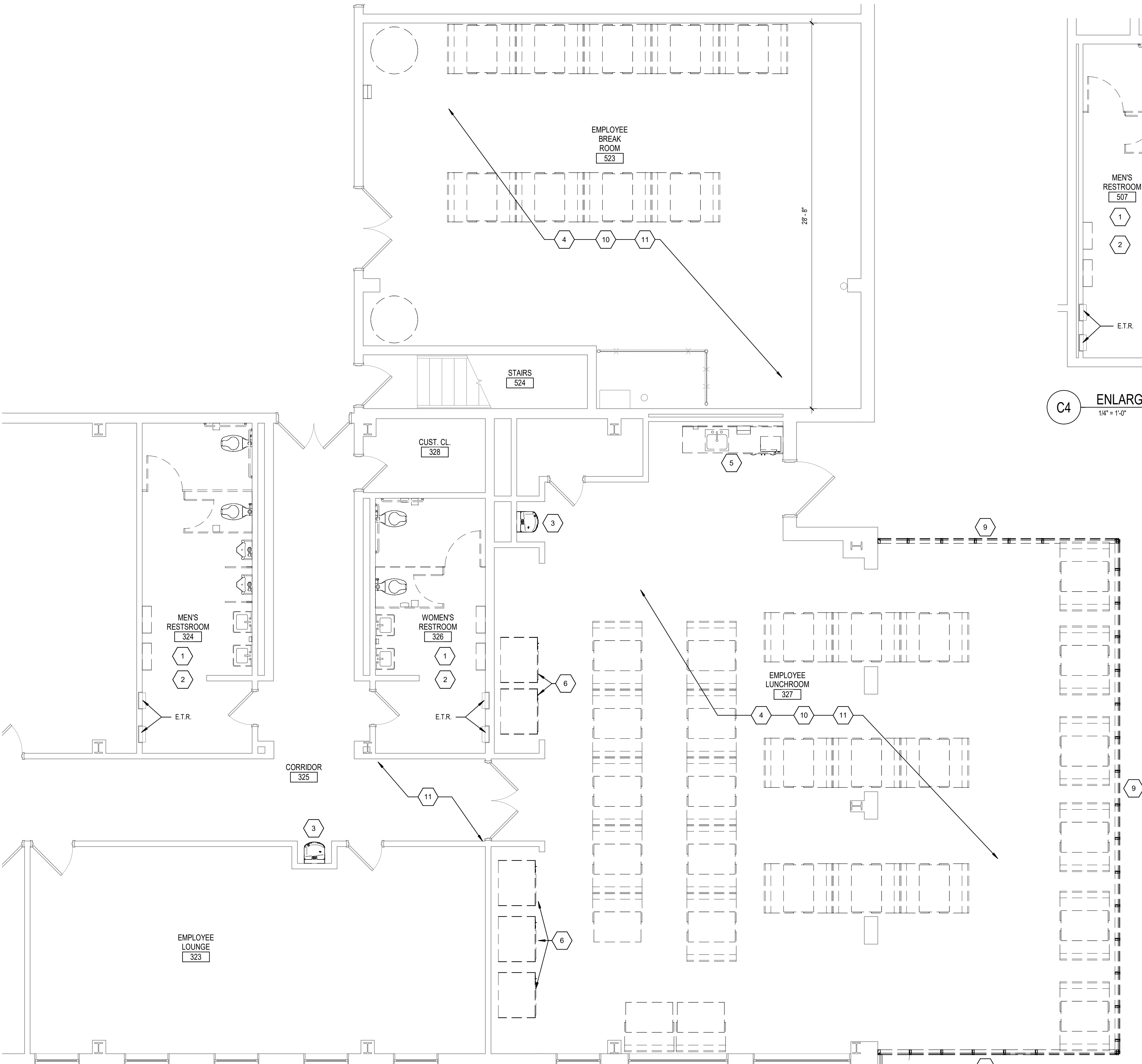


D1 ENLARGED DEMOLITION PLAN  
1/4" = 1'-0"



