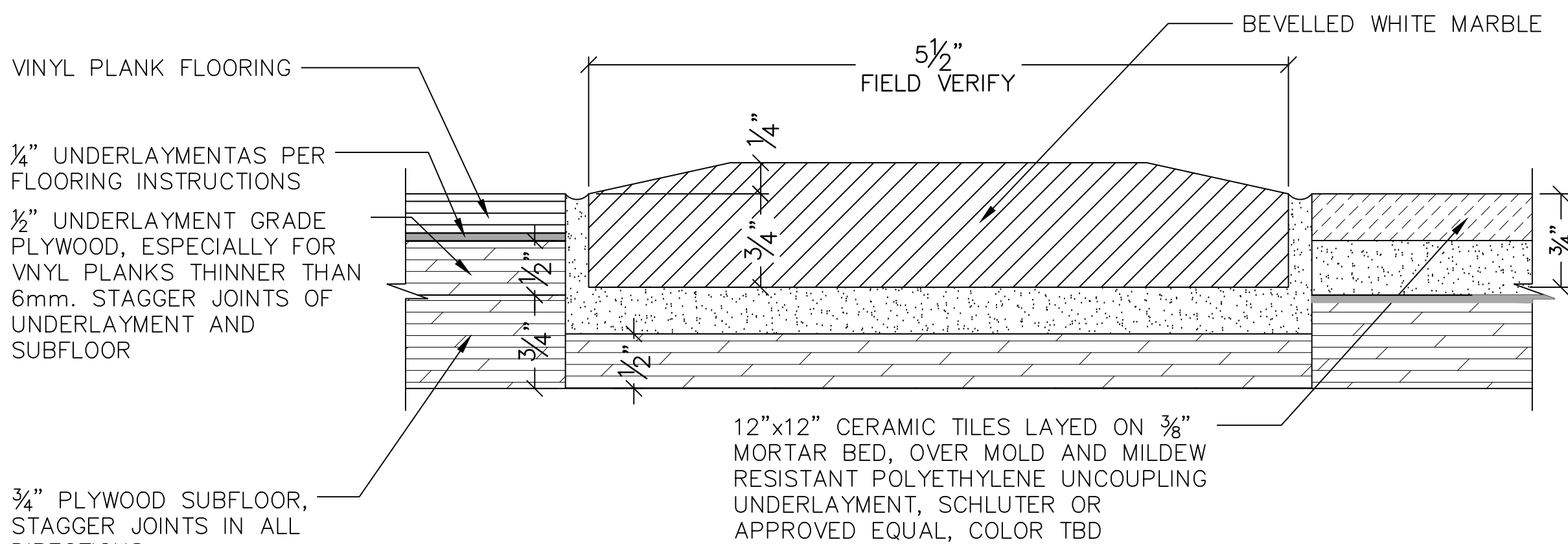
APARTMENT 10.1 PLUMBING FIXTURE SCHEDULE

MARK	QTY	DESCRIPTION	MANUFACTURER	MODEL	REMARKS
PF-1	1	'STUDIO' UNDERCOUNTER SINK, VITREOUS CHINA	AMERICAN STANDARD	STUDIO - 0618.300	
PF-1K	1	'RUVATI' MODENA UNDERMOUNT 20 1/2"x17 3/4" BRUSHED SS SINK (16 GAUGE)	RUVATI	MODENA	
PF-2	1	'MONTERREY' TWO HANDLE 8" WIDESPREAD LAVATORY FAUCET	AMERICAN STANDARD	MONTERREY - 6500.170	
PF-2K	1	'HYDROLOCK' SINGLE HANDLE HIGH ARC PULL DOWN KITCHEN FAUCET	MOEN	CA87094 SERIES	
PF-3	1	'MODERA' FLOWISE 16 1/2" (FLUSHOMETER TOILET), 1.28 GPF	AMERICAN STANDARD		
PF-4	1	'SOLIS' SLOAN BATTERY/SOLAR POWERED DUAL FLUSH (8111-1.6/1.1)	SLOAN	8111-1.6/1.1	
PF-5	1	'M-DURA' COMMERCIAL THREE-FUNCTION SHOWER SYSTEM	MOEN	T9342	

NOTE: STANDARD CAMPUS WIDE FIXTURES, FINISHES AND OPERATION, G.C. TO COORDINATE.

