

HASTINGS-ON-HUDSON VILLAGE HALL

PHASE 3: ROOF REPLACEMENT AND REPAIRS

7 MAPLE AVENUE, HASTINGS-ON-HUDSON, NY 10706

ISSUE FOR BID
October 31, 2022

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ROOF REPLACEMENT AND REPAIRS

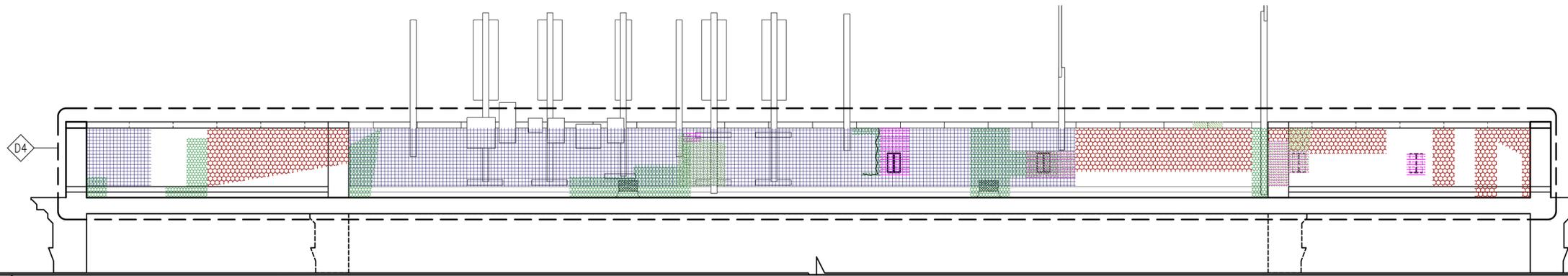
PROJECT
HASTINGS-ON-HUDSON
VILLAGE HALL
PHASE 3: ROOF REPLACEMENT
AND REPAIRS
7 MAPLE AVE, NEW YORK, NY 10706

COVER SHEET

EASTON ARCHITECTS, LLP
HISTORIC PRESERVATION ARCHITECTURE MASTER PLANNING
20 West 44th Street - Suite 604, New York, NY 10036
TEL: 212.779.9570

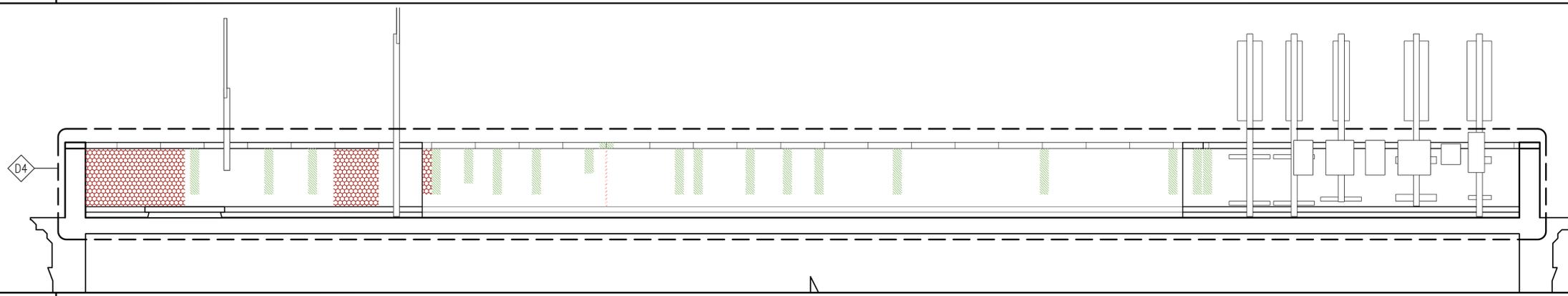
SEAL & SIGNATURE	DATE:	10/31/2022
	PROJECT No:	2118
	DRAWING BY:	AD
	CHK BY:	TT
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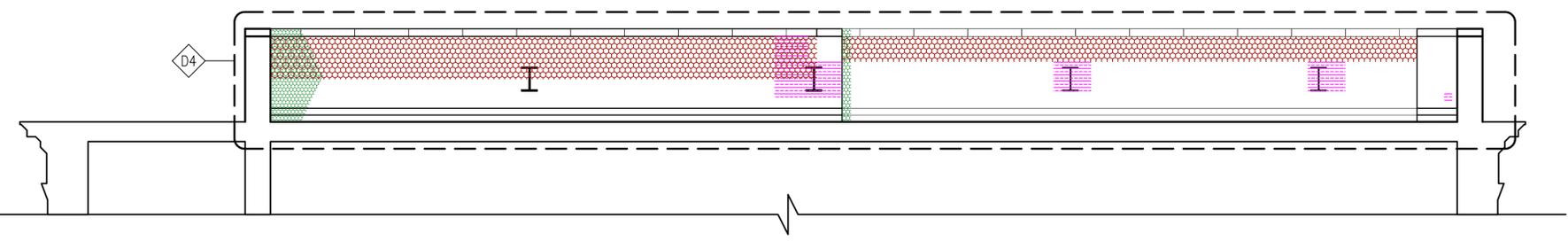
D1 EXISTING CONDITIONS SOUTH ROOF ELEVATION

