



## Building & Site Enhancements

John Jay Homestead State Historic Site

9.13.2024

Project ID: TA-JJ-2023-01

**Contract Number(s): D006292**

### General Information:

- Read All Plans, Specifications, and Addenda Carefully.
- **IMPORTANT:** Acknowledge receipt of all addenda on the bid form when submitting your bid.
- This Addendum is part of the Contract Documents in accordance with the “*Instructions to Bidders.*”

### #1: UPDATE

- a. John Jay Homestead is a registered **Grade C public water supply** with the NYS Department of Health (NYSDOH). The water system must be maintained in working order. Pump house, well and emergency generator to be maintained by NYS Parks during course of construction project. Any breaks in water mains must be reported to NYS immediately so proper remediation may occur including notifying the NYSDOH.

### #2 Contractor Request for Information (RFI) Responses:

- a. RFI #01 – 07 and RFI 09 included in Addendum #01.
- b. RFI #08, 11-24, 26, 27, 29, 31-39, 41-42 Included.  
**D006292\_RFIs\_Addendum\_02**
- c. RFI #25, 28, 30, 40 and 43-52 be answered in Addendum #03.

### #3 REFERENCE: D06292 Request for Information (RFI) Log (9.12.2024)

- a. RFI log status as of 9.12.2024 Included.  
**D006292\_RFI\_Log\_9.12.2024**

### #4 REFERENCE: D06292 Plan Holders Log (9.12.2024)

- a. Plan Holders Log as of 9.12.2026 Included.  
**D006292\_PlanHolders\_9.12.2024**

### #5 REFERENCE: D06292 Pre-Bid Attendance Sheet

- a. Pre-Bid Meeting (9.10.2024) sign-in sheet.  
**D006292\_Pre-Bid\_Attendance\_9.13.2024**

### INCLUDED FILES:

1. **D006292\_RFIs\_Addendum\_02**
2. **D006292\_RFI\_Log\_9.12.2024**
3. **D006292\_PlanHolders\_9.12.2024**
4. **D006292\_Pre-Bid\_Attendance\_9.13.2024**

## REQUEST FOR INFORMATION (RFI) OPR-103

Project: Building & Site Enhancement Project at John Jay Homestead State Historic Site

Contract Number: D006292 GC

Request From: Andron Construction

Reply Email Address: abadolato@androncc.com

Email Request to : Amanda Tucker, Amanda.Tucker@parks.ny.gov

Request Number:08      Date: 09/04/24 Spec Section No.: [Click here to enter text.](#)

Drawing No:A-402 Remarks:

**Question:** Reference Drawing Detail 3/A-402. W-R1 is indicated as "typ. at all exg (existing) wood baseboard, trim, and doors", but only Door 106.1, its trim, and the baseboard in the room are shaded per the W-R1 key in the repair legend. Note that Door 106.2 trim and door are not shaded similar to Door 106.1. In general is W-R1 applicable to ALL wood baseboard, trim and doors on the job, OR only applicable if the items are shaded per the key designation for W-R1? There is a BIG difference in scope, between the two possibilities.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	Repair W-R1 at 3/A-402 is applicable for all existing wood baseboard, trim and doors 106.1 & 106.2. In general, W-R1 for the interior is applicable to all wood baseboard, trim and doors if specified for that room. W-R1 hatch will be removed from 3/A-402 since it's a typical condition for that specific room.	09/06/2024

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Email Request to : Amanda Tucker, [Amanda.Tucker@parks.ny.gov](mailto:Amanda.Tucker@parks.ny.gov)

Request Number:10

Date: 09/04/24

Spec Section No.:

Drawing No:A-101

Remarks:

Question: We are called to include W-R1 at all wood doors and trim to remain in the following rooms, which do not have interior elevations: Rooms 112, 119, 121, 203A, 204A, 208, 216A, 217, 217A, 222. Please indicate total LF of trim required.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	The total linear foot for W-R1 at all trim in the rooms without interior elevations is 333 LF. The total square foot for W-R1 at all doors in the rooms without interior elevations is 238SF. Please note, this includes room 120 which will be added to the notes on A-101.	09/06/2024

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Request Number:11

Date: 09/04/24

Spec Section No.:

Drawing No: A-404

Remarks:

Question: Reference Elevation 18/A-404. Note indicates "P-R1 typ. at full walls". Is this note applicable to JUST this elevation, EVERY WALL in the room in which the note appears (even though the note does not occur at every elevation in the room), OR the ENTIRE JOB? This happens with many restoration conditions throughout the documents. What is the definition of "full wall". How is the word "typical" to be interpreted on these documents?

