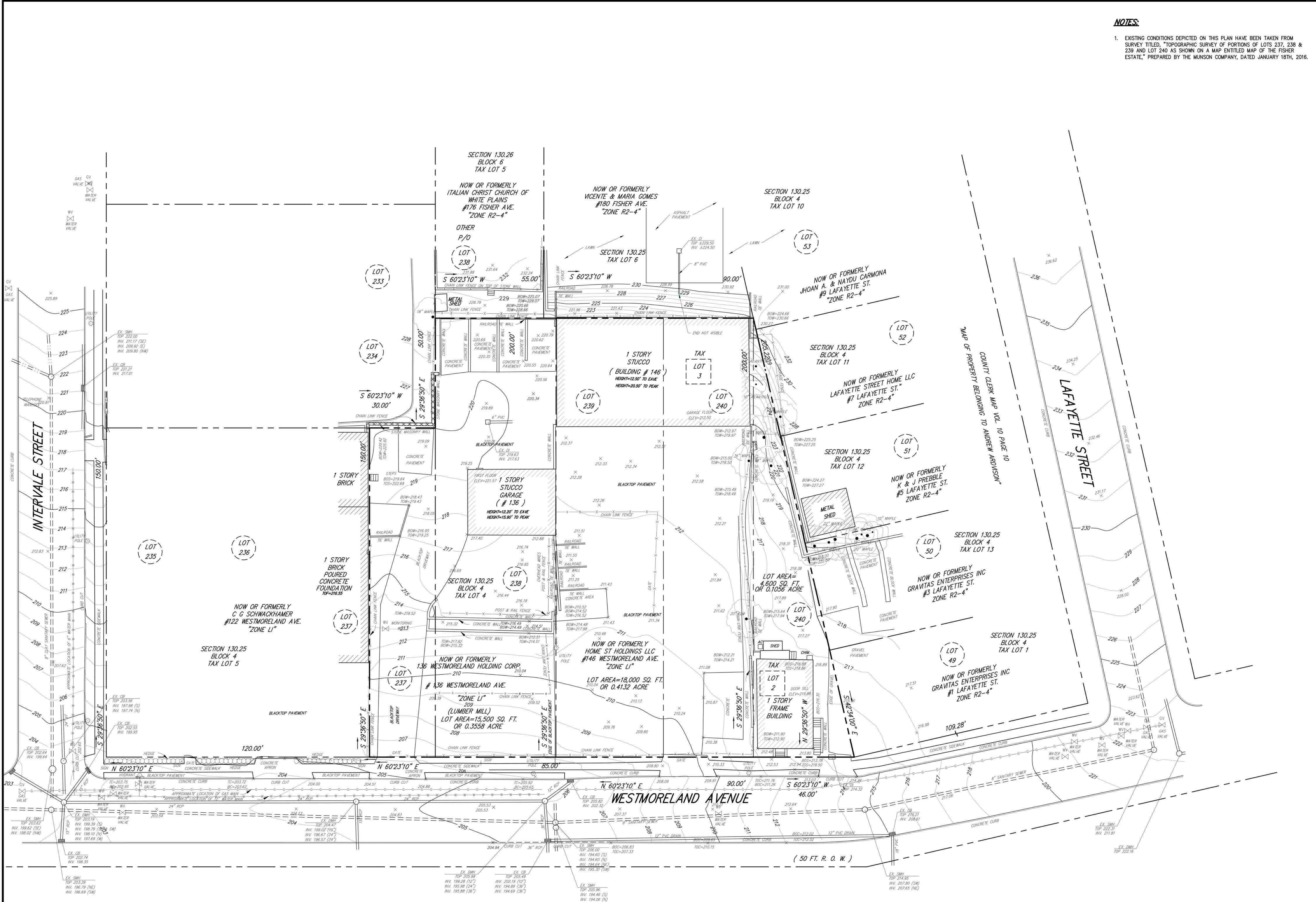




NOTES:

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PORTIONS OF LOTS 237, 238 & 239 AND LOT 240 AS SHOWN ON A MAP ENTITLED MAP OF THE FISHER ESTATE," PREPARED BY THE MUNSON COMPANY, DATED JANUARY 18TH, 2016.

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN

1.	ISSUED FOR FILING	05/12/2021
Rev. #	Revision Description	Date:

Project Description:
PROPOSED MIXED USE BUILDING:
WESTMORELAND LOFTS
136-158 WESTMORELAND AVE.
WHITE PLAINS, NY 10606

Owner/Developer:
WESTMORELAND LOFTS, LLC
600 MAMARONECK AVENUE
HARRISON, NY 10528

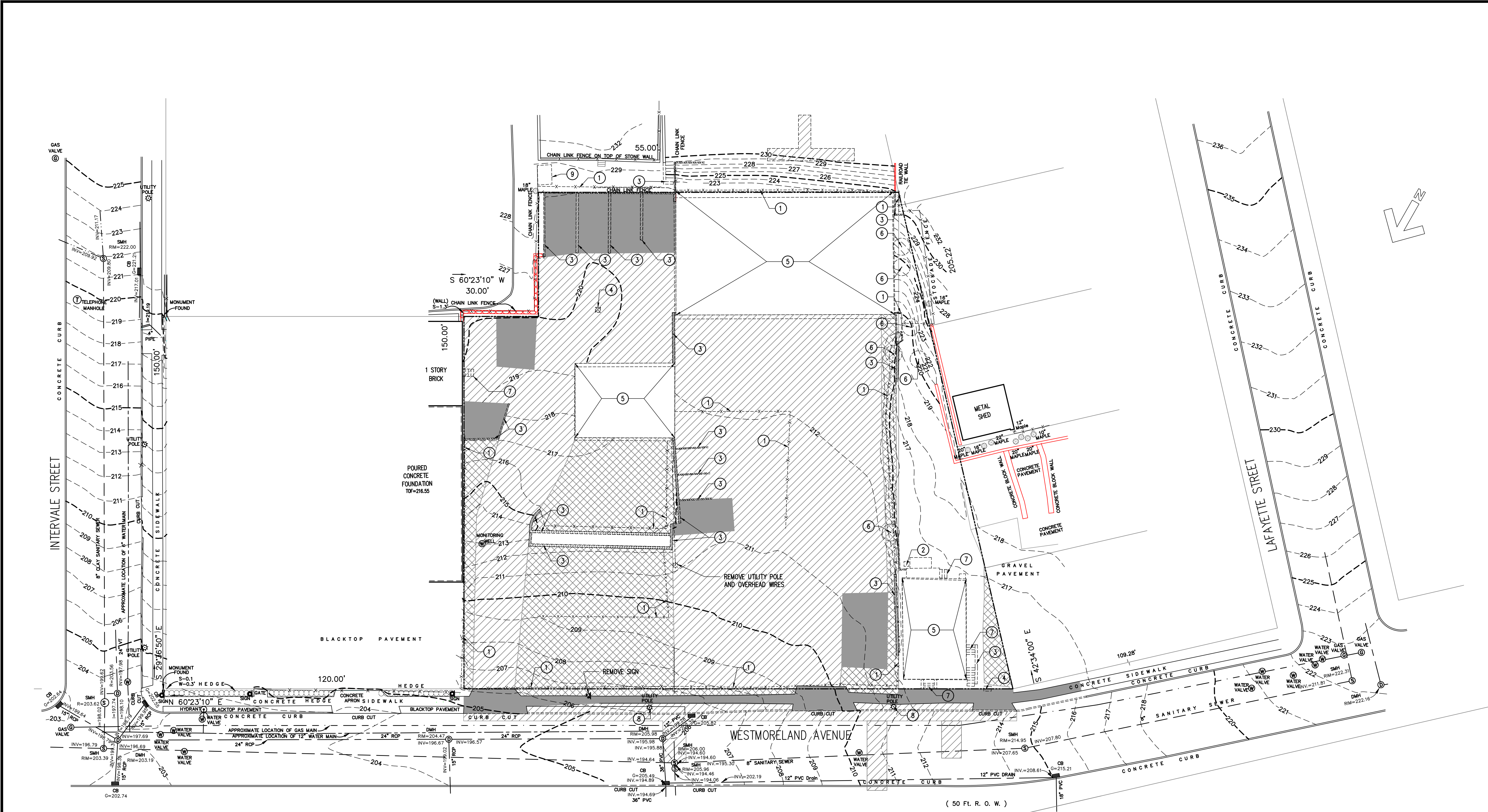
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JMC JMC Site Development Consultants
120 Bedford Road
Armonk, NY 10504
914 273 5225

McLaren Engineering Group
Structural Engineer
131 West 35th Street, 4th Floor
New York, NY 10001
212 324-6300

Khachatryan Engineering Associates
Mechanical/Electrical/Plumbing Engineers
186 Wood Avenue South, First Floor
Iselin, NJ 08830
732 635-0044

Sheet Title:	SITE EXISTING CONDITIONS PLAN	
Seal & Signature	Date:	07-18-2016
	Scale:	1" = 20'
	Job#:	21041
	Sheet Title:	SD-000
	Sheet:	- of -



- DEMOLITION LEGEND:**
- PROPERTY LINE
 - EXISTING TO BE REMOVED
 - ===== EXISTING CURB TO BE REMOVED
 - [Hatched Box] EXISTING ASPHALT PAVEMENT TO BE REMOVE.
 - [Cross-hatched Box] EXISTING GRAVEL PAVEMENT TO BE REMOVED
 - [Solid Grey Box] EXISTING CONCRETE WALKS, DRIVEWAYS, OR SLAB TO BE REMOVED.
 - ① EXISTING CHAIN LINK FENCE AND GATES TO BE REMOVED.
 - ② EXISTING A/C UNITS TO BE REMOVED.
 - ③ EXISTING RETAINING WALL TO BE REMOVED.
 - ④ EXISTING DRAIN INLET TO BE REMOVED. SEE DWG. SD-10X.
 - ⑤ LINE OF EXISTING BUILDING TO BE DEMOLISHED INCLUDING FOUNDATIONS, FOOTINGS, AND SLAB-ON-GRADE. CUT & CAP UTILITIES IN THE STREET.
 - ⑥ REMOVE TREE OR SHRUB.
 - ⑦ REMOVE STEPS.
 - ⑧ UTILITY POLE TO BE REMOVED.
 - ⑨ EXISTING SHED TO BE REMOVED.
- NOTE:
EXISTING UTILITIES TO BE DISCONNECTED AND CAPPED PRIOR TO THE COMMENCEMENT OF DEMOLITION

2	ISSUED FOR RE-BID	03/22/2022
2	ISSUED FOR BID	04/02/2021
1	ISSUED FOR SITE PLAN SUBMISSION	10-19-2016
Rev. #	Revision Description	Date:

Project Description:
PROPOSED MIXED USE BUILDING:
WESTMORELAND LOFTS
136-158 WESTMORELAND AVE.
WHITE PLAINS, NY 10606

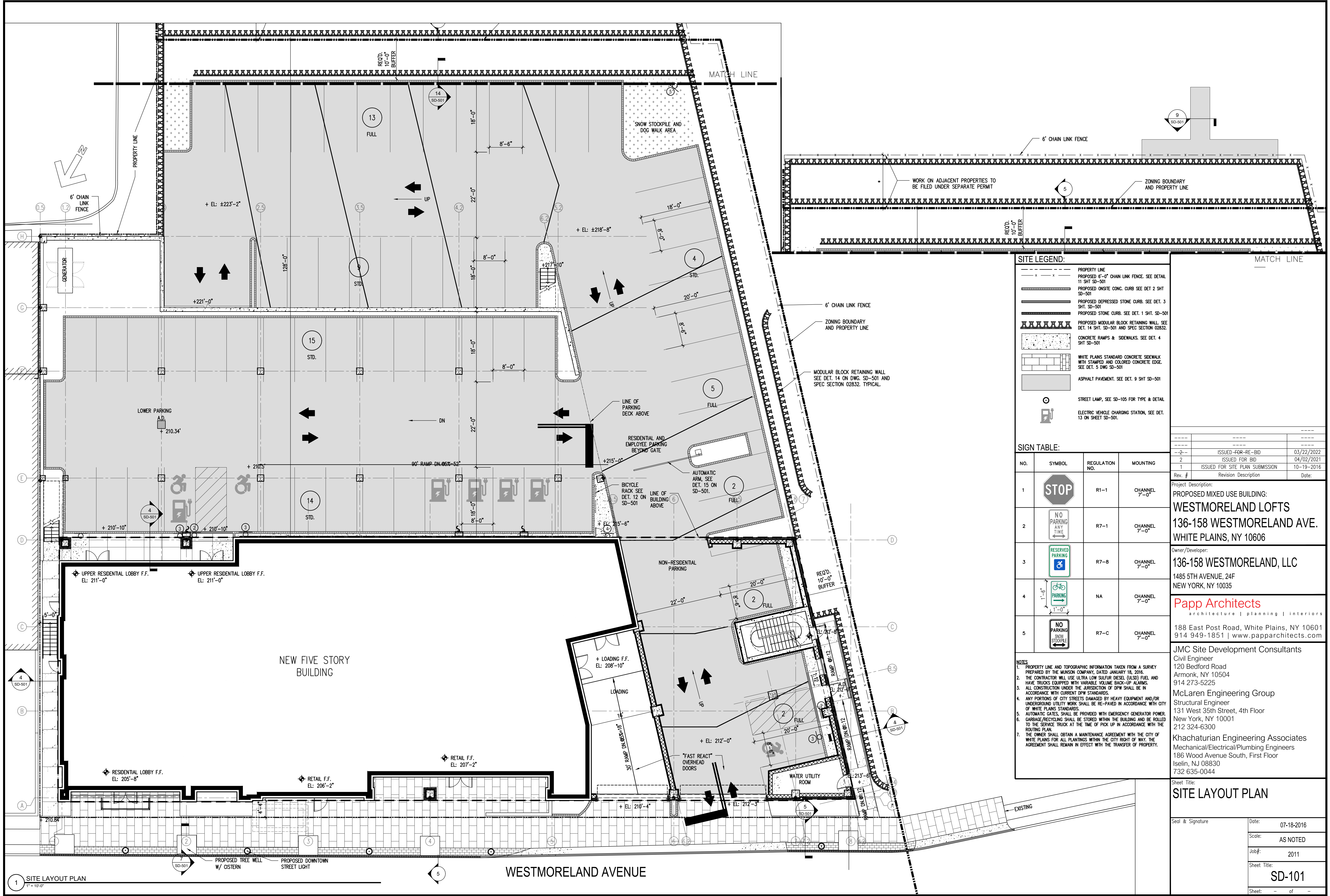
Owner/Developer:
136-158 WESTMORELAND, LLC
1485 5TH AVENUE, 24F
NEW YORK, NY 10035

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Sheet Title:
SITE DEMOLITION PLAN

Seal & Signature	Date: 07-18-2016
	Scale: AS NOTED
	Job#: 2011
	Sheet Title: SD-100
	Sheet: - of -



SITE LEGEND:

---	PROPERTY LINE
---	PROPOSED 4'-0" CHAIN LINK FENCE. SEE DETAIL 11 SHT SD-501
---	PROPOSED ONSITE CONC. CURB SEE DET. 2 SHT SD-501
---	PROPOSED DEPRESSED STONE CURB. SEE DET. 3 SHT. SD-501
---	PROPOSED STONE CURB. SEE DET. 1 SHT. SD-501
---	PROPOSED MODULAR BLOCK RETAINING WALL. SEE DET. 14 SHT. SD-501 AND SPEC SECTION 02832.
---	CONCRETE RAMPS & SIDEWALKS. SEE DET. 4 SHT SD-501
---	WHITE PLAINS STANDARD CONCRETE SIDEWALK WITH STAMPED AND COLORED CONCRETE EDGE. SEE DET. 5 DWG SD-501
---	ASPHALT PAVEMENT. SEE DET. 9 SHT SD-501
---	STREET LAMP. SEE SD-105 FOR TYPE & DETAIL
---	ELECTRIC VEHICLE CHARGING STATION. SEE DET. 13 ON SHEET SD-501.

SIGN TABLE:

NO.	SYMBOL	REGULATION NO.	MOUNTING
1	STOP	R1-1	CHANNEL 7'-0"
2	NO PARKING ANY TIME	R7-1	CHANNEL 7'-0"
3	RESERVED PARKING	R7-8	CHANNEL 7'-0"
4	BIKE PARKING	NA	CHANNEL 7'-0"
5	NO PARKING SNOW STORAGE	R7-C	CHANNEL 7'-0"

NOTES:

- PROPERTY LINE AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY THE MUNSON COMPANY, DATED JANUARY 18, 2016.
- THE CONTRACTOR WILL USE ULTRA LOW SULFUR DIESEL (ULSD) FUEL AND HAVE TRUCKS EQUIPPED WITH VARIABLE VOLUME BACK-UP ALARMS.
- ALL CONSTRUCTION UNDER THE JURISDICTION OF DPW SHALL BE IN ACCORDANCE WITH CURRENT DPW STANDARDS.
- ANY PORTIONS OF CITY STREETS DAMAGED BY HEAVY EQUIPMENT AND/OR UNDERGROUND UTILITY WORK SHALL BE RE-PAVED IN ACCORDANCE WITH CITY OF WHITE PLAINS STANDARDS.
- ANY PORTIONS OF CITY STREETS DAMAGED BY HEAVY EQUIPMENT AND/OR UNDERGROUND UTILITY WORK SHALL BE RE-PAVED IN ACCORDANCE WITH CITY OF WHITE PLAINS STANDARDS.
- ANY PORTIONS OF CITY STREETS DAMAGED BY HEAVY EQUIPMENT AND/OR UNDERGROUND UTILITY WORK SHALL BE RE-PAVED IN ACCORDANCE WITH CITY OF WHITE PLAINS STANDARDS.
- THE OWNER SHALL OBTAIN A MAINTENANCE AGREEMENT WITH THE CITY OF WHITE PLAINS FOR ALL PLANTINGS WITHIN THE CITY RIGHT OF WAY. THE AGREEMENT SHALL REMAIN IN EFFECT WITH THE TRANSFER OF PROPERTY.

Project Description:
PROPOSED MIXED USE BUILDING:
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WHITE PLAINS, NY 10606

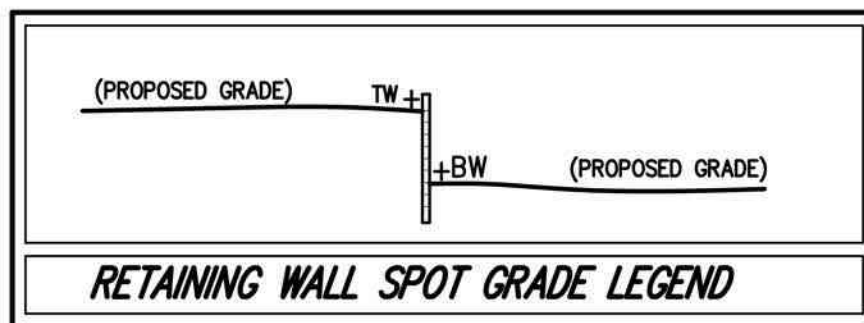
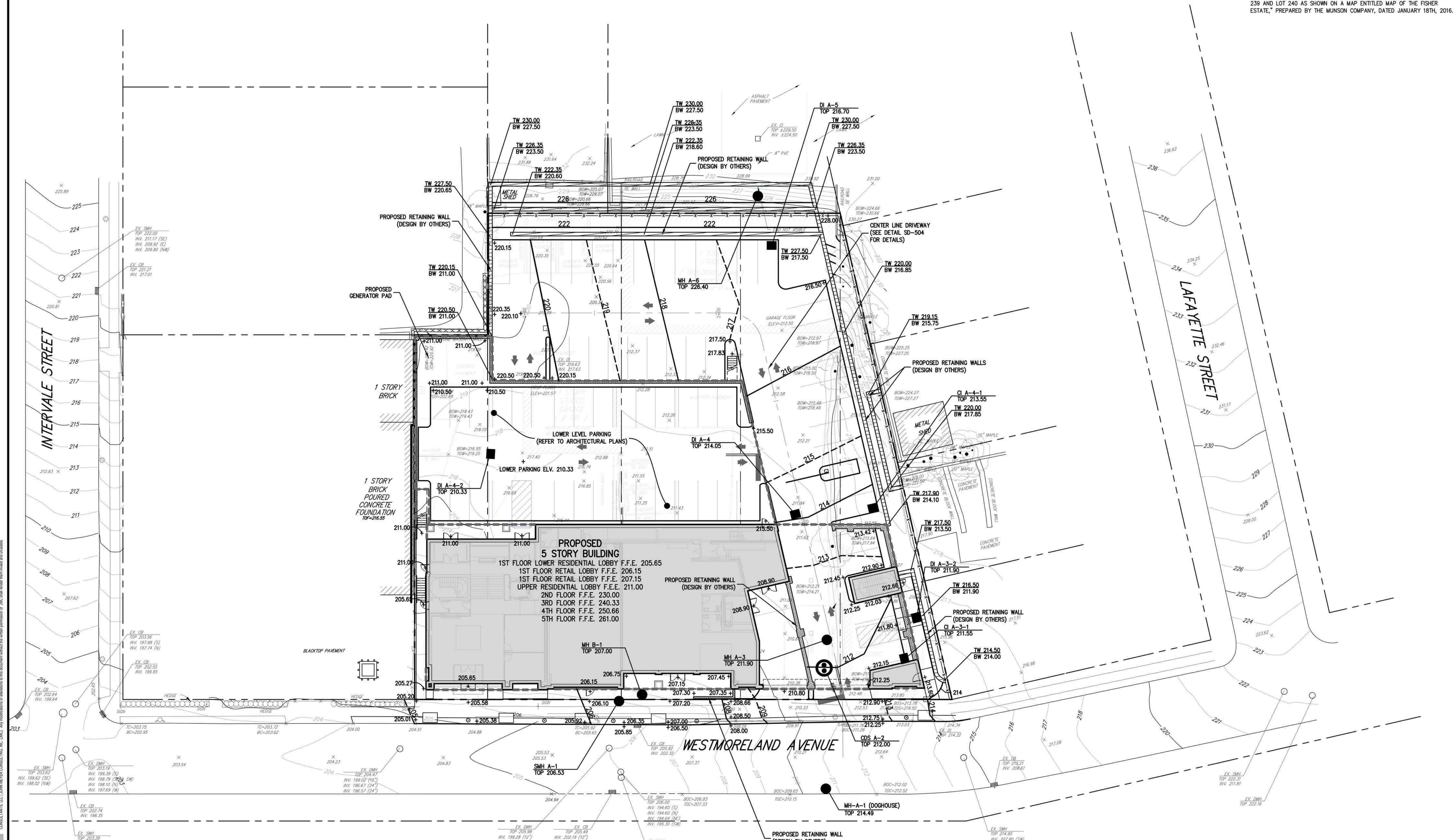
Owner/Developer:
136-158 WESTMORELAND, LLC
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186 Wood Avenue South, First Floor
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732 635-0044



NOTES:

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PORTIONS OF LOTS 237, 238 & 239 AND LOT 240 AS SHOWN ON A MAP ENTITLED MAP OF THE FISHER ESTATE," PREPARED BY THE MUNSON COMPANY, DATED JANUARY 18TH, 2016.

