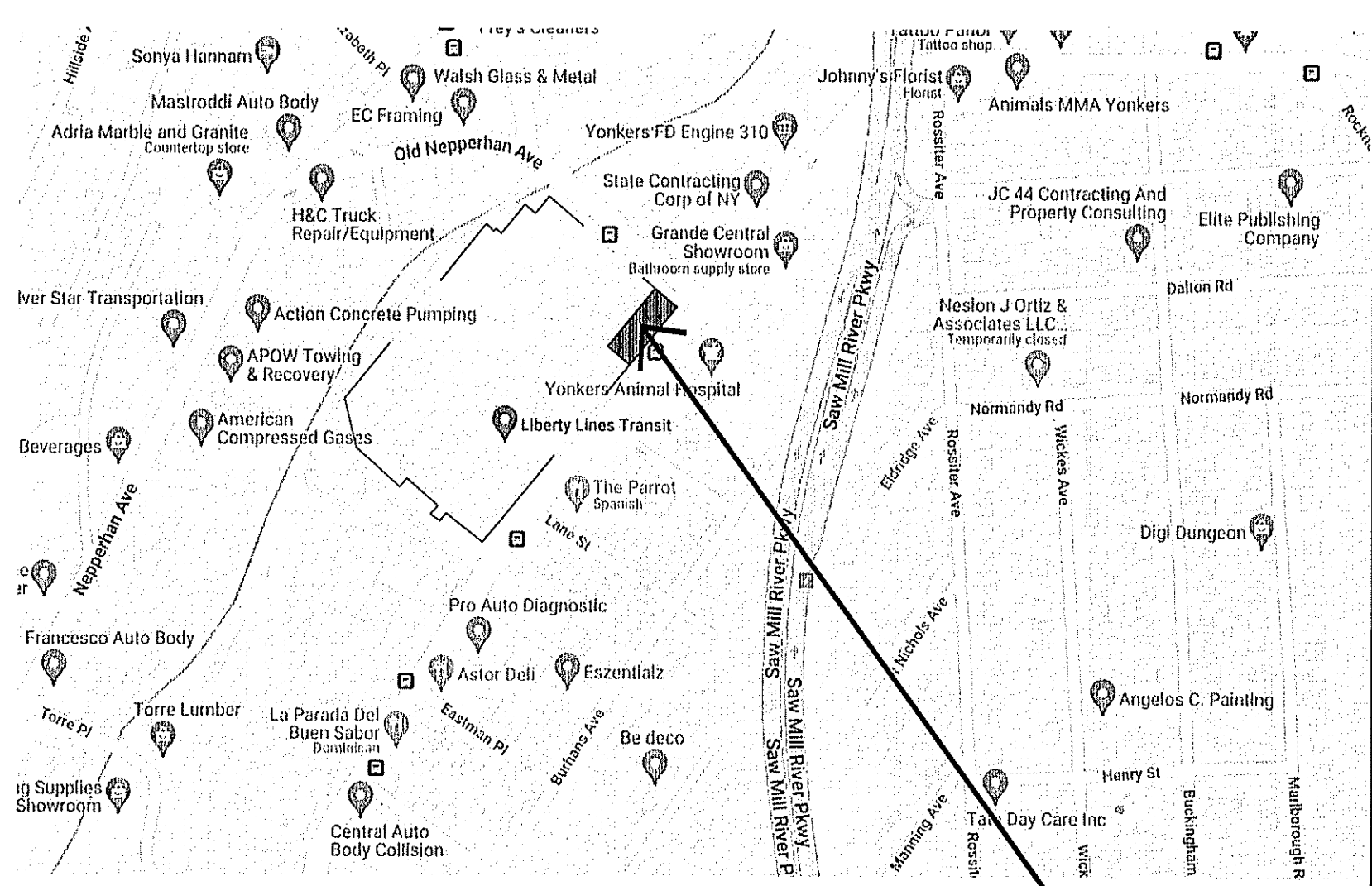


WESTCHESTER COUNTY

WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION

CONTRACT No. 21-540 EXECUTIVE HIGH RISE ROOF REPLACEMENT CENTRAL MAINTENANCE FACILITY (DOT) 475 SAW MILL RIVER ROAD YONKERS, NEW YORK



LOCATION MAP
SCALE: N.T.S.

EXECUTIVE HIGH RISE ROOF
CENTRAL MAINTENANCE FACILITY
475 SAW MILL ROAD
YONKERS, NEW YORK

SHEET NO.

SHEET TITLE

DPW FILE NO.

T- 001
L- 101
A-101
A-102
A-103

TITLE, INDEX & PROJECT INFORMATION
SITE PLAN & GENERAL NOTES
DEMOLITION PLAN & NEW ROOF PLANS
ROOF DETAILS 1
ROOF DETAILS 2

61-10-T-400-0
61-10-G-401-0
61-10-A-402-0
61-10-A-403-0
61-10-A-404-0

PROJECT INFORMATION

| | |
|-----------------|--|
| CLIENT: | WESTCHESTER COUNTY DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION |
| NAME & ADDRESS: | EXECUTIVE HIGH RISE ROOF CENTRAL MAINTENANCE FACILITY 475 SAW MILL RIVER ROAD YONKERS, NEW YORK |
| TYPE OF WORK: | ROOF REPLACEMENT & EXTERIOR REPAIRS |
| DESCRIPTION: | REPLACE ENTIRE ROOF, INSULATION & FLASHINGS. |

CONSTRUCTION CODES

| TYPE | APPLICABLE CODES |
|-------------------|--|
| ALL | 2020 BUILDING CODES OF NEW YORK STATE |
| BUILDING | 2018 IBC - INTERNATIONAL BUILDING CODE* |
| PLUMBING | 2018 IPC - INTERNATIONAL PLUMBING CODE* |
| MECHANICAL | 2018 IMC - INTERNATIONAL MECHANICAL CODE* |
| ELECTRICAL | 2018 IEC - INTERNATIONAL ELECTRICAL CODE* |
| FIRE PROTECTION | 2018 IFI - INTERNATIONAL FIRE CODE* |
| ENERGY | 2018 IECC - INTERNATIONAL ENERGY CONSERVATION CODE* |
| EXISTING BUILDING | 2018 IEBC - INTERNATIONAL EXISTING BUILDING CODE* |
| RESIDENTIAL | 2018 IRC - INTERNATIONAL RESIDENTIAL CODE* |
| FUEL GAS | 2018 IFGC - INTERNATIONAL FUEL GAS CODE* |
| PROPERTY | 2018 IPMC - INTERNATIONAL PROPERTY MAINTENANCE CODE* |

* ALL CODES AS ADOPTED BY NEW YORK STATE WITH APPLICABLE STATE & LOCAL AMMENDMENTS

CODE DATA

| CATEGORY | REQUIREMENT | CODE REF. | PROVIDED | REMARKS |
|-------------------|-------------|-------------|-------------|---------|
| CONSTRUCTION TYPE | 1-B | TABLE 601 | TABLE 601 | |
| USE GROUP | F-1 | SEC. 306.2 | SEC. 306.2 | |
| ALLOWABLE AREA | UNLIMITED | TABLE 506.2 | TABLE 506.2 | |
| ALLOWABLE HEIGHT | 11 STORIES | TABLE 504.4 | TABLE 504.4 | |
| OCCUPANT LOAD | NA | | | |
| NUMBER OF EXITS | NA | | | |
| DISTANCE TO EXIT | NA | | | |
| EXIT WIDTH | NA | | | |
| FIRE SEPARATION | NA | | | |
| FINISHES | | | | |
| EXIT CORRIDORS | NA | | | |
| EXIT PASSAGE | NA | | | |
| ROOMS | NA | | | |
| FLOORS | NA | | | |
| OCCUPANCY | | | | |
| TOTAL AREA | NA | | | |
| CALCULATIONS | | | | |

NA = NOT APPLICABLE FOR PROJECT

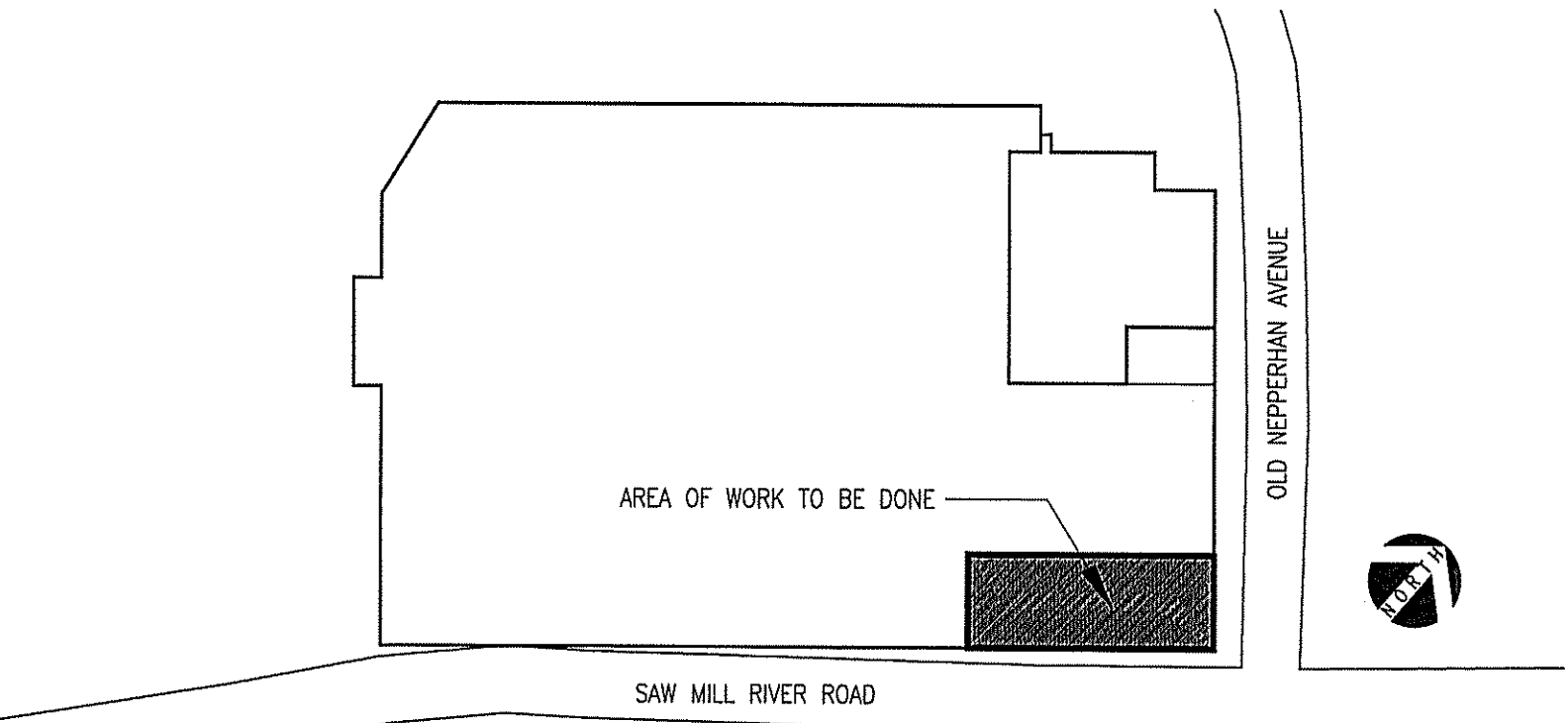
ZONING: CITY OF YONKERS

| SECTION | BLOCK | LOT | 32 |
|------------------------|----------|----------|----------|
| ZONING DISTRICT: | | | |
| ZONING ITEM | REQUIRED | EXISTING | PROPOSED |
| LOT AREA | NA | | |
| LOT FRONTAGE | NA | | |
| FRONT YARD | NA | | |
| REAR YARD | NA | | |
| SIDE YARD (ONE SIDE) | NA | | |
| SIDE YARD (TWO SIDES) | NA | | |
| HEIGHT | NA | | |
| BUILDING AREA | NA | | |
| SITE COVERAGE | NA | | |
| FAR (FLOOR AREA RATIO) | NA | | |

NA = NOT APPLICABLE FOR PROJECT

ENERGY CODE COMPLIANCE

PER IEBC 811.1 ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE IECC AS THEY RELATE TO NEW CONSTRUCTION ONLY.
NEW YORK STATE CLIMATE ZONE: 4 - PER ECCCNY-2020 COMMERCIAL PRESCRIPTIVE TABLE C402.1.3
REQUIRED ROOF INSULATION (ABOVE ROOF DECK) IS R-30



KEY MAP
SCALE: N.T.S.

| REVISION NUMBER | DATE | MADE BY | APP'D BY | REVISION |
|-----------------|------|---------|----------|----------|
| | | | | |
| | | | | |
| | | | | |