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	P-R1 at 18/A-404 is no longer applicable. Where "FULL WALLS" are indicated in the elevation notes, the intent is that the work shall be done to all wall surfaces in that room. "Full wall" is defined as the entire wall surface, e.g. - full width and full height of the wall surface - from where it meets the floor to where it meets the ceiling - including any door and/or window returns. The word "typical" in the drawings is meant to indicate a note that applies to all similar elements throughout that room. For example - where one elevation of one room has a note calling for W-R1 typical at the baseboards and trim, the intent is to indicate that the full length of baseboard and trim at that room shall receive the work described under W-R1. For clarity, elevation drawings will be updated to show any "typical" or "full wall" repairs notated at every elevation in room.	09/06/2024

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Email Request to : Amanda Tucker, [Amanda.Tucker@parks.ny.gov](mailto:Amanda.Tucker@parks.ny.gov)

Request Number:12

Date: 09/04/24

Spec Section No.: 015639

Drawing No:

Remarks:

Question:

Specification Section 015639 Part 1.6 A lists submittal requirements for a certified arborist along with documentation requirements for the existing trees and plantings indicated to remain. Will the NYS Office of Parks, Recreation and Historic Preservation be retaining (and paying) for the services of the arborist, or will this cost be part of the General Contractors bid?

Answer:

General Contractor required to provide certified arborist to supervise/ consult on tree transplanting (Heritage Orchard) and new tree planting required by contract. General Contractor not required to undertake additional documentation.

A certified arborist will be part of Construction Management staff (Arcadis) to ensure protection of trees and plantings to remain; especially heritage trees. No new documentation will be undertaken by Parks/CM. See Project Manual Appendix for existing documentation.

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Request Number:13

Date: 09/04/24

Spec Section No.: Volume 4, Appendix 5

Drawing No:

Remarks:

Question:

Reference Project Manual Volume 4, Appendix 5: Urban Arborists BTH LLC submitted an Excel Spreadsheet listing all trees including size, condition and recommended work along with numbered plans of the John Jay Homestead showing tree locations however, these documents were not included in Appendix 5. Please confirm that the recommended work suggested by Urban Arborists BTH LLC will be completed under a separate contract with the NYS Office of Parks, Recreation and Historic Preservation and should not be included with the General Contractors Bid. Confirm this work will be provided by others, or provide referenced spreadhseet.

Answer: **PARKS**

**The Tree Survey in Appendix 5 is provided for information only and does not include any scope of work on the existing trees to be bid on.**

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Request Number: 15 **OPRHP 14**

Date: 09/04/24

Spec Section No.: 02 87 00

Drawing No: H-100, H-101, H-102, H-103

Remarks:

Question:

Specification Section 02 87 00, Part 1, C. directs the contractor to decontaminate and sterilize approximately 4,000 sqft of floor space. However, Remediation Drawings H-100, H-101, H-102, H-103 indicate a total of 704 sqft. Please clarify.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	The decontamination total is 704 SF per the Remediation Drawings.	09/06/2024

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Reply Email Address: abadolato@androncc.com

Email Request to : Amanda Tucker, Amanda.Tucker@parks.ny.gov

Request Number: 16 OPRHP 15

Date: 09/04/24

Spec Section No.:

Drawing No: S-101 and 1/A-562

Remarks:

Question:

Reference Drawings 1/A-562. There appears to be new subflooring (Advantech) at the 1820 Kitchen 116, but Architectural Demo Plan AD-101 does not indicate any existing flooring to be removed at this location. Please clarify.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	Thornton Tomasetti's response was intended for PRE-18. The existing flooring at the 1820 Kitchen (room 116) is to be removed.	09/06/2024
Thornton Tomasetti	Per BBB: The drawing was included in the set, but out of order in G-001.	09/04/2024

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Request Number: 17 OPRHP 16

Date: 09/04/24

Spec Section No.:

Drawing No: E-201, Appendix 10, 3/A-703

Remarks:

Question:

Detail 3/A-703 requires drilling through existing wall to power the F6 type light fixtures (cove lighting) shown on E-201 at the Ballroom. Where is the remote driver referenced in the Note on Detail 3/A-703, an attic is referenced, but it's unclear where that is in relation to the Ballroom? Do any existing ceilings have to be upset to power these lights? May we assume one drill hole per fixture shown on E-201 (only 5 Type F6 fixtures are shown)? What is the ultimate power source of these lights, circuiting does not show on E-201?

Answer: [See Next Page \(9\)](#)

Request Number:17 OPRHP 16

Date: 09/04/24

Spec Section No.:

Drawing No: E-201, Appendix 10, 3/A-703

Remarks:

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	<ul style="list-style-type: none"><li>• The drivers have a capacity of 75 watts which will require ten (10) drivers to cover the ballroom.</li><li>• The drivers should be wired to the circuit on relay panel RP1/10.</li><li>• A drawing addendum will be issued showing the proposed locations of the remote drivers, their connection points to the F6 fixtures and their source of power.</li></ul>	09/11/2024
Landmark Facilities Group	<ul style="list-style-type: none"><li>• The drivers have a capacity of 75 watts which I calculated to need (10) drivers to cover the ballroom.</li><li>• The lighting fixture schedule calls for the drivers to be in the attic space above the ballroom and in a ventilated space. I don't believe the attic is ventilated but the cut sheet for the driver does not indicate this requirement.</li><li>• The drivers should be wired to the circuit on relay panel RP1/10.</li><li>• Attached is a revised E-203 drawing showing the proposed locations of the remote drivers, their connection points to the F6 fixtures and their source of power and revised E-001 drawing to include the symbols for the junction box and remote driver.</li></ul>	09/10/2024