BATHROOM ACCESSORIES

MARK	QTY	DESCRIPTION	MANUFACTURER	MODEL	REMARKS
TA-1	2	BOBRICK B-5806.99x18 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x18	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-2	1	BOBRICK B-5806.99x24 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x24	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-3	1	BOBRICK B-5806.99x36 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x36	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-4	1	BOBRICK B-5806.99x42 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x42	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-5	1	BOBRICK B-5806.99x48 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x48	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-6	1	BOBRICK COMMERCIAL TOILET PAPER DISPENSER	BOBRICK WASHROOM EQUIPMENT, INC.	B-6677	S.S. SATIN FIN.
TA-7	1	KOHLER, MEDICINE CABINET, RECESSED-MOUNTED	KOHLER	CATALAN	ANODIZED ALUMINUM (20 1/8"x36 1/8")
TA-8	1	BOBRICK B-542, SATIN FINISH STAINLESS STEEL COAT HOOK	BOBRICK WASHROOM EQUIPMENT, INC.	B-9542	S.S. SATIN FIN.
TA-9	1	BOBRICK B-530x18, TOWEL BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-530x18	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-10	1	BOBRICK B-6777, SATIN FINISH STAINLESS STEEL TOWEL PIN	BOBRICK WASHROOM EQUIPMENT, INC.	B-6777	S.S. SATIN FIN.
TA-11	1	BOBRICK B-207x60, SHOWER CURTAIN ROD/CONCEALED MOUNT	BOBRICK WASHROOM EQUIPMENT, INC.	B-207x60	S.S. SATIN FIN.
TA-12	1	BOBRICK B-40, SURFACE MOUNTED SOAP DISPENSER	BOBRICK WASHROOM EQUIPMENT, INC.	B-40 (ADA)	POLYETHYLENE FIN.(BLACK)



3/4" PLYWOOD SUBFLOOR,
STAGGER JOINTS IN ALL
DIRECTIONS

3 ADA THRESHOLD DETAIL
A202

0 1/2" 1" 2" 4"
SCALE: 12" = 1'-0"

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Designer: AKBER AFRIDI, P.E.
Drawn by: AZHER MALIK
Checked by: AKBER AFRIDI, P.E.