RECORD DRAWING CERTIFICATION

☐ AS BUILT - CHANGES AS NOTED
☐ AS BUILT - NO CHANGES

| CONTRACTOR | | PROJECT COORDINATOR | |
|------------|-----------|---------------------|-----------|
| NAME | SIGNATURE | NAME | SIGNATURE |
| TITLE | DATE | TITLE | DATE |

| | | | |
|--|--|--|-----------------------|
| WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING | | CONTRACT NUMBER 21-540 | SHEET NUMBER T-001 |
| EXECUTIVE HIGH RISE ROOF REPLACEMENT CENTRAL MAINTENANCE FACILITY (DOT) 475 SAW MILL RIVER ROAD YONKERS, NEW YORK TITLE, INDEX, & PROJECT INFORMATION | | SHEET NO. 1 OF 5 SCALE: AS SHOWN DATE: 09.26.2023 DPW FILE NO. 61-10-T-400-0 | REV. NO. 0 |

IN CHARGE OF A. KAPLINSKI, RA
CHECKED BY K. JOHNSON, RA
MADE BY K. JOHNSON, RA

Adam Kaplinski, R.A. 10-1-23
RECOMMENDED FOR DESIGN DATE
ADAM KAPLINSKI, R.A.
ASSOCIATE ARCHITECT
DEPARTMENT OF PUBLIC WORKS
AND TRANSPORTATION

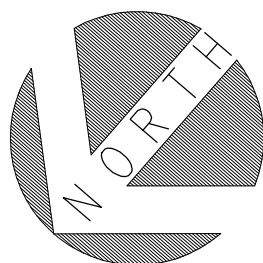
Gayle Katzman 10-2-23
RECOMMENDED FOR CONSTRUCTION DATE
GAYLE KATZMAN, P.E.
FIRST DEPUTY COMMISSIONER
DEPARTMENT OF PUBLIC WORKS
AND TRANSPORTATION

Hugh J. Greechan Jr. 10/4/23
APPROVED FOR CONSTRUCTION DATE
HUGH J. GREECHAN JR, P.E.
COMMISSIONER
DEPARTMENT OF PUBLIC WORKS
AND TRANSPORTATION

SAW MILL RIVER ROAD

CENTRAL MAINTENANCE FACILITY

SAW MILL RIVER



1 PARTIAL SITE PLAN
L-101 SCALE: 1/32" = 1' - 0"

IN CHARGE OF A. KAPLINSKI, RA
CHECKED BY K. JOHNSON, RA
MADE BY K. JOHNSON, RA

SITE & STAGING NOTES:

ACTIVE ROADS, DRIVEWAYS & PARKING LOTS:
ALL ROADS DRIVEWAYS & PARKING LOTS ARE ACTIVE ALL DAY & EVENING AT THE FACILITY. OWNER SHALL BE NOTIFIED 2 DAYS IN ADVANCE OF ALL OPERATIONS OR MOVEMENTS THAT WILL OBSTRUCT THESE AREAS. OWNER WILL COORDINATE ROAD ACTIVITIES TO ACCOMMODATE CONTRACTOR USE. GC SHALL SUBMIT TIME & DURATION SCHEDULES FOR ROAD USE.

CONTRACTOR EQUIPMENT PROTECTION:
CONTRACTOR EQUIPMENT THAT REMAINS ON SITE OVERNITE, WEEKENDS & TIMES WITHOUT CONTRACTOR SUPERVISION MUST BE PROTECTED FROM PUBLIC USE. CONTRACTOR IS MADE AWARE THAT EQUIPMENT & MATERIAL STORAGE IS VERY LIMITED ON THIS SITE.
ALL ACCESS TO EQUIPMENT, TOOLS, MATERIALS OR CONTRACTOR POSSESSIONS MUST BE KEPT IN A LOCKED OR CONFINED AREA WITH AN 8'-0" MIN. HT. PLYWOOD BARRIER. REVIEW CONTAINMENT WITH COUNTY. & REPRESENTATIVE TO PREVENT UNAUTHORIZED ENTRY.

LAWN & GROUND PROTECTION & RESTORATION NOTE:
PROTECT ALL SIDEWALKS & ADJACENT PARKING AREAS. REPAIR ALL DISTURBED AREAS INCLUDING BUT NOT LIMITED TO: SIDEWALKS, PARKING AREAS, ASPHALT, CURBS, LIGHT & POWER POLES. SHALL BE RESTORED, REPAIRED OR REPLACED TO THEIR ORIGINAL CONDITION IF DAMAGED AS A CONSEQUENCE OF THE WORK OR RELATED MOVEMENTS OF MATERIALS & EQUIPMENT.
REVIEW ALL SITE ITEMS IN THE PATH OF PROJECT OPERATIONS THAT MAY BE DISTURBED DURING THE COURSE OF THE PROJECT.

DUMPSTER LOCATIONS:
DUMPSTER LOCATIONS SHOWN ARE SUGGESTED TO AVOID CONFLICT WITH FACILITY ACCESS & OPERATIONS, ALSO TO FACILITATE REMOVALS FROM GENERAL WORK AREAS. CONTRACTOR SHALL PREPARE A PLAN INDICATING DUMPSTER LOCATIONS AS NEEDED FOR THE DEMOLITION & CONSTRUCTION WORK.
SUBMIT PLAN TO OWNER & COUNTY REPRESENTATIVES FOR REVIEW & ACCEPTANCE.

DEBRIS CHUTES:
CHUTE LOCATIONS SHOWN CORRELATE TO DUMPSTER LOCATIONS.. CONTRACTOR SHALL PREPARE A SKETCH INDICATING STRUCTURAL SUPPORT OF CHUTES TO ACCOMMODATE HEIGHT & HORIZONTAL DISTANCE TO BE SPANNED BY CHUTES FROM RESPECTIVE ROOFS TO THE DUMPSTERS BELOW.
SUBMIT SKETCHES TO ARC., OWNER & COUNTY REPRESENTATIVES FOR REVIEW & ACCEPTANCE.

MATERIAL HOIST LOCATIONS:
HOISTS MAY BE LOCATED IN THE SAME VICINITY AS THE DUMPSTERS TO AVOID FURTHER CONFLICT WITH FACILITY ACCESS & OPERATIONS. CONTRACTOR SHALL PREPARE A PLAN INDICATING MATERIAL STORAGE AREAS ON THE ROOF & SUBMIT PLAN TO ARCH. & COUNTY REPRESENTATIVES FOR REVIEW & ACCEPTANCE. MATERIAL STORAGE ON THE ROOF SHALL NOT EXCEED 50 PSF IN ANY AREA. MATERIALS SHALL BE STORED ON FLAT ROOFS ONLY.

SITE ITEM PROTECTION:
PROVIDE PROTECTION FOR CATCH BASINS, DRAINS, HYDRANTS, UTILITY POLES, TRAFFIC POLES, LAMP POLES, BUILDING LIGHTS & OTHER SITE ITEMS.

GENERAL PROJECT NOTES:

- DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE JOB SITE. MAKE ALL DISCREPANCIES KNOWN TO THE ARCHITECT PRIOR TO SUBMITTING A BID AND BEFORE ENTERING INTO AN AGREEMENT WITH THE COUNTY.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PROJECT CLEANUP.
- THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL EQUIPMENT AND MATERIALS TO PREVENT MOVEMENT OR DAMAGE BY WIND AND OTHER WEATHER CONDITIONS.
- ALL WORK WILL FOLLOW THE CURRENT ADDITION OF APPLICABLE LOCAL, STATE AND NATIONAL CODES AND REQUIREMENTS. SEE PAGE T-001 FOR A LISTING OF SPECIFIC APPLICABLE CODES.
- ALL QUESTIONS AND/OR DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR SHALL NOT COMMENCE WORK WITHOUT THE ARCHITECT'S DIRECTION.
- THE BUILDING WORK SITE WILL BE AVAILABLE FOR CONSTRUCTION 5 DAYS A WEEK FROM MONDAY TO FRIDAY, 7AM TO 3PM. EXACT ARRANGEMENTS TO BE MADE WITH THE SITE PROJECT MANAGER AND BUILDING MANAGEMENT PRIOR TO START OF CONSTRUCTION. NO WORK SHALL BE PERFORMED DURING COUNTY SPECIFIED HOLIDAYS AND ON WEEKENDS. CONTRACTOR SHALL PLAN FOR HOLIDAYS AHEAD OF TIME ENSURING THAT ALL AREAS ARE SECURE DURING HOLIDAYS AND OVER WEEKENDS.
- CONTRACTOR SHALL INCLUDE IN THEIR BASE BID ALL WORK AND HOURS REQUIRED FOR A COMPLETE PROJECT. CONTRACTOR SHALL SUBMIT A CRITICAL PATH CONSTRUCTION SCHEDULE, TO BE APPROVED BY THE COUNTY, THAT ILLUSTRATES WORK TASKS TO BE PERFORMED INCLUDING REQUIRED HOURS.

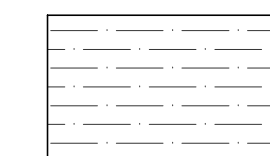
GENERAL PROJECT NOTES (CONT.):

- CONTRACTORS' DELIVERIES TO THE WORK SITES WILL REQUIRE 72 HOURS ADVANCE NOTICE TO THE COUNTY AND THE BUS MAINTENANCE FACILITY. IT IS THE CONTRACTORS' RESPONSIBILITY TO EXCEPT DELIVERIES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING FOR THE SAFETY OF ITS WORKERS, THE COUNTY'S EMPLOYEES, LIBERTY LINE EMPLOYEES, FACILITY WORKERS, AND THE GENERAL PUBLIC PER GOVERNING LOCAL, STATE, AND NATIONAL CODES AND REGULATIONS. THE CONTRACTOR SHALL ASSIGN A FULL-TIME PROJECT SITE SUPERVISOR CAPABLE OF IMPLEMENTING ALL REQUIRED SAFETY REGULATIONS. THE CONTRACTOR SHALL PROVIDE A WRITTEN SAFETY PROGRAM PLAN FOR REVIEW & APPROVAL PRIOR TO THE START OF THE CONSTRUCTION WORK.
- ALL WORKERS TO HAVE COMPLETED OSHA 10 TRAINING AND ALL SUPERVISORS TO HAVE COMPLETED OSHA 30 TRAINING PRIOR TO START OF WORK ON THE PROJECT.
- THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN OSHA COMPLIANT PROTECTION WHENEVER REQUIRED. AREAS OF PROTECTION MAY INCLUDE, BUT ARE NOT LIMITED TO: DEBRIS CHUTES, DUMPSTERS AND OVERHEAD PROTECTION (AT ENTRANCES AND EXITS) AS REQUIRED. ALL PROTECTION SHALL BE OSHA APPROVED. CONTRACTOR SHALL SUBMIT DRAWINGS FOR ALL PROTECTION PREPARED BY A STRUCTURAL ENGINEER LICENSED IN NEW YORK. ALL PROTECTION SHALL REMAIN IN-PLACE FOR THE DURATION OF THE SPECIFIC OPERATION OR PROJECT.
- THE SITE AND BUILDING ARE OPERATIONAL 24 HOURS A DAY AND 5 DAYS A WEEK. THE WORK MUST NOT INTERFERE WITH THE NORMAL OPERATIONS OF THE FACILITY. WHEN THE WORK ABSOLUTELY REQUIRES A RESTRICTION TO A PORTION OF THE FACILITY OR BUILDING PREMISES, TIMELY NOTICE MUST BE MADE AND PERMISSION GRANTED IN COMPLIANCE WITH THE TERMS OF THE CONTRACT DOCUMENTS. IN ALL SUCH CASES WORK MUST BE SCHEDULED TO MINIMIZE INTERFERENCE WITH FACILITY OPERATIONS. SUCH SCHEDULES MUST BE APPROVED IN ADVANCE IN WRITING BY THE FACILITY SUPERINTENDENT AND THE COUNTY.
- CONTRACTOR SHALL SUBMIT DRAWING LAYOUTS FOR THE STAGING AREA SHOWING LOCATION OF HOISTS, CONSTRUCTION CHUTES, DUMPSTERS, CONSTRUCTION FENCING, STORAGE UNITS, OFFICE TRAILER AND OTHER ITEMS FOR APPROVAL.
- ALL DEMO AND CONSTRUCTION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF THE PROPERTY ON A DAILY BASIS. CONTRACTOR SHALL PROVIDE CONTACT INFORMATION FOR RECYCLING CENTER UTILIZED FOR THIS PROJECT.
- CONTRACTOR'S SAFETY MONITOR SHALL ASSIGN A QUALIFIED PERSON TO CONSTANTLY CLEAN ROOF AREAS, STAGING AREA OF ANY AND ALL DEBRIS THAT MIGHT BECOME AIRBORNE OR FALL FROM ROOF.
- CONTRACTOR SHALL PROVIDE SITE TRAFFIC CONTROL AS REQUIRED.
- ALL MATERIALS ALLOWED ON ROOF SHALL BE PROTECTED AND TIED DOWN. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS REQUIRED TO SAFELY TRANSPORT AND SECURE MATERIALS ON THE ROOF.
- PROTECT SITE ROADWAYS, SIDEWALKS, CURBS, YARDS, LAWNS, TREES, SHRUBS, ETC. REPAIR ALL DAMAGED AREAS TO THE SATISFACTION OF THE BUILDING OPERATOR AND COUNTY.
- RESTORE ALL EXISTING BUILDING AREAS DISTURBED BY CONSTRUCTION TO MATCH EXISTING SURFACES WITHOUT NOTICEABLE CRACKS, JOINTS OR BULGES.
- GENERAL CONTRACTOR TO COORDINATE ALL WORK WITH OTHER TRADES AS REQUIRED, AND SHALL HAVE FULL-TIME SUPERVISION ON SITE AT ALL TIMES.
- SHORING NOTE: THE CONTRACTOR IS RESPONSIBLE FOR DESIGNING, PROVIDING AND INSTALLING ALL TEMPORARY SHORING THAT MAY BE REQUIRED TO SUPPORT EXISTING BUILDING STRUCTURES DURING THE PROJECT.
- JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. REVIEW OF THE CONSTRUCTION BY THE ARCHITECT/ENGINEER IS FOR CONFORMANCE WITH DESIGN ASPECTS ONLY. NOT TO REVIEW THE CONTRACTOR'S PROVISIONS FOR JOB SITE SAFETY. LACK OF COMMENT BY THE ARCHITECT/ENGINEER IS NOT TO BE INTERPRETED AS APPROVAL OF THOSE ASPECTS OF THE WORK.
- IF FAULTY CONSTRUCTION PROCEDURES, OR MATERIAL, RESULT IN DEFECTIVE WORK THAT REQUIRES COUNTY TO EXPEND ADDITIONAL DESIGN TIME TO DEVELOP CORRECTIVE MEASURES, PROFESSIONAL FEES MAY BE CHARGED TO THE CONTRACTOR AT THE STANDARD HOURLY RATE OF ADDITIONAL SERVICES. SUCH FEES MAY BE WITHHELD FROM THE GENERAL CONTRACTOR'S PAYMENT.
- WORK SHOWN AS "TYPICAL DETAILS" APPLY THROUGHOUT THE PROJECT AS REQUIRED. WORK SHOWN AS "SECTIONS" SHALL BE CONSIDERED TO APPLY FOR THE SAME AND SIMILAR CONDITIONS IN OTHER AREAS OF THE BUILDING.
- THE CONTRACT TECHNICAL SPECIFICATIONS ARE THAT PORTION OF THE CONTRACT DOCUMENTS CONSISTING OF THE WRITTEN REQUIREMENTS OF MATERIALS, EQUIPMENT, CONSTRUCTION SYSTEMS, STANDARDS AND WORKMANSHIP FOR THE WORK AND PERFORMANCE OF RELATED SERVICES. THE TECHNICAL SPECIFICATIONS WHICH ARE BOUND IN A SEPARATE BOOK ARE PART OF THE CONTRACT DRAWINGS, AND REQUIREMENTS.
- THE CONTRACT DRAWINGS AND THE CONTRACT TECHNICAL SPECIFICATIONS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY BOTH.