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Request From: Andron Construction

Reply Email Address: abadolato@androncc.com

Email Request to : Amanda Tucker, Amanda.Tucker@parks.ny.gov

Request Number: 18 OPRHP 17

Date: 09/04/24

Spec Section No.:

Drawing No: G-100, Spec 092433

Remarks:

Question:

C-R3 restoration as shown on G-100 is calling for a vapor-permeable coating to be applied, but the cement parging spec 092433 referenced in the process does not include a vapor-permeable coating. Please specify product to be used here.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	For C-R3 refer to spec 090120 "Restoration Treatment for Historic Plaster and Stucco" which will be revised to include the vapor permeable coating - KEIM Mineral Silicate, Soldalit. Additionally, the product is referenced in the finish schedule (A-750) and materials legend (A-748).	09/06/2024

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Request Number: 19 OPRHP 18

Date: 09/04/24

Spec Section No.:

Drawing No: SD-111

Remarks:

Question:

Drawing SD-111 is listed in the drawing listing on G-001, but there is no such document in the set we received. Please provide.

Answer:

Company Name	Response	Reviewed At
<b>Beyer Blinder Belle Architects &amp; Planners</b>	Thornton Tomasetti's response was intended for PRE-15. Drawing SD-111 was included in the set, but out of order in G-001. SD-111 is located after S-104 and prior to S-111.	09/06/2024
<b>Thornton Tomasetti</b>	Per BBB: Confirm removal of the existing flooring at the 1820 Kitchen (room 116). BBB will clarify on the demo drawing in an addendum.	09/04/2024

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Request Number: 20 OPRHP 19

Date: 09/04/24

Spec Section No.:

Drawing No: A-401

Remarks:

Question:

At North Parlor 103, we are called to remove picture rail and patch. Are we patching the picture rail, or the wall underneath it? Is the picture rail being salvaged, and reinstalled? Clarify scope of work required.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	The plaster wall at the picture rail removal is to be patched. Picture rail is not to be reinstalled.	09/06/2024

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Email Request to : Amanda Tucker, [Amanda.Tucker@parks.ny.gov](mailto:Amanda.Tucker@parks.ny.gov)

Request Number: 21 OPRHP 20

Date: 09/04/24

Spec Section No.:

Drawing No: A-401

Remarks:

Question:

At Dining Room 104, we are called to remove chair rail and provide patch repair. Are we patching the chair rail, or the wall behind it, or both? Is the chair rail being salvaged and reinstalled? Clarify scope here.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	The plaster wall at the chair rail removal is to be patched. Chair rail is not to be reinstalled. To note, this condition is the same for all other rooms that indicate chair rail removal.	09/06/2024

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Request Number: 22 OPRHP 21

Date: 09/04/24

Spec Section No.:

Drawing No: A-101 and A-102

Remarks:

Question:

Confirm that the Stair that is shown in Hall 107 travels up to the 2<sup>nd</sup> floor, and is the same stair shown in Stair 209. Confirm that all elements receive W-R1 restoration scope.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	The stair in Hall 107 travels up to the second floor and is the same stair shown in 209. All wood elements at this stair will receive W-R1 repair scope.	09/06/2024

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Request Number: 23 OPRHP 22

Date: 09/04/24

Spec Section No.:

Drawing No: A-730

Remarks:

Question:

Reference Detail 8/A730. Is the plaster board existing or new? In other words, are we applying the plaster skim coat to existing board, or new board? If new, specify plaster board.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	The plaster board in detail 8/A-730 is new. Please refer to the Imperial Board in spec section 092613 "Veneer Plastering."	09/06/2024

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Request Number: 24 OPRHP 23

Date: 09/04/24

Spec Section No.:

Drawing No: GC's

Remarks:

Question:

There is no temporary construction fence shown on the drawings. Where is the fencing required? It cannot be quantified currently.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	Please refer to the response from Rhodeside & Harwell.	09/06/2024
Rhodeside & Harwell Inc.	The temporary construction fence, detail E5/L601 is shown on sheet L106 around the existing orchard and will be reused around the transplanted orchard as indicated on sheet L206.	09/05/2024

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Request Number: 25 OPRHP 24

Date: 09/05/24

Spec Section No.:

Drawing No: A-750

Remarks:

Question:

We assume the River Rock floor finish at the Breezeway in the basement is existing to remain. Confirm no new floor finish in this room.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	The floor in Breezeway B-19 is existing to remain. There is no new floor finish.	09/09/2024

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Request Number: 27 OPRHP 26

Date: 09/05/24

Spec Section No.:

Drawing No: A-748, A-750

Remarks:

Question:

CONC-2 flooring (per the Materials Legend) gets an epoxy paint finish, but the only place this occurs is at Restroom 127, which receives a PCT-1 floor tile per the finish schedule. Confirm the epoxy paint finish on the concrete subfloor is not required.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	Epoxy paint for CONC-2/existing concrete floor is <i>only</i> applicable where noted in the finish schedule as "PT-29," such as in Mechanical room 129 and Storage 126. Refer to A-748 (Materials Legend) and A-750 (Finish Schedule).	09/10/2024

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Email Request to : Amanda Tucker, Amanda.Tucker@parks.ny.gov

Request Number: 28 **OPRHP 27**

Date: 09/05/24

Spec Section No.:

Drawing No: A-750

Remarks:

Question:

Please specify the 'Dragon Board' referenced at Room 312B on the Finish Schedule. What fire rating is required?