Project: INTERIOR RENOVATIONS OF THE COMMONS APARTMENTS 10.1 (ADA COMPLIANT) & 10.3

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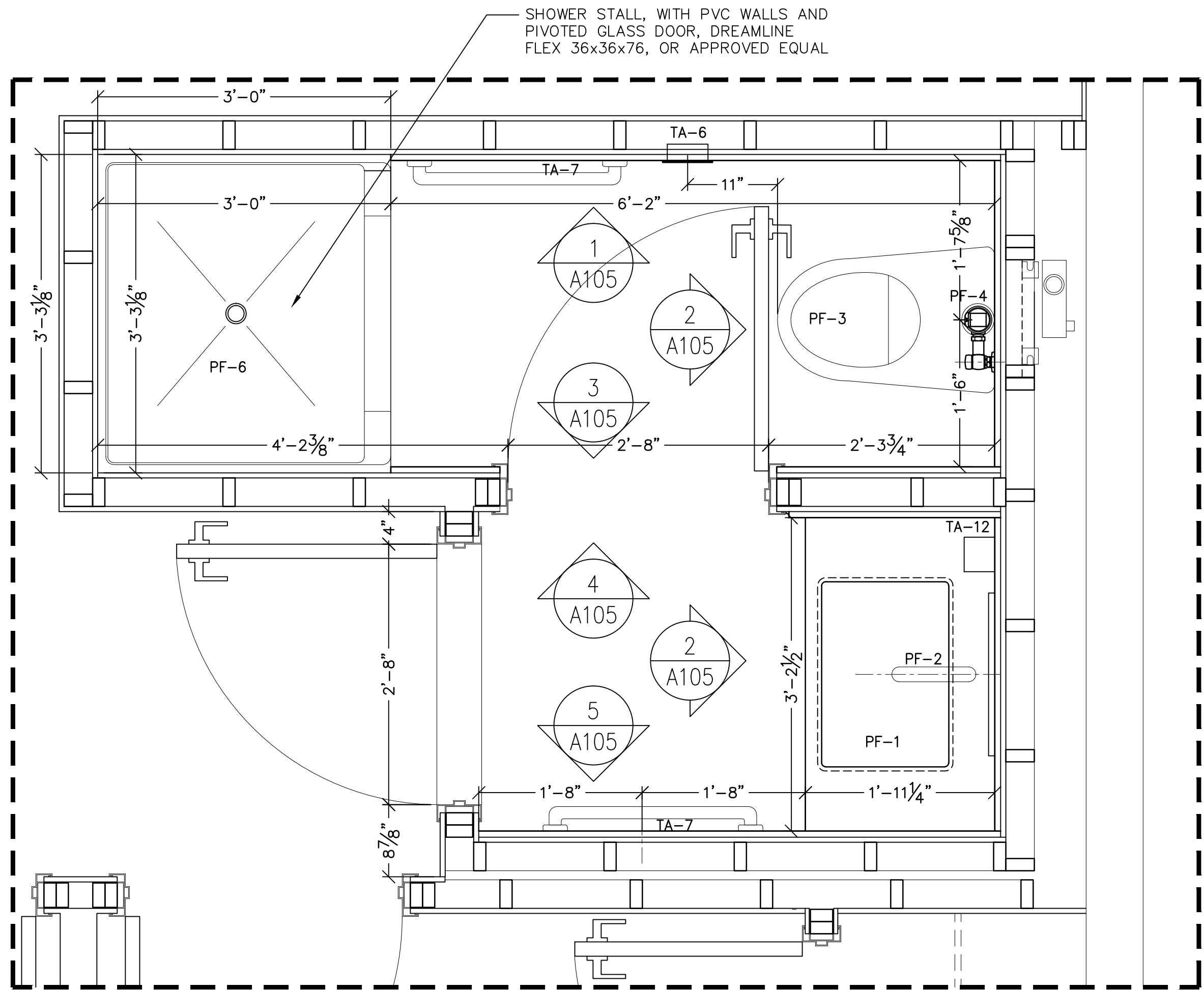
Drawing Title:
ENLARGED BATHROOM PLANS
ADA APARTMENT 10.1

Drawing No.:

A202.00

Scale: AS NOTED

Date: 08/24/2020



1
A204
ADA BATHROOM LAYOUT PLAN

0 6" 1' 2' 4'