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| RECORD DRAWING CERTIFICATION | | | | | |
| <input type="checkbox"/> AS BUILT -- CHANGES AS NOTED <input type="checkbox"/> AS BUILT -- NO CHANGES | | | | | |
| CONTRACTOR | | | PROJECT COORDINATOR | | |
| NAME _____ | | | NAME _____ | | |
| SIGNATURE _____ | | | SIGNATURE _____ | | |
| TITLE _____ | | | TITLE _____ | | |
| DATE _____ | | | DATE _____ | | |
| WESTCHESTER COUNTY, NEW YORK | | | CONTRACT NUMBER 21-540 | | |
| DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION | | | SHEET NUMBER L-101 | | |
| DIVISION OF ENGINEERING | | | SHEET NO. 2 OF 5 | | |
| EXECUTIVE HIGH RISE ROOF REPLACEMENT | | | SCALE: AS SHOWN | | |
| CENTRAL MAINTENANCE FACILITY (DOT) | | | DATE: 09.26.2023 | | |
| 475 SAW MILL RIVER ROAD YONKERS, NEW YORK | | | DPW FILE NO. | | |
| SITE PLAN & GENERAL NOTES | | | REV. NO. 0 | | |

DEMOLITION LEGEND

REMOVE ALL OF THE FOLLOWING:



REMOVE EXIST. EDPM ROOFING
MEMBRANE & 6" RIGID INSULATION
DOWN TO METAL DECK. PROVIDE UNIT
PRICE FOR REMOVING LIGHTWEIGHT
DECK FILL BELOW INSULATION.



EXISTING ROOF DRAIN. REMOVE DRAIN BODY & ASSOCIATED FLASHING.



EXISTING EXHAUST FAN. REMOVE ALL FLASHINGS.



EXISTING PIPE PENETRATION: REMOVE ALL FLASHING.



- REMOVE EXISTING REGLET & WALL BASE FLASHING AT BRICK WALL & PARAPET



REMOVE EXIST. ALUMINUM COPING &
RELATED COMPONENTS

VIF

VERIFY IN FIELD

LIGHTWEIGHT DECK FILL NOTES

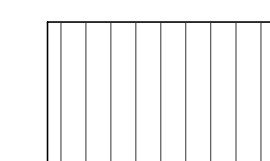
1. FOLLOWING DEMOLITION & EXPOSURE OF THE EXISTING SLOPED LIGHTWEIGHT DECK FILL THE CONDITION OF THE DECK WILL BE REVIEWED BY THE COUNTY & CONTRACTOR & DETERMINATION MADE ON WHETHER TO REMOVE OR MAINTAIN THE DECK FILL.
2. IF THE FILL IS REMOVED RIGID INSULATION WILL BE INSTALLED DIRECTLY TO THE METAL DECK.

WALKWAY WALKPAD NOTES

1. PROVIDE 30" WIDE 150 MIL., TEXTURED NON-REINFORCED 10" WPOKPADS AS SHOWN ON PLAN. COLOR: GREY.
3. AVOID INSTALLING OVER RHINOPLATE DISC.
3. MINIMIZE INSTALLING OVER SEAMS AND MEMBRANE SPLICES WHENEVER POSSIBLE.
4. INSTALL TEXTURED SIDE UP.
5. ACHIEVE FULL WELD AROUND PERIMETER OF THE MATERIAL.
6. FIELD VERIFY ALL CONDITIONS & DIMENSIONS PRIOR TO ORDERING & INSTALLATION.

NEW WORK LEGEND

INSTALL ALL OF THE FOLLOWING :



NEW TPO SINGLE MEMBRANE ROOF,
PROTECTION BOARD & TAPERED &
UNIFORM THICKNESS RIGID INSULATION.
RHINOPLATE® OR APPROVED EQUAL
MEMBRANE FASTENING SYSTEM.



NEW ROOF DRAIN & FLASHING



EXISTING EXHAUST FAN WITH NEW FLASHING



EXISTING UNIT HEATER VENT WITH NEW FLASHING



EXISTING PIPE PENETRATION WITH NEW FLASHING



NEW OVERFLOW SCUPPER



NEW 30" TPO WALKPAD FULLY WELDED, TYP.
PROVIDE UP TO 150 LIN. FT. OF WALKPAD

NEW ALUMINUM COPING



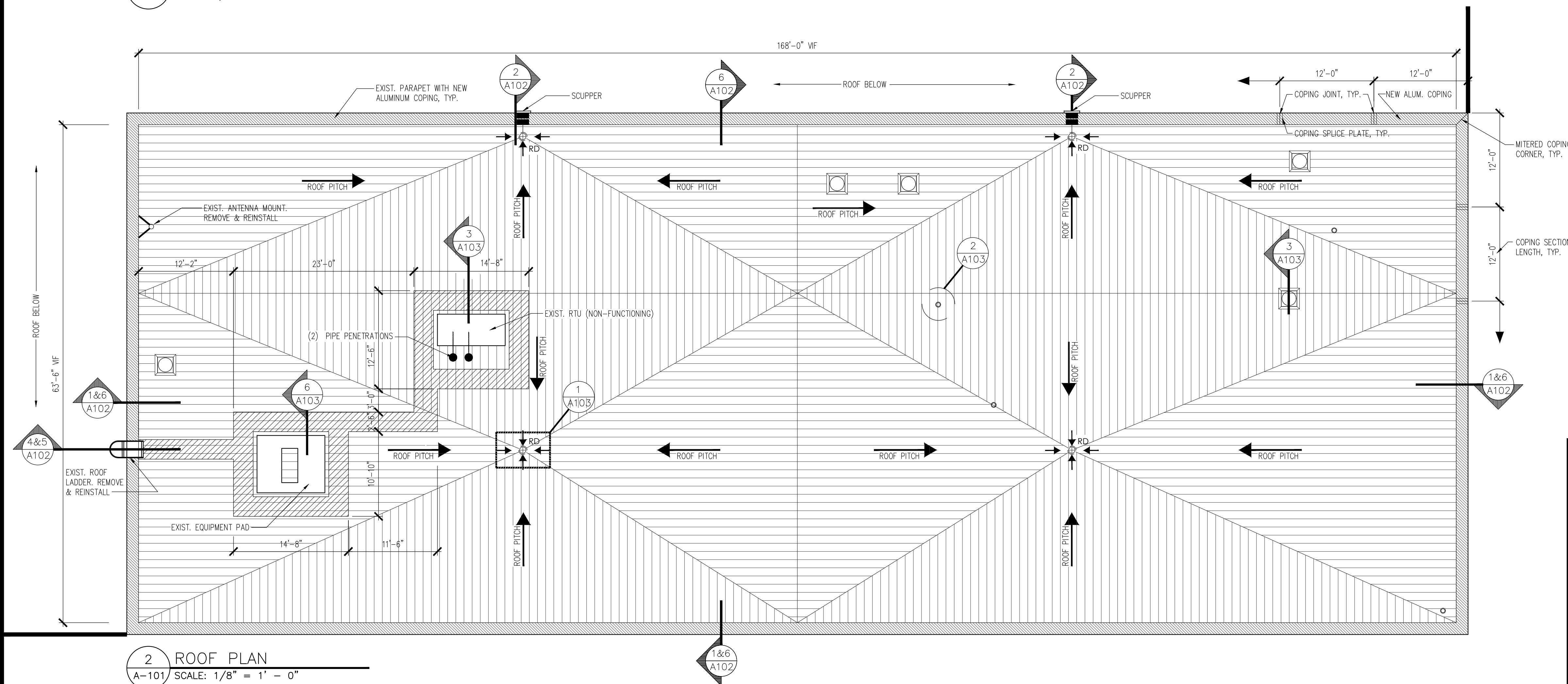
ROOF PITCH DOWN; MINIMUM PITCH
OF 1/4" PER 12"

BRICK PARAPET WORK

1. BRICK REPOINTING: ALLOW FOR 50 SF PRIOR TO INSTALLATION OF ADHERED TPO MEMBRANE OVER PARAPET WALL.

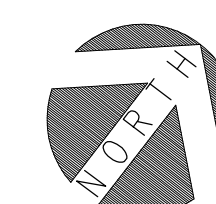
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| RECORD DRAWING CERTIFICATION | | | | | |
| <input type="checkbox"/> AS BUILT - CHANGES AS NOTED | | | | | |
| <input type="checkbox"/> AS BUILT - NO CHANGES | | | | | |
| CONTRACTOR | | | PROJECT COORDINATOR | | |
| NAME _____ | | | NAME _____ | | |
| SIGNATURE _____ | | | SIGNATURE _____ | | |
| TITLE _____ DATE _____ | | | TITLE _____ DATE _____ | | |
| WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING | | | CONTRACT NUMBER | | SHEET NUMBER |
| | | | 21-540 | | A-101 |
| | | | SHEET NO. 3 | | OF 5 |
| | | | SCALE: AS SHOWN DATE: 09.26.2023 | | |
| EXECUTIVE HIGH RISE ROOF REPLACEMENT CENTRAL MAINTENANCE FACILITY (DOT) 475 SAW MILL RIVER ROAD YONKERS, NEW YORK DEMOLITION PLAN & ROOF PLAN | | | DPW FILE NO. | | REV. NO. |
| | | | 61-10-A-402-0 | | 0 |