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	Exception 2 to Section 3005.4 of the 2020 NYSBC allows for the EMR enclosure to be non-rated where the building has a height of four stories or less and where the EMR does not abut or have direct openings to elevator hoistway. The Dragon Board was added to the existing wood floor so that the EMR flooring was non-combustible.	09/11/2024

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Request Number: 30 **OPRHP 29**

Date: 09/05/24

Spec Section No.:

Drawing No: A-748

Remarks:

Question:

PLAS-1 and PLAS-2 are shown to be the ceiling material at the Bedford House. On A-748, the Manufacturer column for these two materials indicates 'GC to provide material'. What is the intent of this note? Per the RCP drawings, all the ceilings appear to be existing, the only NEW is shown on RCP drawings with cross hatching and referenced detail 6/A-730. Confirm the only finish required at EXISTING plaster ceilings is paint.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	Please refer to the RCP repair/finish legend, there are three different conditions for new ceilings (details 7/A-730, 6/A-730 & 8/A-730) in addition to four repair conditions (P-R2, P-R3, P-R6 & P-R9) which are referenced on G-101. At any existing plaster ceilings to remain, refer to A-750 for the scheduled finish. PLAS-1 & PLAS-2 are to indicate smooth vs sanded plaster and the comment "GC to provide material" is to indicate that the GC is to match existing based on results of pre-mockup testing. Refer to specifications for a list of possible manufacturers.	09/10/2024

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Email Request to : Amanda Tucker, Amanda.Tucker@parks.ny.gov

Request Number: 32 **OPRHP 31**

Date: 09/05/24

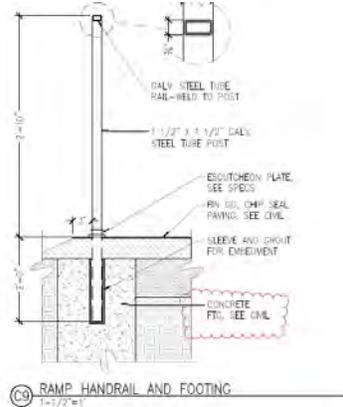
Spec Section No.:

Drawing No: L-503

Remarks:

Question:

Detail C9/L-503 (“Ramp Handrail and Footing”) references the civil drawings for details on the concrete footing however, the civil drawings do not include footing diameter, depth, reinforcing etc. Please clarify.



Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	Please refer to the response from CHA Consulting and Rhodeside & Harwell.	09/11/2024
Rhodeside & Harwell Inc.	RHI agrees with CHA's response	09/11/2024
CHA Consulting	Concrete footings shall be constructed per detail C9/L-503 using 12" diameter, 4.5' deep, and 3,000 psi concrete	09/09/2024

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Request Number: 33 OPRHP 32

Date: 09/05/24

Spec Section No.:

Drawing No: L-203

Remarks:

Question:

There are groundcover plantings on either side of the emergency spillway between Bioretention Area 2 & Dry Pond 2 in the Northeast corner of drawing L-203, but they aren't called out or quantified therein. Please advise what is required in the (2) spots depicted therein.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	Please refer to the response from Rhodeside & Harwell.	09/09/2024
Rhodeside & Harwell Inc.	The 2 areas of ground cover planting not labeled on sheet L203 are: 14 GIV to the right of the spillway and 38 GOS to the left of the spillway. Though not labeled on the plan, the quantities of these 2 planted areas have been accounted for on the plant schedule and the quantities do not have to change.	09/06/2024

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Request Number: 34 **OPRHP 33**

Date: 09/05/24

Spec Section No.:

Drawing No: L-206

Remarks:

Question:

There are tags for (3) trees and the planting area to the left of the handicap parking spots that are covered by the Meadow Seed Mix callouts of drawing L-206. Please advise what the tags call out that are hidden therein.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	Please refer to the response from Rhodeside & Harwell.	09/09/2024
Rhodeside & Harwell Inc.	The tag covered by the meadow seed mix text to the left of the handicap parking spaces on sheet L206, references a detail section of the ramp and stairs F9/L302.	09/06/2024

## REQUEST FOR INFORMATION (RFI) OPR-103

Project: Building & Site Enhancement Project at John Jay Homestead State Historic Site