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED FINISHED GRADE
	PROPOSED SPOT GRADE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE CI DRAIN INLET
	PROPOSED TYPE DI DRAIN INLET
	PROPOSED TRENCH DRAIN
	PROPOSED WATER QUALITY STRUCTURE
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)

1.	ISSUED FOR FILING	05/12/2021
Rev. #	Revision Description	Date:

Project Description:
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136-158 WESTMORELAND AVE.
WHITE PLAINS, NY 10606

Owner/Developer:
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600 MAMARONECK AVENUE
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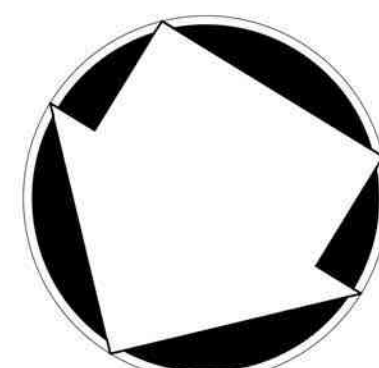
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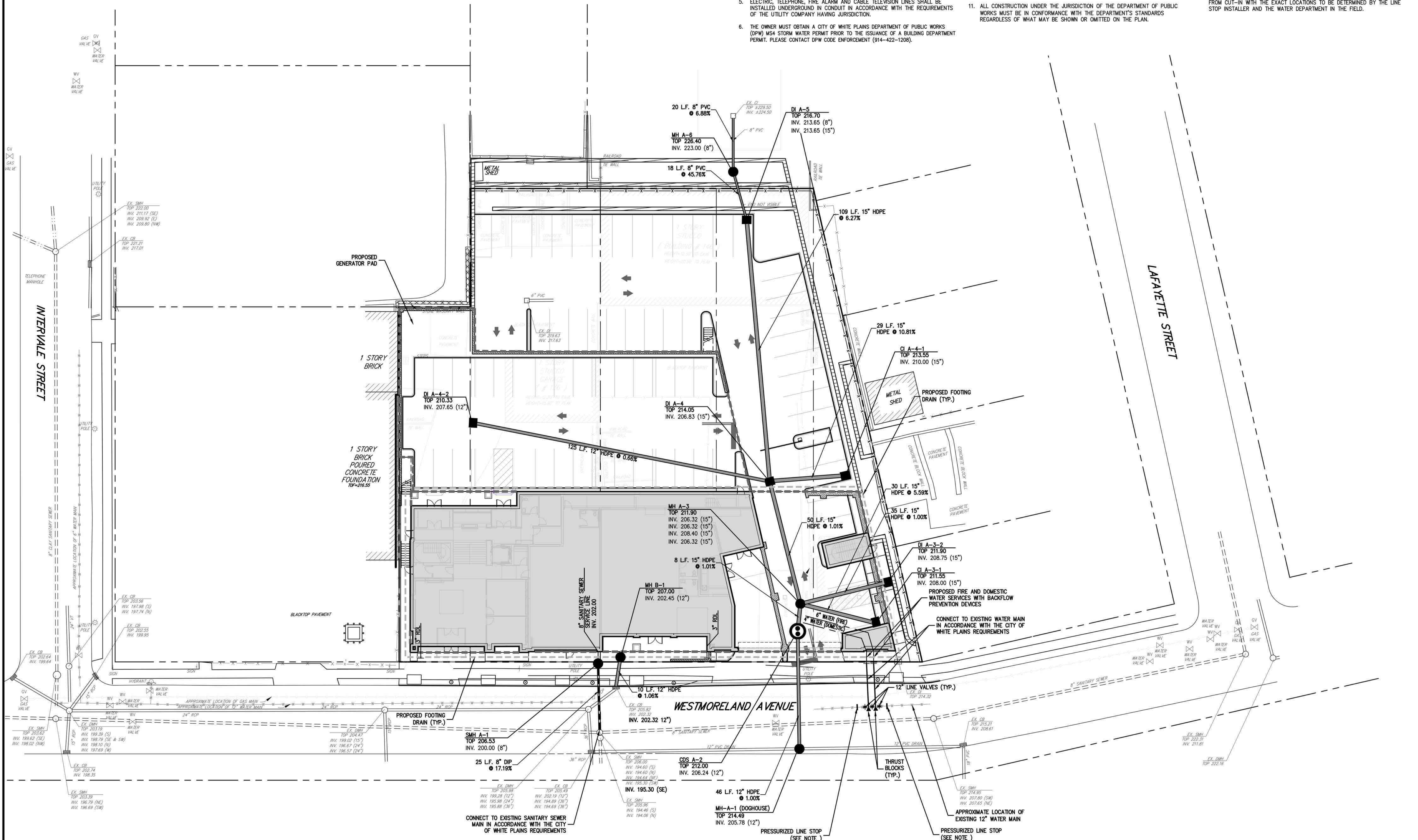
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Sheet Title:
SITE GRADING PLAN

Seal & Signature	Date: 07-18-2016
	Scale: 1" = 20'
	Job#: 21041
	Sheet Title: SD-102
	Sheet: # of #





NOTES:

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PORTIONS OF LOTS 237, 238 & 239 AND LOT 240 AS SHOWN ON A MAP ENTITLED MAP OF THE FISHER ESTATE," PREPARED BY THE MUNSON COMPANY, DATED JANUARY 18TH, 2016.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2648. JOINTS SHALL BE WATERTIGHT IN ACCORDANCE WITH ASTM D-3212.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE DOUBLE CEMENT LINED DUCTILE IRON PIPE (DIP), CLASS 56, WITH PUSH-ON JOINTS IN ACCORDANCE WITH AWWA C-150, C-151, C-104 AND C-111.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE (DIP), CLASS 56, WITH PUSH-ON JOINTS IN ACCORDANCE WITH AWWA C-150, C-151, C-104 AND C-111.
- ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
- THE OWNER MUST OBTAIN A CITY OF WHITE PLAINS DEPARTMENT OF PUBLIC WORKS (DPW) WS4 STORM WATER PERMIT PRIOR TO THE ISSUANCE OF A BUILDING DEPARTMENT PERMIT. PLEASE CONTACT DPW CODE ENFORCEMENT (914-422-1208).
- THE CONSTRUCTION OF ALL STORMWATER FACILITIES MUST BE UNDER THE SUPERVISION OF THE STORMWATER DESIGN ENGINEER OF RECORD, AND AN AS-BUILT MUST BE PROVIDED TO THE DEPARTMENT OF PUBLIC WORKS, SIGNED AND SEALED BY THIS ENGINEER, OR BY NEW YORK STATE LICENSED LAND SURVEYOR.
- ANY EXISTING SANITARY SEWERS, DRAINS AND WATER SERVICES TO BE DEMOLISHED MUST BE ABANDONED AT THE MAIN INCLUDING ALL ASSOCIATED RESTORATION WORK, AS DIRECTED BY DPW. SERVICE LOCATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO THE START OF CONSTRUCTION OR EXCAVATION, THE CONTRACTOR SHALL DIG TEST PITS TO VERIFY THE LOCATION OF EXISTING UTILITIES. IF ANY DISCREPANCIES EXIST OR PROBLEMS ARISE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE SITE ENGINEER AND THE OWNERS FIELD REPRESENTATIVE IN WRITING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING INFRASTRUCTURE CAUSED BY CONSTRUCTION OR EXCAVATION.
- UTILITIES LINES LOCATED WITHIN THE ROW MUST BE MAINTAINED AND PROTECTED DURING CONSTRUCTION AND AS DIRECTED BY DPW.
- ALL CONSTRUCTION UNDER THE JURISDICTION OF THE DEPARTMENT OF PUBLIC WORKS MUST BE IN CONFORMANCE WITH THE DEPARTMENT'S STANDARDS REGARDLESS OF WHAT MAY BE SHOWN OR OMITTED ON THE PLAN.
- UPON COMPLETION OF THE PROPOSED DEVELOPMENT, AN AS-BUILT DRAWING, SIGNED AND SEALED BY THE ENGINEER OF RECORDS, MUST BE SUBMITTED DETAILING ALL UTILITIES, INCLUDING THE DRAINAGE SYSTEM AS INSTALLED AND ALL SITE DRAINAGE FEATURES, PRIOR TO THE ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.
- LOW PRESSURE AIR TESTS FOR DIP SANITARY SEWER PIPING SHALL CONFORM TO ASTM F-1417 AND VACUUM TESTING OF SANITARY SEWER MANHOLES MUST CONFORM TO ASTM C-1244.
- WDOH MUST BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO ANY LEAKAGE TESTS.
- LIGHTING CONDUIT AND JUNCTION BOX LOCATIONS AND CONNECTIONS FOR THE STREET LIGHTING SHALL BE COORDINATED WITH CONSOLIDATED EDISON.
- THE PRESSURIZED LINE STOPS REQUIRED FOR THE INSTALLATION OF THE PROPOSED WATER SERVICES AND VALVES MUST BE APPROXIMATELY 40 FEET FROM CUT-IN WITH THE EXACT LOCATIONS TO BE DETERMINED BY THE LINE STOP INSTALLER AND THE WATER DEPARTMENT IN THE FIELD.

LEGEND

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING RETAINING WALL
	EXISTING FENCE
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY SEWER LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE CI DRAIN INLET
	PROPOSED TYPE DI DRAIN INLET
	PROPOSED WATER QUALITY STRUCTURE
	PROPOSED STORM DRAIN LINE & SIZE
	PROPOSED SANITARY SEWER LINE & SIZE
	PROPOSED WATER LINE & SIZE
	PROPOSED GAS LINE
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED FOOTING DRAIN LINE

1. ISSUED FOR FILING 05/12/2021

Rev. # Revision Description Date:

Project Description:

PROPOSED MIXED USE BUILDING:
WESTMORELAND LOFTS
136-158 WESTMORELAND AVE.
WHITE PLAINS, NY 10606

Owner/Developer:
WESTMORELAND LOFTS, LLC
600 MAMARONECK AVENUE
HARRISON, NY 10528

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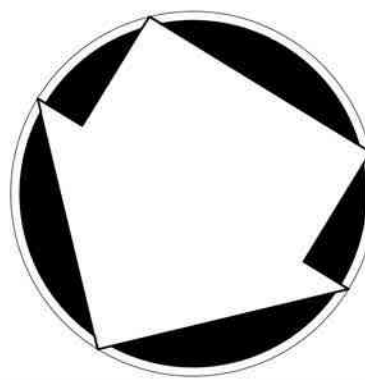
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914 273 5225

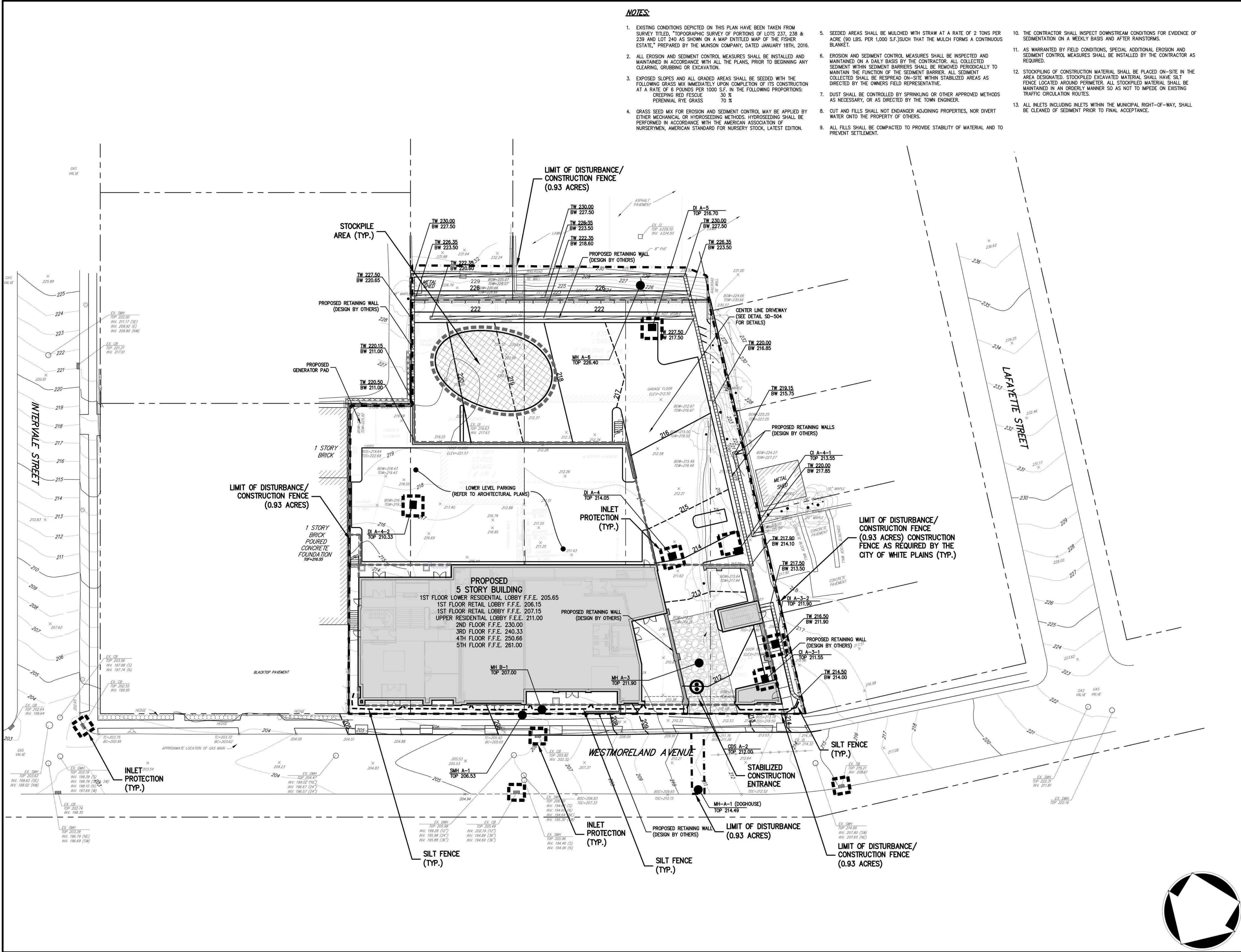
McLaren Engineering Group
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212 324-6300

Khachatryan Engineering Associates
Mechanical/Electrical/Plumbing Engineers
186 Wood Avenue South, First Floor
Iselin, NJ 08830
732 635-0044

Sheet Title:
SITE UTILITIES PLAN

Seal & Signature	Date: 07-18-2016
	Scale: 1" = 20'
	Job#: 21041
	Sheet Title: SD-103
	Sheet: - of -





NOTES:

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY OF PORTIONS OF LOTS 237, 238 & 239 AND LOT 240 AS SHOWN ON A MAP ENTITLED MAP OF THE FISHER ESTATE," PREPARED BY THE MUNSON COMPANY, DATED JANUARY 18TH, 2016.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL THE PLANS, PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION.
- EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDED WITH THE FOLLOWING GRASS MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION AT A RATE OF 8 POUNDS PER 1000 S.F. IN THE FOLLOWING PROPORTIONS:
CREeping RED FESQUE 30 %
PERENNIAL RYE GRASS 70 %
- GRASS SEED MIX FOR EROSION AND SEDIMENT CONTROL MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
- SEEDED AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 LBS. PER 1,000 S.F.) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIER. ALL SEDIMENT COLLECTED SHALL BE RESPAID ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNERS FIELD REPRESENTATIVE.
- DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE TOWN ENGINEER.
- CUT AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.
- ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
- THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
- AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED.
- STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED. STOCKPILED EXCAVATED MATERIAL SHALL HAVE SILT FENCE LOCATED AROUND PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPEDE ON EXISTING TRAFFIC CIRCULATION ROUTES.
- ALL INLETS INCLUDING INLETS WITHIN THE MUNICIPAL RIGHT-OF-WAY, SHALL BE CLEANED OF SEDIMENT PRIOR TO FINAL ACCEPTANCE.

LEGEND

- PROPOSED INLET PROTECTION
- PROPOSED LIMIT OF DISTURBANCE/ CONSTRUCTION FENCE
- PROPOSED SILT FENCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- TEMPORARY STOCKPILE AREA

1.	ISSUED FOR FILING	05/12/2021
Rev. #	Revision Description	Date:

Project Description:
PROPOSED MIXED USE BUILDING:
WESTMORELAND LOFTS
136-158 WESTMORELAND AVE.
WHITE PLAINS, NY 10606

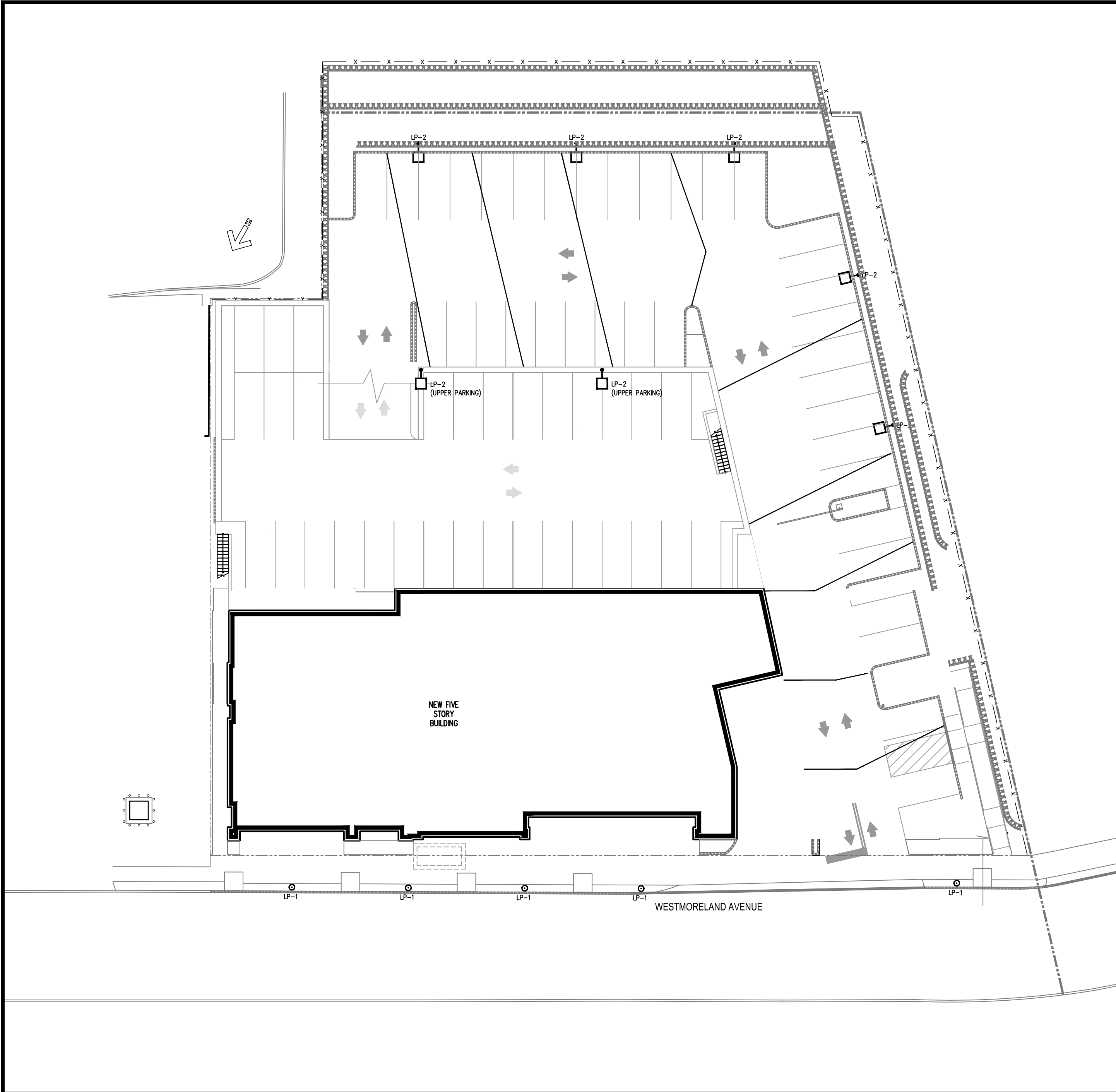
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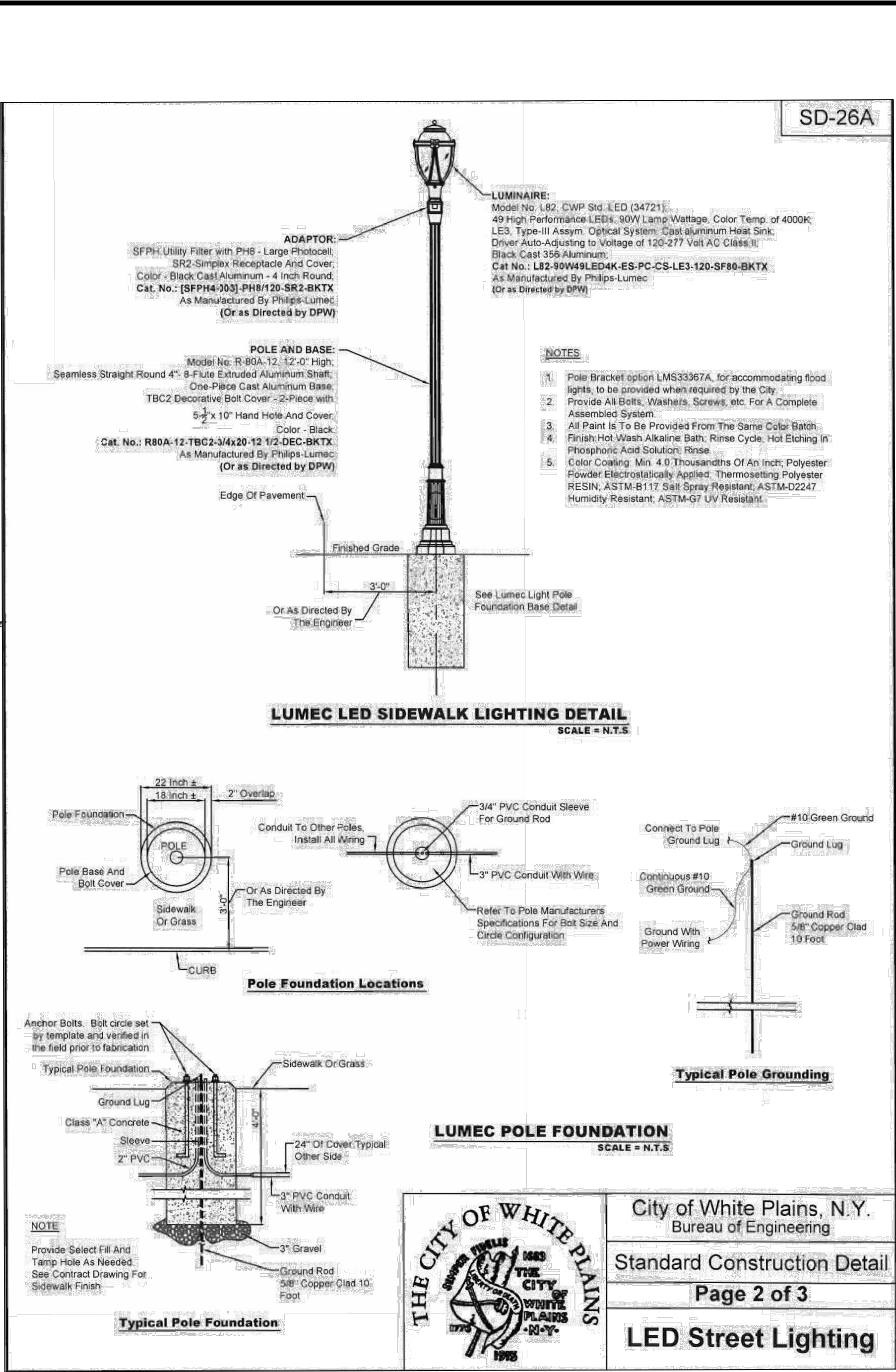
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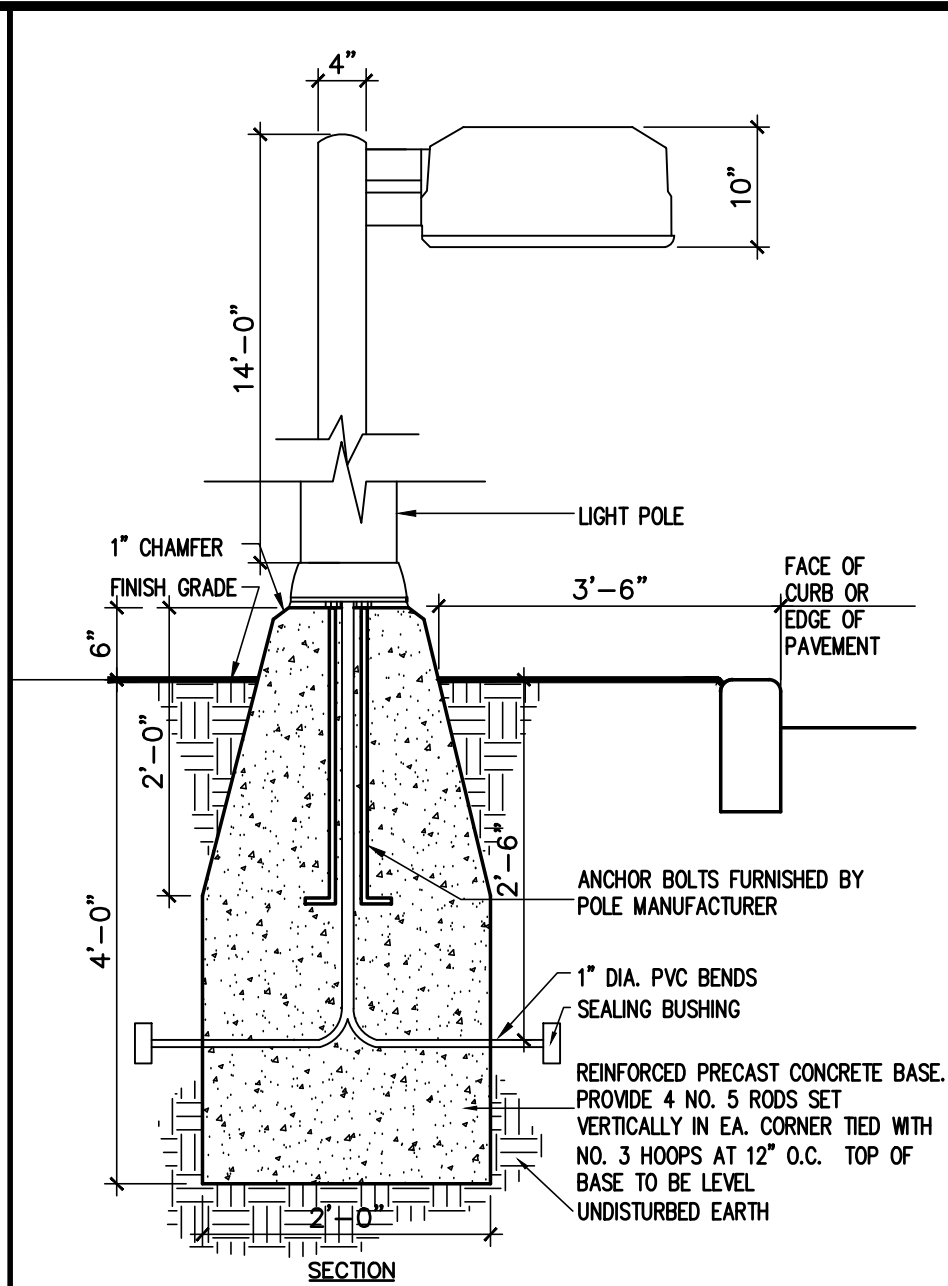
Sheet Title:	SITE SEDIMENT AND EROSION CONTROL PLAN	
Seal & Signature	Date:	07-18-2016
	Scale:	1" = 20'
	Job#:	21041
	Sheet Title:	SD-104
	Sheet:	- of -



1 SITE LIGHTING PLAN
1"=20'-0"



2 STREET LIGHTING DETAIL (LP-1)
1/4"= 1'-0"



3 ON-SITE LIGHTING DETAIL (LP-2)
3/4"= 1'-0"

Rev. #	Revision	Description	Date:
2	ISSUED FOR RE-BID		03/22/2022
2	ISSUED FOR BID		04/02/2021
1	ISSUED FOR SITE PLAN SUBMISSION		10-19-2016

Project Description:
PROPOSED MIXED USE BUILDING:
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WHITE PLAINS, NY 10606

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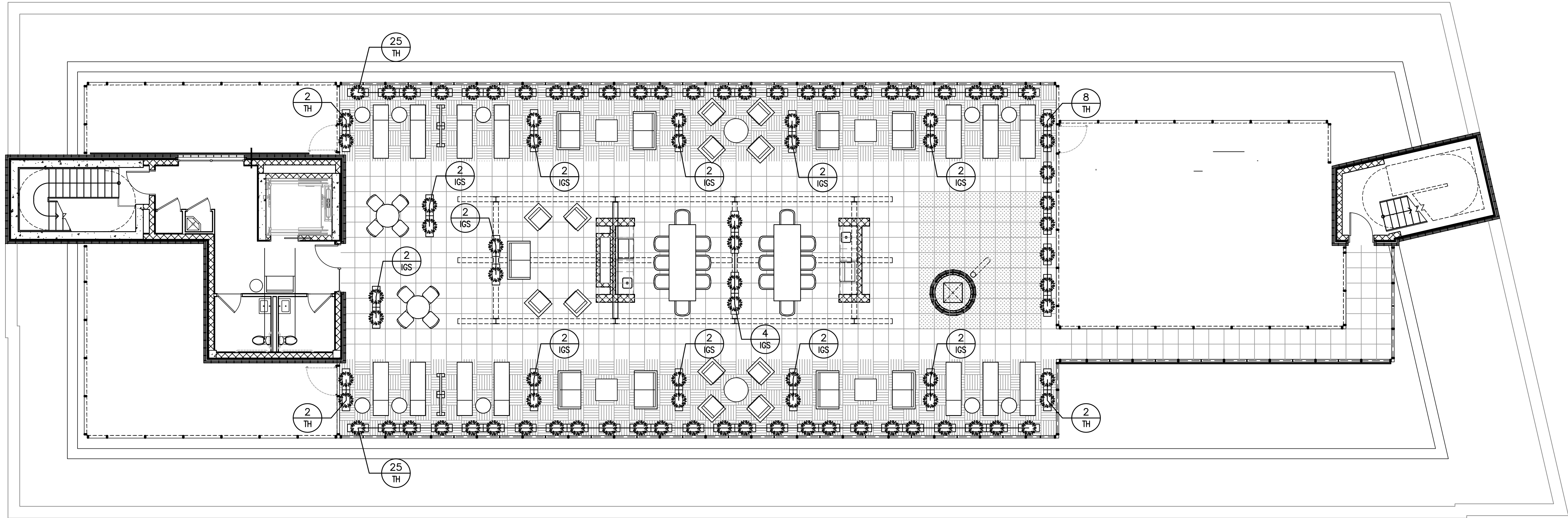
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186 Wood Avenue South, First Floor
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Sheet Title:
SITE LIGHTING PLAN