A1 ENLARGED DEMOLITION PLAN  
1/4" = 1'-0"

CONTRACTOR RESPONSIBILITIES WITH REGARDS TO EXISTING CONDITIONS

- A. THE CONTRACTOR SHALL PERFORM A SITE VISIT. IN DOING SO, THE CONTRACTOR HAS AGREED THAT THEY HAVE INVESTIGATED THE EXISTING CONDITIONS TO BE DEMOLISHED AND COMPARE THEM TO THE WORK SHOWN IN THE CONTRACT DOCUMENTS.
- B. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND EXTENT OF THE LIFE SAFETY SYSTEM AS THEY MAY BE AFFECTED BY THE NEW WORK. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A TEMPORARY CONNECTION.
- C. THE AREAS ADJACENT TO THE PROJECT AREA ARE CURRENTLY OCCUPIED AND MUST REMAIN IN OPERATION DURING THE ASSIGNED BUSINESS HOURS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY CONSTRUCTION ACTIVITIES THAT MAY IMPERE NORMAL OPERATIONS, INCLUDING ANY ACTIVITY THAT CREATES EXCESSIVE NOISE TO KEEP THE AREAS OUTSIDE OF THE CONSTRUCTION ZONE ACTIVE.

CUTTING AND PATCHING GENERAL NOTES

- A. THE CONTRACTOR SHALL REPLACE OR REPAIR ANY EXISTING TO REMAIN MATERIALS AND FINISHES WHICH ARE DAMAGED DURING ANY WORK PERFORMED UNDER THIS CONTRACT. THE CONTRACTOR SHALL PATCH, REPAIR AND ALIGN ALL EXISTING CONSTRUCTION SO AS TO LEAVE NO EVIDENCE OF PATCHING OR REPAIR.
- B. WHERE LEVEL CHANGES, HOLES, DEPRESSIONS OR FORMED TRENCHES ARE UNCOVERED IN EXISTING CONCRETE SLABS BY REMOVAL OF EXISTING CONDITIONS, THE CONTRACTOR SHALL PATCH/REPAIR AND LEVEL FLOOR WITH A LEVELING COMPOUND COMPLIANT WITH SPECIFIED FINISH FLOORINGS.
- C. WHERE ITEMS ARE TO BE REMOVED FROM EXISTING RATED WALLS, THE CONTRACTOR SHALL INFILL THE OPENING WITH MATERIALS THAT MATCH THE EXISTING CONSTRUCTION OR AN UL APPROVED MATERIAL TO MAINTAIN THE EXISTING FIRE RATED ASSEMBLY.

DEMOLITION GENERAL NOTES

- A. ALL EXISTING REMAINING EQUIPMENT TO BE PROPERLY AND COMPLETELY PROTECTED BEFORE ANY DEMOLITION, CLEANING OR NEW FINISHES APPLIED. COORDINATE WITH FACILITIES TO REVIEW AND APPROVE ALL PROTECTION BEFORE WORK COMMENCES.
- B. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER, WHICH DEMOLISHED ITEMS SHALL BE SALVAGED. SUCH ITEMS SHALL BE REMOVED WITH CARE, CLEANED, AND STORED IN A LOCATION AS DIRECTED BY THE OWNER.
- C. REMOVE MISCELLANEOUS WALL MOUNTED ACCESSORIES THROUGHOUT PROJECT AREA. COORDINATE WITH OWNER SALVAGING AND STORING WALL MOUNTED ITEMS FOR RE-MOUNTING.
- D. DEMOLITION IS INTENDED TO PREPARE THE BUILDING TO RECEIVE THE NEW WORK. THE INFORMATION PROVIDED IN NO WAY INTENDS TO MEAN THAT DEMOLITION IS LIMITED ONLY TO THOSE ITEMS SPECIFICALLY IDENTIFIED. THE CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS OF CONSTRUCTION AND EQUIPMENT WITHIN THE PROJECT AREA.
- E. THE CONTRACTOR SHALL REMOVE ALL ITEMS TO BE DEMOLISHED IN THEIR ENTIRETY INCLUDING ALL ASSOCIATED PIPING, WIRING, HANGERS, SUPPORTS, ETC. FROM EXISTING SURFACES.
- F. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY DEMOLITION WORK CANNOT BE PERFORMED DUE TO EXISTING FIELD CONDITIONS.
- G. ALL DEMO WORK SHOULD BE COMPLETED IN ITS ENTIRETY. ALL ADJACENT REMAINING TO BE PATCHED AND REPAIRED TO MATCH ADJACENT FINISHES, TO LOOK CLEAN AND CONSISTENT.