Contract Number: D006292 GC

Request From: Andron Construction

Reply Email Address: [abadolato@androncc.com](mailto:abadolato@androncc.com)

Email Request to : Amanda Tucker, [Amanda.Tucker@parks.ny.gov](mailto:Amanda.Tucker@parks.ny.gov)

Request Number: 35 OPRHP 34

Date: 09/05/24

Spec Section No.:

Drawing No: L-106 & L-206

Remarks:

Question:

There are (17) existing apple trees to be relocated as noted on drawing L-106, but only (13) of these trees are shown to be transplanted on drawing L-206. Please clarify where the other (4) existing trees are to be transplanted or are they to be removed.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	Please refer to the response from Rhodeside & Harwell.	09/09/2024
Rhodeside & Harwell Inc.	There are 17 existing fruit trees indicated on sheet L106. 4 of the 17 are dead, so that is why only 13 are indicated on sheet L206 to be transplanted. The contractor will be responsible to disposed of the 4 dead fruit trees off site.	09/06/2024

## REQUEST FOR INFORMATION (RFI) OPR-103

Project: Building & Site Enhancement Project at John Jay Homestead State Historic Site

Contract Number: D006292 GC

Request From: Andron Construction

Reply Email Address: abadolato@androncc.com

Email Request to : Amanda Tucker, Amanda.Tucker@parks.ny.gov

Request Number: 36 OPRHP 35

Date: 09/05/24

Spec Section No.: Appendix 5

Drawing No:

Remarks:

Question:

The Tree Survey in Appendix 5 includes various information, but doesn't appear to specify any work to the associated trees. Please advise if any scope is to be included per the Tree Survey notes.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	Please refer to the response from Rhodeside & Harwell.	09/09/2024
Rhodeside & Harwell Inc.	The Tree Survey in Appendix 5 is provided for information only and does not include any scope of work on the existing trees to be bid on.	09/06/2024

## REQUEST FOR INFORMATION (RFI) OPR-103

Project: Building & Site Enhancement Project at John Jay Homestead State Historic Site

Contract Number: D006292 GC

Request From: Andron Construction

Reply Email Address: [abadolato@androncc.com](mailto:abadolato@androncc.com)

Email Request to : Amanda Tucker, [Amanda.Tucker@parks.ny.gov](mailto:Amanda.Tucker@parks.ny.gov)

Request Number: 37 **OPRHP 36**

Date: 09/05/24

Spec Section No.:

Drawing No: Landscape Architectural

Remarks:

Question:

Leusothoe Massing is included in the Proposed Planting Legend on the Planting Plan drawings, but it doesn't appear to be scheduled anywhere. Please clarify if any is required where and include the associated scope because it doesn't appear to be specified anywhere in the Project Manual.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	Please refer to the response from Rhodeside & Harwell.	09/09/2024
Rhodeside & Harwell Inc.	The Leucothoe, plant symbol SLQ is indicated on the Enlarged Planting Plan sheet L411. The leucothoe coded SLQ, in the Plant Schedule under the Gound Covers section.	09/06/2024

## REQUEST FOR INFORMATION (RFI) OPR-103

Project: Building & Site Enhancement Project at John Jay Homestead State Historic Site

Contract Number: D006292 GC

Request From: Andron Construction

Reply Email Address: [abadolato@androncc.com](mailto:abadolato@androncc.com)

Email Request to : Amanda Tucker, [Amanda.Tucker@parks.ny.gov](mailto:Amanda.Tucker@parks.ny.gov)

Request Number: 38 OPRHP 37

Date: 09/05/24

Spec Section No.: 039200

Drawing No: Landscape Architectural

Remarks:

Question:

The Landscaping Drawings indicate to provide lawn restoration at all disturbed areas not otherwise planted and calls out the areas per the Legend. The Lawns & Grasses specification section 329200, 2.1 notes that the seed mix to be used, but the Plant Schedule on Drawing L-002 calls for "TS" Turf Seed in the same square foot quantity as the Lawn Restoration shown. Please advise which seed mix is to be provided at these locations and if "TS", indicate the mix composition.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	Please refer to the response from Rhodeside & Harwell.	09/09/2024
Rhodeside & Harwell Inc.	The lawn seed mix to be used is in the Lawn and Grasses specification. The TS Turf Seed in the schedule on sheet L002 is the same as the lawn renovation seed mix.	09/06/2024

## REQUEST FOR INFORMATION (RFI) OPR-103

Project: Building & Site Enhancement Project at John Jay Homestead State Historic Site

Contract Number: D006292 GC

Request From: Andron Construction

Reply Email Address: [abadolato@androncc.com](mailto:abadolato@androncc.com)

Email Request to : Amanda Tucker, [Amanda.Tucker@parks.ny.gov](mailto:Amanda.Tucker@parks.ny.gov)

Request Number: 39 **OPRHP 38**

Date: 09/05/24

Spec Section No.:

Drawing No: L-002

Remarks:

Question:

The last General Note on Drawing L-002 indicates to seed all areas within the Limits of Disturbance "LOD", but the "LOD" isn't called out, the Limit of Work "LOW" is. Please advise if all areas within the "LOW" are to be seeded that aren't called out as Lawn Restoration or Planting Type.

