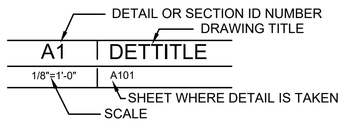
ABBREVIATIONS

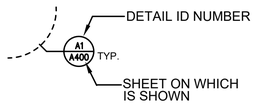
ABV.	-ABOVE
A/C	-AIR CONDITION UNIT
A.D.	-AREA DRAIN
ADJ.	-ADJACENT
A.F.F.	-ABOVE FINISHED FLOOR
ALUM.	-ALUMINUM
APPD.	-APPROVED
APPROX.	-APPROXIMATELY
APT.	-APARTMENT
ARCH.	-ARCHITECTURAL
&	-AND
<	-ANGLE
@	-AT
BD.	-BOARD
B.L.	-BUILDING LINE
BLDG.	-BUILDING
B.C.S.	-BOTTOM OF COPING STONE
BOT.	-BOTTOM
B.O.C.	-BOTTOM OF CURB
BR.	-BRICK
C.L	-CENTER LINE
CLG.	-CEILING
CLO.	-CLOSET
COL.	-COLUMN
CONC.	-CONCRETE
CONT.	-CONTINUOUS
CMU	-CONCRETE MASONRY UNIT
CONST.	-CONSTRUCTION
COORD.	-COORDINATE
COP.	-COPPER
D	-DEPTH
DEMO	-DEMOLISH, DEMOLITION
DEPT.	-DEPARTMENT
DTL.	-DETAIL
DIA.	-DIAMETER
DIM.	-DIMENSION
DN.	-DOWN
DW/G(S).	-DRAWING(S)
EA.	-EACH
ELEC.	-ELECTRICAL
EL./ELEV.	-ELEVATION
ENCL.	-ENCLOSURE
EQ.	-EQUAL
EQUIP.	-EQUIPMENT
EXT.	-EXTERIOR
EXG.	-EXISTING
EXP. JT.	-EXPANSION JOINT
F.D.	-FLOOR DRAIN
FF	-FINISHED FLOOR
FL.	-FLOOR
FLASH'G.	-FLASHING
F.O.B.	-FACE OF BUILDING
F.O.F.	-FACE OF FINISH
FT.	-FEET
F.V.	-FIELD VERIFY
GA.	-GAUGE
GALV.	-GALVANIZED
G.C.	-GENERAL CONTRACTOR
H.	-HEIGHT
HDW.	-HARDWARE
H.M.	-HOLLOW METAL
HORIZ.	-HORIZONTAL
H.P.	-HIGH POINT
H.R.	-HAND RAIL
HVAC	-H.V.A.C. VENTILATOR
I.D.	-INSIDE DIAMETER
IN.	-INCH
INSUL.	-INSULATION
INT.	-INTERIOR
JT.	-JOINT
L.	-LIMESTONE
L.C.C.	-LEAD COATED COPPER
LF	-LINEAR FOOT
LP	-LOW POINT
M.	-MARBLE
MTL.	-METAL
MAT.	-MATERIAL
MAX.	-MAXIMUM
MECH.	-MECHANICAL
MFG.	-MANUFACTURER
MIN.	-MINIMUM
MISC.	-MISCELLANEOUS
MM	-MILLIMETER
M.O.	-MASONRY OPENING
MTD.	-MOUNTED
MTG.	-MOUNTING
MULTI - LT.	-MULTIPLE LITES
N.I.C.	-NOT IN CONTRACT
NO.	-NUMBER
NOM.	-NOMINAL
N.T.S.	-NOT TO SCALE
O.C.	-ON CENTER
O.D.	-OUTSIDE DIAMETER
OPEN'G	-OPENING
OPP.	-OPPOSITE
ORIG.	-ORIGINAL
PTD.	-PAINTED
%	-PERCENT
PNL.	-PANEL
PL.	-PLATE
PLAS.	-PLASTER
PLYWD.	-PLYWOOD
PREP.	-PREPARE
PRESS.	-PRESSURE
PSI	-POUNDS PER SQUARE INCH
P&D	-PLUMBING & DRAINAGE
P.L.	-PROPERTY LINE
PROP. LINE	-PROPERTY LINE
QTY.	-QUANTITY
R	-RADIUS
RAIL-G	-RAILING
R.D.	-ROOF DRAIN
REINF.	-REINFORCED
REF.	-REFERENCE
REQ'D	-REQUIRED
RM.	-ROOM
R.O.	-ROUGH OPENING
S.A.E.	-SAME AS EXISTING
SGL. PN.	-SINGLE PANE
SHT.	-SHEET
SIM.	-SIMILAR
SPEC(S).	-SPECIFICATION(S)
SQ. FT./S.F.	-SQUARE FEET
S.S./ST. STL	-STAINLESS STEEL
STD.	-STANDARD
STL.	-STEEL
STL. PL.	-STEEL PLATE
STRUCT	-STRUCTURAL
STRL.	-STRUCTURAL
STD. DET.	-STANDARD DETAIL
SP	-STARTING POINT
T./THK.	-THICKNESS
T.C.	-TERRA COTTA
T. CTD.	-TERNE COATED
T.D./T.O.D.	-TOP OF DRAIN
T.M.E.	-TO MATCH EXISTING
T.O.C.	-TOP OF CURB
T.O.S.	-TOP OF FINISHED
T.O.F.	-TOP OF SLAB
T.O.W.	-TOP OF WALL
TYP.	-TYPICAL
U.O.N.	-UNLESS OTHERWISE NOTED
VERT.	-VERTICAL
V.I.F.	-VERIFY IN FIELD
W.	-WIDTH
W/	-WITH
W/O	-WITHOUT
WD.	-WOOD
W.H.	-WEEPHOLE
W.P.	-WATERPROOFING
WWF	-WELDED WIRE FABRIC