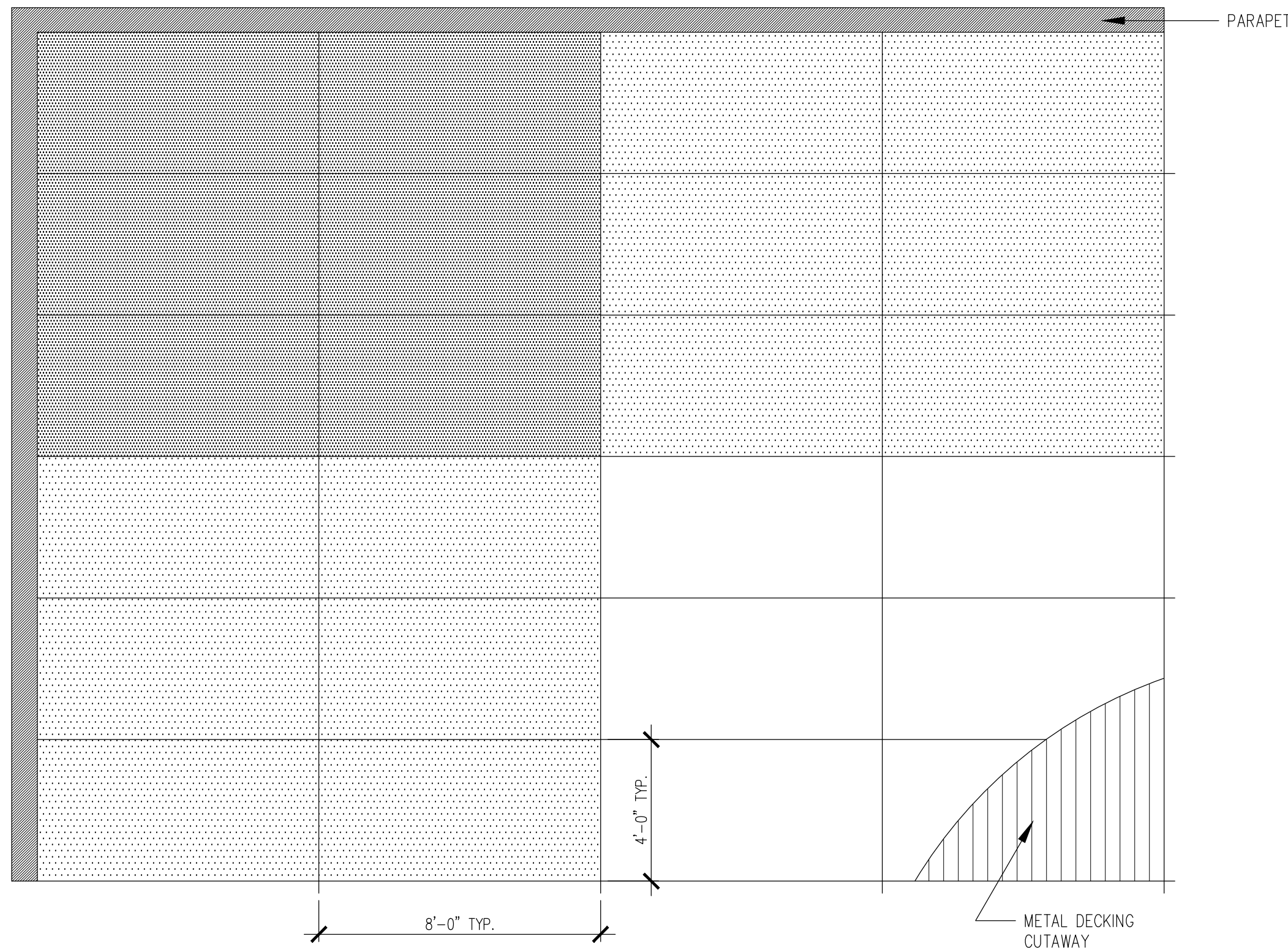
1 ROOF DEMOLITION PLAN
A-101 SCALE: 1/8" = 1' - 0"



2 ROOF PLAN
A-101 SCALE: 1/8" = 1' - 0"

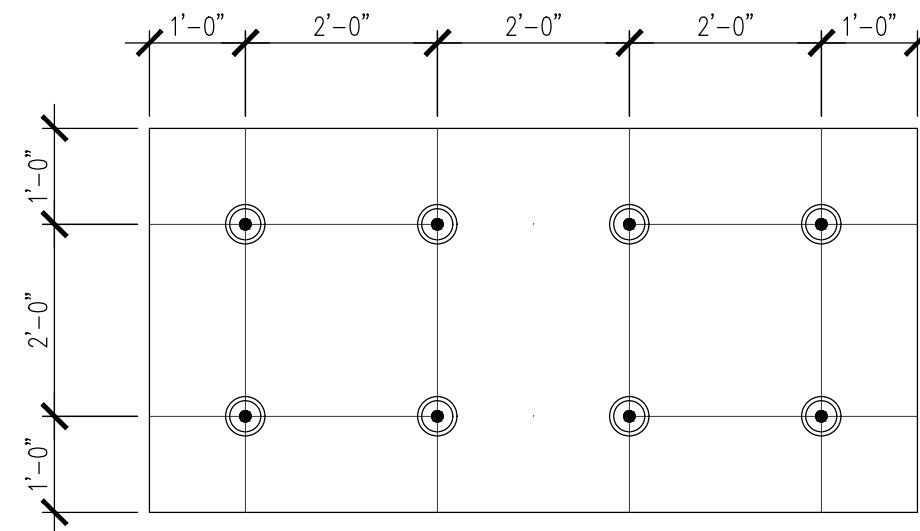
IN CHARGE OF A. KAPLINSKI, RA
CHECKED BY K. JOHNSON, RA
MADE BY K. JOHNSON, RA



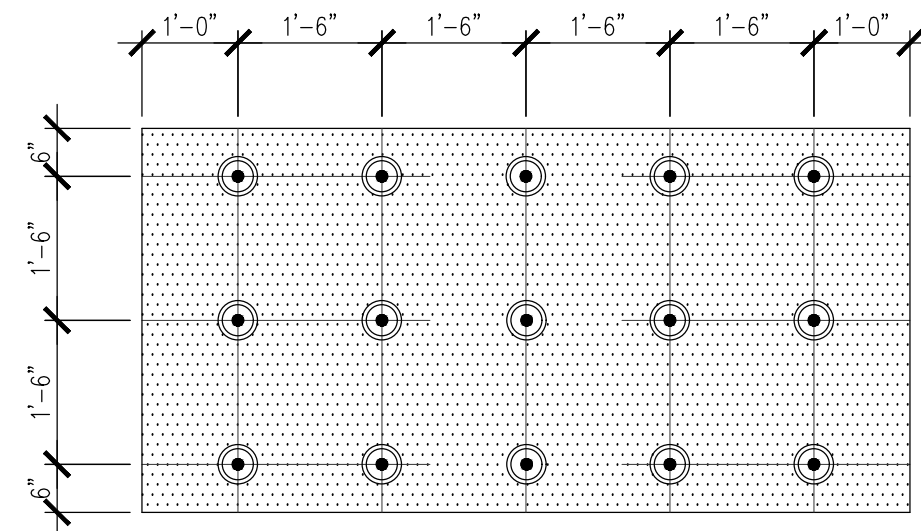


ROOF BOARD LAYOUT PLAN

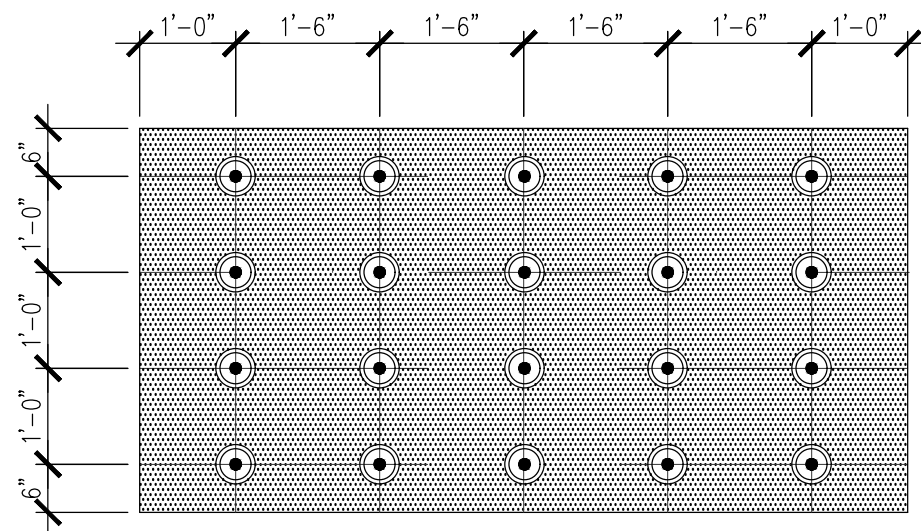
- ROOF UPLIFT NOTES:**
1. TPO MEMBRANE IS HEAT WELDED TO RHINOPLATE ® USING RHINOBOOND TOOL.
 2. ALL FASTNERS TO PENETRATE PROTECTION BOARD, INSULATION & STEEL ROOF DECK.
 3. INSTALL INSULATION BOARDS WITH LONG JOINTS & END JOINTS IN A CONTINUOUS STRAIGHT LINE IN ORDER TO CREATE A LINEAR FASTENING PATTERN. MULTIPLE LAYERS OF INSULATION SHALL BE STAGGERED.
 4. PROVIDE MINIMUM R-30 INSULATION AT ALL ROOF AREAS.



FIELD
8 FASTENERS PER BOARD

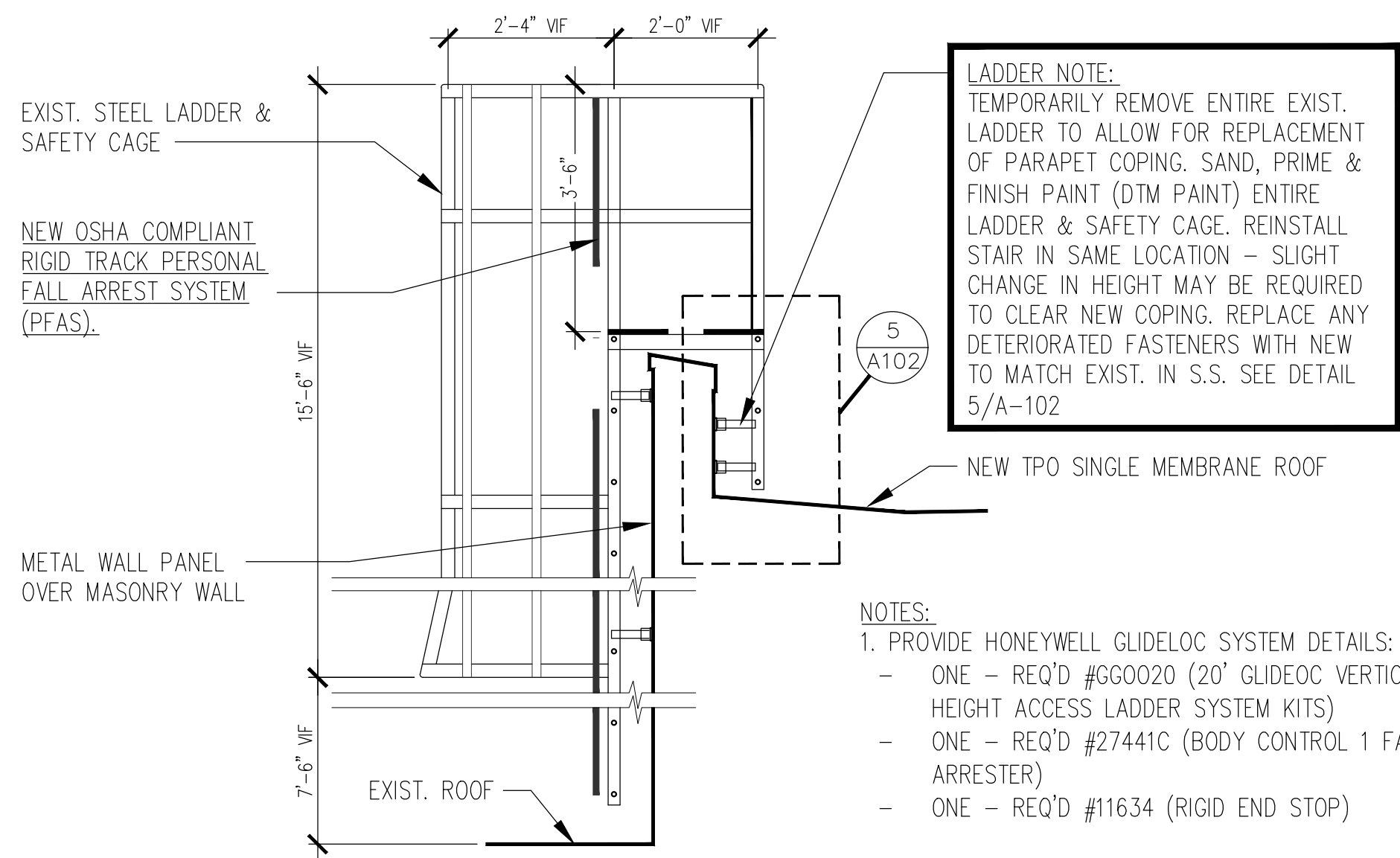


PERIMETER
15 FASTENERS PER BOARD
PLAN FASTENING PATTERNS FOR 4' x 8' INSULATION BOARDS)