1/4"=1'-0"



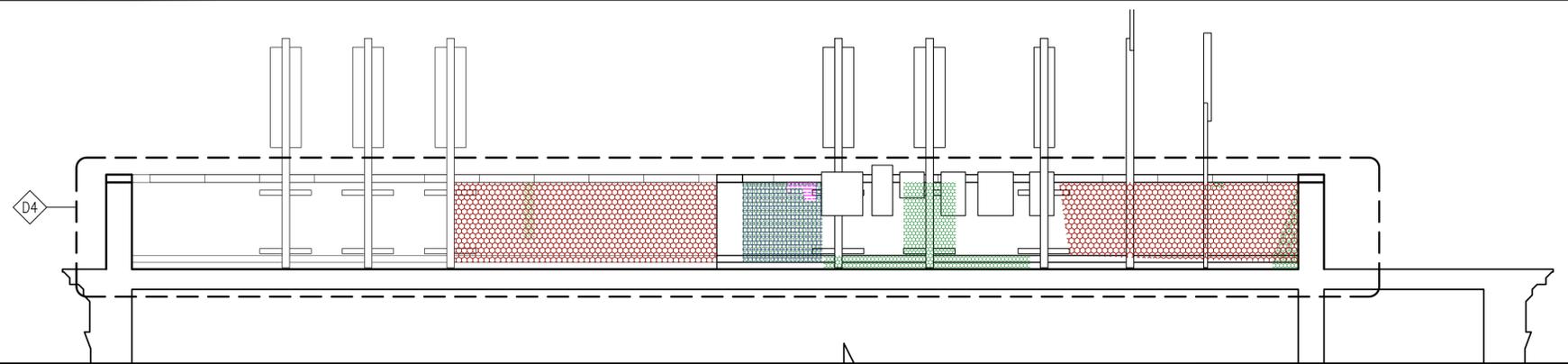
C1 EXISTING CONDITIONS NORTH ROOF ELEVATION

1/4"=1'-0"



B1 EXISTING CONDITIONS WEST ROOF ELEVATION

1/4"=1'-0"



A1 EXISTING CONDITIONS EAST ROOF ELEVATION

1/4"=1'-0"

STUCCO

CONDITION:	GRAPHIC		
SPALLING		186	SF
PREVIOUS PATCH REPAIRS/ REPLACEMENT MATERIAL		57	SF
BIOLOGICAL GROWTH		92	SF
MECHANICAL DAMAGE		33	SF
SOILING / STAINING		295	SF