SYMBOLS

DRAWING TITLE REFERENCE



DETAIL REFERENCE



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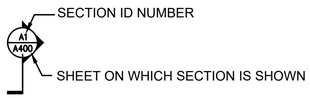

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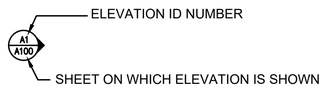

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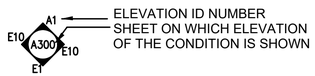


CENTER LINE

CONTRACT LIMIT LINE

CONSTRUCTION LIMIT LINE

KEYNOTE

NORTH ARROW

ELEVATION DESIGNATION (ON DETAILS & ELEVATIONS)

ELEVATION STATION POINT (ON PLANS)

REVISION NUMBER

REVISION

FINISH NOTE

DOOR AND WALL DEMOLITION

NEW DOOR AND WALL CONSTRUCTION

EXISTING DOOR AND WALL TO REMAIN

PLYWOOD

GYPSUM BOARD

STEEL

GLASS

WOOD

BRICK

LIMESTONE/CAST STONE

BLOCKING

PLASTER

OCCUPANT PROTECTION PLAN

1. GENERAL: ALL WORK TO BE DONE IN ACCORDANCE WITH REGULATIONS OF ALL AGENCIES HAVING JURISDICTION.
2. STRUCTURAL: CONTRACTOR IS TO PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING WHEREVER ANY STRUCTURAL WORK IS INVOLVED.
3. MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR OCCUPANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
4. FIRE SAFETY: ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.
5. DUST CONTROL: DEBRIS, DIRT AND DUST ARE TO BE KEPT TO A MINIMUM, AND SHALL BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA AND BE CLEANED UP AND CLEARED FROM BUILDING PERIODICALLY TO AVOID ANY EXCESSIVE ACCUMULATION.
6. NOISE AFTER HOURS: CONSTRUCTION OPERATIONS WILL BE CONFINED TO WORKING HOURS AS DESCRIBED IN THE SPECIFICATIONS.

RESTORATION

1. CONTRACTOR IS RESPONSIBLE TO DOCUMENT AND PHOTOGRAPH ALL EXISTING CONDITIONS WITHIN THE SCOPE OF WORK AREA PRIOR TO ANY DISASSEMBLY AND CUTTING OF MASONRY ELEMENTS.
2. THE CONTRACTOR SHALL PROTECT ALL EXISTING SURFACES FOR THE DURATION OF THE CONTRACT AND SHALL REPAIR ANY DAMAGE TO SURFACES RESULTING FROM WORK AT NO EXTRA COST OR CONTRACT TIME. ALL DAMAGE RESULTING FROM THE REMOVALS SHALL BE DOCUMENTED BY CONTRACTOR ON DRAWINGS. SUCH ITEMS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND OWNER.
3. THESE DOCUMENTS DO NOT INDICATE CUTTING, PATCHING, AND PROTECTION OF INTERIOR SPACES OR FEATURES, WHICH IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. THE PROPERTY HAS BEEN DETERMINED TO POSSESS HISTORIC AND ARCHITECTURAL SIGNIFICANCE. THE CONTRACTOR SHALL RECOGNIZE THAT ALL ASPECTS OF THE PROPERTY MAY POTENTIALLY CONTRIBUTE TO THE SIGNIFICANCE AND THE CONTRACTOR SHALL NOT JUDGE THE RELATIVE SIGNIFICANCE OF ANY FEATURES NOR THE IMPACT OF ANY OR ALL PROPOSED WORK, THAT RESPONSIBILITY SHALL REST SOLELY WITH THE ARCHITECT. CONSEQUENTLY, NO DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE PERFORMED AND NO FEATURES SHALL BE ALTERED, REMOVED, REUSED OR TAKEN FROM THE PREMISES WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT AS BEING CONSISTENT WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ALL WORK SHALL COMPLY WITH THE SECRETARY OF THE INTERIOR STANDARD FOR THE TREATMENT OF HISTORIC PROPERTIES.