Seal & Signature	Date:	07-18-2016
	Scale:	AS NOTED
	Job#:	2011
	Sheet Title:	SD-105
	Sheet:	- of -



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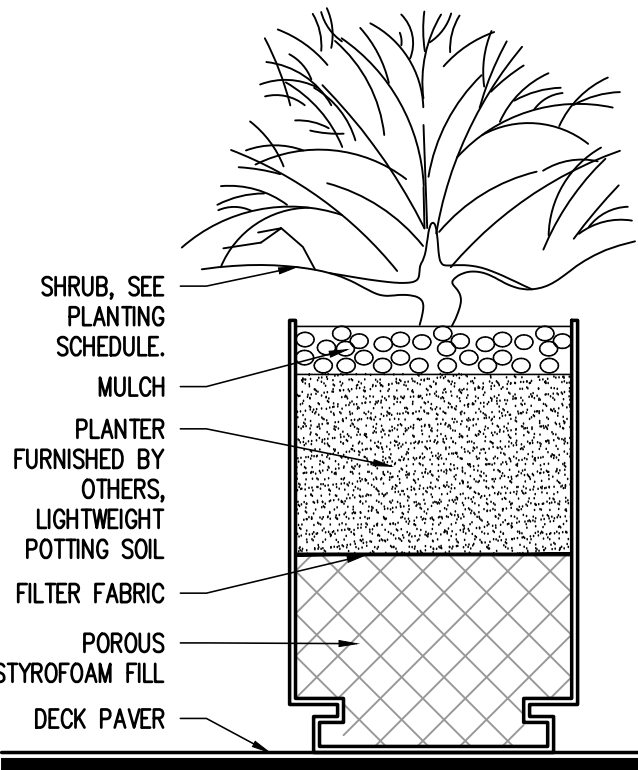
LANDSCAPING LEGEND:

- PROPOSED DECIDUOUS. SEE DET. 2 ON DWG. SD-107. SEE PLANTING SCHEDULE.
- PROPOSED EVERGREEN. SEE DET. 3 ON DWG. SD-107. SEE PLANTING SCHEDULE.
- PROPOSED SHRUB. SEE DET. 4 ON DWG. SD-107. SEE PLANTING SCHEDULE.
- PROPOSED ROOF DECK SHRUB. SEE DET. 2 ON DWG. SD-108. SEE PLANTING SCHEDULE.
- PROPOSED GROUND COVER.
-

PLANTING NOTES:

- PROTECT ALL EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION.
- USE EXTREME CAUTION TO PROTECT UTILITIES.
- IT IS INTENT OF THIS CONTRACT TO AVOID ANY DISTURBANCE TO EXISTING VEGETATION ON THE SITE OTHER THAN THOSE SPECIFICALLY DESIGNATED FOR REMOVAL. ADJUSTMENTS SHALL BE MADE IN THE FIELD AT THE DIRECTION OF THE ARCHITECT.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
- PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF TREES AND SHRUBS INDICATED, COMPLY WITH APPLICABLE REQUIREMENTS OF ANSI Z601.1 AMERICAN STANDARD FOR NURSERY STOCK.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF MECHANICAL EQUIPMENT AND UTILITIES EXISTING OR PROPOSED IN THE AREA TO BE PLANTED AND SHALL, WHERE NECESSARY, RELOCATE PLANTS AT THE DIRECTION OF THE ARCHITECT.
- QUANTITIES GIVEN IN THE PLANT LIST ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE LIST AND SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS REQUIRED TO COMPLETE THE PLANS.
- THE CONTRACTOR SHALL VERIFY ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- LOCATIONS OF NEW PLANTS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL PLANTS SHALL BE SUBJECT TO THE ARCHITECT'S INSPECTION AND APPROVAL.
- ALL BEDS AND TREE SAUCERS AND OTHER AREAS NOT INDICATED AS LAWN SHALL RECEIVE 3 INCH (MINIMUM) OF APPROVED MULCH (SHREDDED CEDAR).
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR FROM TIME OF ARCHITECT'S FINAL WRITTEN APPROVAL.
- CONTRACTOR TO COORDINATE PLANTING, SEEDING AND TREE WORK WITH OTHER TRADES.
- CONTRACTOR RESPONSIBLE FOR RESTORING ALL AREAS DISTURBED DUE TO PLANTING.

1 ROOF DECK LANDSCAPING PLAN
1/8" = 1'-0"



2 ROOF DECK PLANTER SECTION
1 1/2" = 1'-0"

Project Description:
PROPOSED MIXED USE BUILDING:
WESTMORELAND LOFTS
136-158 WESTMORELAND AVE.
WHITE PLAINS, NY 10606

Owner/Developer:
136-158 WESTMORELAND, LLC
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NEW YORK, NY 10035

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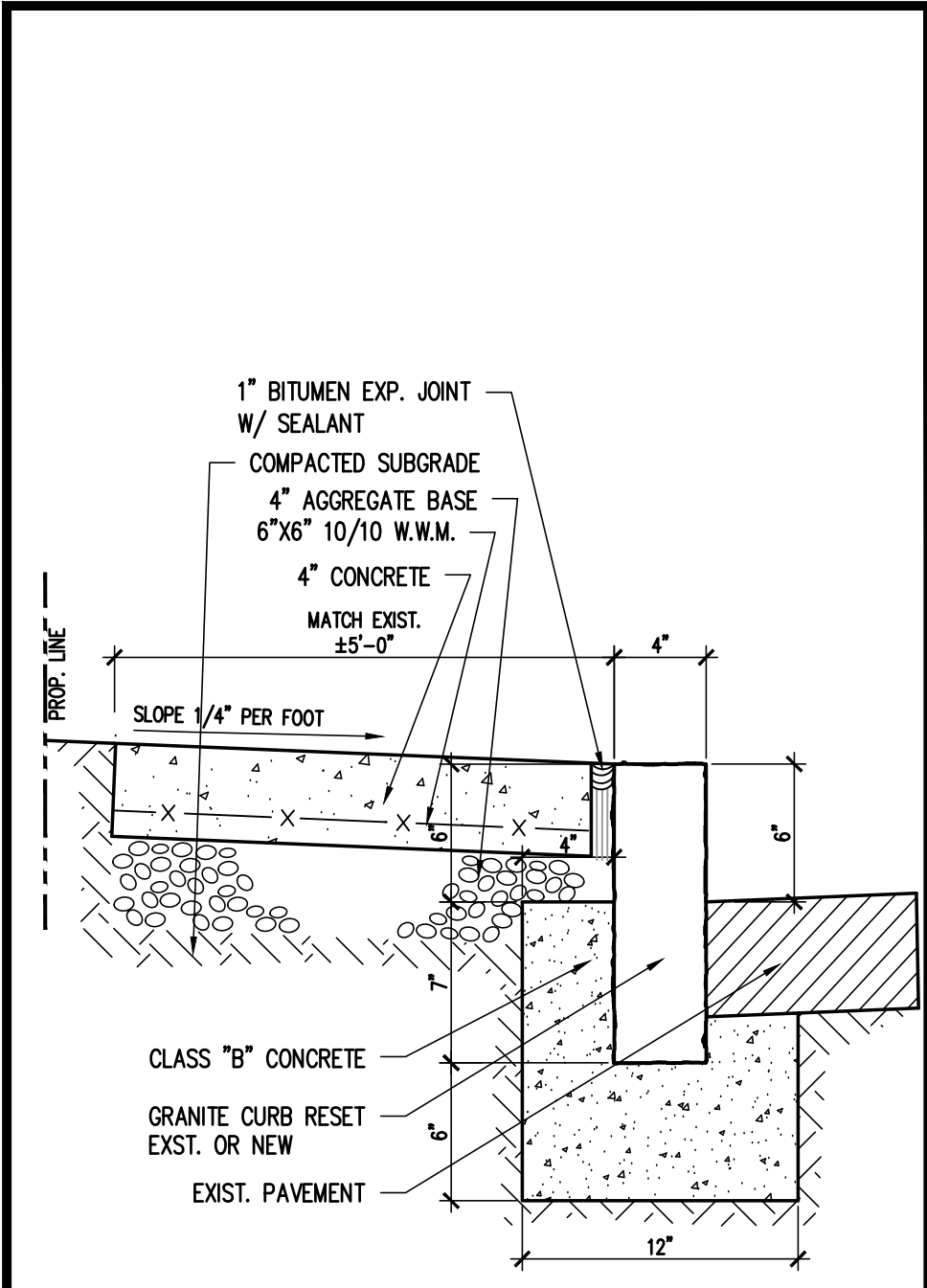
JMC Site Development Consultants
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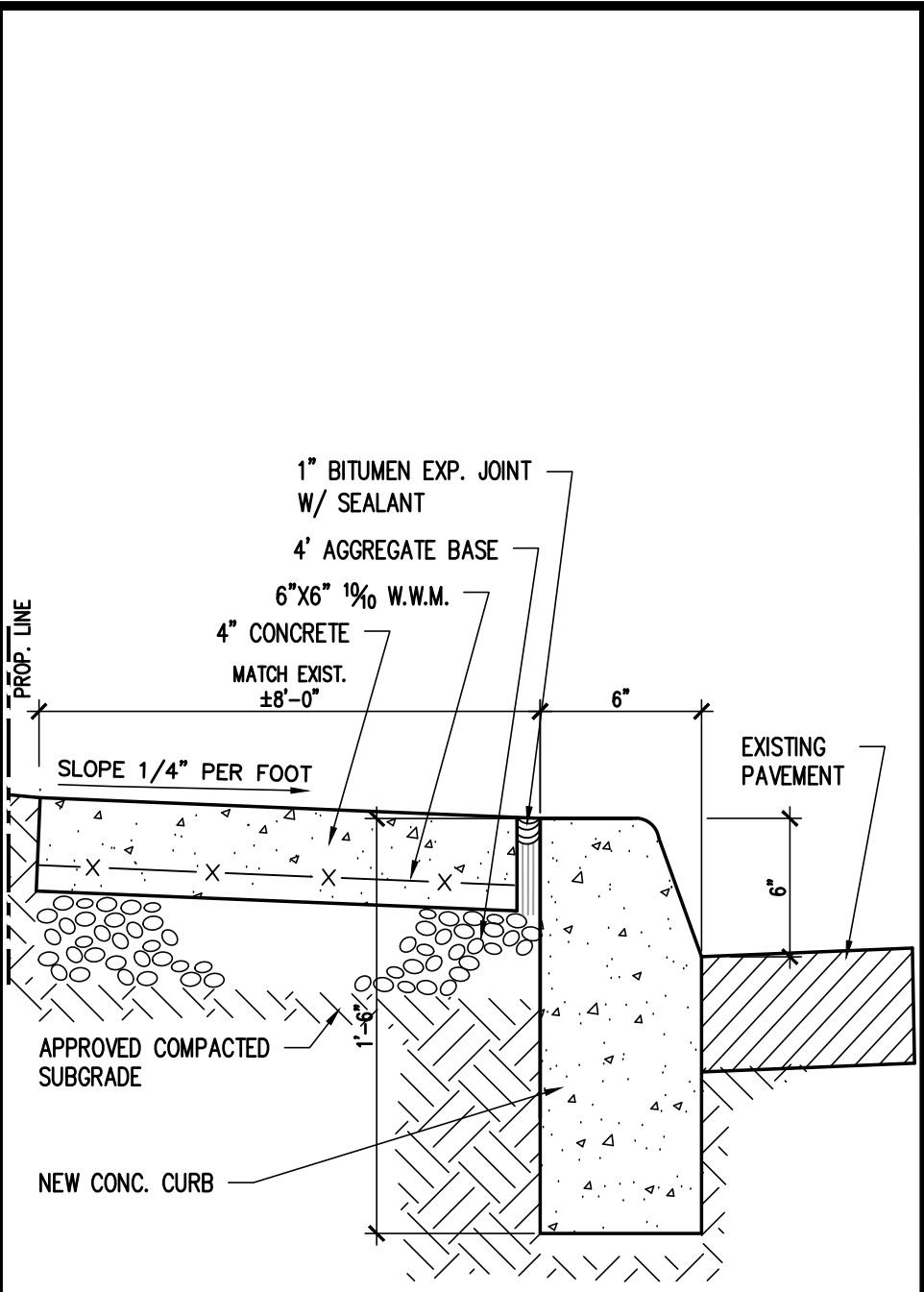
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Mechanical/Electrical/Plumbing Engineers
186 Wood Avenue South, First Floor
Iselin, NJ 08830
732 635-0044

Sheet Title:
ROOF DECK LANDSCAPING PLAN

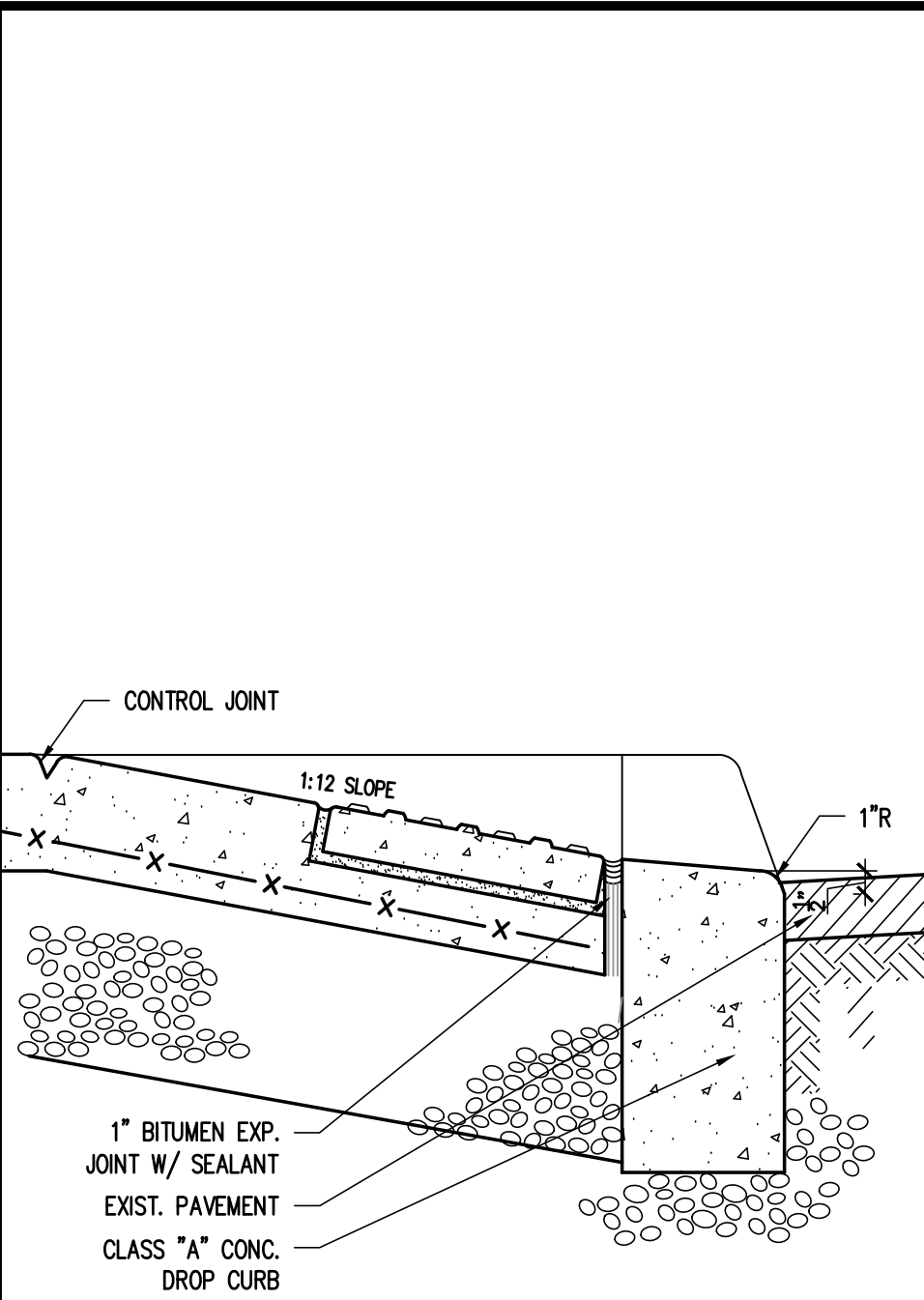
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	Scale: AS NOTED
	Job#: 2011
	Sheet Title: SD-108
	Sheet: - of -



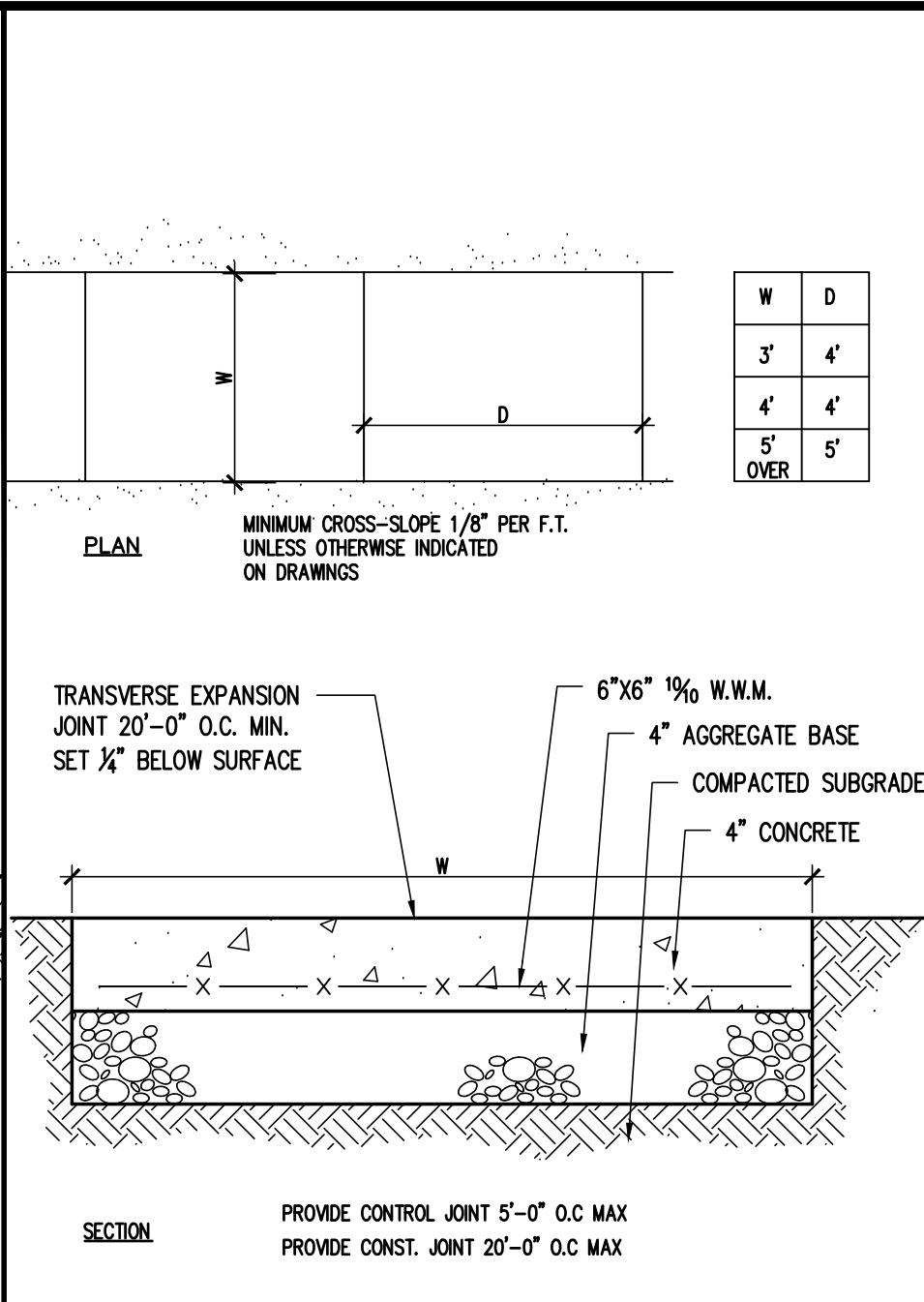
1 STONE CURB SECTION
1 1/2" = 1'-0"



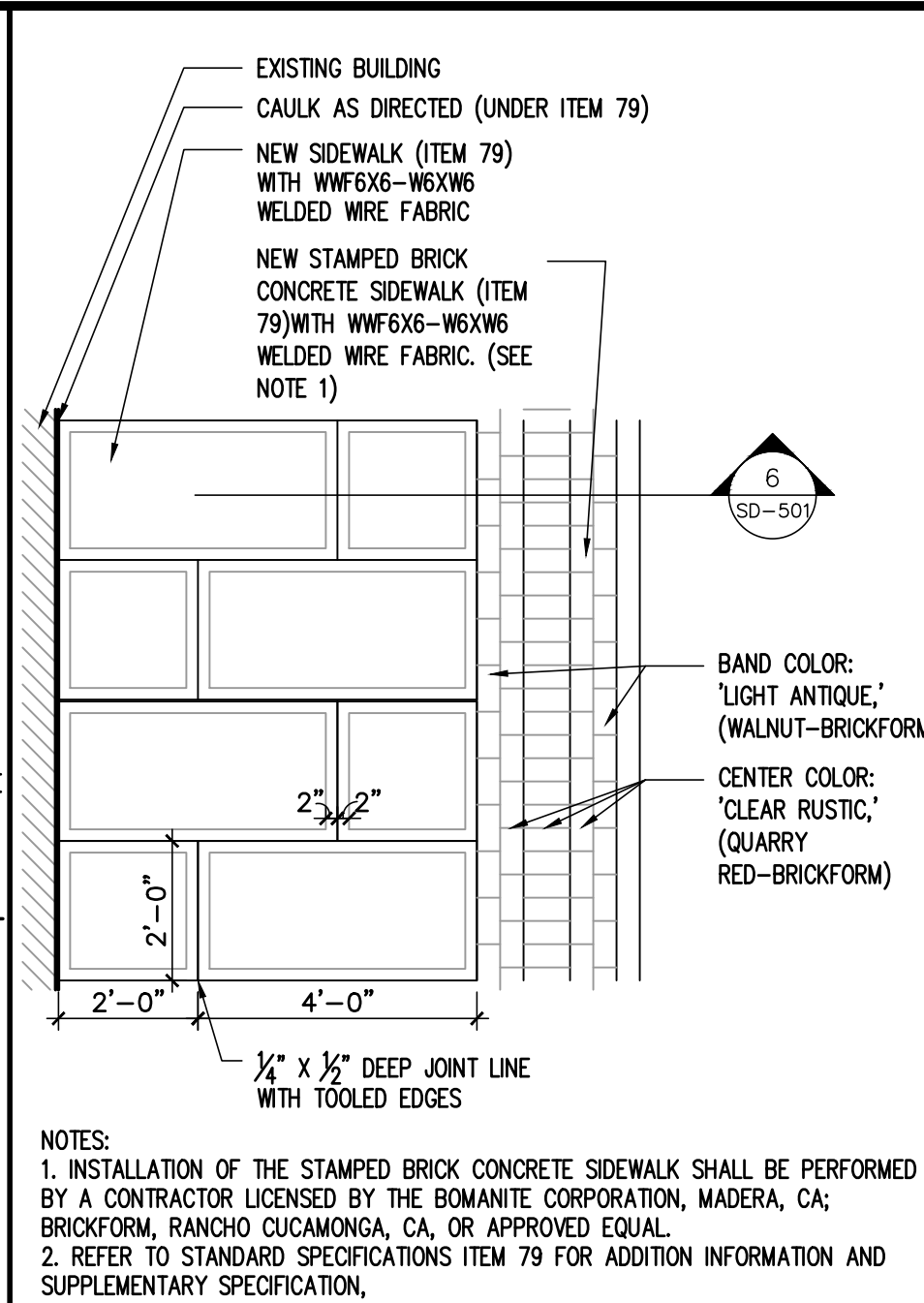
2 ON-SITE CONCRETE CURB AND SIDEWALK
1 1/2" = 1'-0"