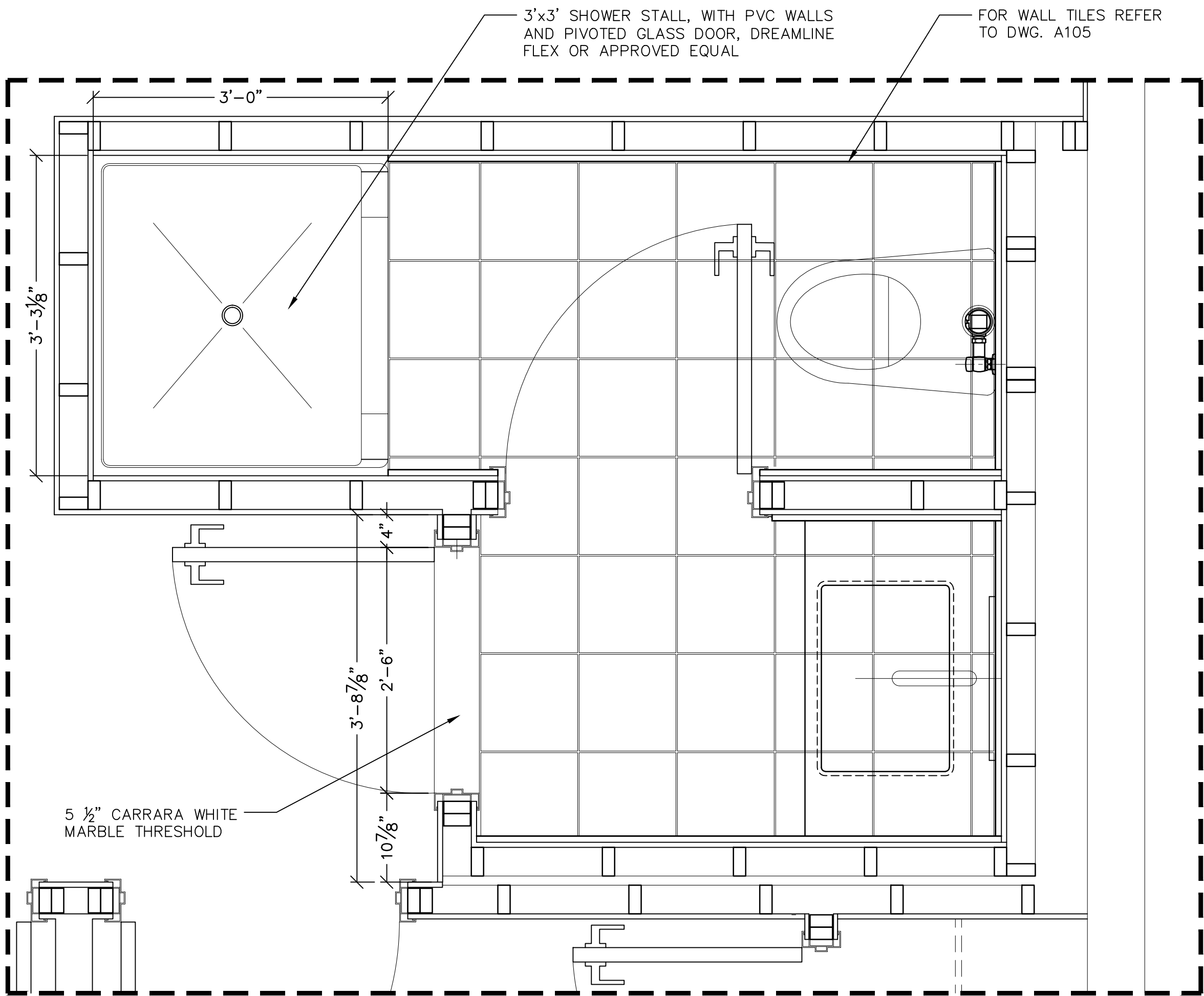
SCALE: 1" = 1'-0"

APARTMENT 10.1 PLUMBING FIXTURE SCHEDULE

MARK	QTY	DESCRIPTION	MANUFACTURER	MODEL	REMARKS
PF-1	1	'STUDIO' UNDERCOUNTER SINK, VITREOUS CHINA	AMERICAN STANDARD	STUDIO - 0618.300	GLAZED UNDERSIDE
PF-1K	1	'RUVATI' MODENA UNDERMOUNT 20 1/2"x17 3/4" BRUSHED SS SINK (16 GAUGE)	RUVATI	MODENA	
PF-2	1	'MONTERREY' TWO HANDLE 8" WIDESPREAD LAVATORY FAUCET	AMERICAN STANDARD	MONTERREY - 6500.170	
PF-2K	1	'HYDROLOCK' SINGLE HANDLE HIGH ARC PULL DOWN KITCHEN FAUCET	MOEN	CA87094 SERIES	
PF-3	1	'MODERA' FLOWISE 16 1/2" (FLUSHOMETER TOILET), 1.28 GPF	AMERICAN STANDARD		
PF-4	1	'SOLIS' SLOAN BATTERY/SOLAR POWERED DUAL FLUSH (8111-1.6/1.1)	SLOAN	8111-1.6/1.1	
PF-5	1	'M-DURA' COMMERCIAL THREE-FUNCTION SHOWER SYSTEM	MOEN	T9342	
PF-6	1	36Dx36Lx76 3/4 H SEMI FRAMLESS DOOR, BASE/BACKWALLS, SATIN CHROME	DREAMLINE	DL-6218C-04CL FLEX	

NOTE: STANDARD CAMPUS WIDE FIXTURES, FINISHES AND OPERATION, G.C. TO COORDINATE.