No.	REVISIONS / SUBMISSIONS	Date
	ISSUE FOR BID	10/31/22
	ISSUE FOR OWNER REVIEW	09/07/22

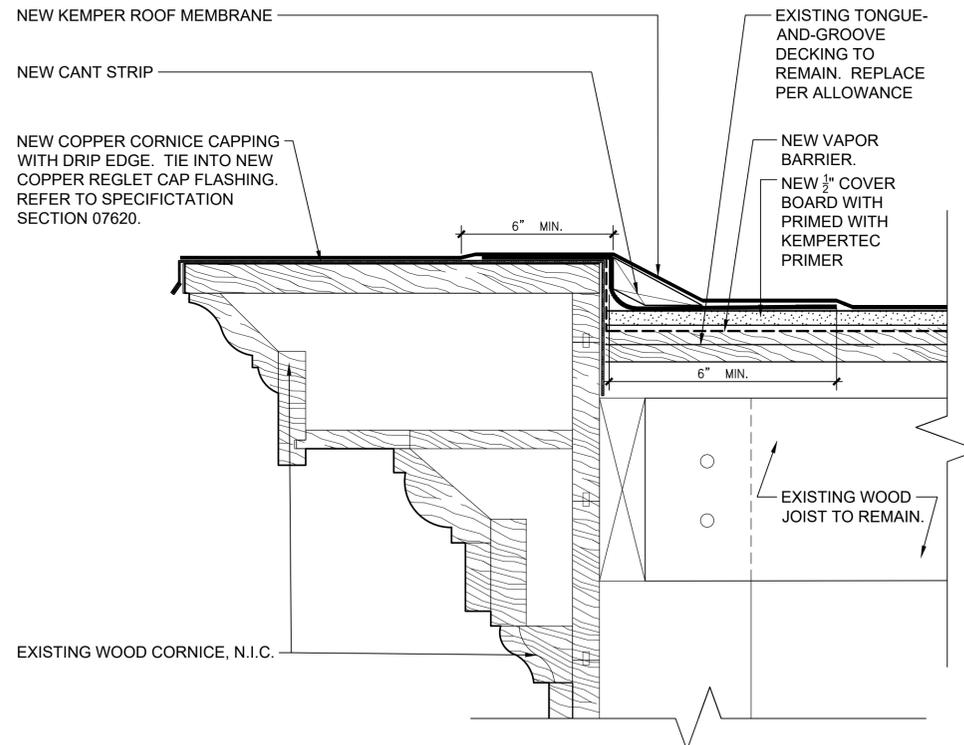
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EXISTING CONDITIONS INTERIOR PARAPET ELEVATIONS

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NOTE: ALL FASTENERS SHALL BE NON-CORROSIIVE METAL



A2 DETAILS AT CORNICE
3" = 1'-0"

EXISTING STONE COPING. REMOVE AND RESET WITH NON-CORROSIIVE ANCHORAGE COMPONENTS. PROVIDE & INSTALL NEW STONES AS PER ALLOWANCE.

NEW 1/2" DIA., THREADED, NON-CORROSIIVE METAL DOWEL SET IN MORTAR AT ALL CROSS JOINTS. DOWELS SHALL HAVE MIN. EMBEDMENT OF 3" IN EACH COPING.

RESIN-BASED FLASHING AT DOWEL PENITRATION. FLASH ENTIRE PERIMETER TO CREATE A WATERPROOF CONDITION.

NEW METAL SAWTOOTH FLASHING SET IN FULL MORTAR BED. PROVIDE MIN. 6" OVERLAP OR PER MAN. REQUIREMENTS.

NEW TWO PIECE STEPPED METAL COUNTER FLASHING. PROVIDE MIN. 1" FINISH LOCK & SOLDER JOINT. LOCK AND SOLDER ALL JOINTS TO WATERTIGHT CONDITION EXCEPT 3" LOOSE LOCK EXPANSION /CONTRACTION JOINTS 8'-0" FROM ANY CORNER AND 25'-0" O.C. ON STRAIGHT RUNS. SET EXPANSION/CONTRACTION JOINTS IN NON-SKINNING SEALANT. (TYP.)