REMOVE EXISTING WALL CONSTRUCTION, SHOWN WITH DASHED LINES, IN ITS ENTIRETY FROM FLOOR TO STRUCTURE ABOVE INCLUDING DOORS, DOOR FRAMES, BORROWED LIGHTS, ASSOCIATED ELEC. / MECH. WORK, ETC. PREPARE AREA FOR NEW CONSTRUCTION.

PLAN KEYNOTES

1. REMOVE ALL PLUMBING FIXTURES, PARTITIONS AND RESTROOM ACCESSORIES TO BE REPLACED ONE-FOR-ONE WITH NEW. PATCH AND REPAIR ALL TO MATCH EXISTING. ALL RECESSED WALL COMPONENTS (TRASH/PAPER TOWEL DISPENSERS) WILL REMAIN AS IS.
2. PRESSURE STEAM CLEAN ALL TILE AND GROUT. ALL BROKEN FLOORING AND COVE BASE TILE TO BE REPLACED WITH NEW TO MATCH EXISTING.
3. REMOVE EXISTING DRINKING FOUNTAIN. PATCH AND REPAIR WALLS FOR A NEW DRINKING FOUNTAIN PROVIDED BY G.C.
4. REMOVE ALL EXISTING TABLES AND CHAIRS. PATCH, REPAIR AND FINISH FLOOR TO MATCH EXISTING CONDITIONS.
5. REMOVE EXISTING CABINETS, COUNTERTOP AND SINK. PATCH, PAINT AND REPAIR AREA FOR NEW CASEWORK. COORDINATE SINK REMOVAL WITH PLUMBING.
6. EXISTING VENDING MACHINES TO BE REMOVED, CLEANED AND REINSTALLED. COORDINATE REMOVAL OF ALL SPECIALTY EQUIPMENT WITH USPS.
7. EXISTING LOCKERS TO BE REMOVED, CLEANED AND REINSTALLED WITHIN THE SAME LOCKER ROOM. CLEAN ALL RESIDUE AND STICKERS OFF OF LOCKERS BEFORE REINSTALLATION. COORDINATE LOCKER RELOCATION WITH USPS.
8. EXISTING REFRIGERATOR TO BE REMOVED, CLEANED AND REINSTALLED IN EMPLOYEE LUNCHROOM 327 & EMPLOYEE BREAK ROOM 523. COORDINATE REMOVAL OF ALL SPECIALTY EQUIPMENT WITH USPS.
9. REMOVE EXISTING GREENHOUSE CURTAIN WALL SYSTEM FROM SLAB TO ROOF CONNECTION. PATCH AND REPAIR EXISTING FOUNDATION FOR NEW 8" CMU WALL. PATCH, REPAIR AND FINISH EXISTING EXTERIOR WALLS TO MATCH EXISTING CONDITIONS.
10. REMOVE EXISTING FLOORING AND ALL ADHESIVES BACK TO SUB SURFACE. CLEAN AND PREP FOR NEW. SEE FINISH SCHEDULE.
11. REMOVE ALL BREAKROOM TACKBOARDS, BULLETIN BOARDS AND MINIBLINDS. TO BE CLEANED AND REINSTALLED IN EXISTING LOCATION. COORDINATE EQUIPMENT RELOCATION WITH USPS.

KEYPLAN