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	Please refer to the response from Rhodeside & Harwell.	09/09/2024
Rhodeside & Harwell Inc.	I believe the note you are referring to is on Sheet L001 not L002. The seeding note should read Limit of Work instead of Limit of Disturbance to match the LOW on the drawings.	09/06/2024

## REQUEST FOR INFORMATION (RFI) OPR-103

Project: Building & Site Enhancement Project at John Jay Homestead State Historic Site

Contract Number: D006292 GC

Request From: Andron Construction

Reply Email Address: abadolato@androncc.com

Email Request to : Amanda Tucker, Amanda.Tucker@parks.ny.gov

Request Number: 40 **OPRHP 39**

Date: 09/05/24

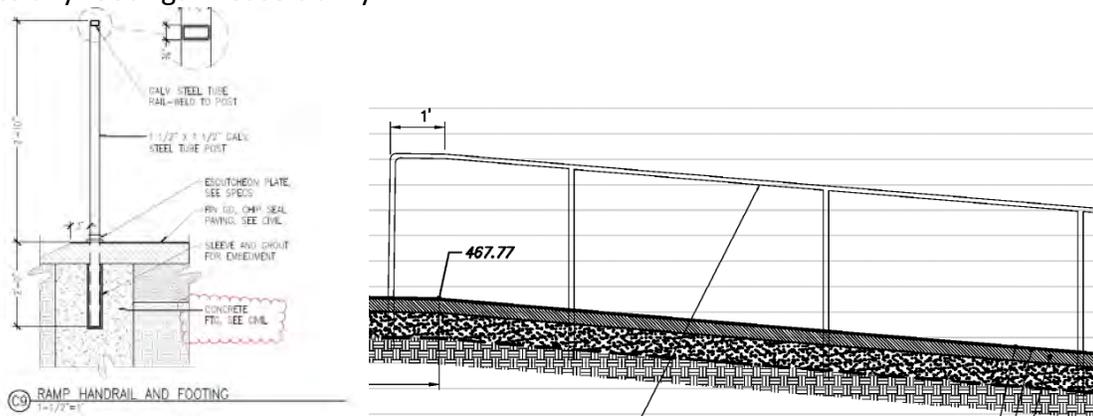
Spec Section No.:

Drawing No: C-501, L-503

Remarks:

Question:

Detail C9/L-503 shows a concrete footing at the railing posts however, the ramp profiles do not indicate any footings. Please clarify.



Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	Please refer to the response from CHA Consulting and Rhodeside & Harwell.	09/09/2024
Rhodeside & Harwell Inc.	RHI agrees with CHA's response.	09/09/2024
CHA Consulting	Concrete footings shall be constructed per detail C9/L-503 using 12" diameter, 4.5' deep, and 3,000 psi concrete	09/09/2024

## REQUEST FOR INFORMATION (RFI) OPR-103

Project: Building & Site Enhancement Project at John Jay Homestead State Historic Site

Contract Number: D006292 GC

Request From: UniMak LLC

Reply Email Address: estimating@unimakllc.com

Email Request to : Amanda Tucker, Amanda.Tucker@parks.ny.gov

Request Number:01 **OPRHP 41**

Date: 09/11/2024

Spec Section No.: 06

Drawing No:A211

Remarks:

Question:

1. Existing Ceiling at Reception Area (Sheet A211)

Question: Could you provide details on the existing ceiling at the reception area that may need to be patched due to the installation of the new bathroom walls?

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	Please see photo 3 on A-410. There is no existing ceiling in the new Reception area. The rafters are exposed.	09/11/2024

## REQUEST FOR INFORMATION (RFI) OPR-103

Project: Building & Site Enhancement Project at John Jay Homestead State Historic Site

Contract Number: D006292 GC

Request From: UniMak LLC

Reply Email Address: [estimating@unimakllc.com](mailto:estimating@unimakllc.com)

Email Request to : Amanda Tucker, [Amanda.Tucker@parks.ny.gov](mailto:Amanda.Tucker@parks.ny.gov)

Request Number:02 **OPRHP 42**

Date: 09/11/2024

Spec Section No.: 06

Drawing No:D

Remarks:

Question:

3. Flooring Removal and Reinstallation at Carriage Barn (Sheet SD111)

Question: For the flooring at the Carriage Barn indicated on sheet SD111 that is to be removed and reinstalled, should we assume that this work will be performed by a flooring company?