SEAL FLANGE TO SCUPPER AT TOP AND SIDES OF SCUPPER (TYP.)

NEW RESIN BASED FLASHING. LINE ENTIRE SCUPPER INTERIOR AND TIE INTO ROOF ASSEMBLY PER MAN. RECOMMENDATIONS (TYP.)

NEW KEMPER ROOF MEMBRANE

NEW 3/4" COVER BOARD WITH PRIMED WITH KEMPERTEC PRIMER

NOTE: G.C. SHALL LOCATE SCUPPERS TO ACHIEVE A POSITIVE PITCH FROM PORTICO ROOF TO MAIN ROOF VIA SCUPPERS.

EXISTING TONGUE-AND-GROOVE DECKING TO REMAIN. REPLACE PER ALLOWANCE

EXISTING WOOD JOIST TO REMAIN.

NOTE: NEW SEISMIC TIES MIN. 1 PER 2 SQ.FT. OF FACE BRICK AT ALL FACE BRICK REBUILDING AREAS. (TYP)

NOTE: SEPARATE ALL DISIMILAR METALS

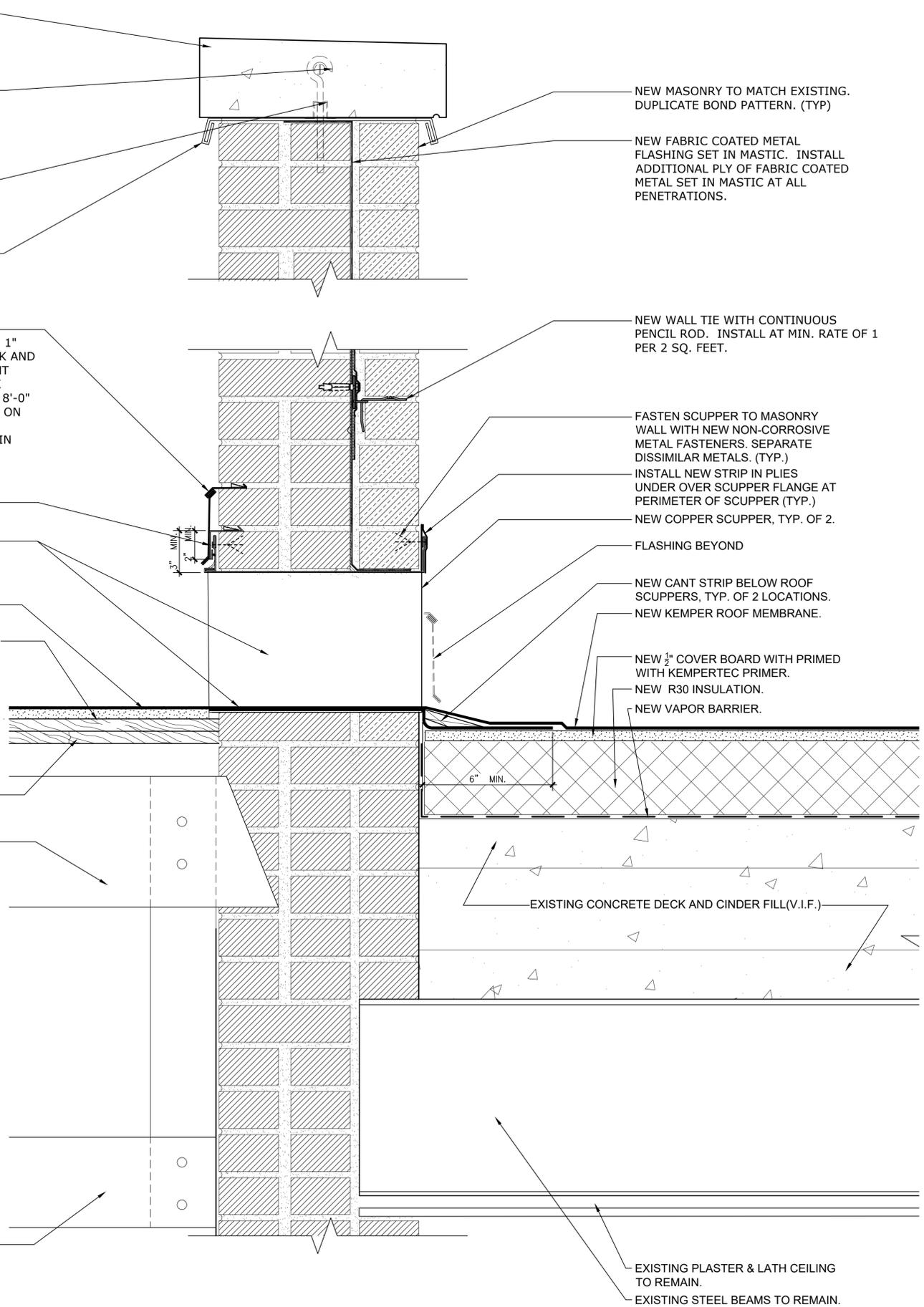
NOTE: ALL FASTENERS SHALL BE NON-CORROSIIVE METAL

NOTE: VERIFY SCUPPER OPENING SIZE WITH ARCHITECT PRIOR TO FABRICATION & INSTALLATION. MINIMUM OPENING SHALL BE 4" HIGH BY 8" WIDE. REMOVE MASONRY AS REQUIRED TO OBTAIN CONFIGURATION SHOWN.

NOTE: REPLACE DETERIORATED WOOD DECK TO MATCH EXISITNG PER ALLOWANCE. NOTIFY ARCHITECT OF ANY DETERIORATION.

EXISTING WOOD PORTICO CEILING STRUCTURE TO REMAIN.

A1 SECTION DETAIL AT PROTICO ROOF
3" = 1'-0"