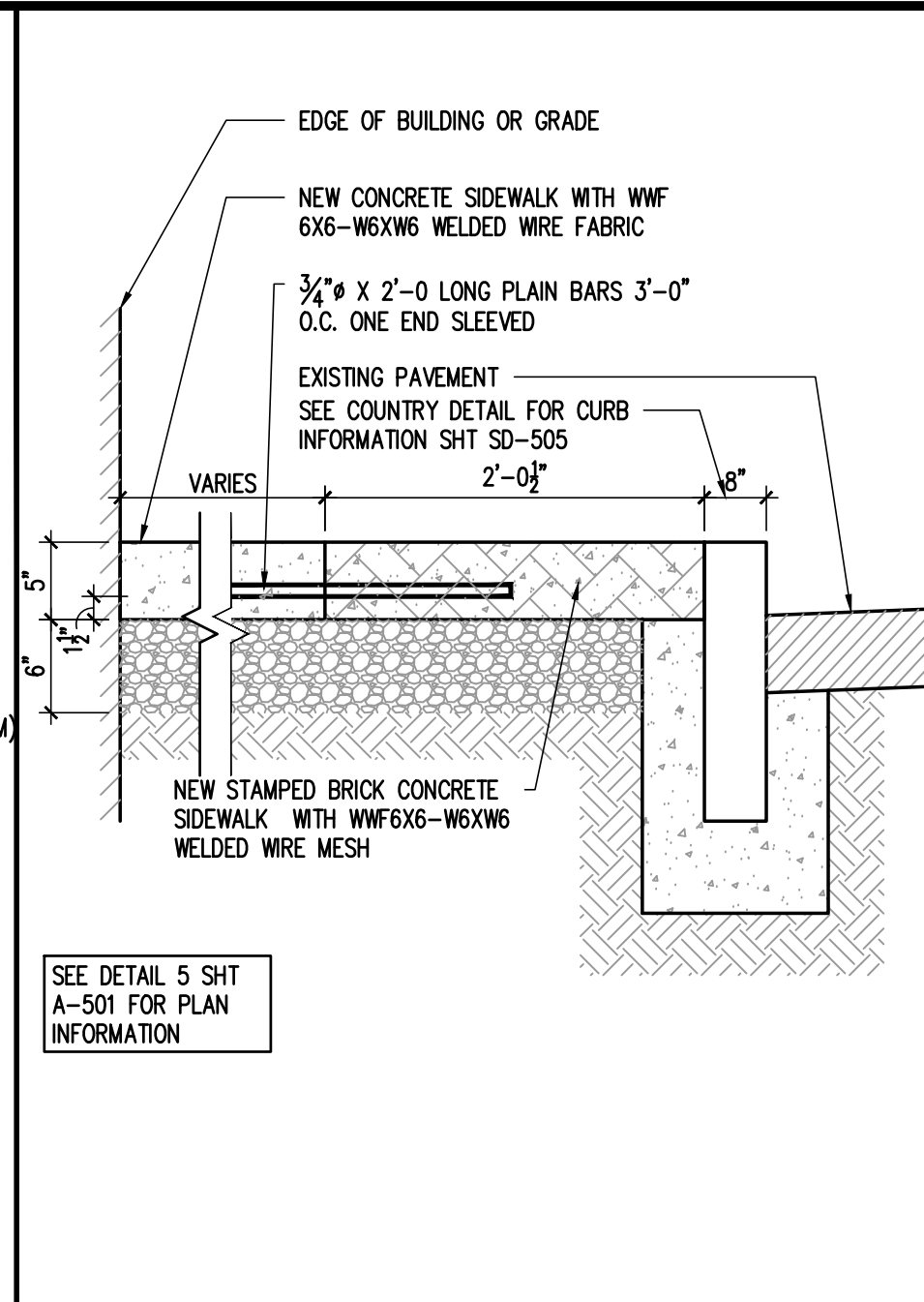
3 DEPRESSED CONCRETE CURB
1 1/2" = 1'-0"



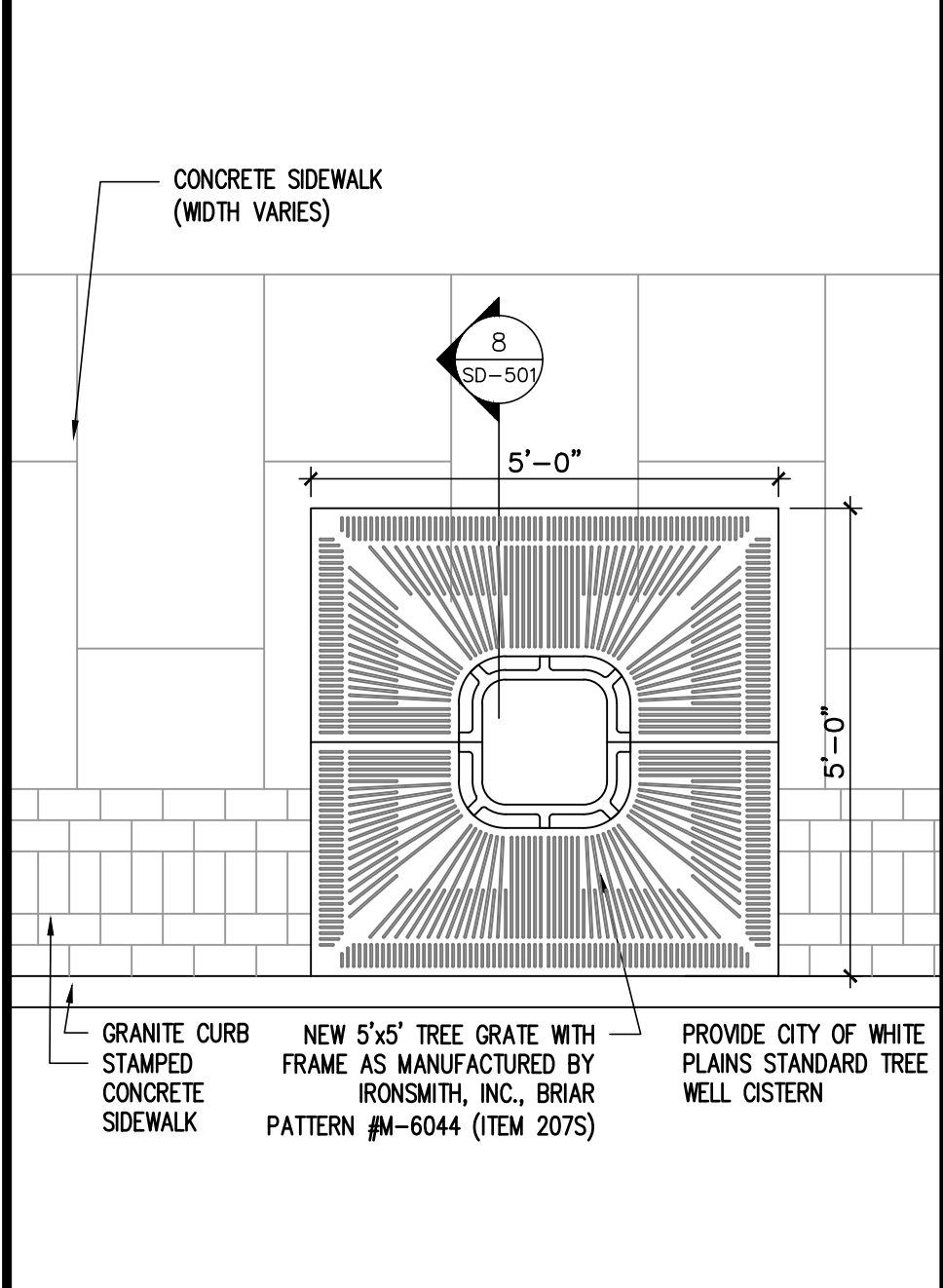
4 SIDEWALK DETAIL
1 1/2" = 1'-0"



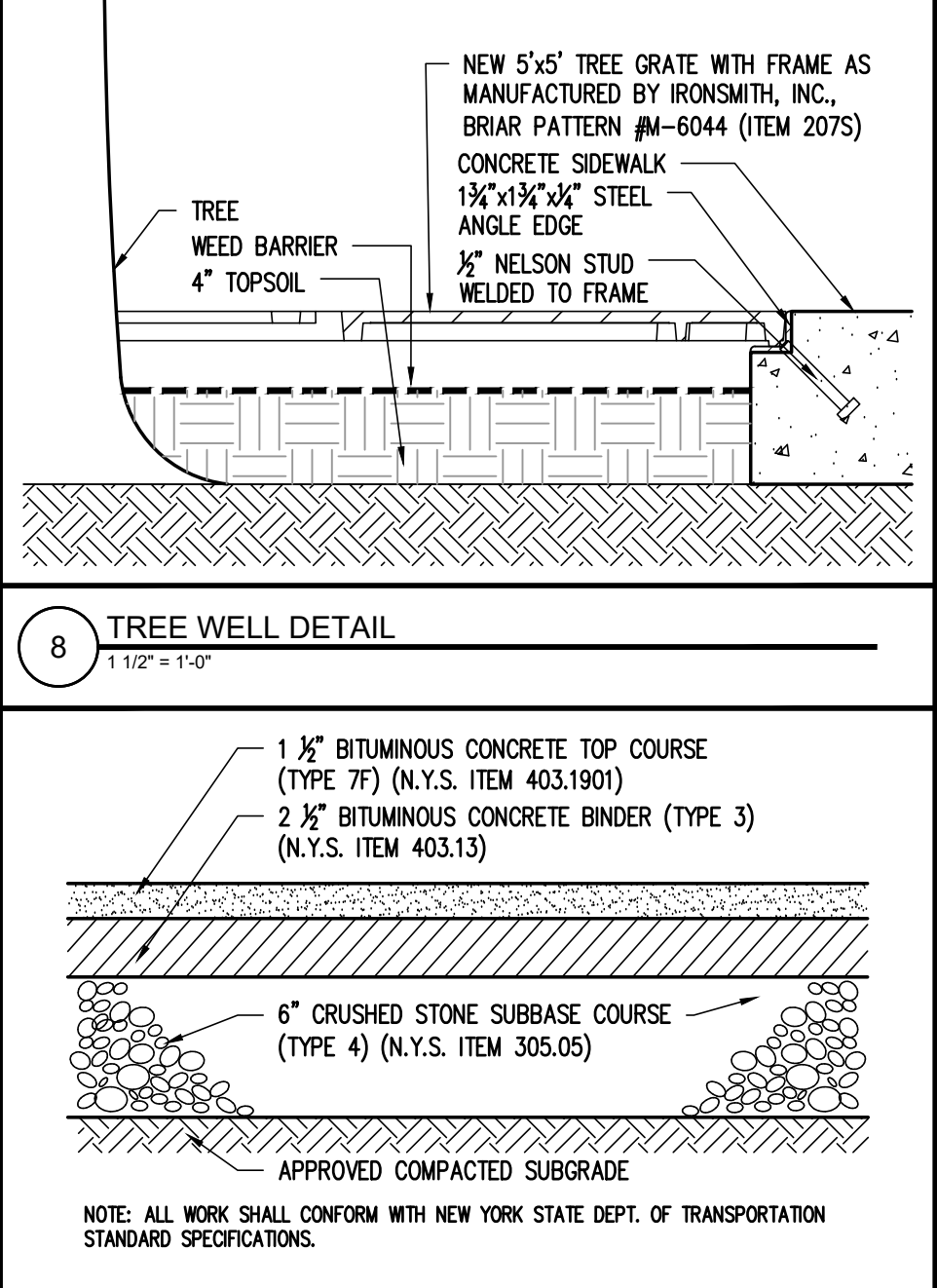
5 OFF-SITE SIDEWALK PLAN DETAIL
3/8" = 1'-0"



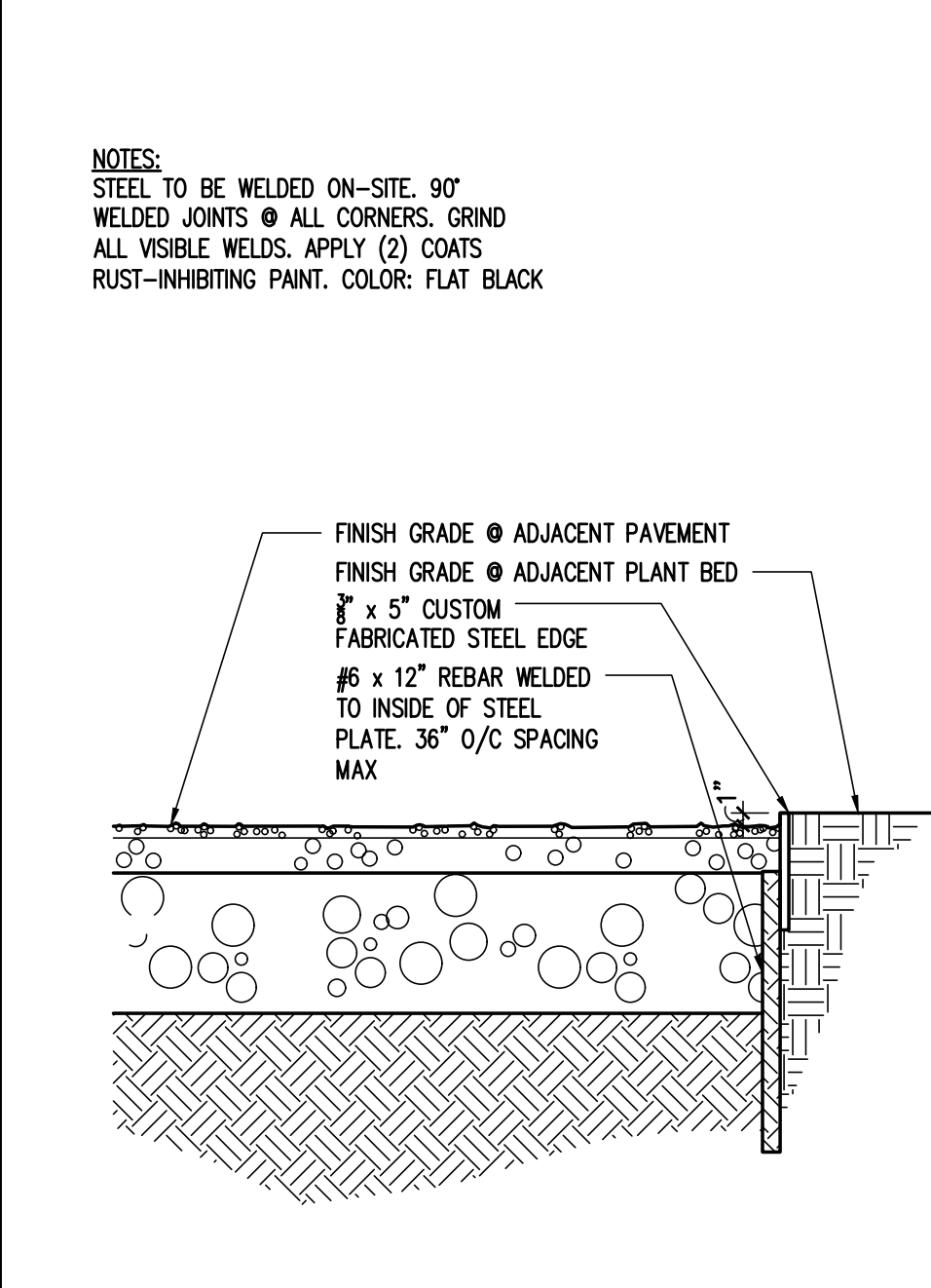
6 OFF-SITE SIDEWALK SECTION
1" = 1'-0"



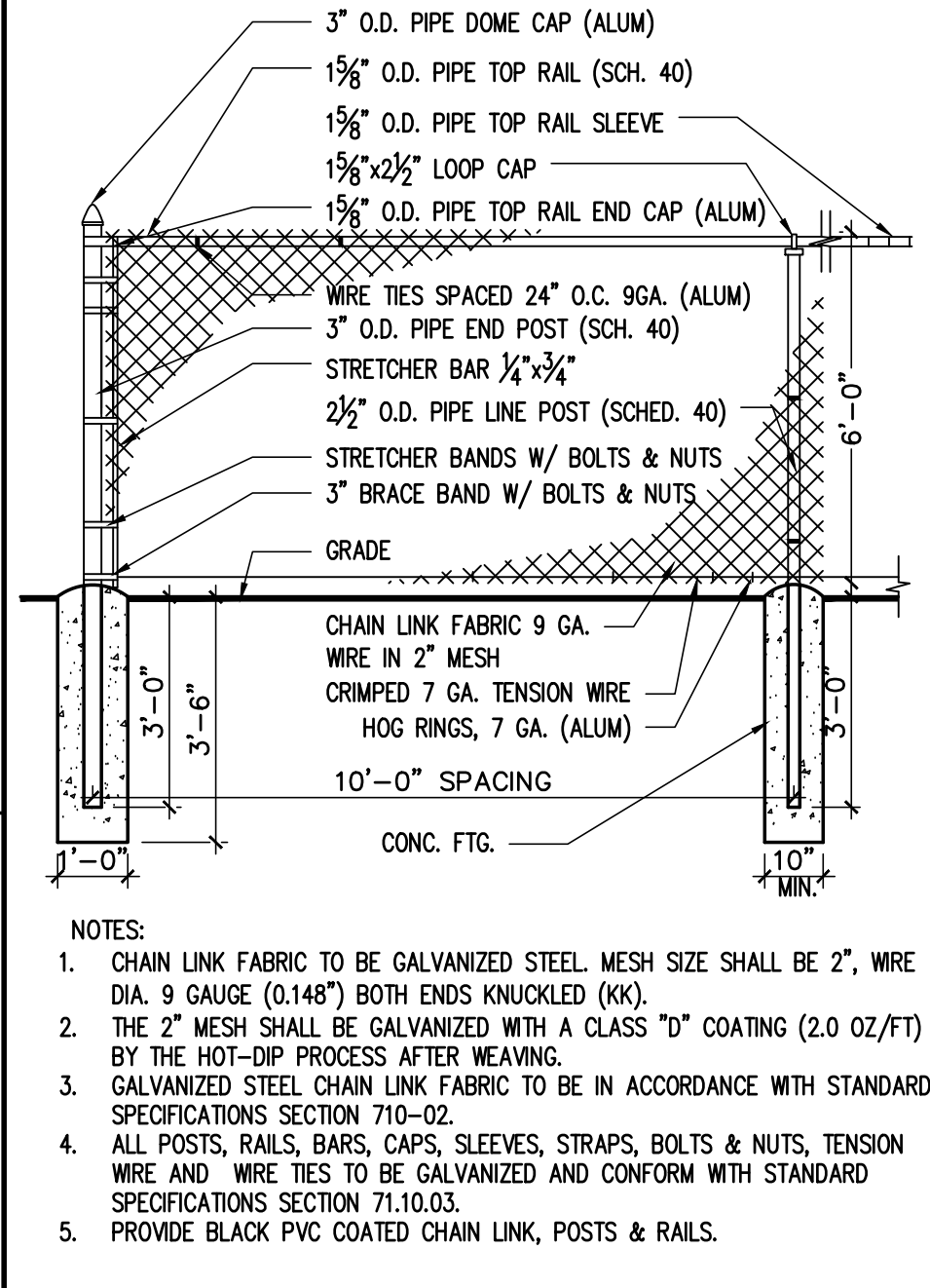
7 OFF-SITE SIDEWALK PLAN DETAIL AT TREE WELL
1/2" = 1'-0"



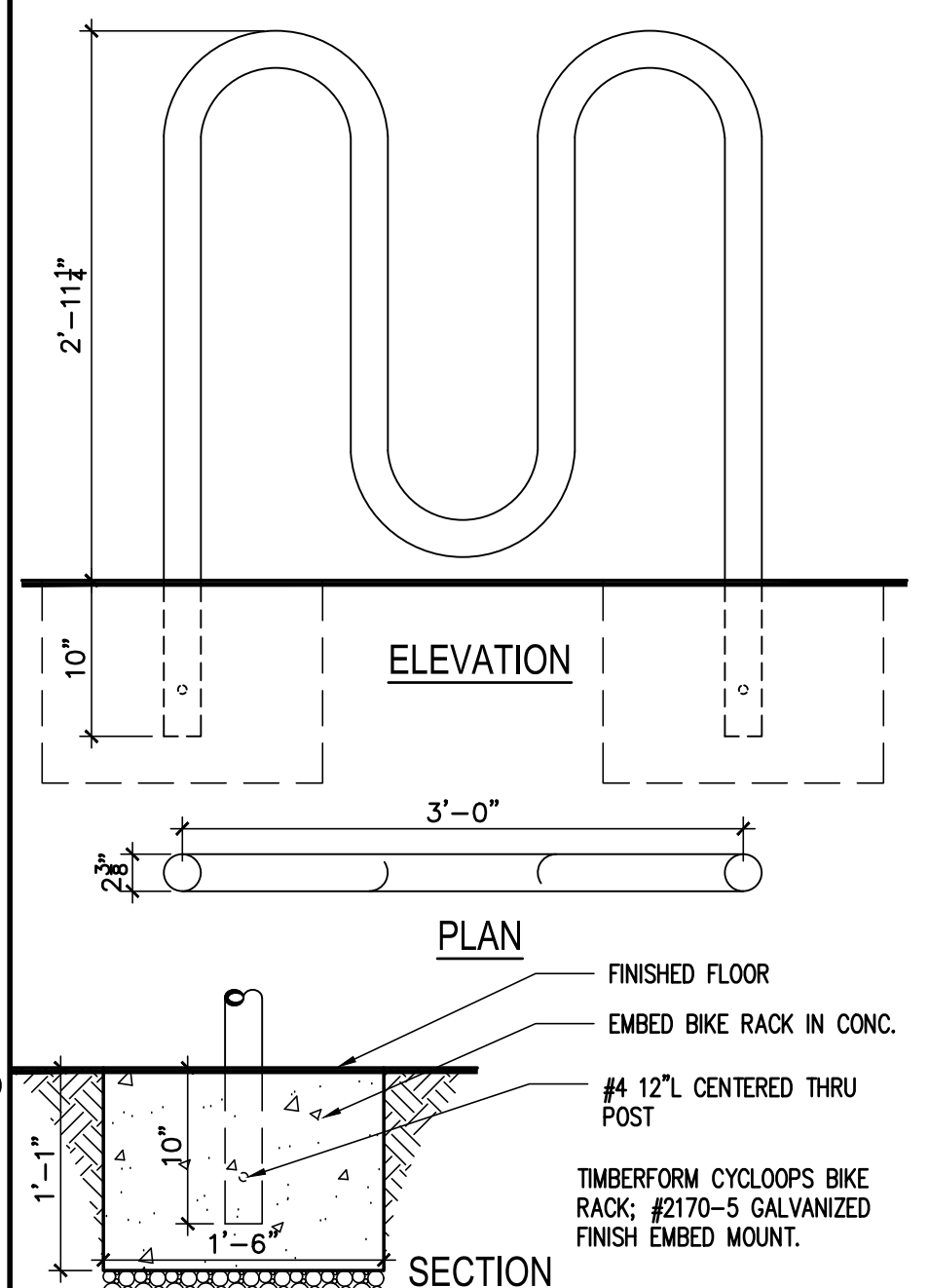
9 ON-SITE ASPHALT PAVING DETAIL
1 1/2" = 1'-0"



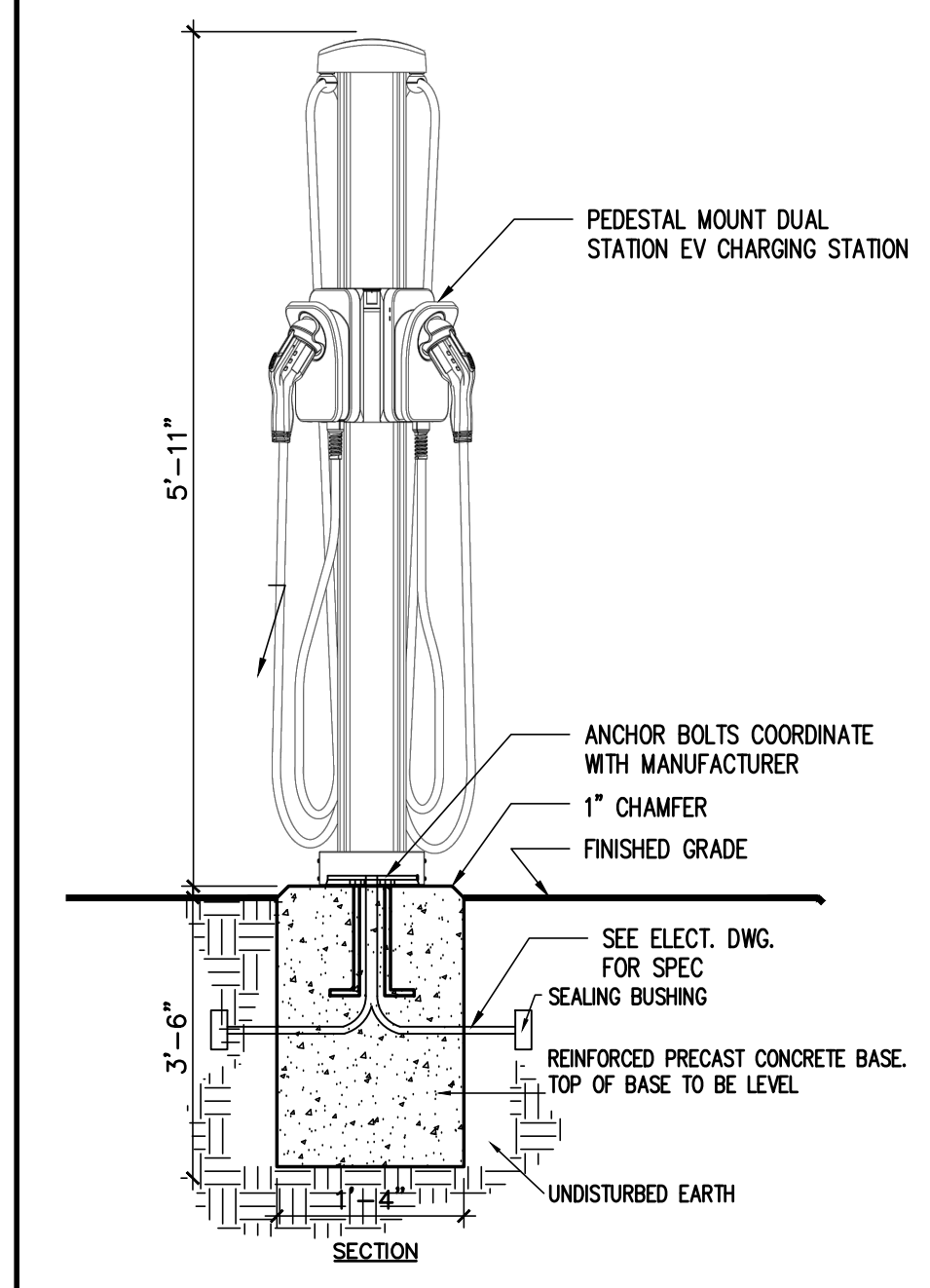
10 GRAVEL BED AND METAL EDGE DETAIL
3/4" = 1'-0"