Answer:

Company Name	Response	Reviewed At
Beyer Blinder Belle Architects & Planners	the removal and reinstallation should be done by a flooring company. The new framing under this reinstalled flooring could be done by a carpenter	09/11/2024

# RFI Log

Updated: 9.5.2024

**PROJECT: D006292 Historic Site Enhancements**  
John Jay Homestead SHS



New York State  
Parks, Recreation and  
Historic Preservation

RFI NO.	SHEET	DESCRIPTION	RECEIVED	RETURNED
RFI 01	A-100	Limit to cleaning in Basement Rooms	8/28/2024	Addendum #1
RFI 02	A-400	Scope of W-R1 treatment in Basement	8/28/2024	Addendum #1
RFI 03	A-100	Scope of C-R3 in Breezeway	8/28/2024	Addendum #1
RFI 04	A-101/A-300	Extent of front porch stair tread replacement	8/28/2024	Addendum #1
RFI 05	L-601	Clarification on tree protection fences	8/28/2024	Addendum #1
RFI 06	A-660	Clarification on hearth scope	8/28/2024	Addendum #1
RFI 07	A-402	Clarification on extent of scope of door repairs (1003.2)	8/28/2024	Addendum #1
RFI 08	A-402	Clarification on extent of scope of W-R1	9/4/2024	Addendum #2
RFI 09	Appendices	Clarification on Appendices	9/4/2024	Addendum #1
RFI 10	A-101	Scope of W-R1 on first and second floors	9/4/2024	Addendum #2
RFI 11	A-404	Clarification on extent of scope of P-R1, interpretation of "full wall" and "typical"	9/4/2024	Addendum #2
RFI 12	01 5639	Clarification on Arborist retainage and services	9/4/2024	Addendum #2
RFI 13	Appendix 5	Clarification on Arborist retainage and services and UA Spreadsheet recommendations	9/4/2024	Addendum #2
RFI 14	02 87 00 / H-100-103	Clarification on scope of remediation	9/4/2024	Addendum #2
RFI 15	S-101 / A-562	Clarification of scope of new subflooring and removals	9/4/2024	Addendum #2
RFI 16	E201, A703, Appendix 10	Clarification extent of drilling and circuiting for Ballroom light fixtures	9/4/2024	Addendum #2
RFI 17	G100, 092433	Clarification on vapor-permeable coating application	9/4/2024	Addendum #2
RFI 18	SD-111	SD-111 is not included in the set, but listed in the TOC	9/4/2024	Addendum #2
RFI 19	A401	Clarification on picture rail scope in North Parlor 103	9/4/2024	Addendum #2
RFI 20	A401	Clarification on chair rail scope in Dining Room 104	9/4/2024	Addendum #2
RFI 21	A101-102	Clarification of Hall 107/Stair 209 staircase and scope	9/4/2024	Addendum #2
RFI 22	A730	Clarification on the scope of the plaster work	9/4/2024	Addendum #2
RFI 23	GC	Clarification on scope of construction fencing	9/4/2024	Addendum #2
RFI 24	A750	Confirmation of scope of Breezeway floor finish	9/5/2024	Addendum #2
RFI 25	A750, A760-761	Clarification of floor finishes	9/5/2024	
RFI 26	A748, A750	Clarification of scope of concrete floor finish	9/5/2024	Addendum #2
RFI 27	A750	Clarification on Dragon Board	9/5/2024	Addendum #2
RFI 28	A760	Clarification on scope of "O" floor finish	9/5/2024	
RFI 29	A748	Clarification on scope of PLAS-1 and 2 ceiling finish	9/5/2024	Addendum #2
RFI 30	13500	Clarification on excavation methods	9/5/2024	
RFI 31	L503	Clarification on ramp handrail details	9/5/2024	Addendum #2
RFI 32	L203	Clarification on scope of groundcover plantings	9/5/2024	Addendum #2
RFI 33	L206	Clarification on scope of plantings	9/5/2024	Addendum #2
RFI 34	L106, L206	Clarification on scope of apple tree transplanting	9/5/2024	Addendum #2
RFI 35	Appendix 5	Clarification on extent of scope per tree survey	9/5/2024	Addendum #2
RFI 36	Landscape	Clarification on scope of Leusothoe Massing planting	9/5/2024	Addendum #2
RFI 37	329200, L002	Clarification on lawn restoration planting	9/5/2024	Addendum #2

RFI 38	L002	Clarification on extent of scope of seeding and "LOD" vs "LOW"	9/5/2024	Addendum #2
RFI 39	C501, L503	Clarification on ramp handrail details	9/5/2024	Addendum #2
RFI 40	C206, L501-502	Clarification on railings at bluestone stairs	9/5/2024	
RFI 41	A211	Clarification on ceiling detail at new restroom in Carriage Barn	9/11/2024	Addendum #2
RFI 42	SD111	Clarification on removal and reinstallation of Carriage Barn flooring	9/11/2024	Addendum #2
RFI 43	SD111	Clarification on scope of temporary shoring and bracing	9/11/2024	
RFI 44	A561	Clarification on ramp in service hall	9/11/2024	
RFI 45	AD100	Clarification on scope of front porch stair restoration/replacement	9/12/2024	
RFI 46	AD102/AD202	Clarification on scope of calcimine paint in Room 204	9/12/2024	
RFI 47	A560/5S01	Clarification on extents of existing floor structure at proposed corridor 108	9/12/2024	
RFI 48	A560	Clarification on extents of required shoring for floor slab demo and existing conditions	9/12/2024	
RFI 49	A300-301	Clarification of scope of granite masonry wall cleaning	9/12/2024	
RFI 50	AD102	Clarification on scope of structural work at John Jay Bedroom 205 East Window	9/12/2024	
RFI 51	A111/S111	Clarification on scope of flooring detail in Rooms 101, 101A, 102, and 105	9/12/2024	
RFI 52	A100/A654	Clarification on shoring requirement for foundation waterproofing work	9/12/2024	