BATHROOM ACCESSORIES					
MARK	QTY	DESCRIPTION	MANUFACTURER	MODEL	REMARKS
TA-1		BOBRICK B-5806.99x18 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x18	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-2		BOBRICK B-5806.99x24 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x24	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-3		BOBRICK B-5806.99x36 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x36	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-4		BOBRICK B-5806.99x42 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x42	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-5		BOBRICK B-5806.99x48 STRAIGHT PEENED GRAB BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-5806.99x48	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-6	1	BOBRICK COMMERCIAL TOILET PAPER DISPENSER	BOBRICK WASHROOM EQUIPMENT, INC.	B-6677	S.S. SATIN FIN.
TA-7	1	KOHLER, MEDICINE CABINET, RECESSED-MOUNTED	KOHLER	CATALAN	ANODIZED ALUMINUM (20 1/8"x36 1/8")
TA-8	1	BOBRICK B-542, SATIN FINISH STAINLESS STEEL COAT HOOK	BOBRICK WASHROOM EQUIPMENT, INC.	B-9542	S.S. SATIN FIN.
TA-9	2	BOBRICK B-530x18, TOWEL BAR	BOBRICK WASHROOM EQUIPMENT, INC.	B-530x18	S.S. SATIN EXTRA HEAVY DUTY SURFACE MOUNTED
TA-10		BOBRICK B-6777, SATIN FINISH STAINLESS STEEL TOWEL PIN	BOBRICK WASHROOM EQUIPMENT, INC.	B-6777	S.S. SATIN FIN.
TA-11		BOBRICK B-207x60, CLOSET ROD/CONCEALED MOUNT	BOBRICK WASHROOM EQUIPMENT, INC.	B-207x60	S.S. SATIN FIN.
TA-12	1	BOBRICK B-40, SURFACE MOUNTED SOAP DISPENSER	BOBRICK WASHROOM EQUIPMENT, INC.	B-40 (ADA)	POLYETHYLENE FIN.(BLACK)



2
A204
ADA BATHROOM PLAN - FLOOR TILES

0 6" 1' 2' 4'

SCALE: 1" = 1'-0"

NOTES

1. LEVEL SUBFLOOR AS REQUIRED PRIOR TO INSTALLING FINISH FLOOR.
2. STAGGER SUBFLOOR JOINTS IN BOTH DIRECTIONS.
3. PROVIDE COLOR SAMPLES AND FULL SIZE TILE SAMPLES FOR APPROVAL PRIOR TO INSTALLATION OF TILES/VINYL PLANKS.
4. FOR SHOWER AREA, BATHROOM AND KITCHEN WALLS, USE SCHLUTER KERDI MEMBRANE, CORNER STRIPS AND FIXTURE AND FAUCET SEALS.
5. FOR BATHROOM FLOOR UNCOUPLING MEMBRANE, USE SCHLUTER DITRA OR APPROVED EQUAL.
6. DOOR STOP IN BATHROOM, TO BE INSTALLED ON BASEBOARD/TILED WALL. DO NOT INSTALL ON FINISH FLOOR.
7. ELECTRICAL RECEPTACLES NEAR WET AREA TO BE GFCI OUTLETS.

LEGEND

	VINYL FLOOR PLANK (VF-01)
	12"x12" CERAMIC TILES (KITCHEN)
	12"x12" CERAMIC FLOOR TILES (BATHROOM)
	PLYWOOD/SUBFLOOR

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Project:
**INTERIOR RENOVATIONS OF
THE COMMONS APARTMENTS
10.1 (ADA COMPLIANT) & 10.3**