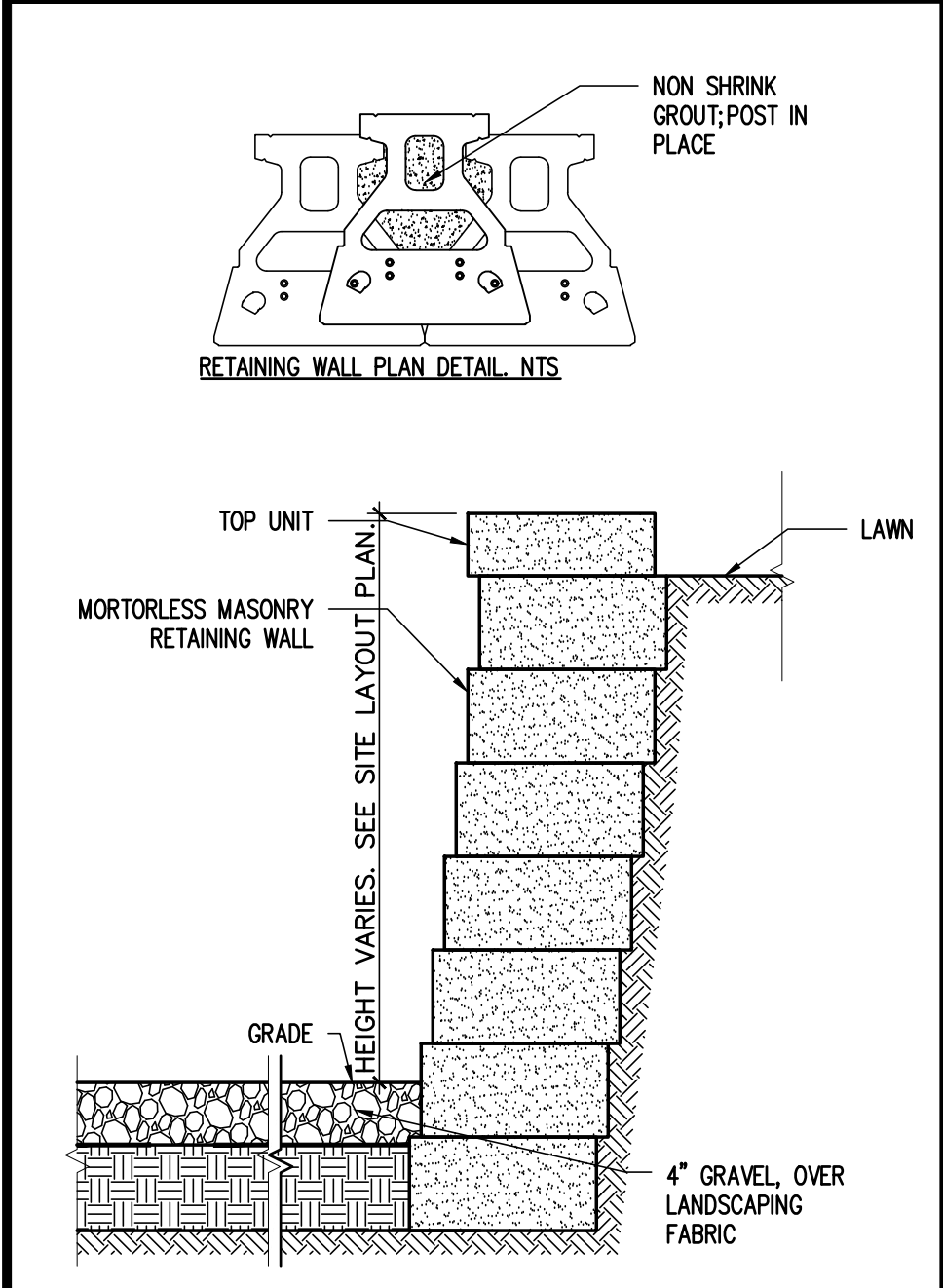
11 CHAIN LINK FENCE DETAIL
3/8" = 1'-0"



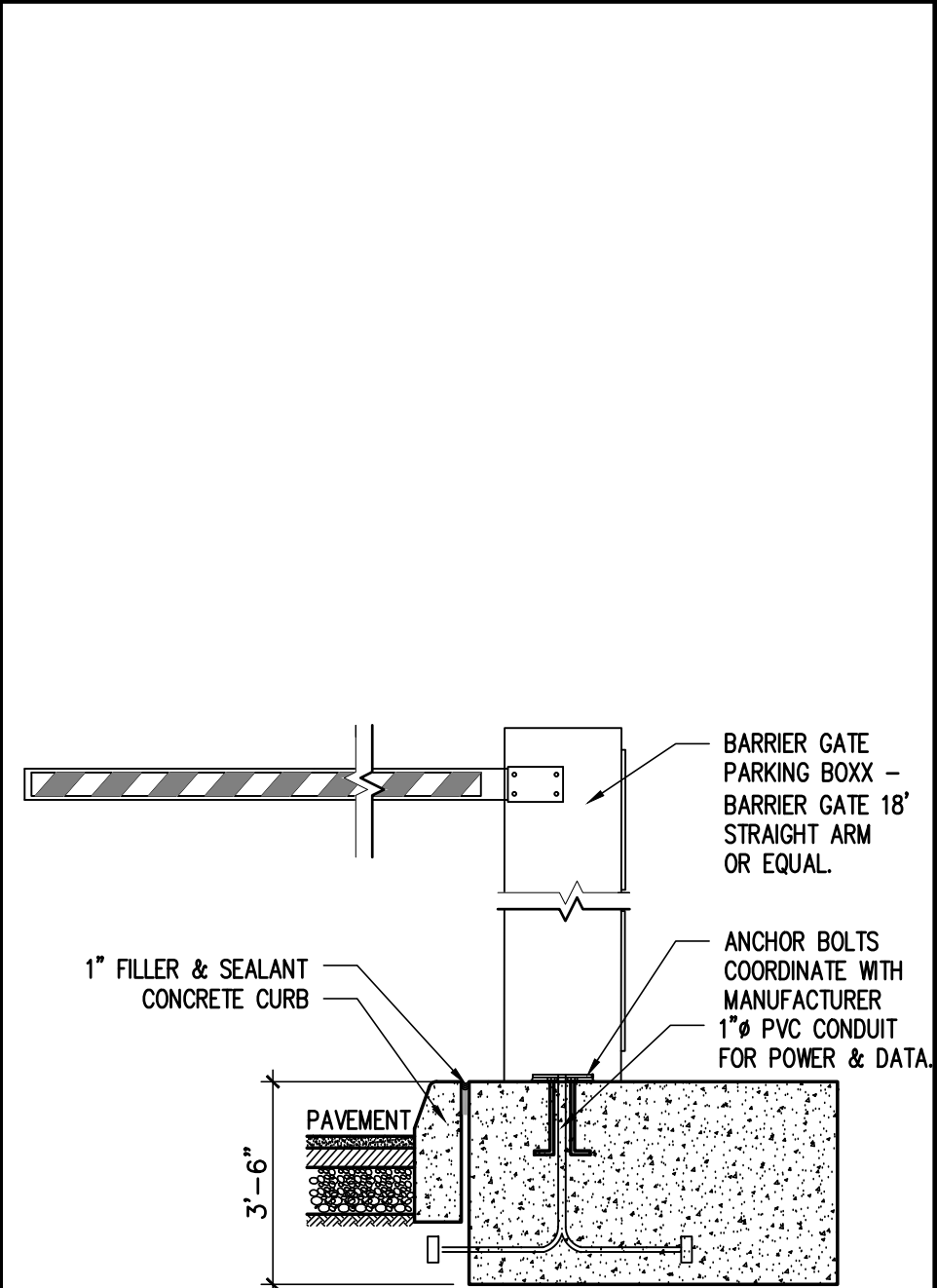
12 BIKE RACK DETAIL
1" = 1'-0"



13 EV CHARGING STATION DETAIL
3/4" = 1'-0"



14 MODULAR BLOCK RETAINING WALL DETAIL
1" = 1'-0"



15 BARRIER GATE DETAIL
1/2" = 1'-0"

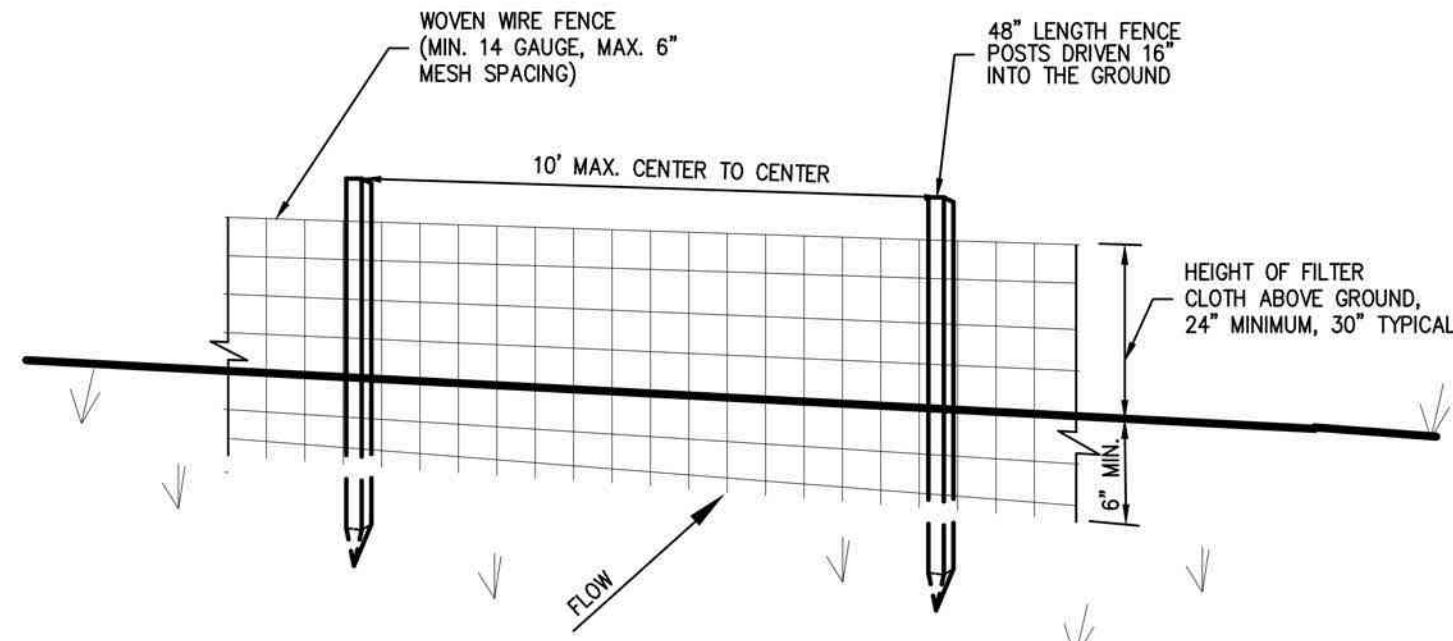
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2	ISSUED FOR BID	04/02/2021
1	ISSUED FOR SITE PLAN SUBMISSION	10-19-2016
Rev. #	Revision Description	Date:

Project Description:
PROPOSED MIXED USE BUILDING:
WESTMORELAND LOFTS
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WHITE PLAINS, NY 10606
Owner/Developer:
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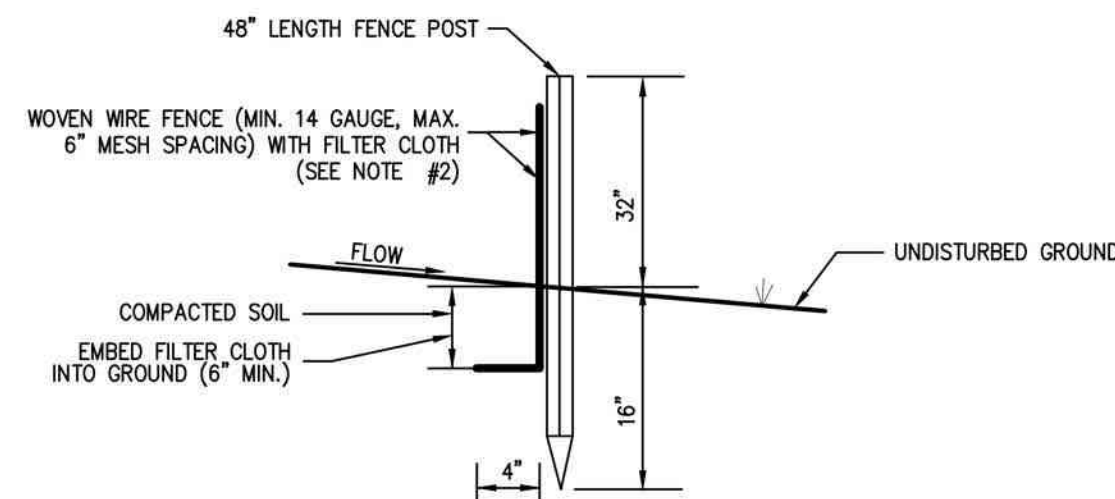
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Sheet Title:	SITE DETAILS
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	Scale: AS NOTED
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	Sheet Title: SD-501
	Sheet: -- of --



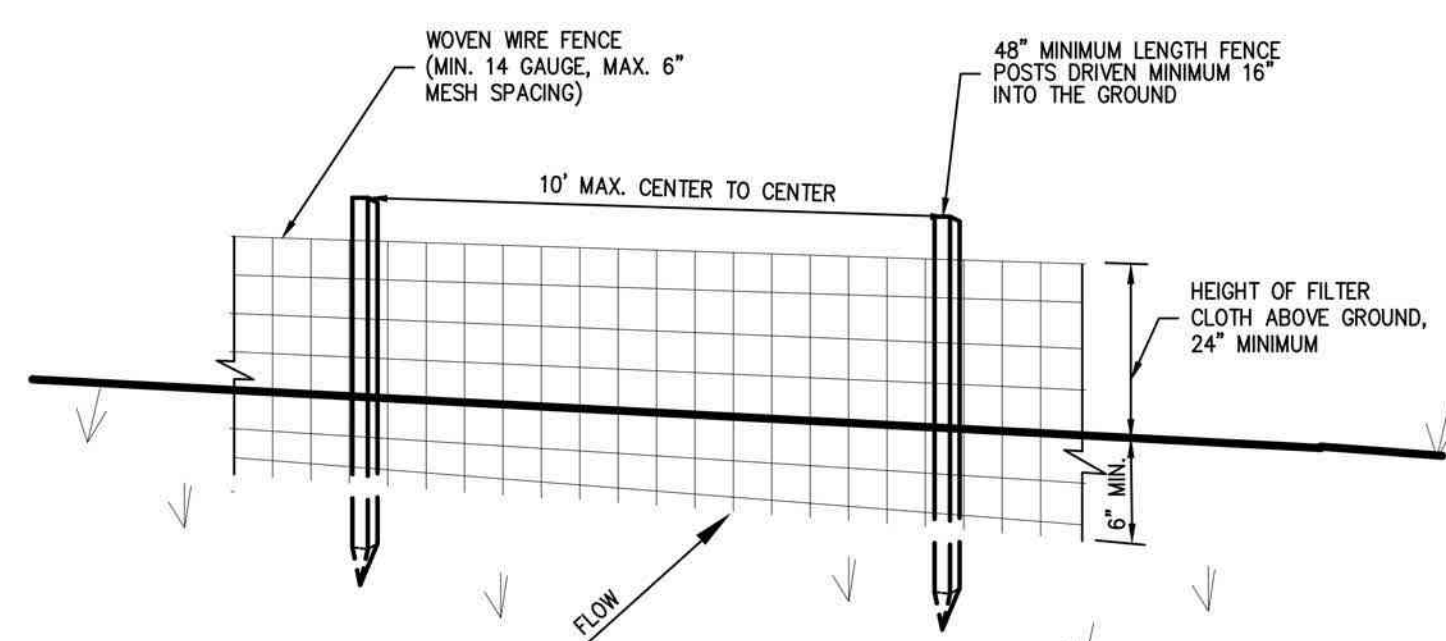
PERSPECTIVE VIEW



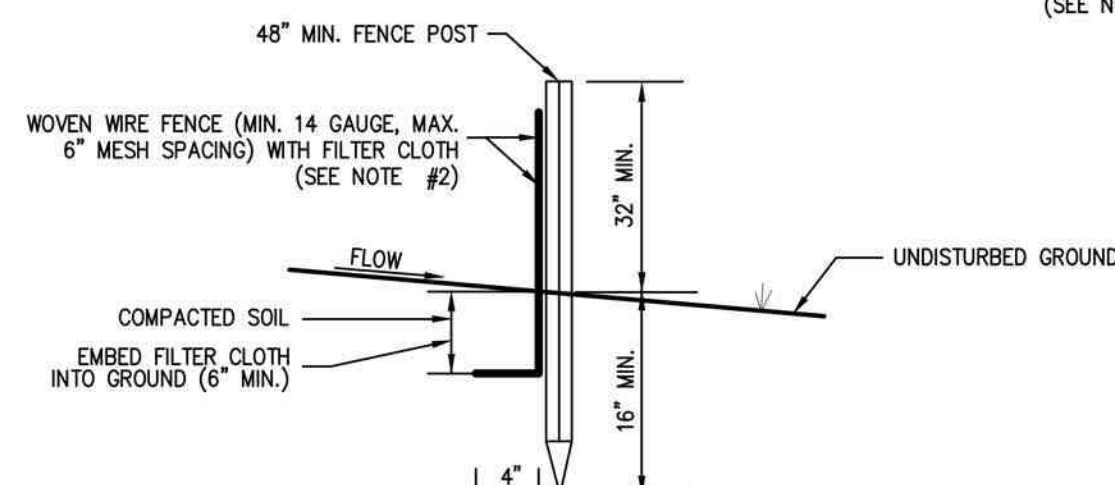
SECTION

NOTES:

1. WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
2. FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABLINKA T140N, OR APPROVED EQUAL.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVROFENCE, OR APPROVED EQUAL.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



PERSPECTIVE VIEW



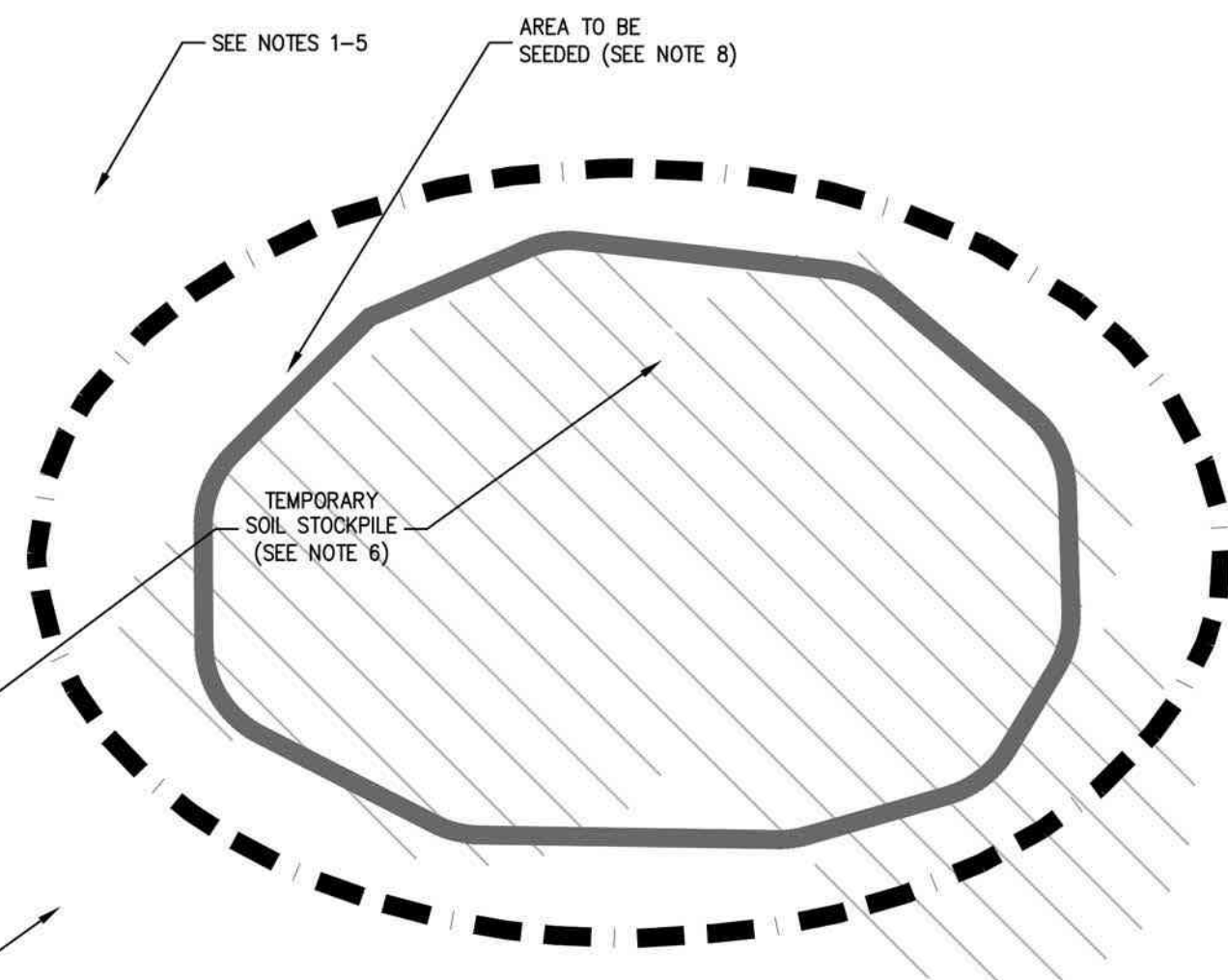
SECTION

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4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVROFENCE, OR APPROVED EQUAL.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
6. THE AREA CHOSEN FOR ALL TEMPORARY SOIL STOCKPILES SHALL BE DRY AND STABLE.
7. ALL STOCKPILED SOIL SHALL NOT CONTAIN SLOPES GREATER THAN 2:1.
8. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SEEDED WITHIN 24 HOURS. PERENNIAL OR ANNUAL RYEGRASS SHALL BE PLANTED DURING SPRING, SUMMER OR EARLY FALL. WINTER RYE (CEREAL RYE) SHALL BE PLANTED DURING LATE FALL OR EARLY WINTER.
9. ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED AROUND THE PERIMETER.

2:1 SLOPE MAX.
(SEE NOTE 7)

SILT FENCE
(SEE DETAIL & NOTE 9)