CORNER
20 FASTENERS PER BOARD

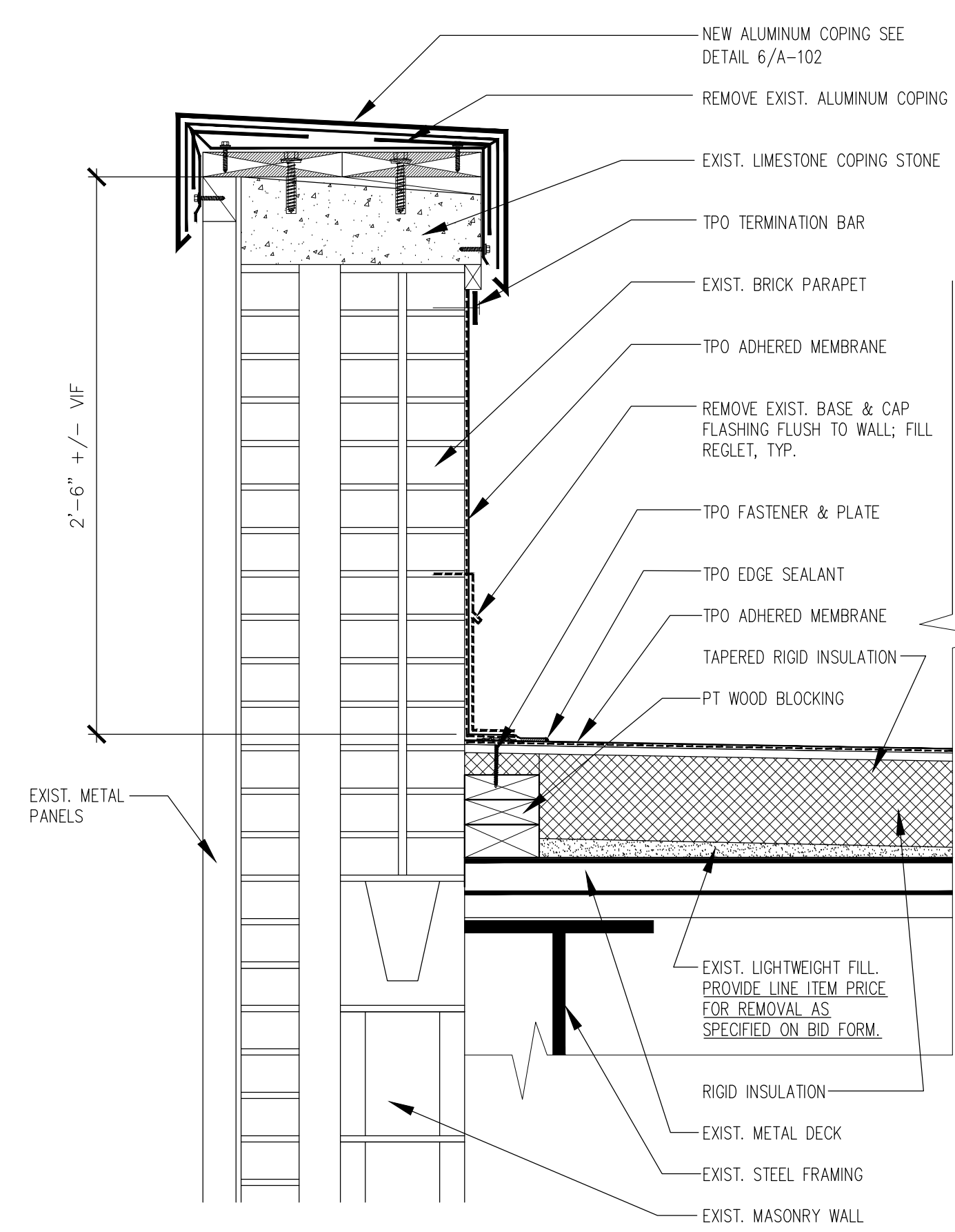
3 ROOF BOARD LAYOUT & FASTENING PLANS
A-102 SCALE: N.T.S.



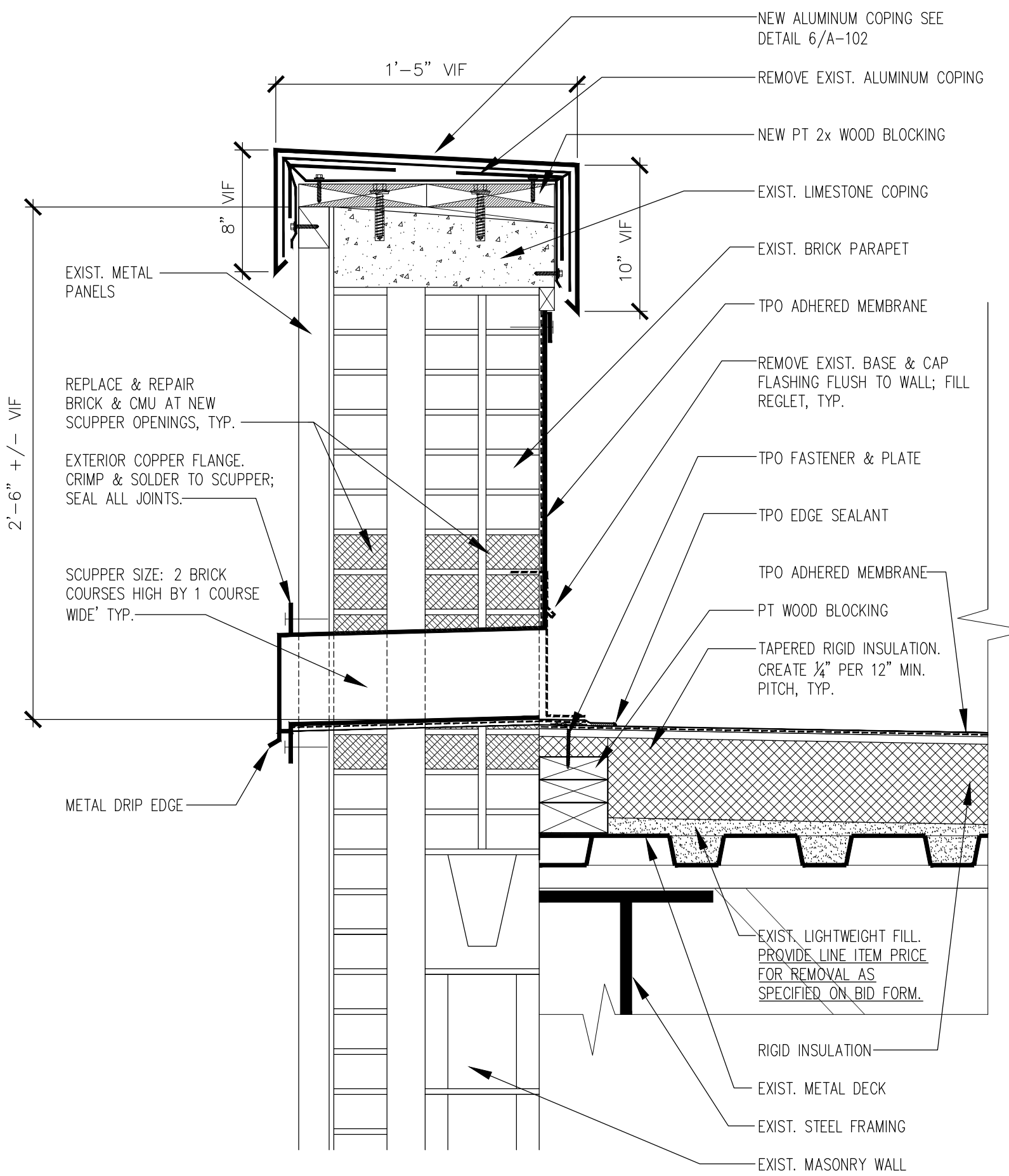
LADDER NOTE:
TEMPORARILY REMOVE ENTIRE EXIST. LADDER TO ALLOW FOR REPLACEMENT OF PARAPET COPING. SAND, PRIME & FINISH PAINT (DTM PAINT) ENTIRE LADDER & SAFETY CAGE. REINSTALL STAIR IN SAME LOCATION - SLIGHT CHANGE IN HEIGHT MAY BE REQUIRED TO CLEAR NEW COPING. REPLACE ANY DETERIORATED FASTENERS WITH NEW TO MATCH EXIST. IN S.S. SEE DETAIL 5/A-102

- NOTES:**
1. PROVIDE HONEYWELL GLIDELock SYSTEM DETAILS:
 - ONE - REQ'D #GG0020 (20' GLIDELock VERTICAL HEIGHT ACCESS LADDER SYSTEM KITS)
 - ONE - REQ'D #27441C (BODY CONTROL 1 FALL ARRESTER)
 - ONE - REQ'D #11634 (RIGID END STOP)

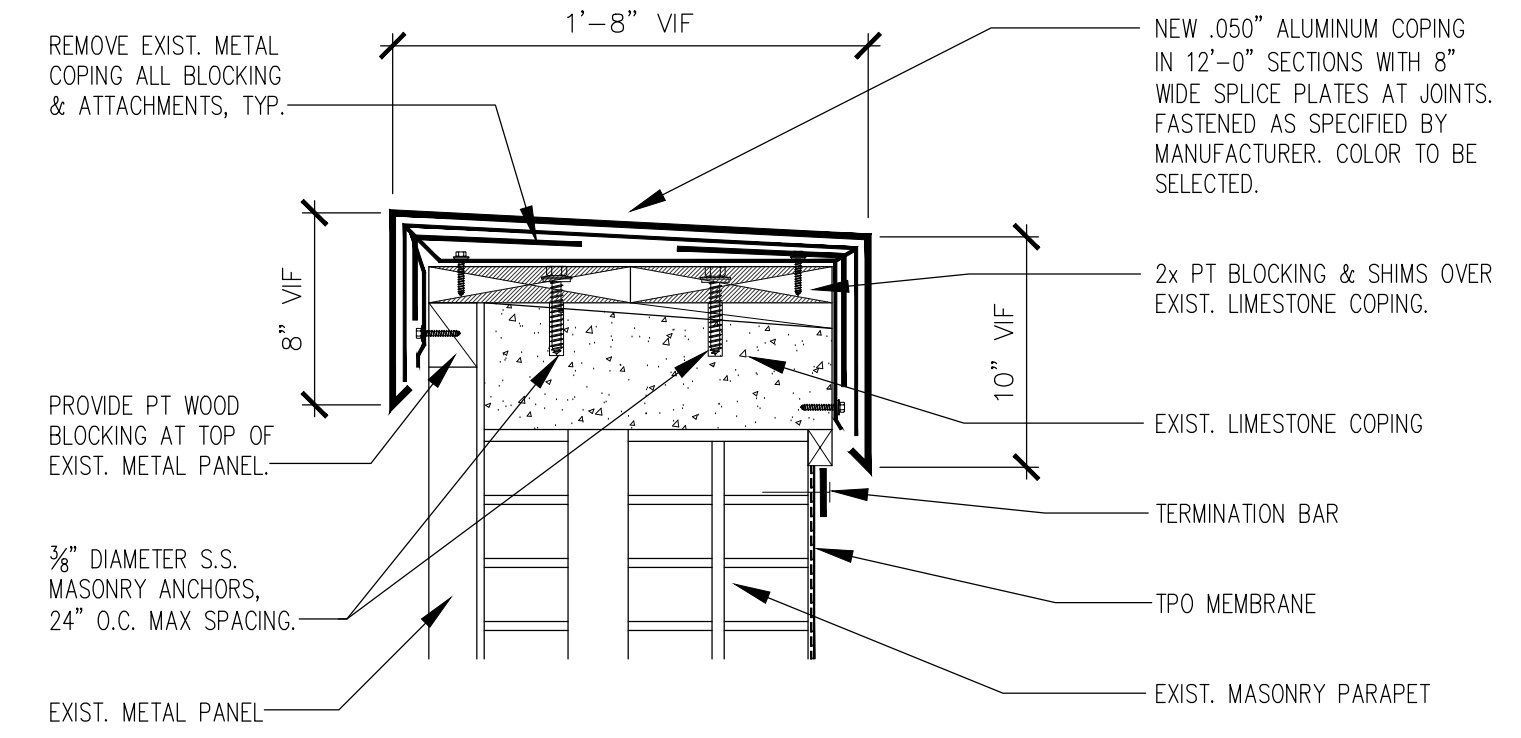
4 ROOF LADDER SECTION
A-102 SCALE: 1/2" = 1' - 0"