Address:
735 Anderson Hill Road
Purchase NY 10577

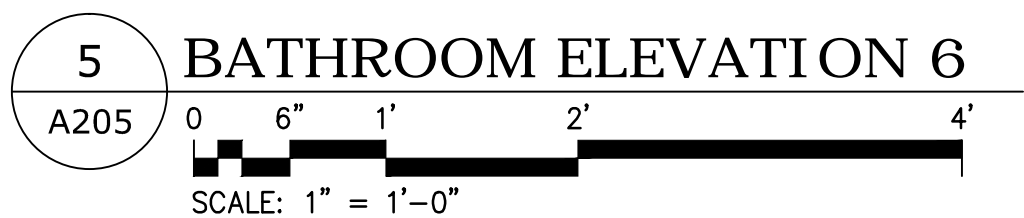
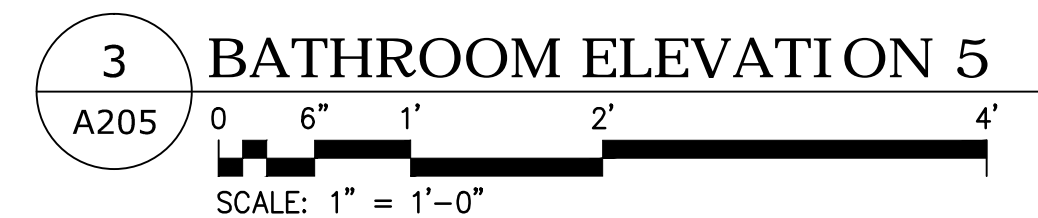
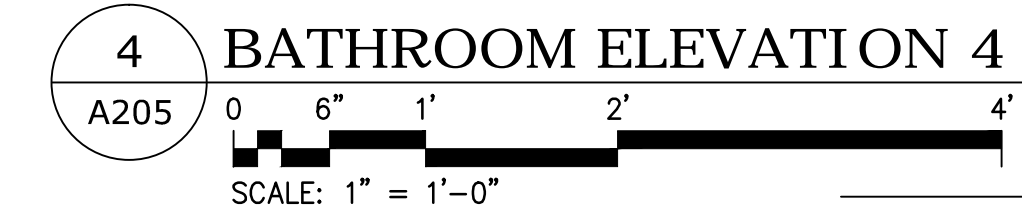
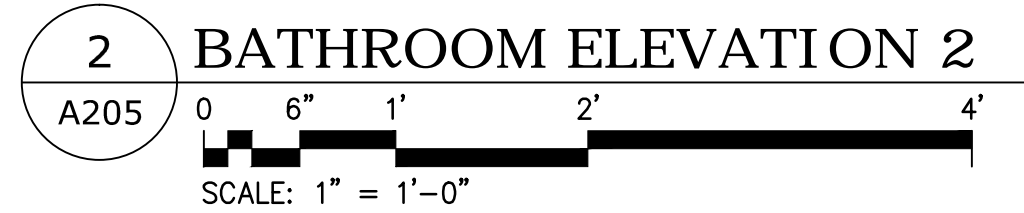
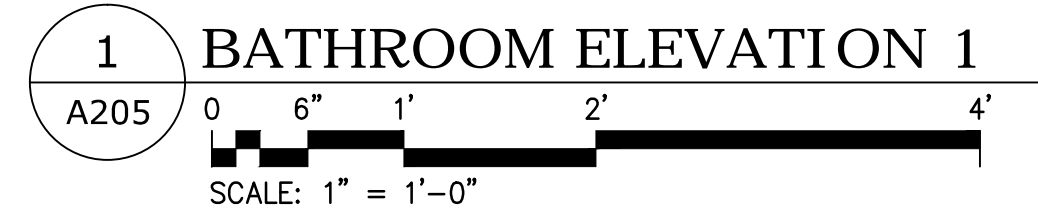
Drawing Title:
**ENLARGED BATHROOM PLANS
APARTMENT 10.3**

Drawing No.:
A204.00

Scale: AS NOTED

Date: 08/24/2020

SU-040623



<p>Project:</p> <p>INTERIOR RENOVATIONS OF THE COMMONS APARTMENTS 10.1 (ADA COMPLIANT) & 10.3</p> <p>Address:</p> <p>735 Anderson Hill Road Purchase NY 10577</p>	
<p>Drawing Title:</p> <p>BATHROOM WALL ELEVATIONS & FINISHES, APARTMENT 10.3</p>	

Drawing No.:	A205.00
Scale:	AS NOTED
Date:	08/24/2020

SU-040623