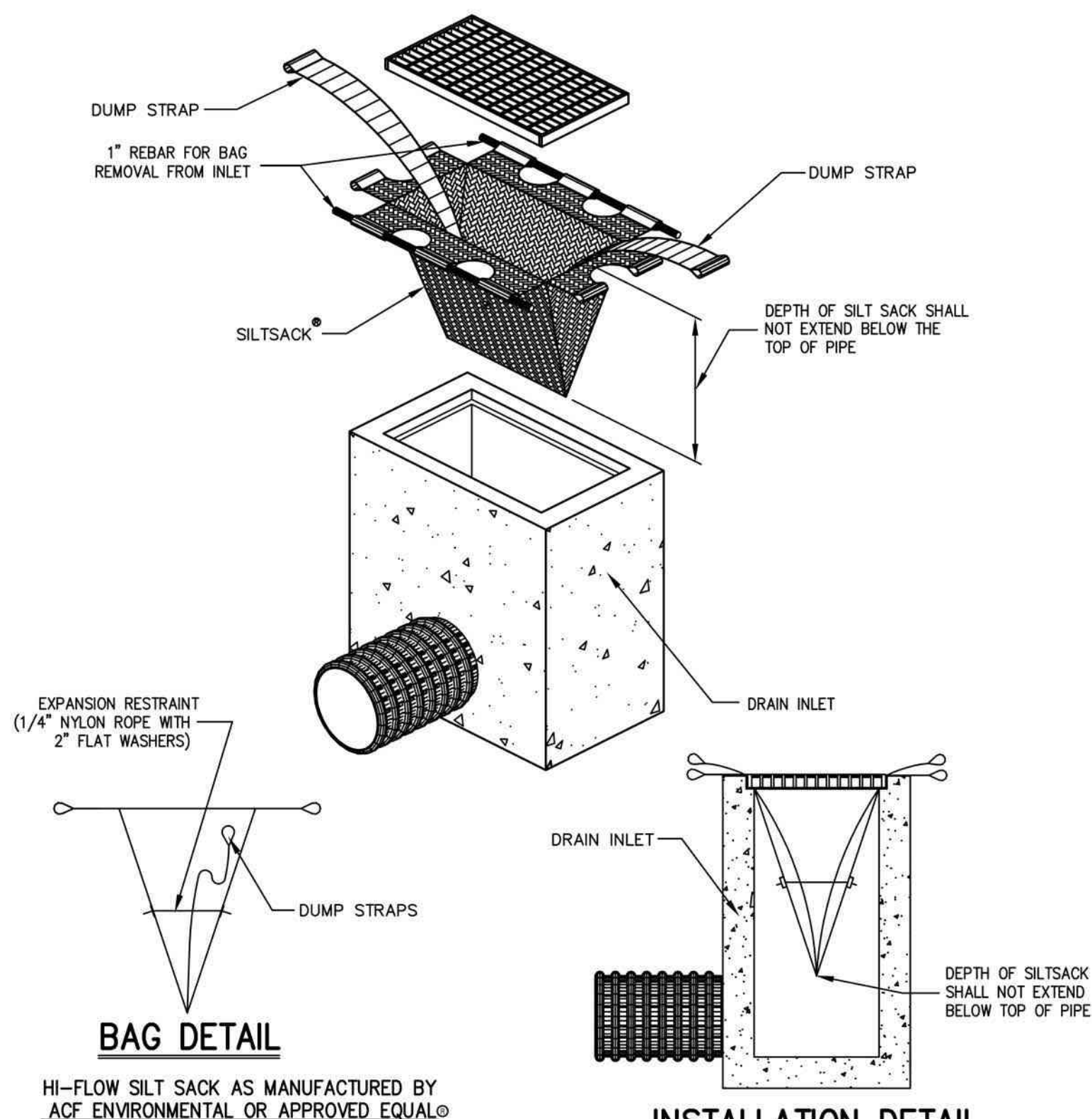
PLAN VIEW

SILT FENCE

1

TEMPORARY SOIL STOCKPILE WITH SILT FENCE

2



BAG DETAIL

INSTALLATION DETAIL

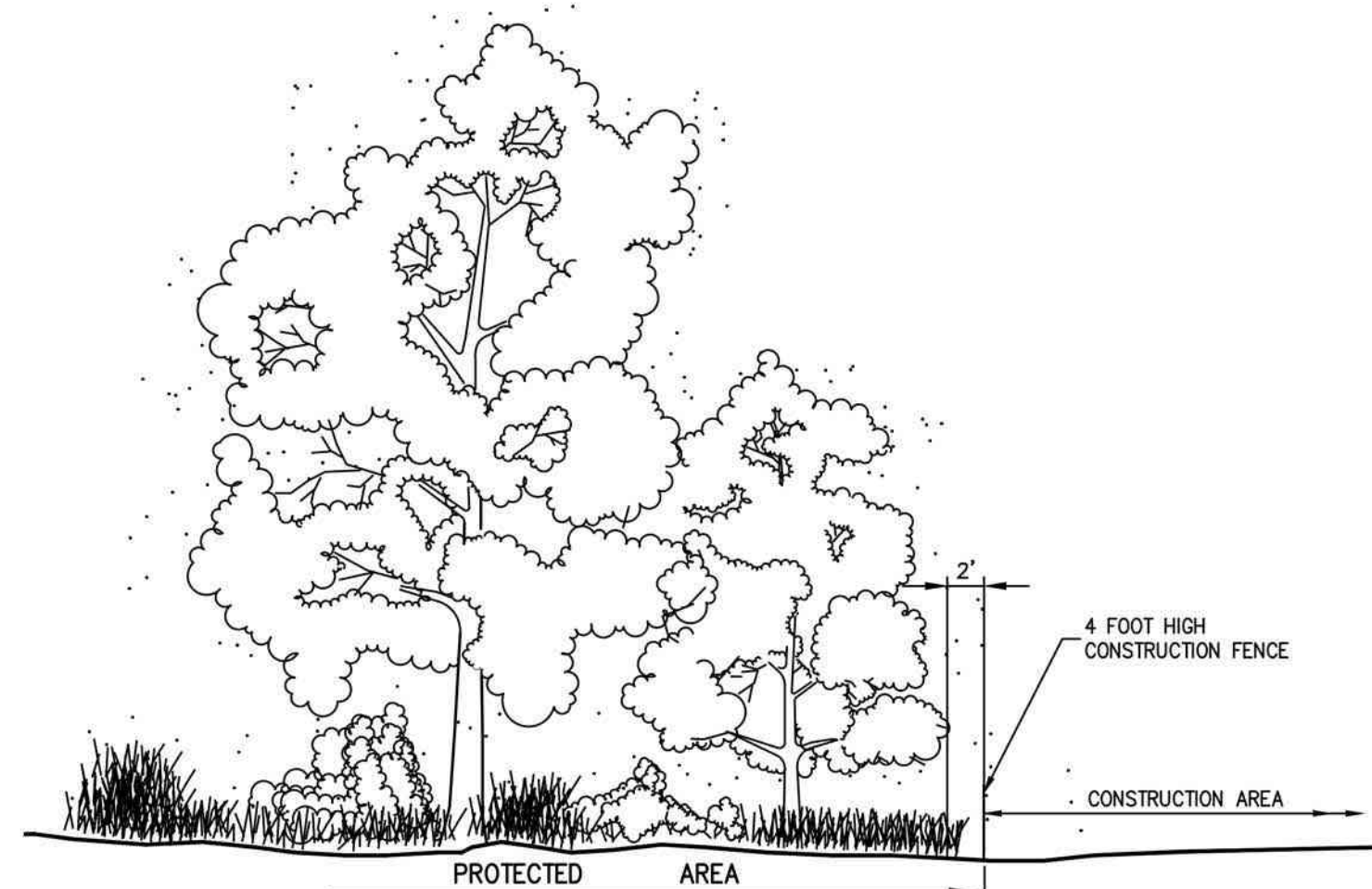
HI-FLOW SILT SACK AS MANUFACTURED BY
ACF ENVIRONMENTAL OR APPROVED EQUAL®

(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

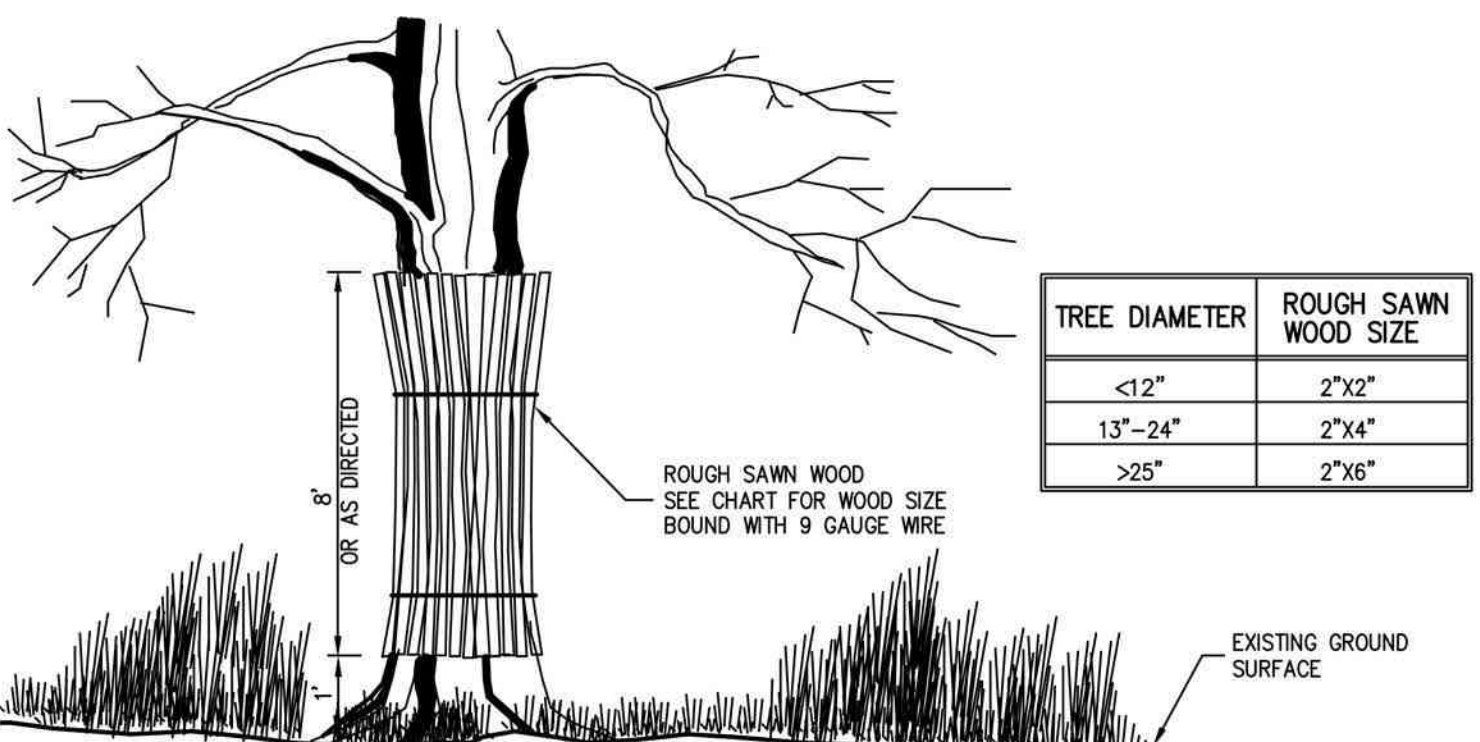
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

SILT SACK

3



GROUP TREE PROTECTION

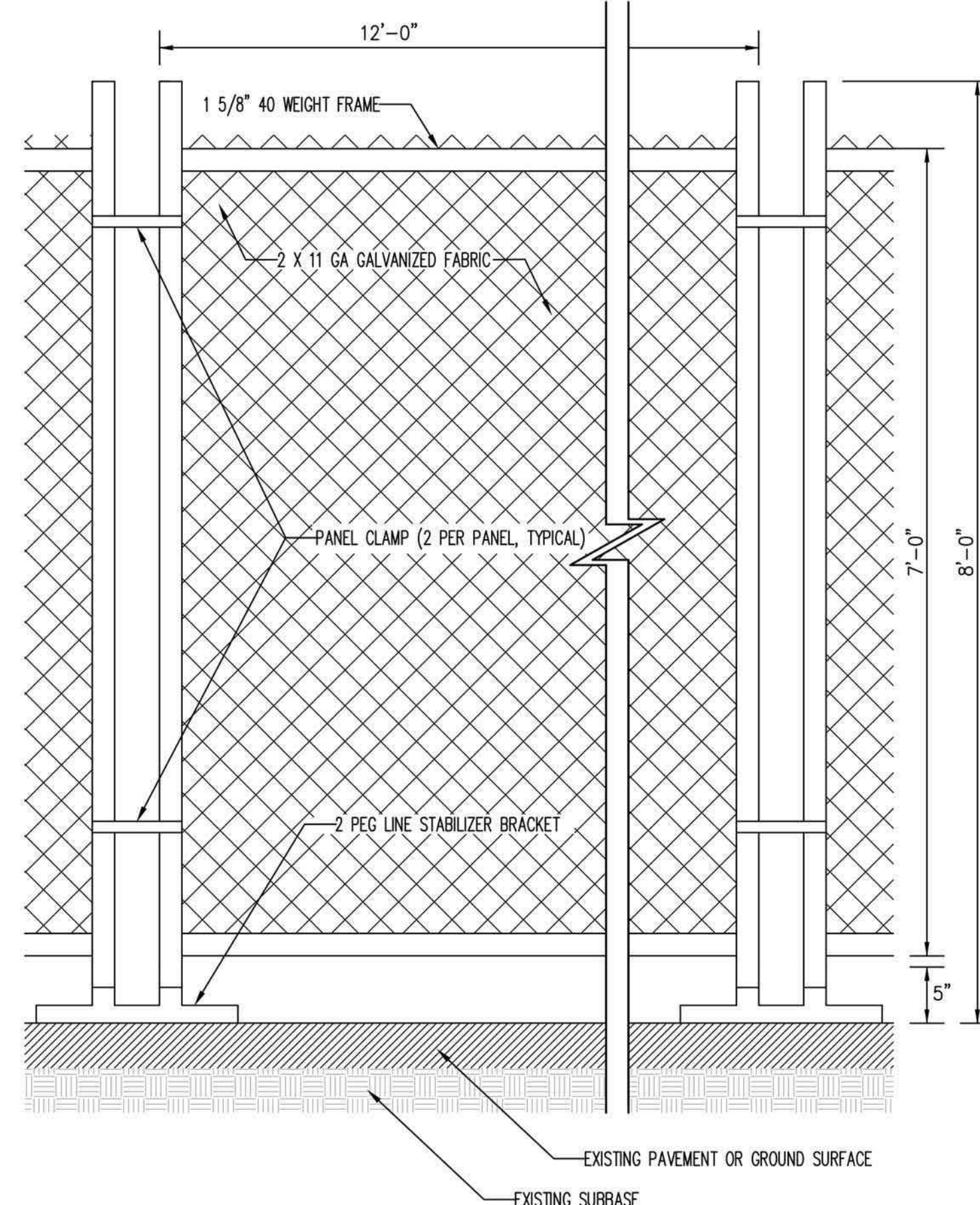


INDIVIDUAL TREE PROTECTION (ARMOR TYPE)

TREE DIAMETER	ROUGH SAWN WOOD SIZE
<12"	2"x2"
13"-24"	2"x4"
>25"	2"x6"

TREE PROTECTION

4



NOTE:
STABILIZED BRACKET TO BE
HOT DIPPED GALVANIZED
STEEL PIPE.

TEMPORARY CHAIN LINK
CONSTRUCTION FENCE

5

1.	ISSUED FOR FILING	05/12/2021
Rev. #	Revision Description	Date:

Project Description:
PROPOSED MIXED USE BUILDING:
WESTMORELAND LOFTS
136-158 WESTMORELAND AVE.
WHITE PLAINS, NY 10606

Owner/Developer:
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HARRISON, NY 10528

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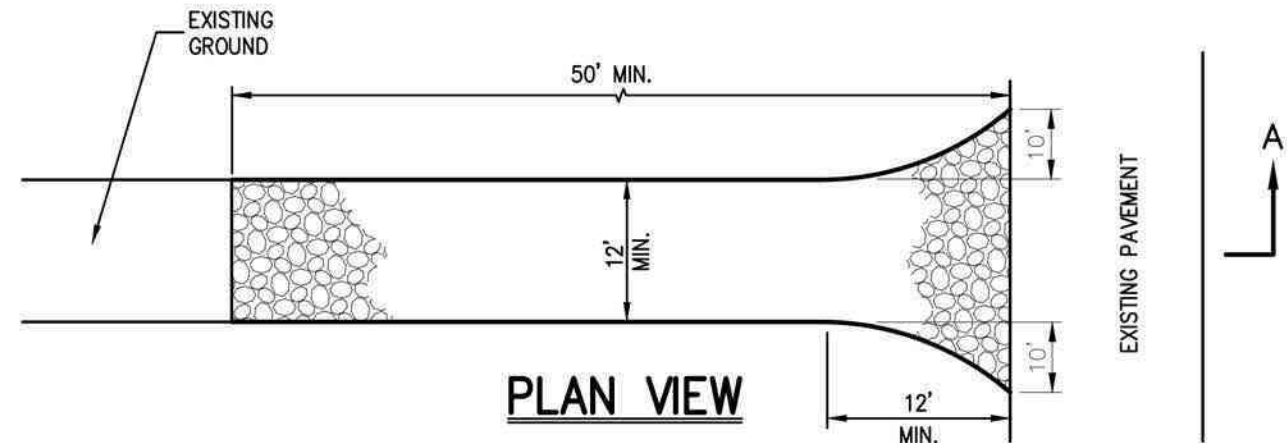
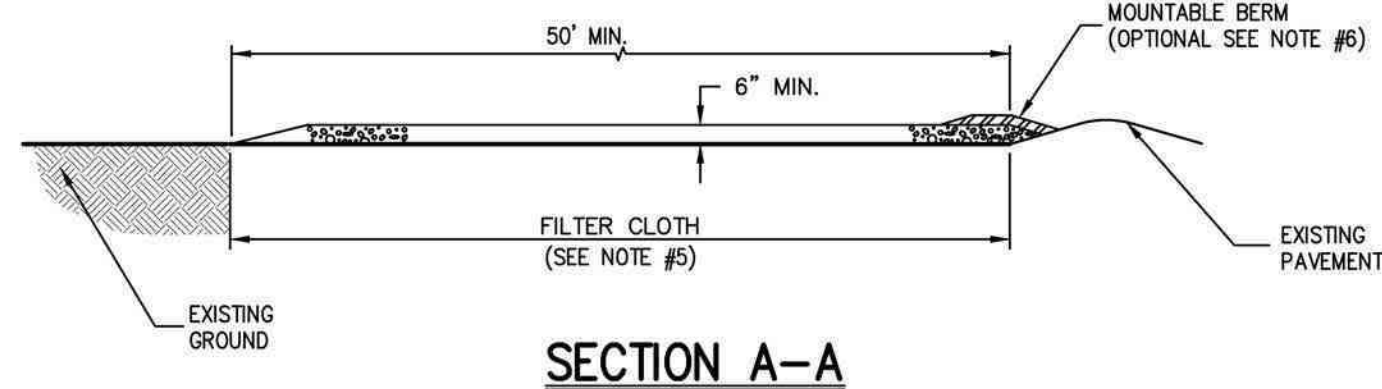
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Sheet Title:
**CONSTRUCTION
DETAILS PLAN**

Seal & Signature	Date:	07-18-2016
	Scale:	N.T.S.
	Job#:	21041
	Sheet Title:	SD-502
	Sheet:	- of -

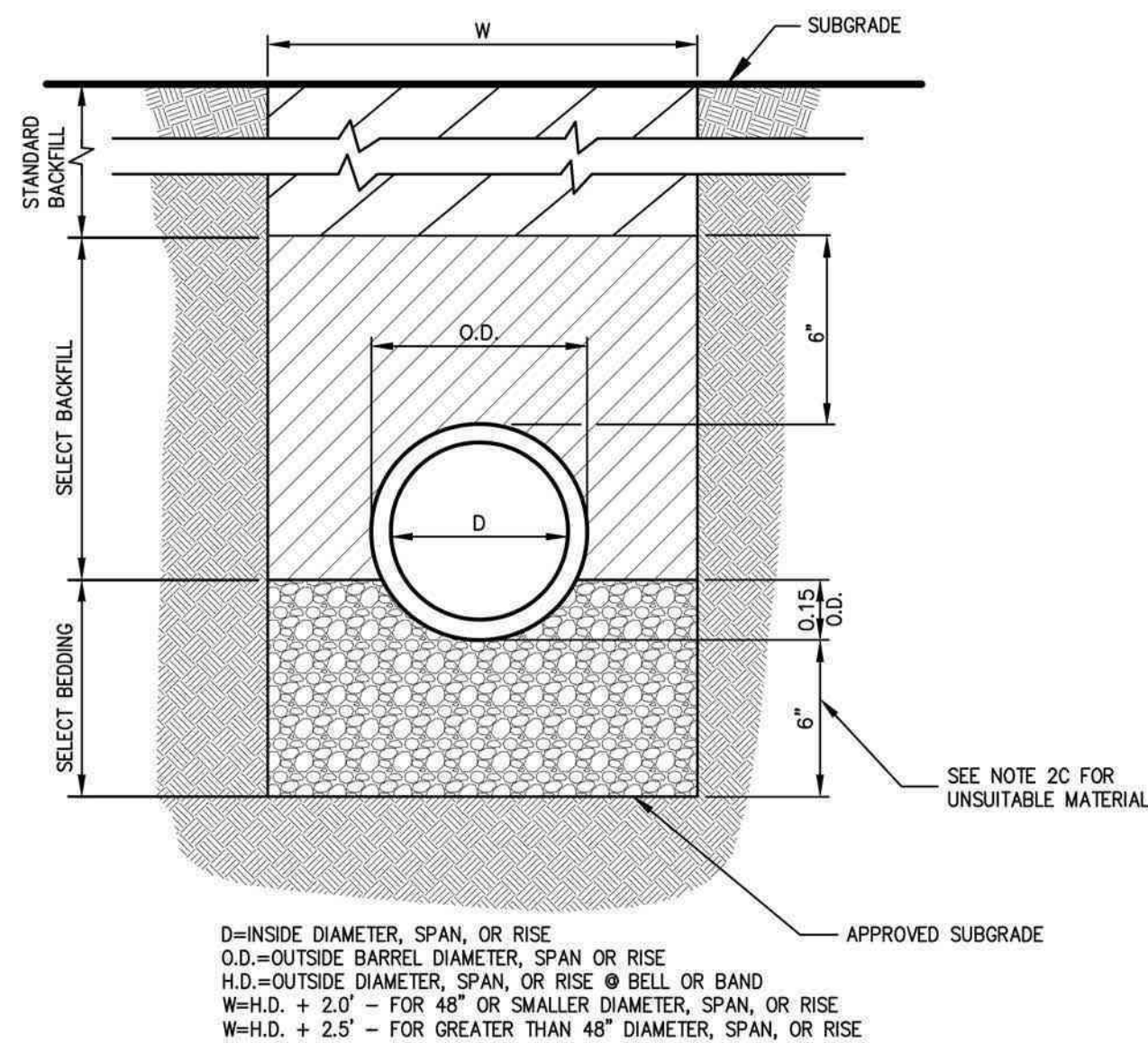


- NOTES:**
- STONE SIZE - USE 1" TO 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH TO BE PLACED OVER THE ENTIRE WIDTH AND LENGTH OF AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE, AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

6

- NOTES:**
- FOR TYPE II TRENCH, MATERIAL FOR SELECT BEDDING AND SELECT BACKFILL SHALL BE:
 - EITHER SAND OR CRUSHED STONE IF NO WATER IS ENCOUNTERED IN TRENCH.
 - 3/4" CRUSHED STONE IF WATER IS ENCOUNTERED IN TRENCH.
 - TYPE II TRENCH SHALL BE USED IN ALL OF THE FOLLOWING CASES:
 - FOR ALL CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP) AND PVC PIPE AND CONDUIT INSTALLATION.
 - WHEN ROCK OR HARDPAN IS ENCOUNTERED IN BOTTOM OF TRENCH.
 - WHEN UNSUITABLE MATERIAL IS ENCOUNTERED IN BOTTOM OF TRENCH. IN SUCH CASE DEPTH OF UNDERCUTTING SHALL BE AS DIRECTED BY THE ENGINEER WITH 6" MINIMUM.
 - FOR ALL TRENCH EXCAVATION IN FILL AREAS, ALL EMBANKMENTS SHALL BE CONSTRUCTED TO A MINIMUM OF 2 FEET ABOVE THE OUTSIDE TOP (AT THE BELL) OF THE PIPE PRIOR TO BEGINNING ANY TRENCH EXCAVATION.
 - BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES, UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN 92% MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.



TYPE II TRENCH (ON-SITE)

7

NOTES PERTAINING TO DRAIN INLETS

- STEPS WILL NOT BE REQUIRED IN INLETS LESS THAN FOUR (4) FEET IN DEPTH. STEPS WILL BE REQUIRED IN INLETS FOUR (4) FEET OR GREATER IN DEPTH. DEPTHS FOR DRAIN INLETS SHALL BE MEASURED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING SUMP AS APPLICABLE).
- WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 13 ENTITLED "MANHOLE STEPS & LADDERS".
- FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE HAS SET. CONCRETE FOUNDATION SHALL BE CLASS "A"(4000 psi) CONCRETE, TWELVE (12) INCHES THICK AND SHALL EXTEND SIX (6) INCHES BEYOND THE OUTSIDE FACE OF THE STRUCTURE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
- ALL NECESSARY PATCHING FOR DRAIN STRUCTURES SHALL BE ACCOMPLISHED WITH NON-SHRINKING CEMENT MORTAR GROUT, APPROVED EQUAL TO SIKKA-SET AS MANUFACTURED BY THE SIKKA CHEMICAL CORP.
- FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED CRUSHED STONE HAVING A MINIMUM COMPACTED THICKNESS OF EIGHT (8) INCHES.
- ALL PIPES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.
- PROVIDE REINFORCED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRATE.
- FOR MASONRY STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO TWELVE (12) INCHES.
- FOR ALL STRUCTURES GREATER THAN 10 FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.

NOTES PERTAINING TO MANHOLES

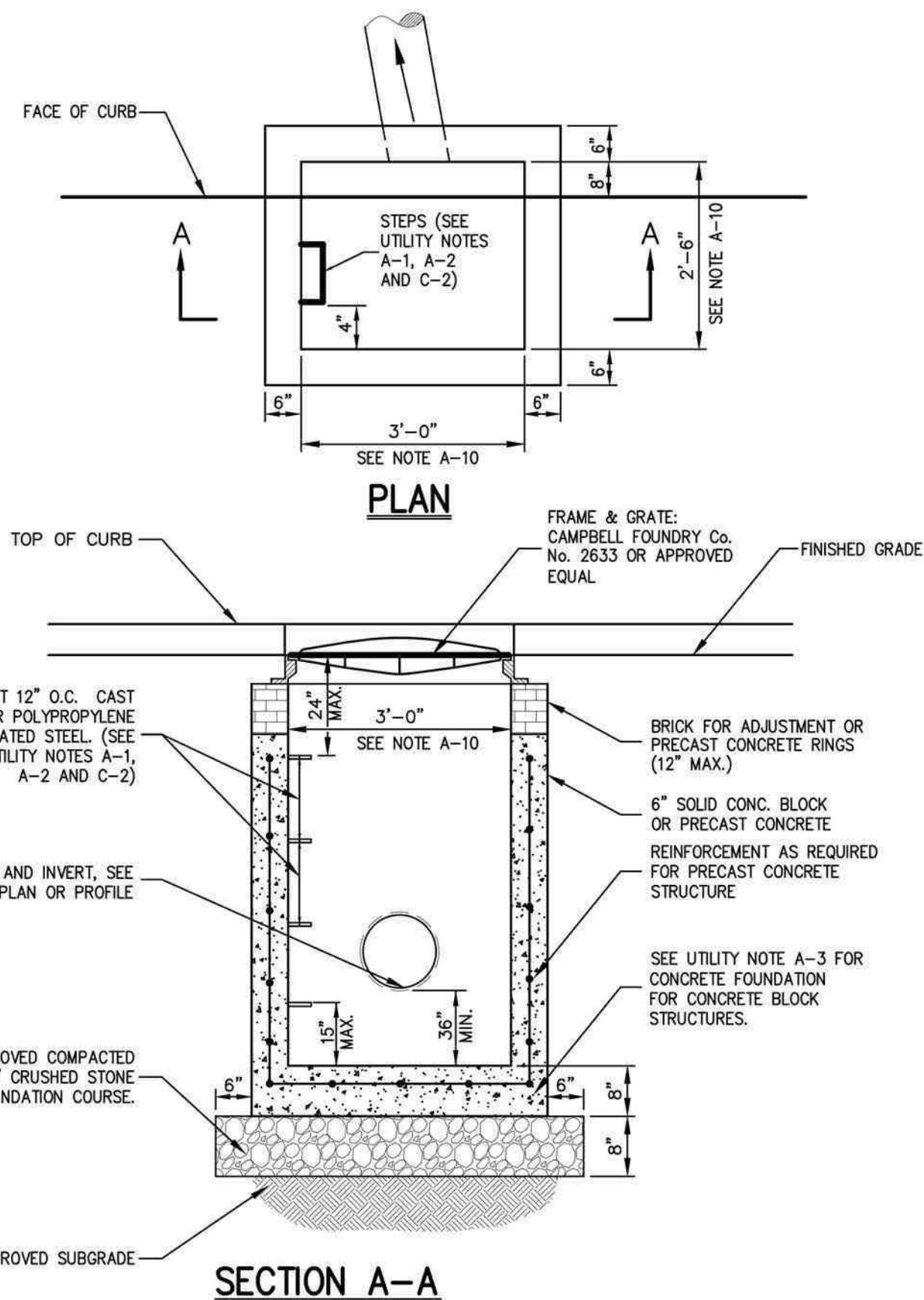
- PRECAST CONCRETE MANHOLES SHALL COMPLY WITH ASTM STANDARD C-478. MANHOLE JOINTS SHALL COMPLY WITH ASTM STANDARD C-443.
- FOR PRECAST CONCRETE MANHOLES FIVE (5) FEET OR LESS IN HEIGHT, TOP CONE SECTION SHALL BE REPLACED WITH PRECAST REINFORCED CONCRETE SLAB (6" MIN. THICKNESS) WITH OPENING OF SUFFICIENT SIZE TO ACCOMMODATE MANHOLE CASTING.
- FOR MANHOLES 10 FEET OR MORE IN DEPTH, MANHOLE DIAMETER SHALL BE FIVE (5) FEET.
- TERMINAL MANHOLE FLOORS SHALL BE SLOPED TOWARD OUTFALL PIPE.
- INVERT CHANNELS FOR PRECAST CONCRETE MANHOLES SHALL BE CONSTRUCTED OF CONCRETE.
- NOTES A-1, A-2, A-4, A-5, A-6 & A-7 UNDER "NOTES PERTAINING TO DRAIN INLETS" ABOVE SHALL APPLY TO MANHOLES.

NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR STORM DRAINS, SANITARY SEWERS AND WATER LINES

- ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
- STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.