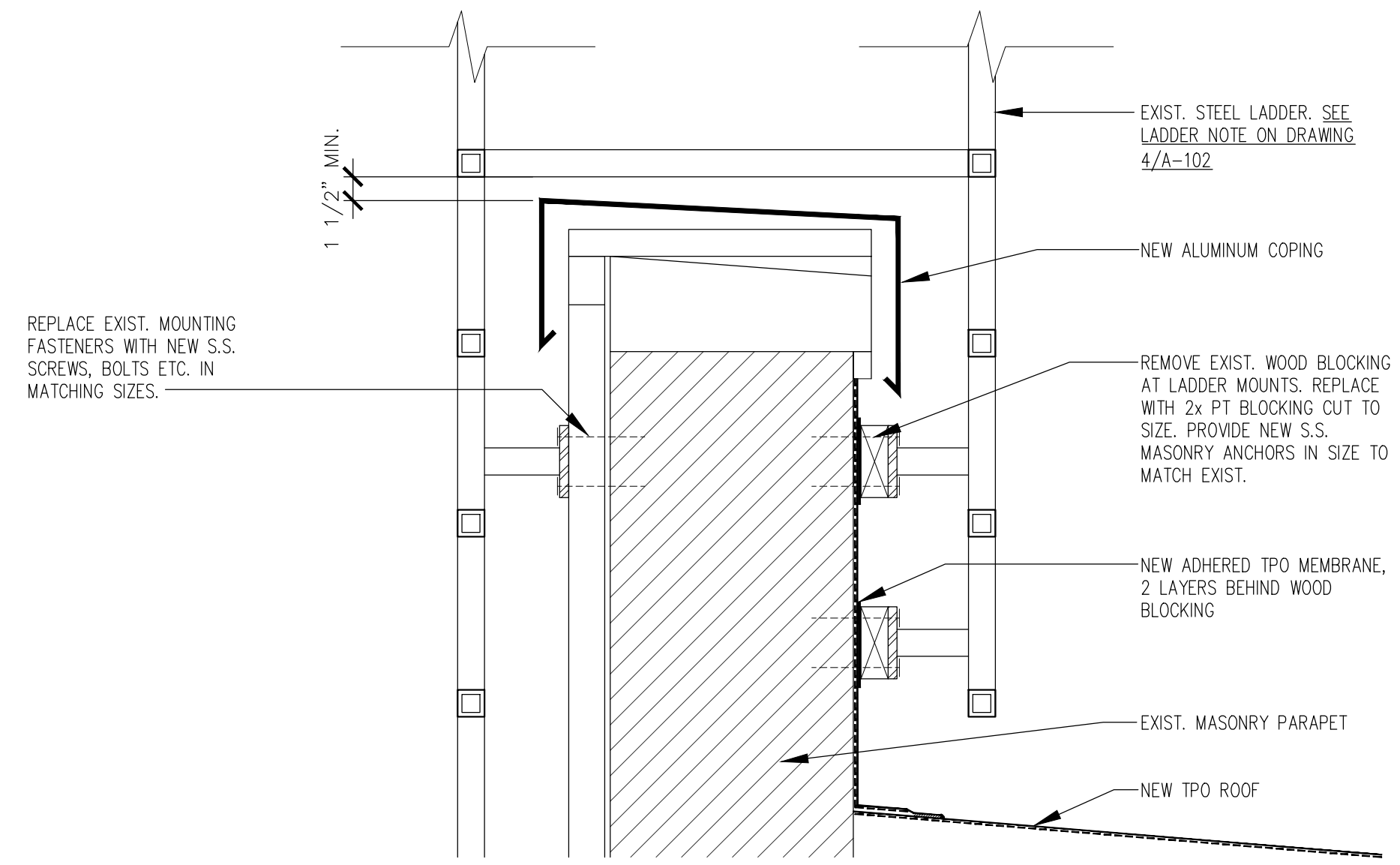
1 WALL FLASHING DETAIL
A-102 SCALE: 1 1/2" = 1' - 0"



2 WALL FLASHING & SCUPPER DETAIL
A-102 SCALE: 1 1/2" = 1' - 0"



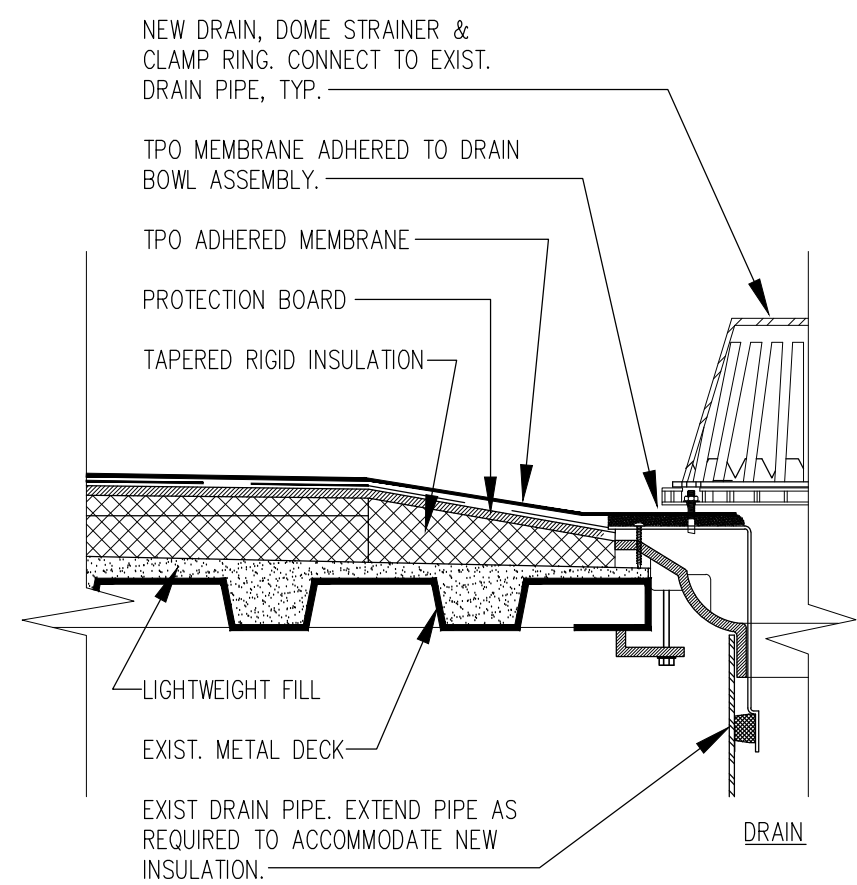
6 PARAPET COPING DETAIL
A-102 SCALE: 1 1/2" = 1' - 0"



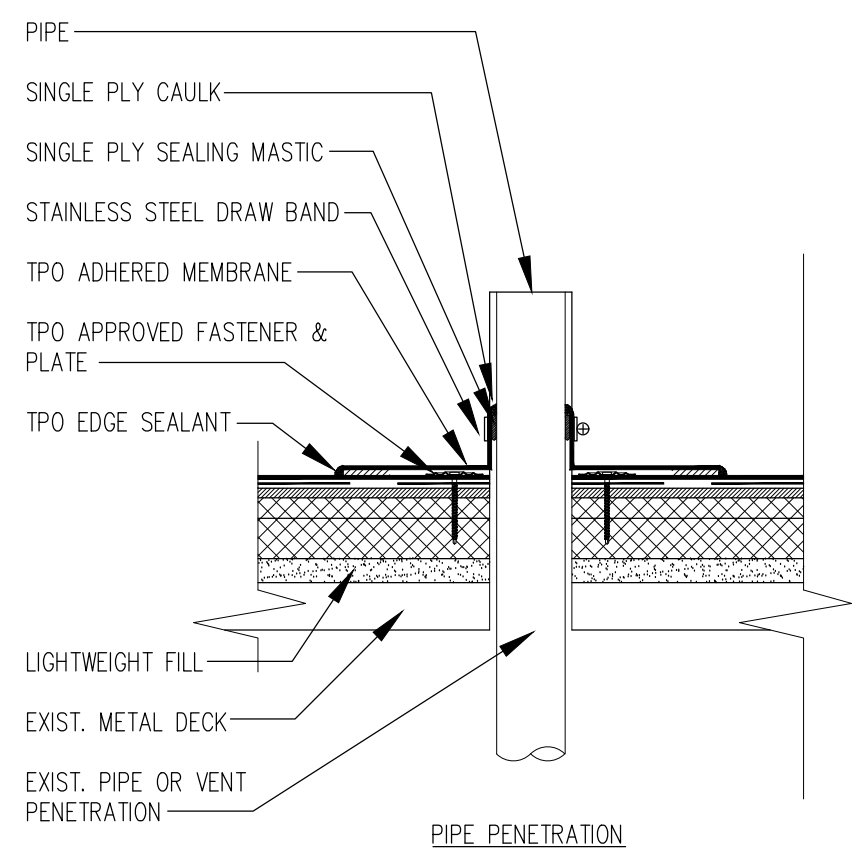
5 ROOF LADDER DETAIL
A-102 SCALE: 1 1/2" = 1' - 0"

IN CHARGE OF A. KAPLINSKI, RA
CHECKED BY K. JOHNSON, RA
MADE BY K. JOHNSON, RA

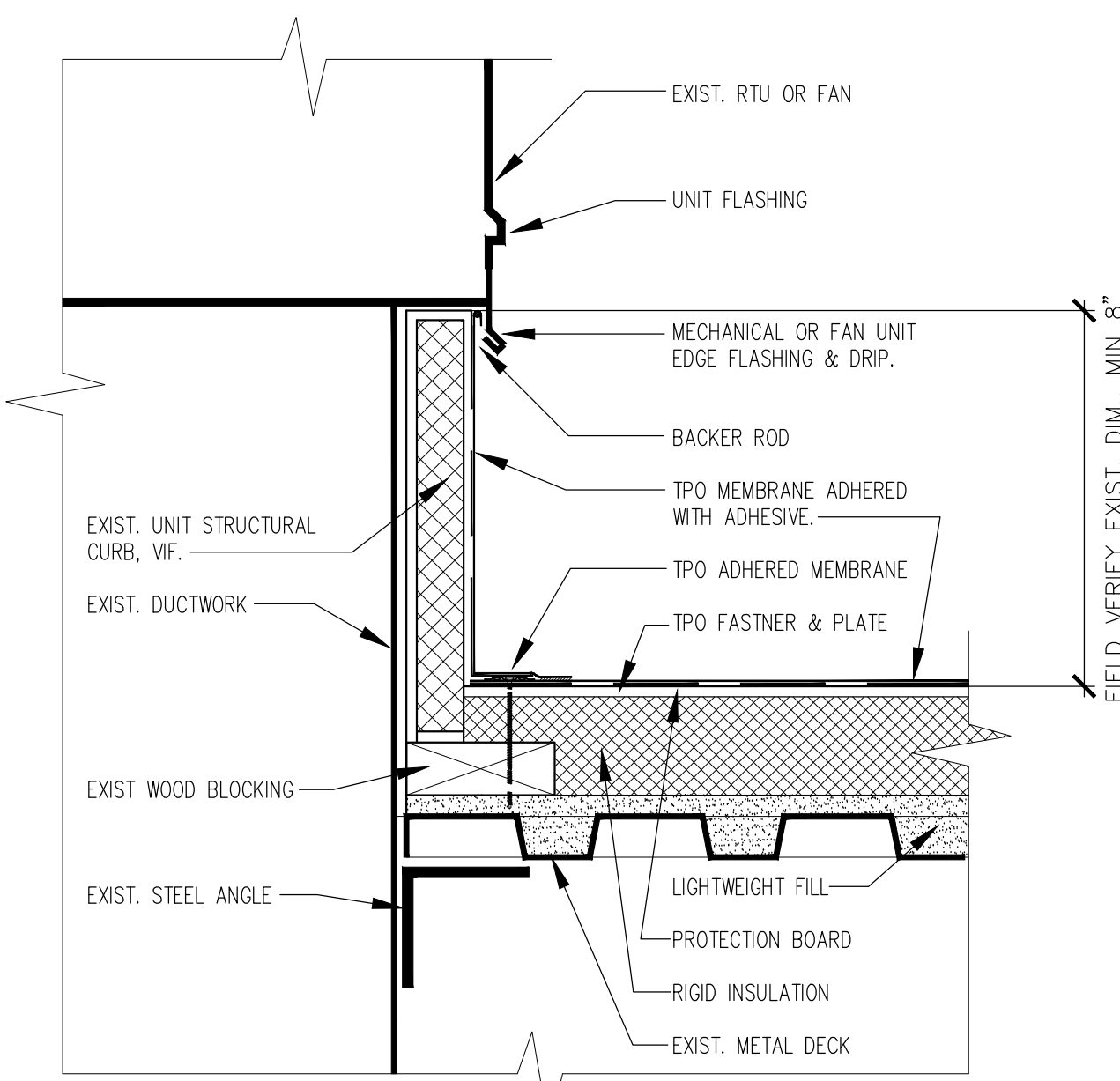
| | | | | |
|---|------|---------|----------|---|
| REVISION NUMBER | DATE | MADE BY | APP'D BY | REVISION |
| RECORD DRAWING CERTIFICATION | | | | |
| CONTRACTOR | | | | PROJECT COORDINATOR |
| NAME <u>WESTCHESTER COUNTY, NEW YORK</u> | | | | NAME <u>DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION</u> |
| SIGNATURE <u>DATE</u> | | | | SIGNATURE <u>DATE</u> |
| TITLE <u>CONTRACT NUMBER 21-540</u> | | | | TITLE <u>SHEET NUMBER A-102</u> |
| EXECUTIVE HIGH RISE ROOF REPLACEMENT CENTRAL MAINTENANCE FACILITY (DOT) 475 SAW MILL RIVER ROAD YONKERS, NEW YORK ROOF DETAILS 1 | | | | SCALE: AS SHOWN DATE: 09.26.2023 DPW FILE NO. 61-10-A-403-0 REV. NO. 0 |