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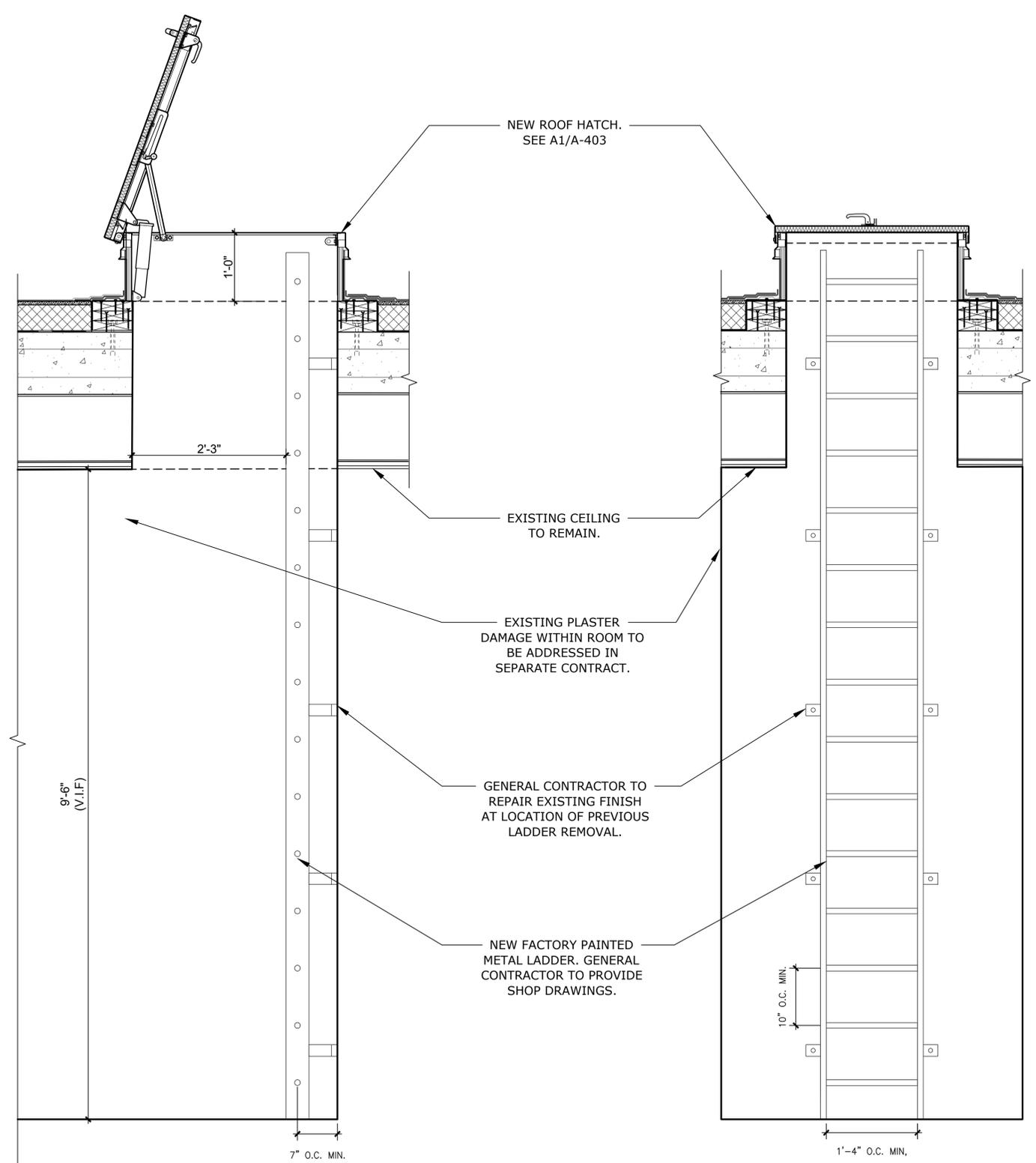
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ROOF WATERPROOFING DETAILS