UTILITY NOTES

8

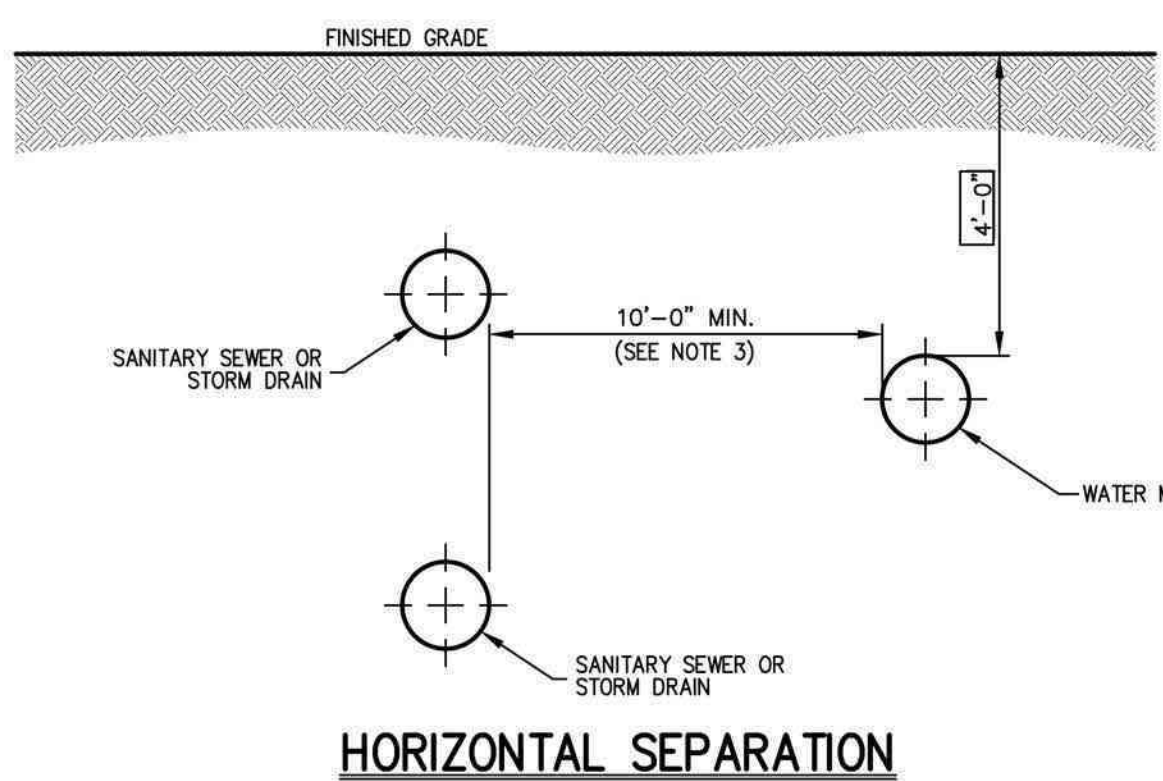


- NOTE:**
- SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON THIS DRAWING.

DRAIN INLET (TYPE CI)

(with sump-w/o finger underdrains)

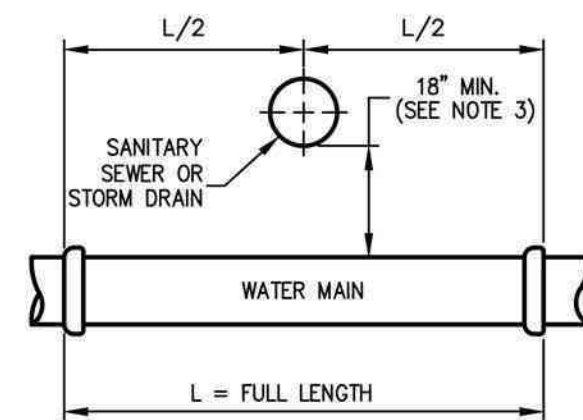
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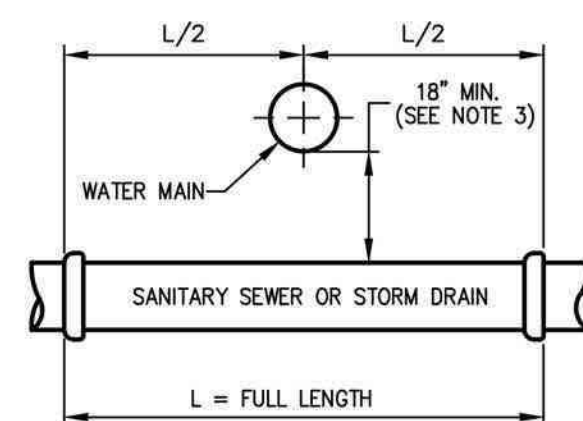
HORIZONTAL SEPARATION

NOTES:

- NORMAL CONDITIONS:
 - WHENEVER A WATER MAIN MUST CROSS OVER OR UNDER A SANITARY SEWER OR STORM DRAIN, THE PIPES SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION BETWEEN THEM OF AT LEAST 18 INCHES, AS MEASURED FROM THE BOTTOM OF THE HIGHER PIPE TO THE CROWN OF THE LOWER PIPE.
 - FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
- WATER MAIN CROSSING UNDER SANITARY SEWERS:
 - VERTICAL SEPARATION OF 18 INCHES MUST BE PROVIDED.
 - ADEQUATE STRUCTURAL SUPPORT MUST BE PROVIDED FOR THE SANITARY SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING.
 - FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
- IF DURING CONSTRUCTION IT IS FOUND THAT THE REQUIRED SEPARATION OF WATER MAINS, SANITARY SEWERS, STORM SEWERS AND BUILDING SANITARY SEWERS CANNOT BE MET, THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL IN WRITING ADVISE JOHN MEYER CONSULTING OF THE SPECIFIC CONDITIONS ENCOUNTERED. APPROVAL OF ALTERNATIVE SEPARATION CRITERIA SHALL BE OBTAINED FROM THE CITY OF WHITE PLAINS PRIOR TO INSTALLATION.

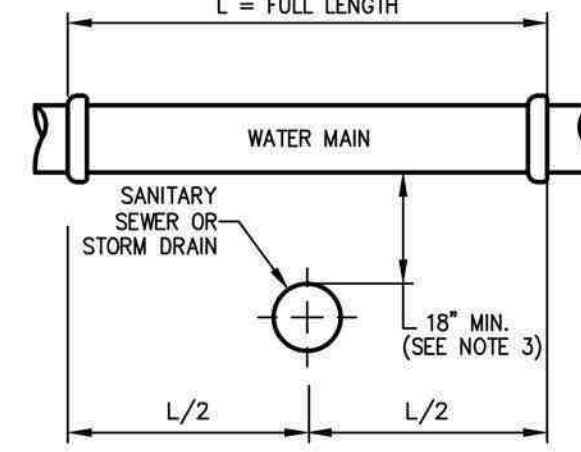
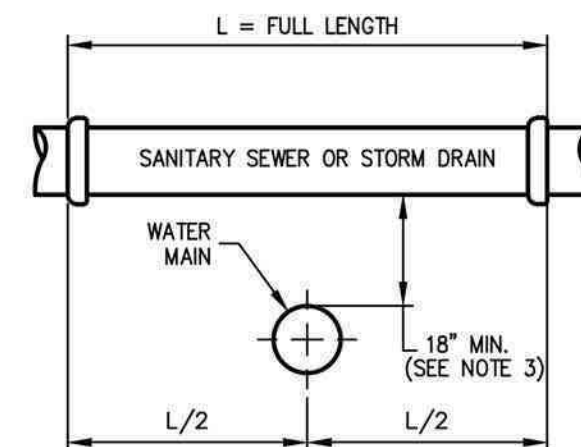


SANITARY SEWER OR STORM DRAIN OVER WATER MAIN



WATER MAIN OVER SANITARY SEWER OR STORM DRAIN

VERTICAL SEPARATION



SEPARATION OF WATER AND SANITARY SEWER/STORM DRAIN LINES

10

1.	ISSUED FOR FILING	05/12/2021
Rev. #	Revision Description	Date:

Project Description:
PROPOSED MIXED USE BUILDING:
WESTMORELAND LOFTS
136-158 WESTMORELAND AVE.
WHITE PLAINS, NY 10606

Owner/Developer:
WESTMORELAND LOFTS, LLC
600 MAMARONECK AVENUE
HARRISON, NY 10528

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architecture|planning|interiors
188 East Post Road, White Plains, NY 10601
914 949-1851 | www.papparchitects.com

JMC JMC Site Development Consultants
120 Bedford Road
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914 273 5225

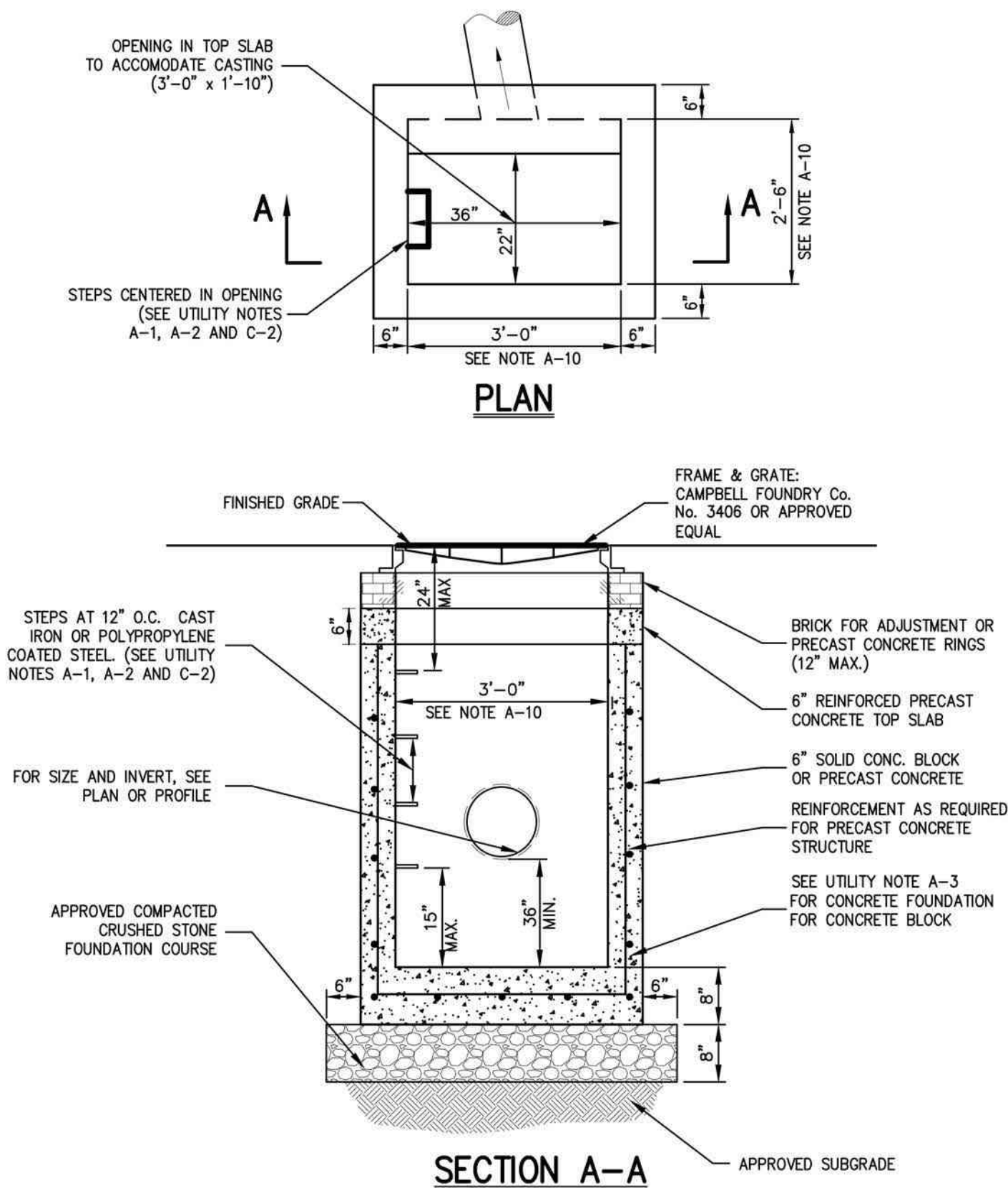
McLaren Engineering Group
Structural Engineer
131 West 35th Street, 4th Floor
New York, NY 10001
212 324-6300

Khachatryan Engineering Associates
Mechanical/Electrical/Plumbing Engineers
186 Wood Avenue South, First Floor
Iselin, NJ 08830
732 635-0044

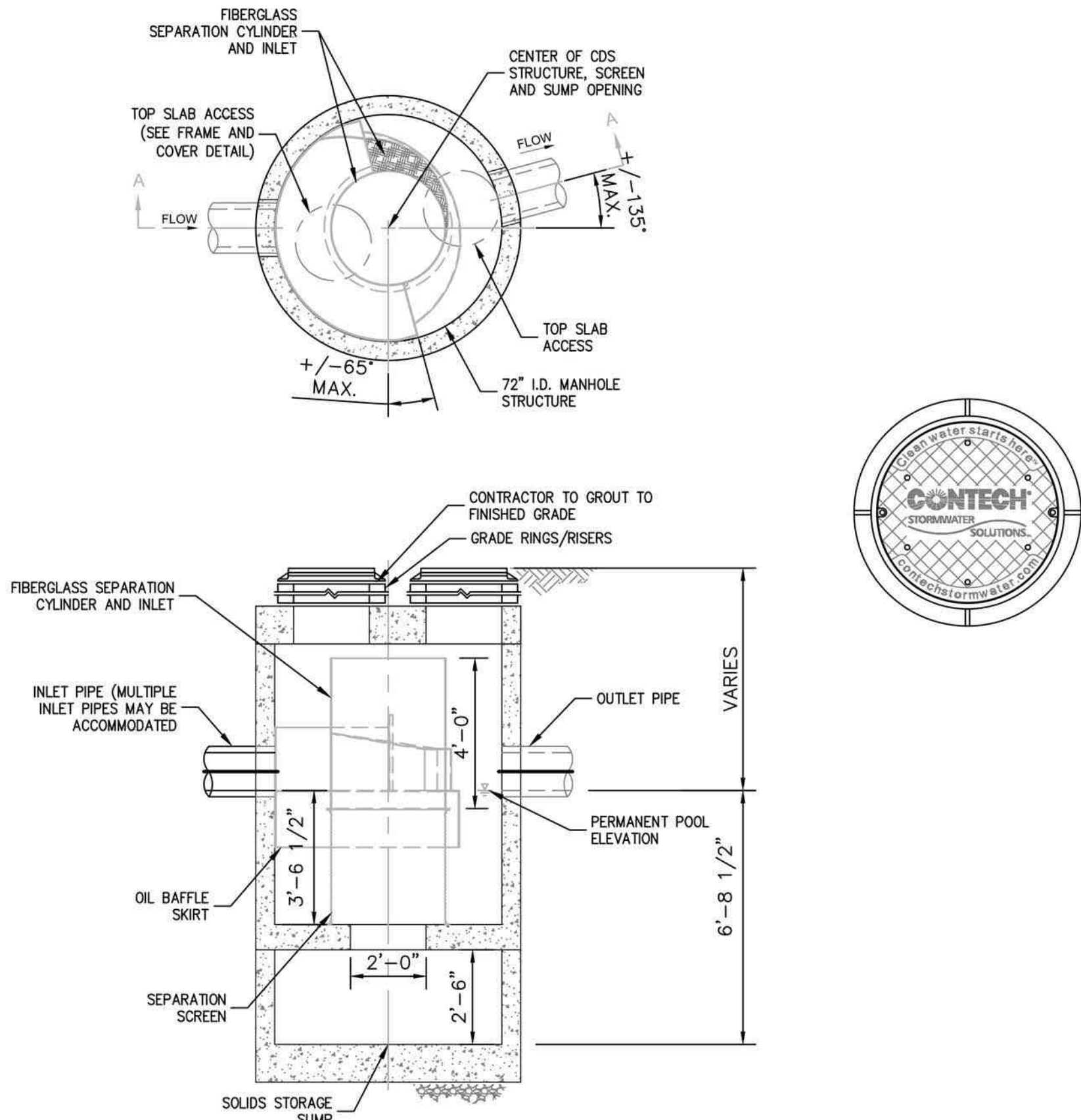
Sheet Title:
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NOT FOR CONSTRUCTION



- NOTE
1. REINFORCE PRECAST CONCRETE TOP SLAB AND REINFORCE PRECAST CONCRETE STRUCTURE SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
 2. SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON DRAWING SD-503



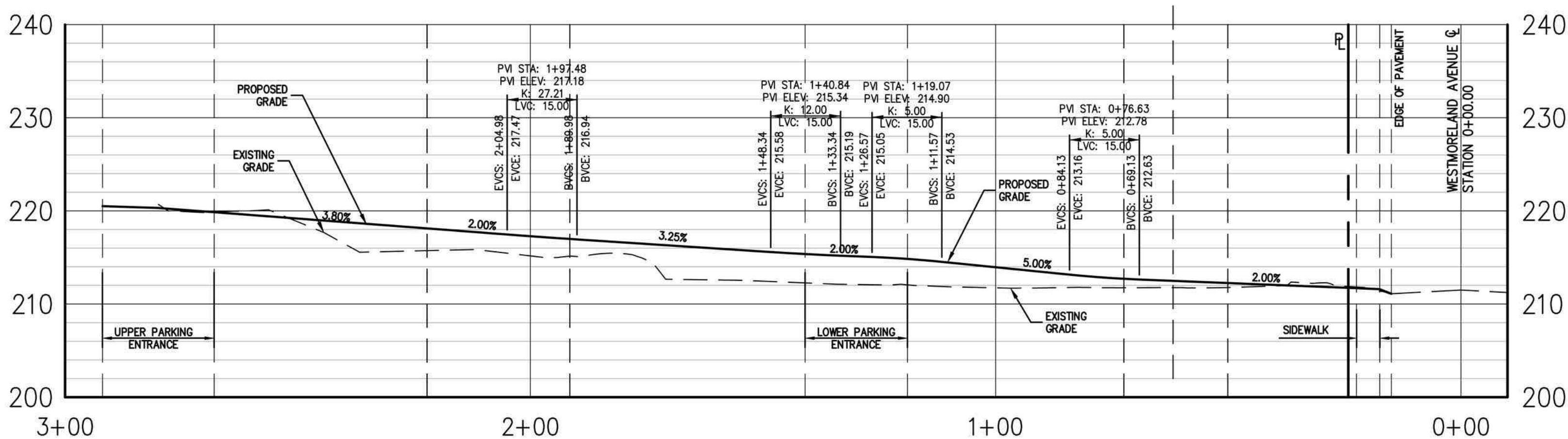
DRAIN INLET (TYPE DI)
(with sump-w/o finger underdrains)

11

CONTECH CDS-3020

12

X



CENTER LINE DRIVEWAY PROFILE
SCALE: HORIZ: 1" = 20' VERT: 1" = 10'