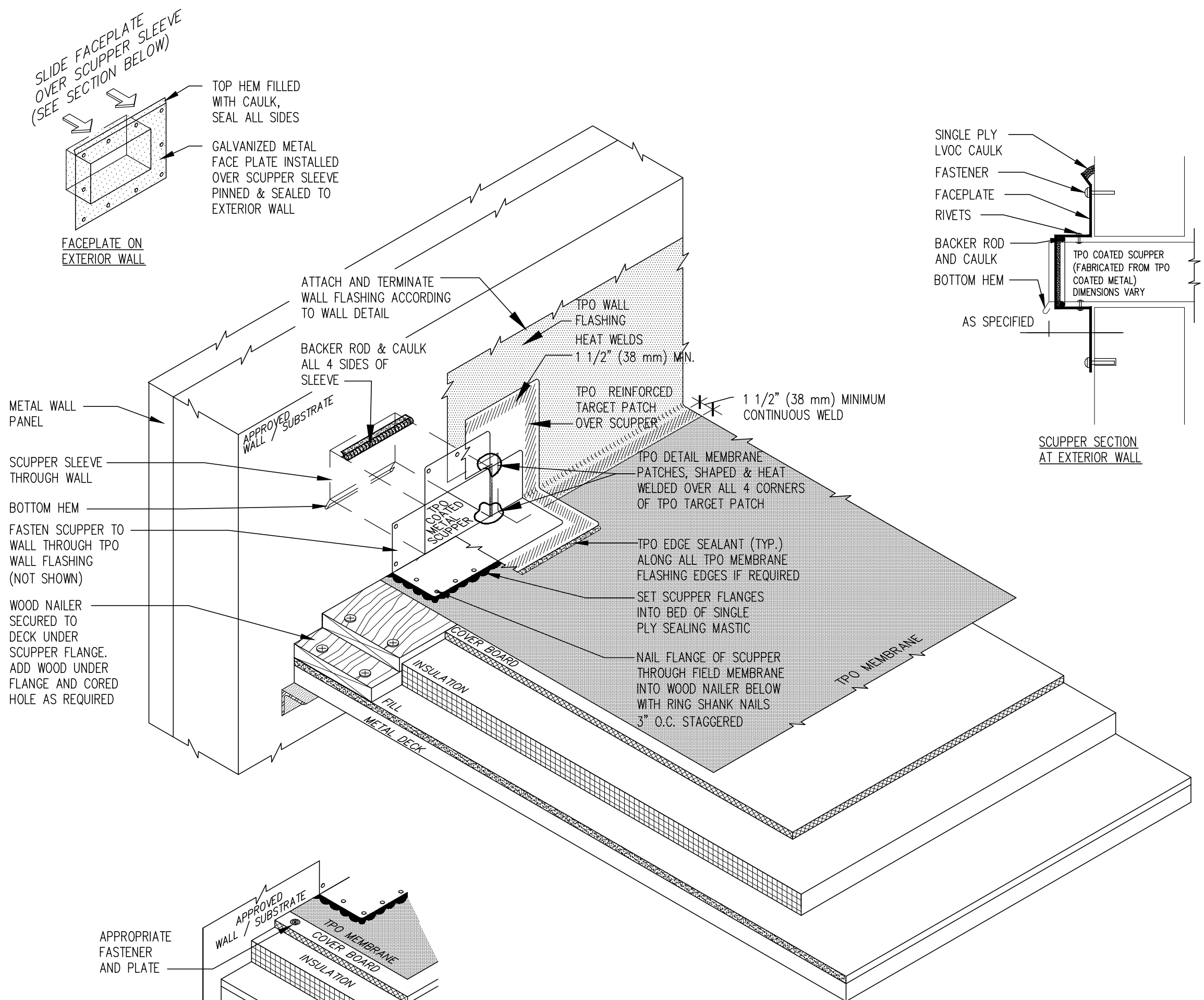
1 ROOF DRAIN DETAIL
A-103 SCALE: 1 1/2" = 1' - 0"



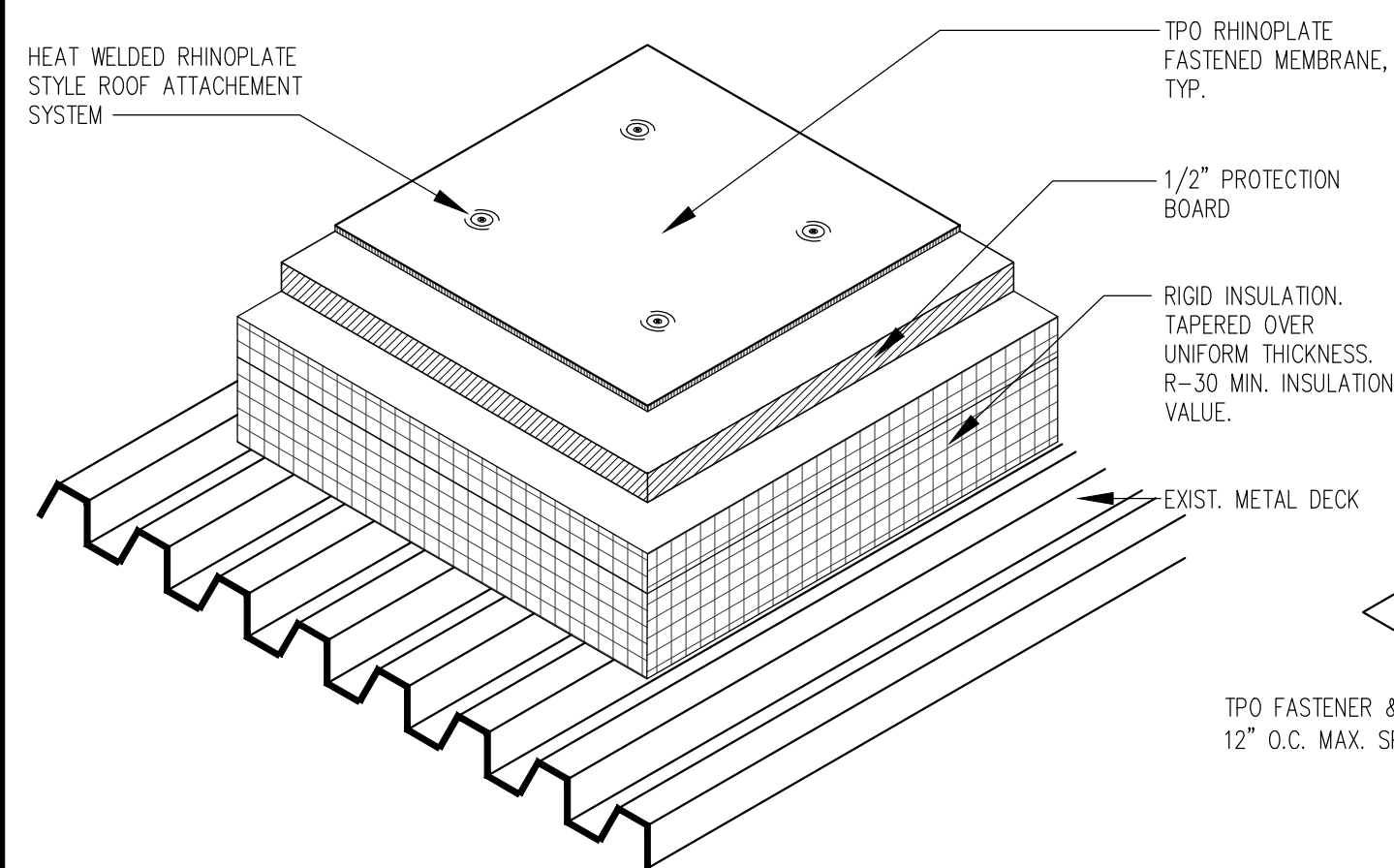
2 PIPE PENETRATION DETAIL
A-103 SCALE: 1 1/2" = 1' - 0"



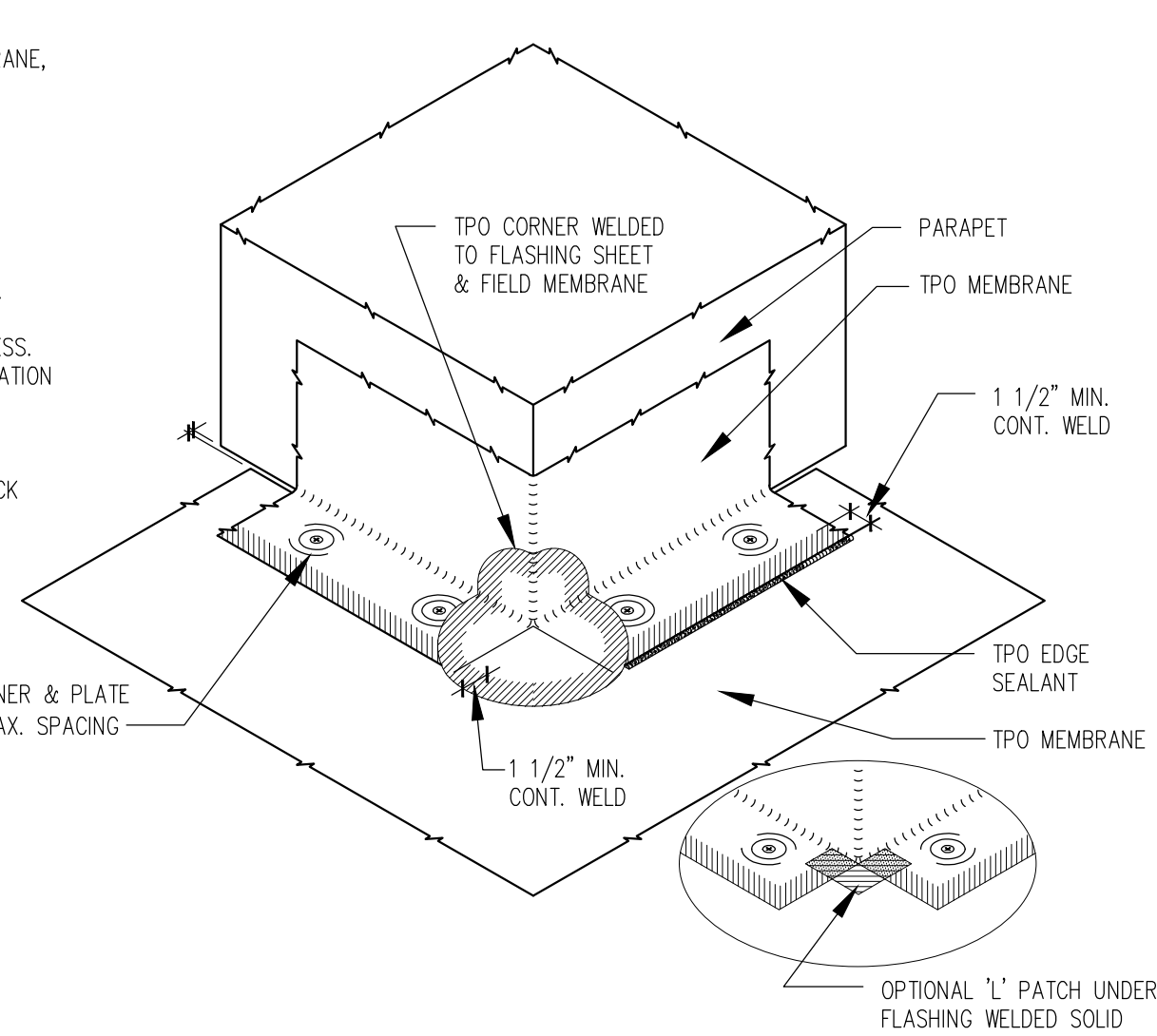
3 EQUIPMENT & FAN CURB DETAIL
A-103 SCALE: 1 1/2" = 1' - 0"



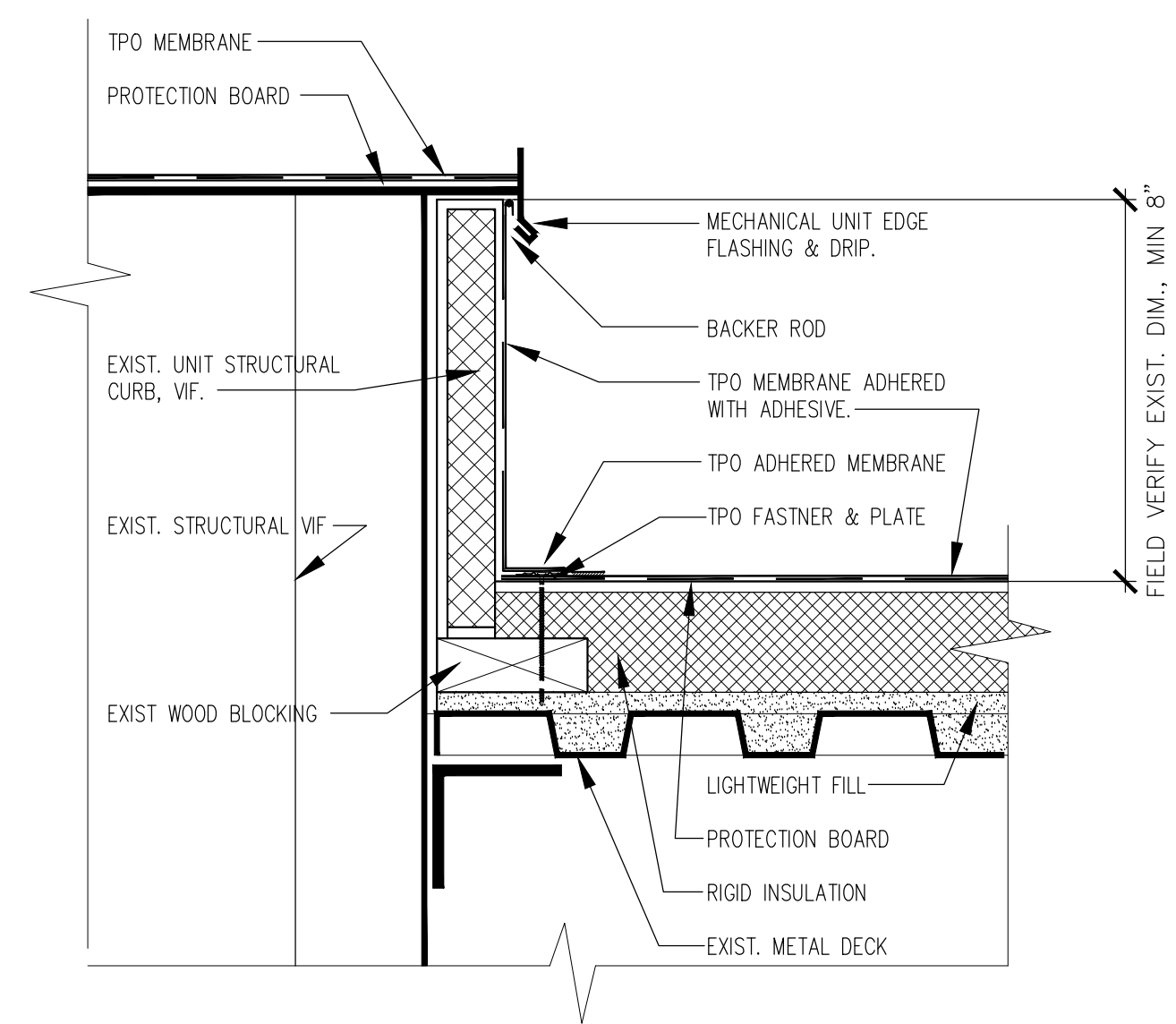
4 THROUGH WALL SCUPPER DETAIL
A-103 SCALE: N.T.S.