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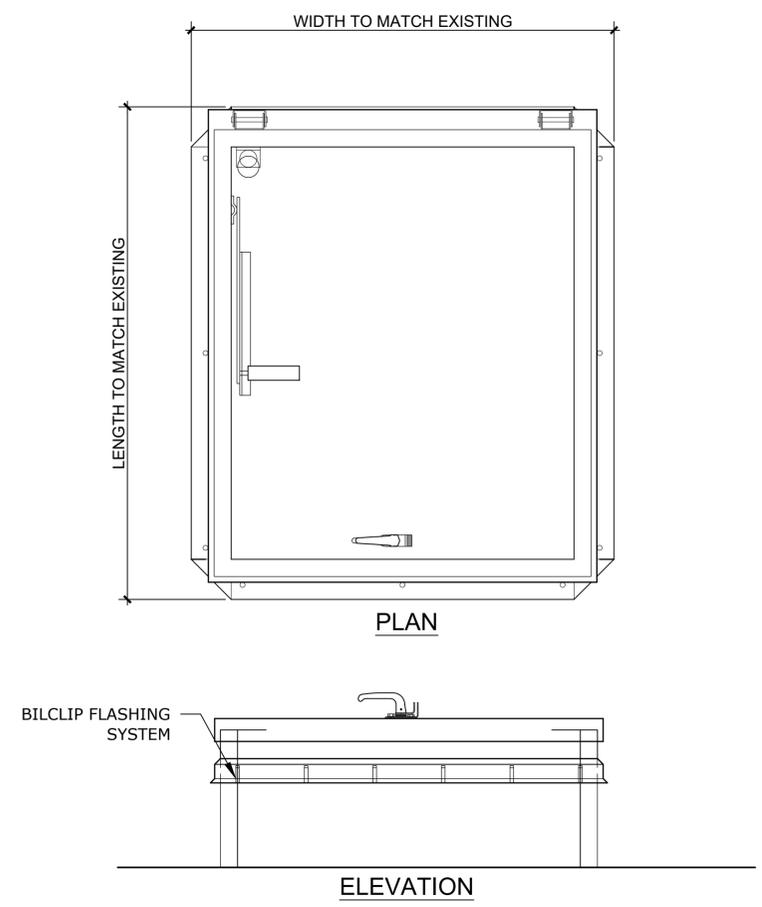
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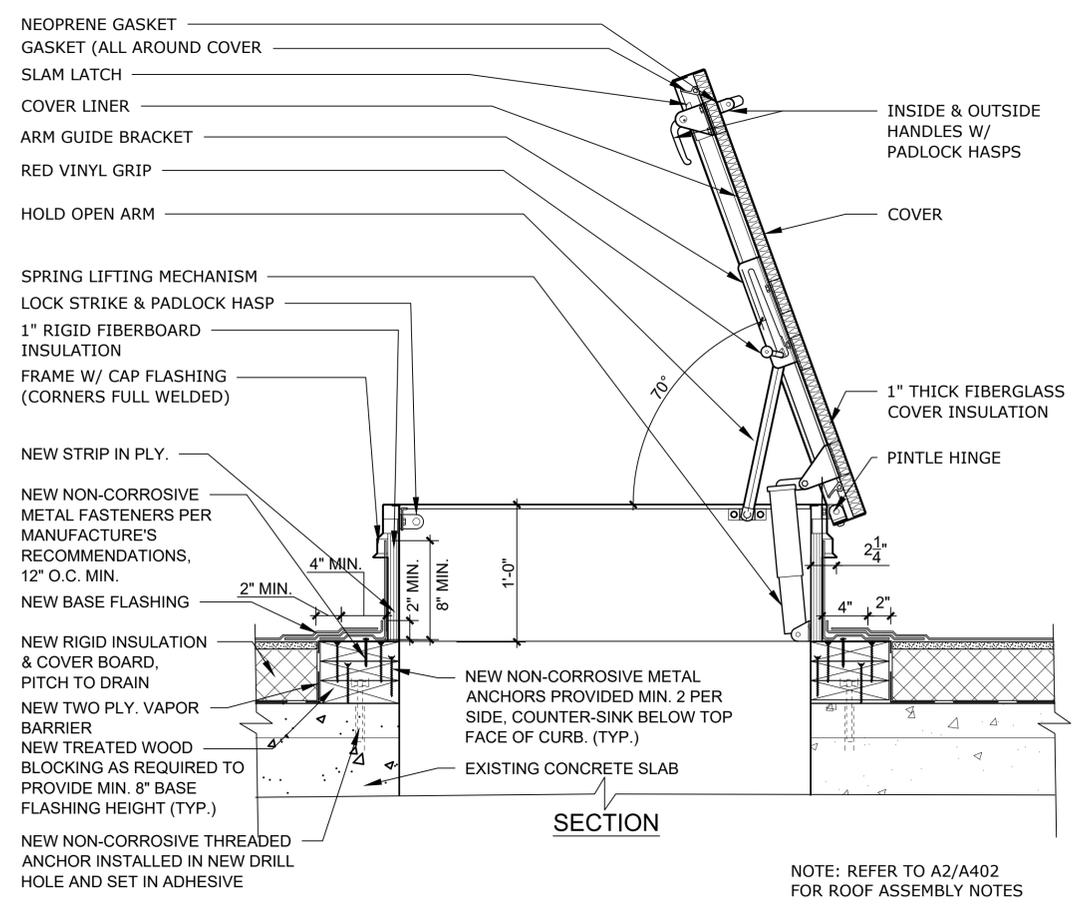
2 LADDER ELEVATION - A

1 LADDER ELEVATION - B



PLAN

ELEVATION



SECTION

NOTE: REFER TO A2/A402 FOR ROOF ASSEMBLY NOTES

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