14

X

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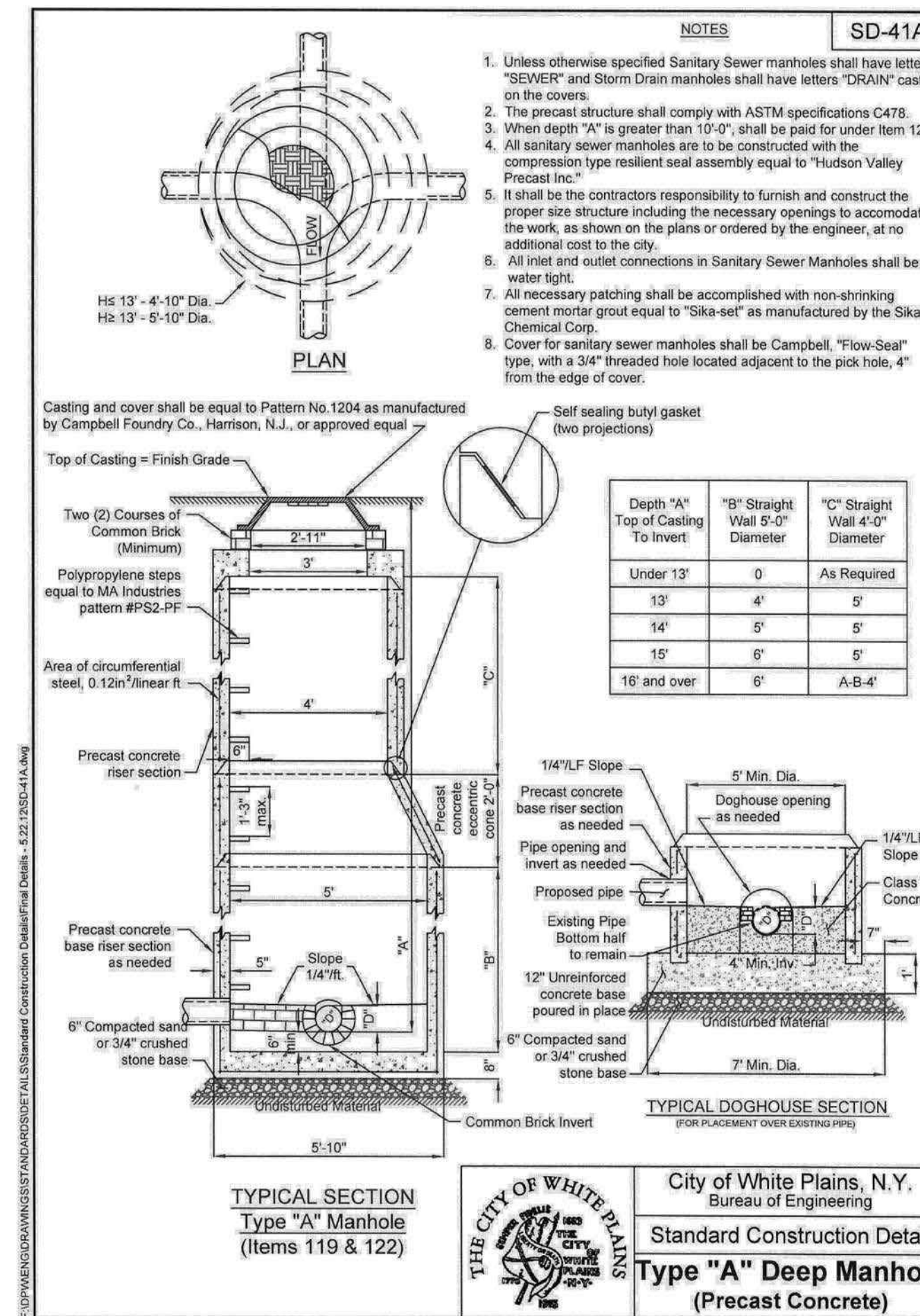
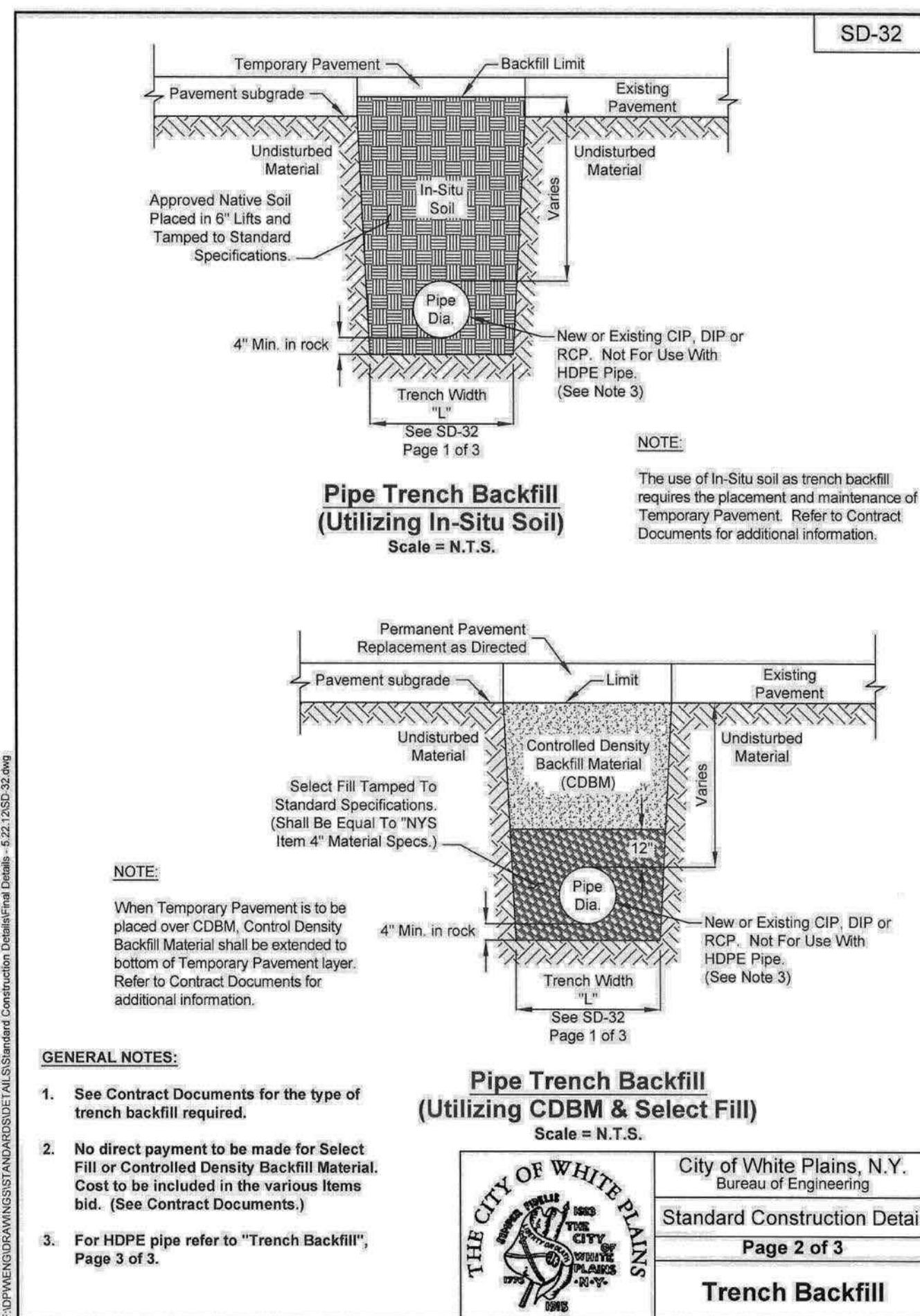
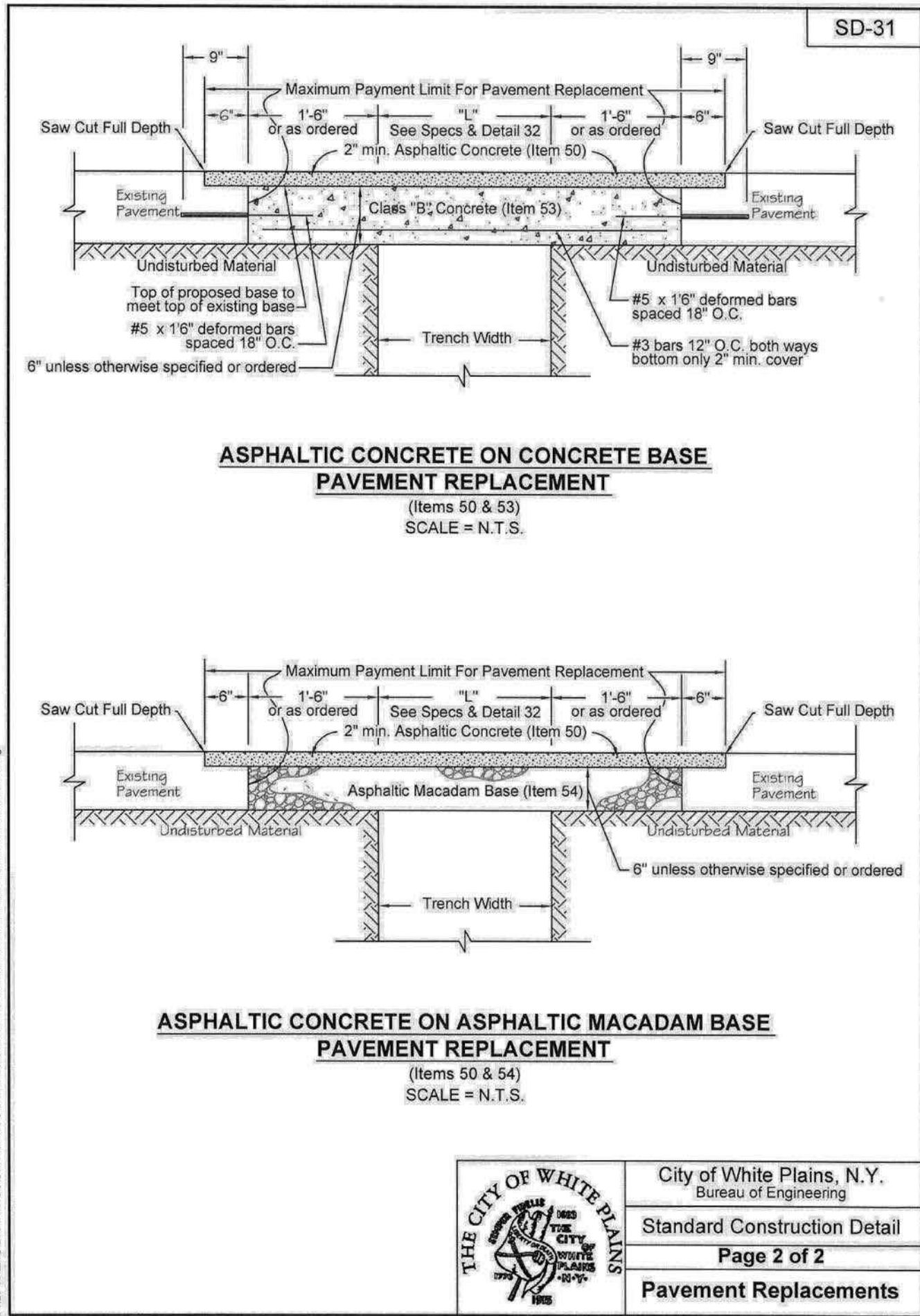
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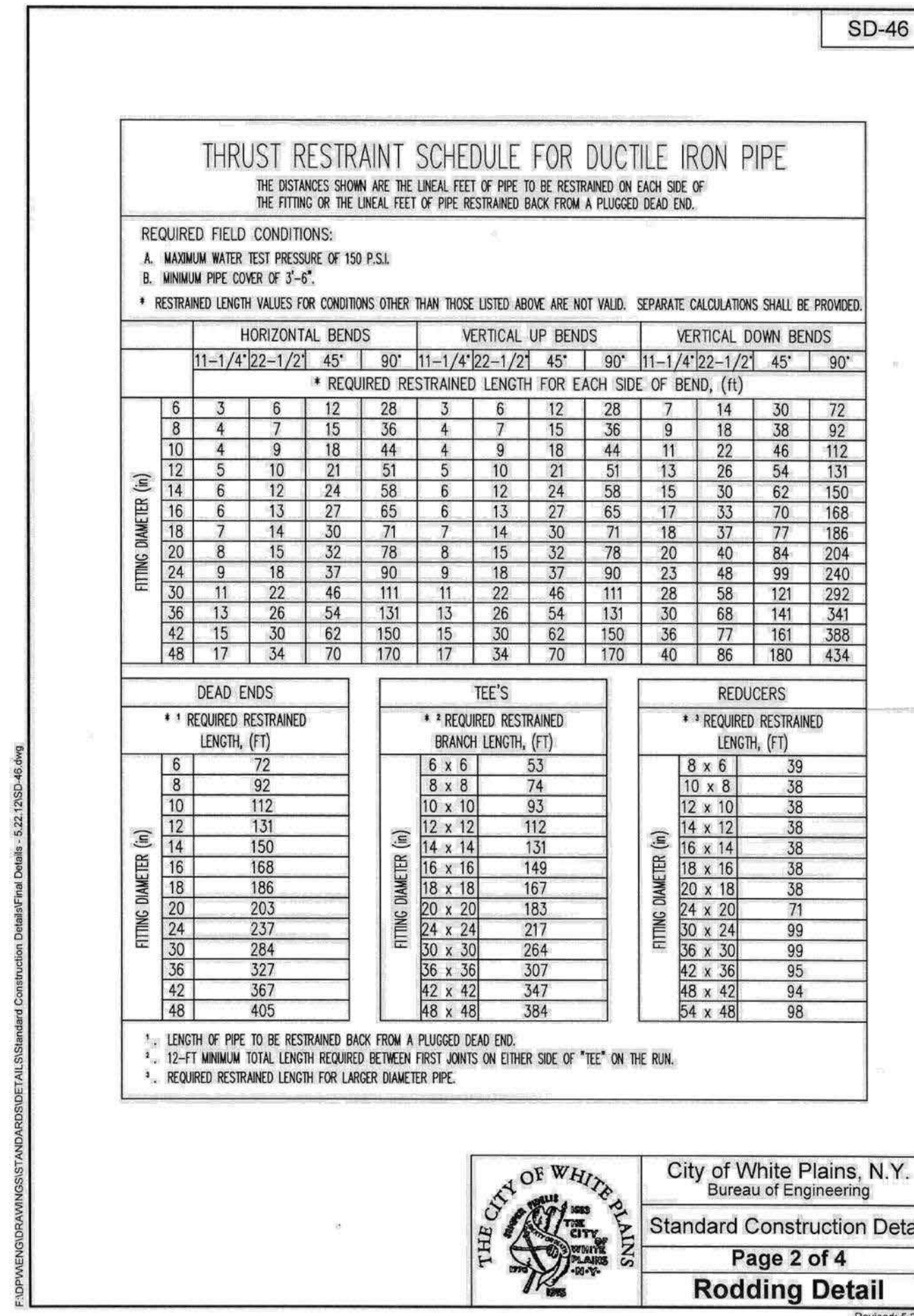
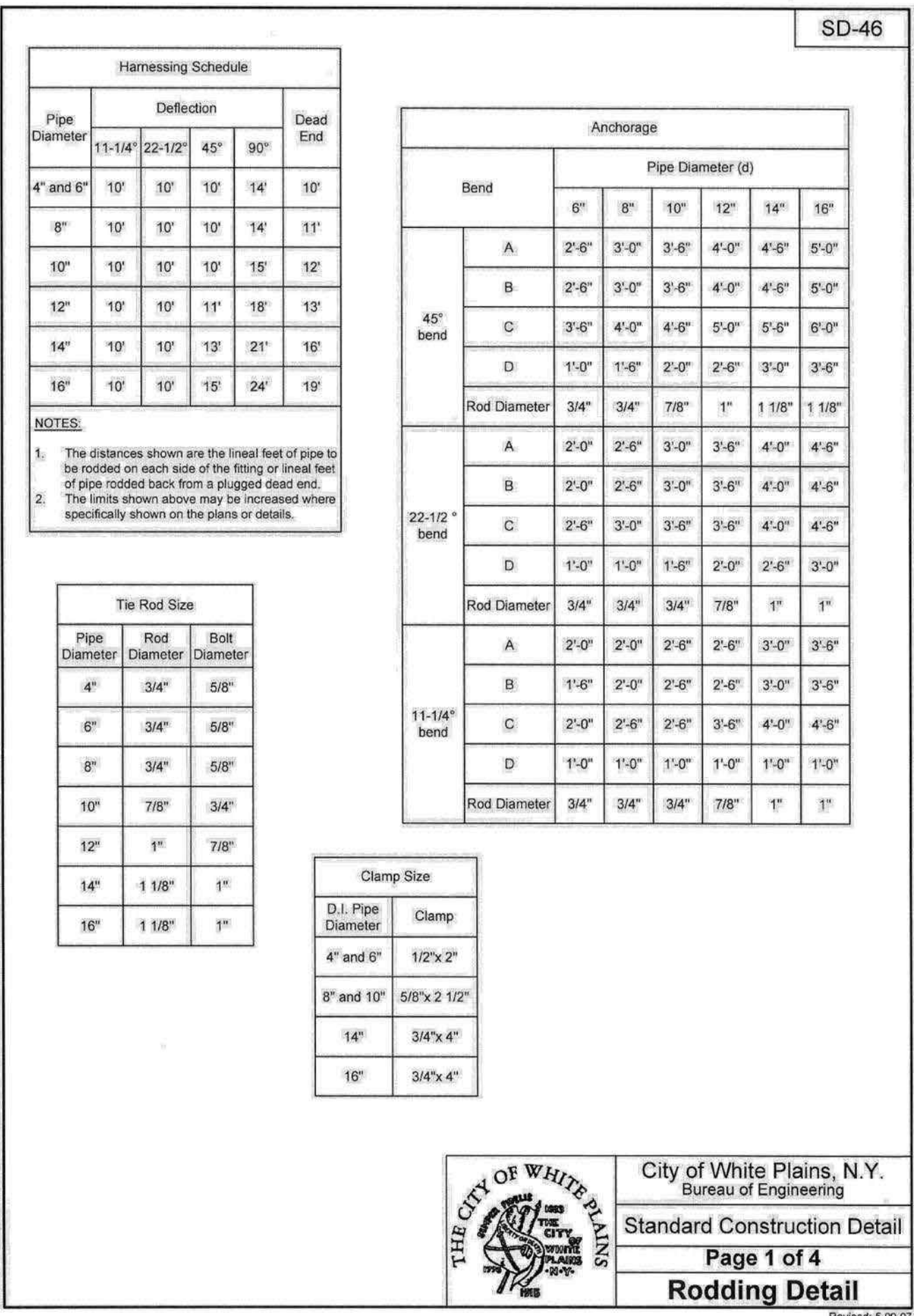
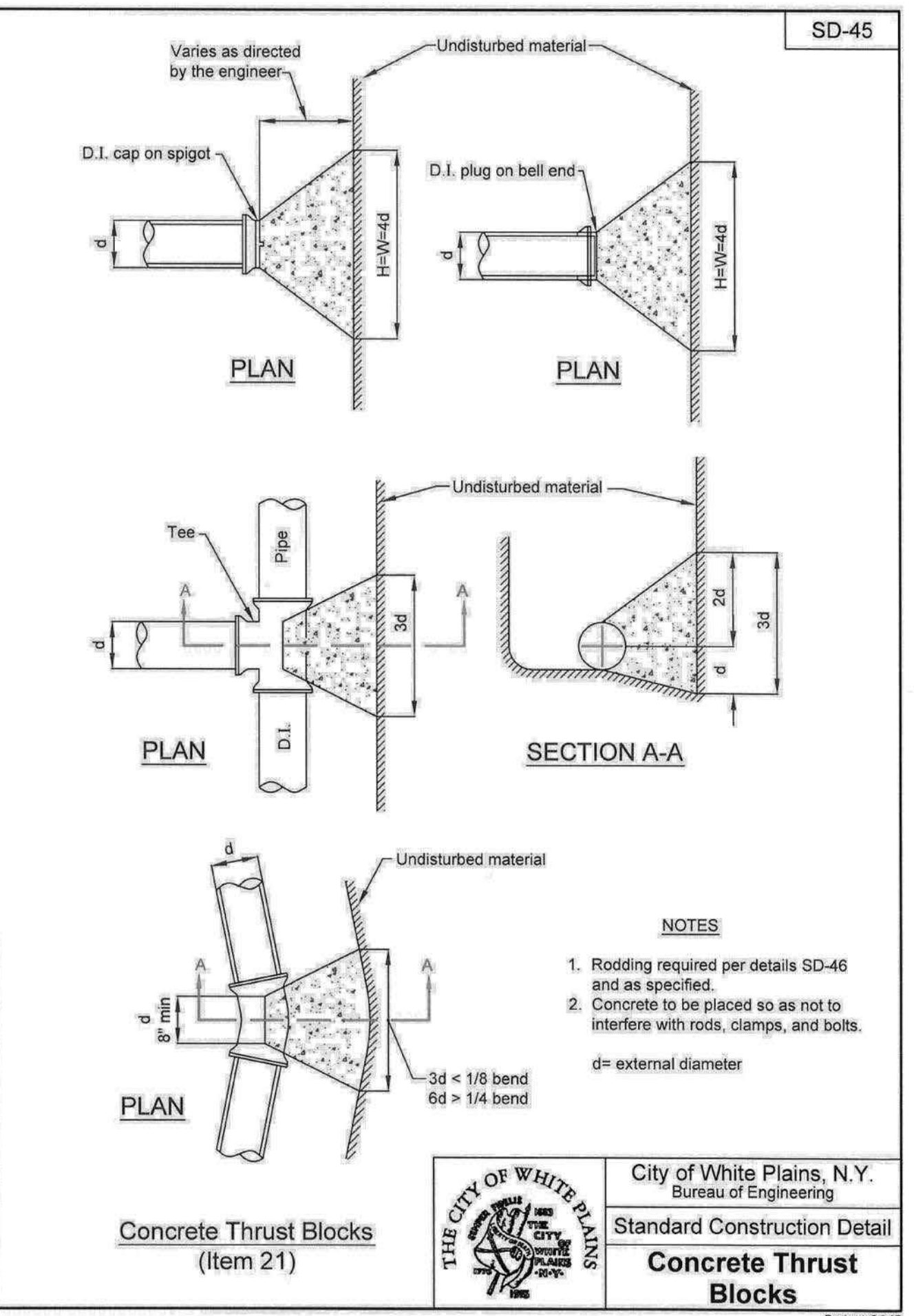


PAVEMENT REPLACEMENT DETAIL

W-1 TRENCH DETAIL WITHIN CITY RIGHT-OF-WAY

MANHOLE TYPE 'A' DETAIL

W-3



CONCRETE THRUST BLOCKS DETAIL

W-4

RODDING DETAIL

W-5

RODDING DETAIL

W-6

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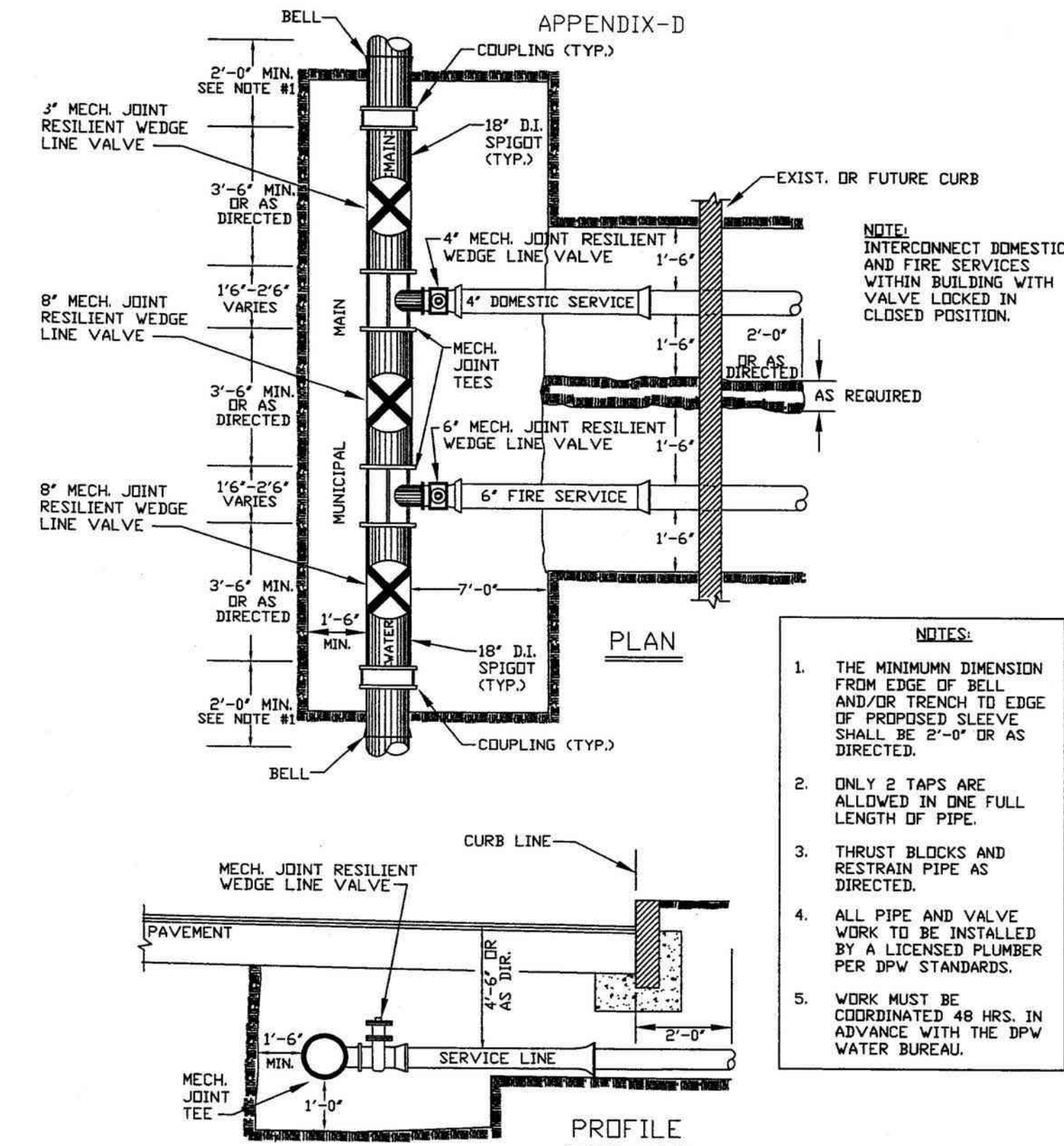
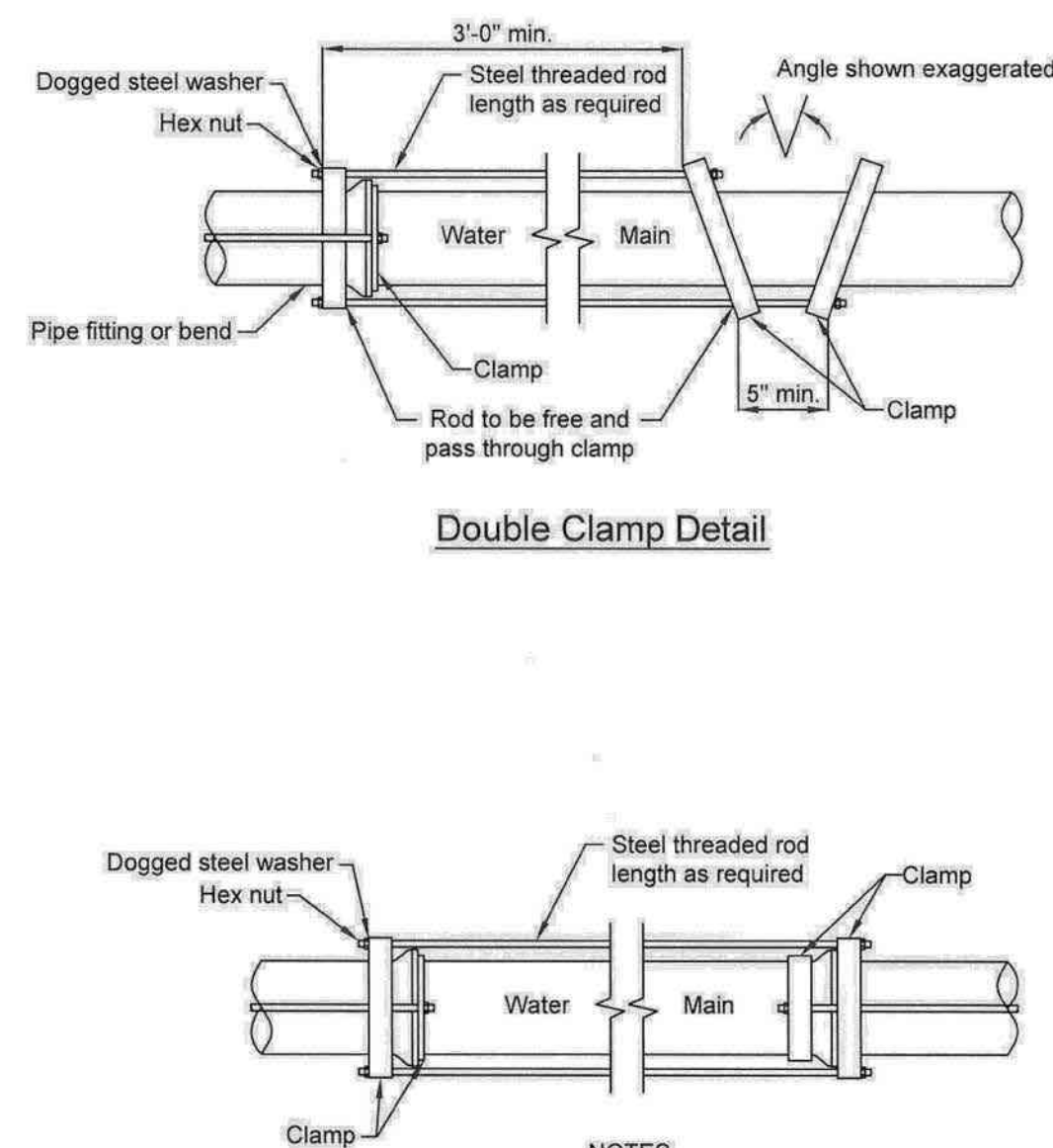
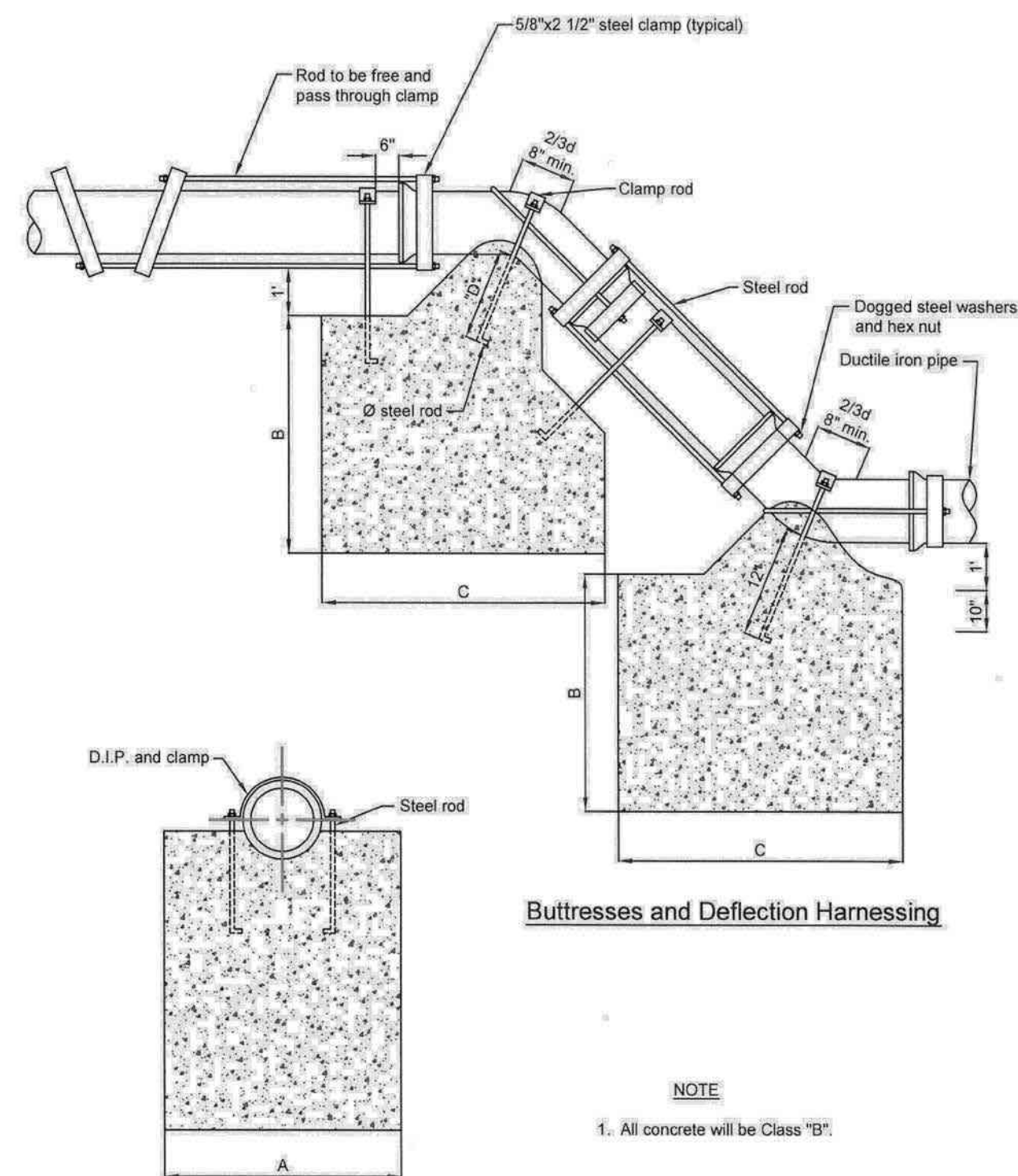
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	Sheet: — of —



RODDING DETAIL

RODDING DETAIL

SERVICE LINES CONNECTIONS

W-9

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