DEFINITIONS

NOTE: ALL REFERENCES IN THE DRAWINGS TO THE WORDS LISTED BELOW SHALL BE UNDERSTOOD TO MEAN THE FOLLOWING:

1. REPLACE:
   REMOVE THE EXISTING MATERIAL, PREPARE THE SURFACES TO RECEIVE THE REPLACEMENT MATERIAL, AND INSTALL THE REPLACEMENT MATERIAL.
2. REPAIR:
   REMOVE ANY DAMAGED OR LOOSE EXISTING MATERIAL, PREPARE SURFACES AND PATCH TO MATCH EXISTING MATERIALS.
3. REMOVE:
   REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN THE OWNER'S PROPERTY AS INDICATED IN THE SPECIFICATION.
4. REMOVE & SALVAGE:
   ITEMS INDICATED TO BE REMOVED AND SALVAGED REMAIN THE OWNER'S PROPERTY. REMOVE, CATALOGUE, CLEAN, AND PACK OR CRATE ITEMS TO PROTECT AGAINST DAMAGE. IDENTIFY CONTENTS OF CONTAINERS AND DELIVER TO OWNER'S DESIGNATED STORAGE AREA.
5. REMOVE & REINSTALL:
   REMOVE ITEMS INDICATED; CLEAN, SERVICE, AND OTHERWISE PREPARE THEM FOR REUSE; STORE AND PROTECT AGAINST DAMAGE, REINSTALL ALL ITEMS IN THE SAME LOCATION OR IN LOCATIONS INDICATED.
6. EXISTING TO REMAIN:
   PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION, WHEN PERMITTED BY THE ARCHITECT. ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION DURING SELECTIVE DEMOLITION AND THEN CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS.

WORK DESCRIPTION

WORK TO INCLUDE FULL ROOF REPLACEMENT INCLUDING ASSOCIATED FLASHING, LOCALIZED ROOF SLAB REPAIRS, MASONRY REBUILDING AT INNER WYTHE OF PARAPET, REINSTALLATION OF EXISTING COPING STONES, AND LOCALIZED MASONRY RESTORATION AND REPAIR.

BUILDING DEPARTMENT NOTES

1. GENERAL: CONTRACTOR SHALL OBTAIN PERMITS AND SHALL PREPARE AND FILE ALL NECESSARY FORMS AND BE RESPONSIBLE FOR ALL REQUIRED APPROVALS BY BUILDING DEPARTMENT AND ALL OTHER AGENCIES HAVING JURISDICTION.
2. ALL MATERIALS, ASSEMBLIES, FORMS, AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2020 BUILDING CODE OF NEW YORK STATE & 2020 NEW YORK STRETCH ENERGY CODE.
3. SIDEWALK SHED TO BE PERMITTED BY CONTRACTOR.

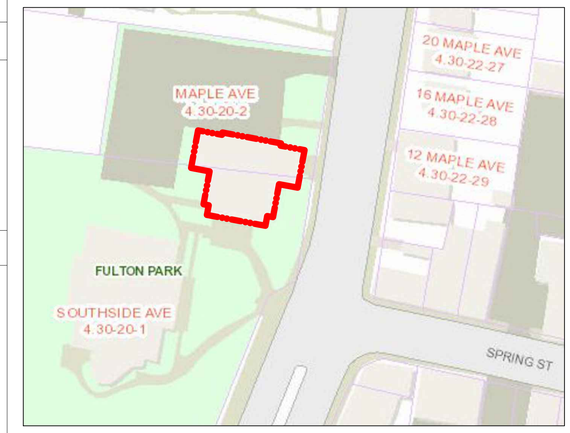
GENERAL NOTES

THE FOLLOWING NOTES SHALL APPLY THROUGHOUT. EXCEPTIONS ARE SPECIFICALLY NOTED ON DRAWINGS AND SPECIFICATIONS.

1. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS ONLY AS A GUIDE. ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE PREPARING SHOP DRAWINGS, ORDERING ANY MATERIAL OR DOING ANY WORK.
2. ANY DISCREPANCIES FOUND IN THE PLANS, DIMENSIONS, EXIST. CONDITIONS, OR ANY APPARENT ERROR IN CLASSIFYING OR SPECIFYING A PRODUCT OR ITS USE IS TO BE POINTED OUT TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. SKETCHES/CLARIFICATIONS WILL BE ISSUED AS NECESSARY AND WILL BECOME PART OF THE CONTRACT DOCUMENTS. NO CHANGE IN DRAWINGS OR SPECIFICATIONS IS PERMISSIBLE WITHOUT THE CONSENT OF THE ARCHITECT.
3. KEYING AND REFERENCING OF DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT APPLICATION OF ANY DRAWINGS.
4. THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE WORK OF THIS CONTRACT.
5. ANY DAMAGE TO NEW OR EXIST. CONSTRUCTION DURING CONSTRUCTION IS TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR, FOR A PERIOD OF FIVE (5) YEARS FROM THE DATE OF COMPLETION AND ACCEPTANCE BY THE OWNER, SHALL ADJUST, REPAIR, OR REPLACE AT NO COST TO THE OWNER ANY ITEM OF EQUIPMENT, MATERIAL OR WORKMANSHIP FOUND TO BE DEFECTIVE.
7. THE CONTRACTOR SHALL REMOVE AND RE-EXECUTE ALL UNSATISFACTORY WORK AT NO COST TO THE OWNER.
8. THE CONTRACTOR SHALL MAINTAIN A COMPLETE AND UP-TO-DATE SET OF CONTRACT DOCUMENTS AT THE JOB SITE.
9. SHOP DRAWINGS ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH ALL ITEMS WHICH REQUIRE FABRICATION.
10. THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
12. THE CONTRACTOR SHALL PROVIDE GUARDS, RAILS, BARRICADES, FENCES, SIDEWALK SHEDS, CATCH PLATFORMS, BRIDGING, SCAFFOLDING, DECKING, NIGHT LIGHTING, ETC. AS REQUIRED BY LOCAL AUTHORITIES AND INDUSTRY STANDARDS
13. THE CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.
14. WHERE MANUFACTURERS' NAMES AND PRODUCT NUMBERS ARE INDICATED ON THE DRAWINGS IT SHALL BE CONSTRUED TO MEAN THE ESTABLISHING OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. ALL OTHER PRODUCTS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
15. AT ALL TIMES THE CONTRACTOR WILL BE RESPONSIBLE TO MAINTAIN AND PROTECT ALL EXISTING SYSTEMS FROM THE AFFECTS OF ADVERSE WEATHER (RAIN, SNOW, COLD, ETC.) WITHIN AREAS OF WORK UNDER THIS CONTRACT AT NO ADDITIONAL COST TO THE OWNER.
16. ALL WORK SHALL BE INSTALLED SO THAT ALL PARTS REQ'D ARE READILY ACCESSIBLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR.

SITE PLAN AND ZONING

PARCEL #:	4.30-20-2	SCALE: 1/64" = 1'-0"
LOT #:	002	
ZONING DISTRICT:	PR	
MAP:	4	



EASTONARCHITECTS
20 WEST 44TH STREET, SUITE 604
NEW YORK, NY 10036
212-779-9570 TEL

OWNERSHIP AND USE OF DOCUMENTS:

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF EASTON ARCHITECTS, LLP.

No.	REVISIONS / SUBMISSIONS	Date
	ISSUE FOR BID	10/31/22
	ISSUE FOR OWNER REVIEW	09/07/22

PROJECT

HASTINGS-ON-HUDSON VILLAGE HALL

PHASE 3: ROOF REPLACEMENT AND REPAIRS

7 MAPLE AVE, HASTINGS ON HUDSON, NY 10706

ABBREVIATIONS, SYMBOLS, AND GENERAL NOTES

SEAL & SIGNATURE

DATE:	10/31/22
PROJECT No:	2118
DRAWING BY:	AD
CHK BY:	TT
DWG No:	A-001.00