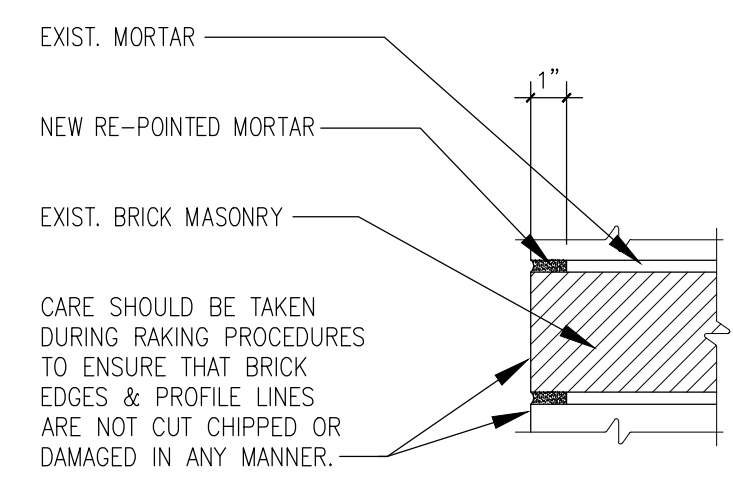
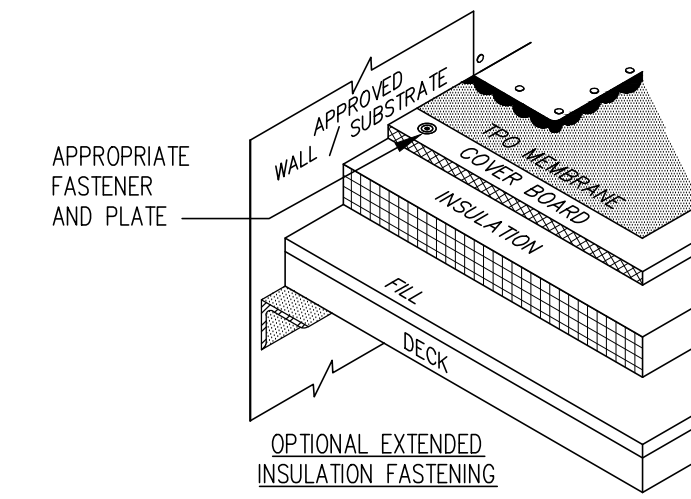
5 TPO ROOF SYSTEM DETAIL
A-103 SCALE: N.T.S.



5A TPO ROOF SYSTEM DETAIL
A-103 SCALE: N.T.S.

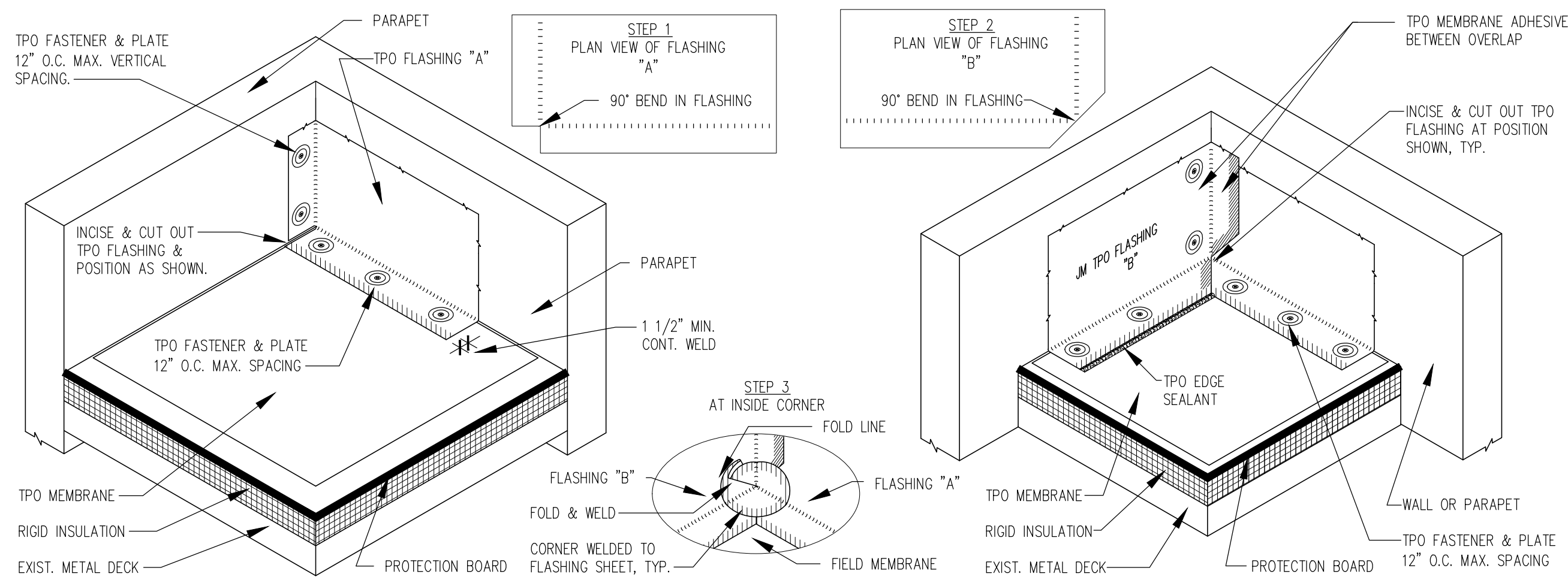


6 EQUIPMENT CURB DETAIL
A-103 SCALE: 1 1/2" = 1' - 0"

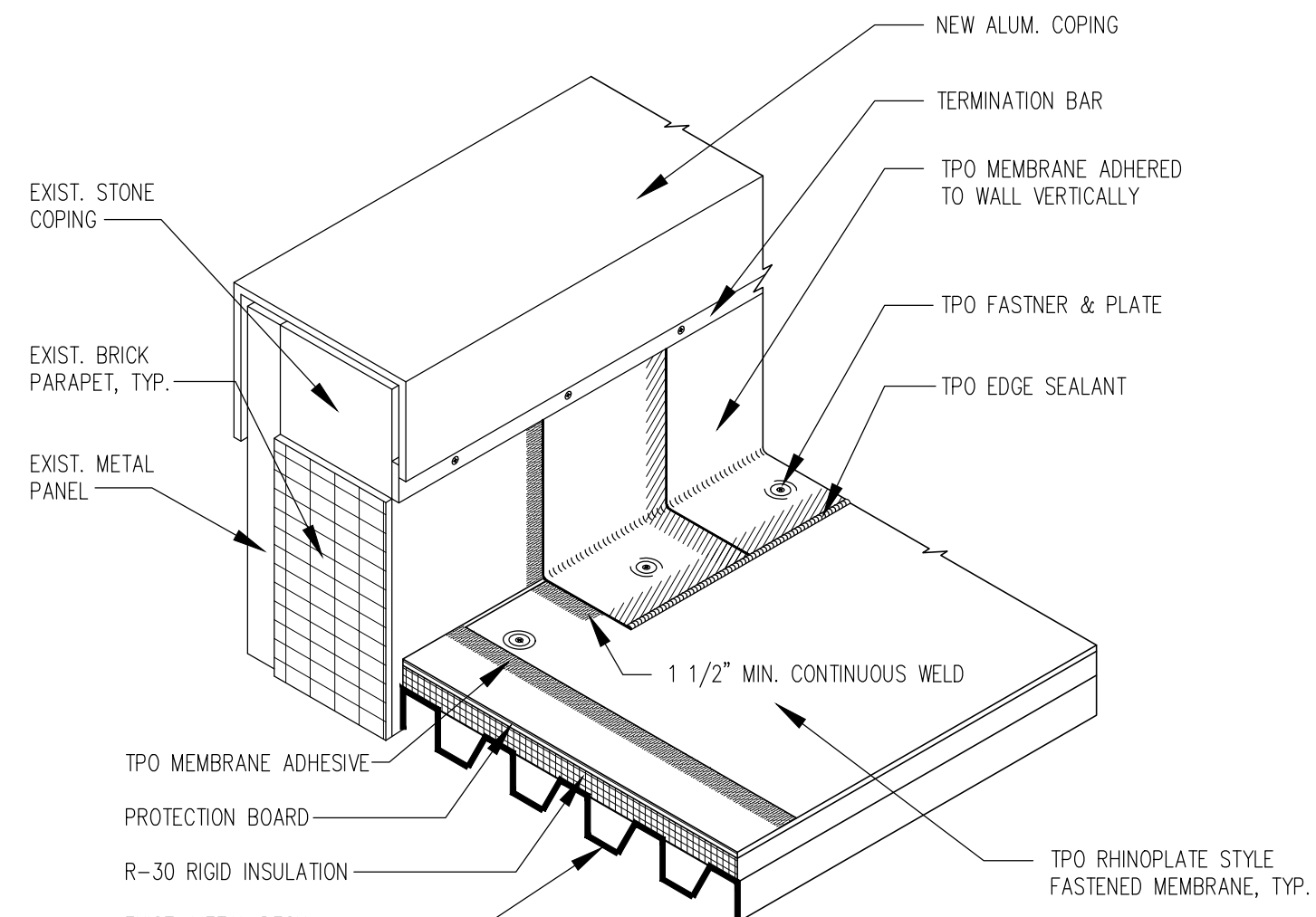


- BRICK RE-POINTING NOTES:
1. ALL BRICK POINTING WORK SHALL COMPLY WITH THE STANDARDS OF THE B.I.A.
 2. GRIND OUT EXISTING JOINT TO A MINIMUM DEPTH OF 1"
 3. FLUSH OUT ALL LOOSE MATERIAL WITH A WATER SPRAY
 4. PREHYDRATE TYPE N MORTAR (AS PER ASTM 270) BY MIXING MORTAR DRY. MIX AGAIN WITH ONLY ENOUGH WATER TO PROVIDE A DAMP MIX. AFTER ONE (1) HOUR, ADD ENOUGH WATER TO PROVIDE A WORKABLE MORTAR. DO NOT USE MORTAR AFTER THREE (3) HOURS OF INITIAL ADDITION OF WATER.
 5. LIGHTLY WET MORTAR JOINT (NO VISIBLE WATER SHALL BE LEFT ON SURFACE). THAN PACK IN NEW PREHYDRATED MORTAR TIGHTLY IN THIN LAYERS UNTIL JOINT IS FILLED. TOOL TO A SMOOTH CONCAVE FINISH.

7 BRICK RE-POINTING DETAIL
A-103 3" = 1' - 0"



8 TPO ROOF SYSTEM DETAIL
A-103 SCALE: N.T.S.



9 TPO ROOF CONSTRUCTION DETAIL
A-103 SCALE: N.T.S.

IN CHARGE OF A. KAPLINSKI, RA
CHECKED BY K. JOHNSON, RA
MADE BY K. JOHNSON, RA

| | | | | |
|---|------|------------------------|----------|----------|
| REVISION NUMBER | DATE | MADE BY | APP'D BY | REVISION |
| RECORD DRAWING CERTIFICATION | | | | |
| CONTRACTOR | | PROJECT COORDINATOR | | |
| NAME | | NAME | | |
| SIGNATURE | | SIGNATURE | | |
| TITLE | | TITLE | | |
| DATE | | DATE | | |
| WESTCHESTER COUNTY, NEW YORK | | CONTRACT NUMBER 21-540 | | |
| DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION | | SHEET NUMBER A-103 | | |
| DIVISION OF ENGINEERING | | SHEET NO. 5 OF 5 | | |
| EXECUTIVE HIGH RISE ROOF REPLACEMENT | | SCALE: AS SHOWN | | |
| CENTRAL MAINTENANCE FACILITY (DOT) | | DATE: 09.26.2023 | | |
| 475 SAW MILL RIVER ROAD YONKERS, NEW YORK | | DPW FILE NO. | | |
| ROOF DETAILS 2 | | REV. NO. 0 | | |