UPDATED 9.12.2024 (4:00PM EST)



BIDDERS								
#	First Name	Last Name	Bidder Company Name	City	State	Zip	Addendum 1 9/9/2024	Contact Confirmed (Y/N)
1	Joel	Foley	Andron Construction Corporation	Goldens Bridge	NY	10526	Yes	Yes
2	Martin	Selca	Consigli Construction	White Plains	NY	10606	Yes	Yes
3	Drew	Dantino	Nicholson & Galloway, Inc.	Glen Head	NY	11545		Yes
4	Eric	Butler	Butler Construction Group, Inc	Montgomery	NY	12549	Yes	Yes
5	Matt	Goerl	United Fire Protection Corp.	Kenilworth	NY	7033		Yes
6	Karen	Gallo	Gallo Construction	Watervliet	NY	12189		Yes
7	Jason	Collier	Allied Solution Enterprise	Carmel	IN	46032		Yes
8	Anna	Stolarczyk	TA Ahern Contractors Corp	Port Washington	NY	11050	Yes	Yes
9			UniMak LLC	Saddle Brook	NJ	7663	Yes	Yes
10	Rhonda	Sanchez	Sajiun Electric	New York	NY	10016		Yes
11	David	Casillo	EWHowell Construction Group	Plainview	NY	11803		Yes
12	Mark	Pugni	Bradhurst Site Construction	Valhalla	NY	10595		Yes
13	Patricia	Nevin	Stalco Construction	Islandia	NY	11749	Yes	Yes
14	Harold	Kenny	C&L Contracting Corp	Lake Success	NY	11042	Yes	Yes
15	Chris	Alvarado	Consolidated Environmental, Inc	Rahway	NJ	7065		
16	Shirley	Markov	EL Industries, Inc.	New Rochelle	NY	10801	Yes	Yes
17	Jaspinder	Singh	Tribeca Construction Group	Roslyn Heights	NY	11577		Yes
18	Steve	Mgrditchian	Pierotti Corp	Harrison	NY	914-233-999	Yes	Yes
19	Christine	Baisley	RLJ Electric Corporation	Garrison	NY	10524	Yes	Yes
20	Scott	Jennings	Southeast Mechanical Corporation	Brewster	NY	10509		Yes
21	Zachary	Halsey	Dubner Landscape & Construction	Westbury	NY	11590		Yes
22	Adriana	Palka	Northbrook Contracting Corp.	Peekskill	NY	10566	Yes	Yes
23	Henry	Minet	Con-Tech Construction Technology, Inc.	Carmel	NY	10512		Yes
24	Karyn	Castensen	PC Construction	South Burlington	VT	5403	Yes	Yes
25	Jon	Kaufman	Rizzo Companies	Danbury	CT	6810		Yes
26	Ross	Kitchen	Redwood Landscape NY	Selkirk	NY	12158		
27	Andria	Sartor	Kokolakis Contracting	Tarpon Springs	FL	34689	Yes	Yes
28	Kamran	Bashir	RK Best Construction Inc.	Valley Stream	NY	11581	Yes	Yes
29	Erica	Stoutenburg						
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NON-BIDDERS								
1	Henri	Bradshaw	Construct/Connect	Cincinnati	OH	45209		
2	Dodge	Bidding	Dodge Data & Analytics	Hamilton	NJ	8619		
3	Dustin	Henry	Eastern Contractors Association, Inc.	Albany	NY	12205-1095		
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Updated:  
9.12.24 4:00PM EST

# PRE-BID MEETING



PROJECT: JOHN JAY HOMESTEAD SHS  
 BUILDING & SITE ENHANCEMENTS  
 CONTRACT No. D006292

DATE: SEPTEMBER 10, 2024; 10:00 AM

DVLOCATION: JOHN JAY HOMESTEAD SHS - BALLROOM

NYS PARKS: AMANDA TUCKER, ERIN MORONEY

PRESENT: PLEASE PRINT LEGIBLY (Page 1)

	NAME	ORGANIZATION	EMAIL ADDRESS
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# PRE-BID MEETING



PROJECT: JOHN JAY HOMESTEAD SHS  
 BUILDING & SITE ENHANCEMENTS  
 CONTRACT No. D006292

DATE: SEPTEMBER 10, 2024; 10:00 AM

LOCATION: JOHN JAY HOMESTEAD SHS - BALLROOM

NYS PARKS: AMANDA TUCKER, ERIN MORONEY

PRESENT: PLEASE PRINT LEGIBLY (Page 2)

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