

# RESTROOM REHABILITATION AND REPAIR

## AT

## LENNON PARK

## LAKE AVENUE AND PARK AVENUE

## YONKERS

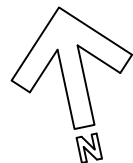
## NEW YORK



PLOT PLAN

LENNON PARK RESTROOMS

PROPERTY INFORMATION			
ZONING:	M	OWNER:	CITY OF YONKERS
BLOCK:	2440		
LOT:	11.64	NO. OF STORIES:	1



### GENERAL NOTES

- WORK MUST CONFORM TO THE OTHER REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE, FIRE DEPARTMENT REGULATIONS AND ALL APPLICABLE LAWS, UTILITY COMPANY REQUIREMENTS AND BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIREMENTS CERTIFICATES OF INSURANCE WITH DEPARTMENT OF BUILDING. OBTAIN ALL REQUIRED PERMITS FROM ALL APPLICABLE N.Y.S. AGENCIES. COPIES OF ALL CERTIFICATES AND PERMITS SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER BEFORE WORK COMMENCES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PROPER TO COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE PROFESSIONAL ENGINEER, REGISTERED ARCHITECT.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PRIOR CONSTRUCTION OF ANY PART OF WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS. AND THE PROFESSIONAL ENGINEER, REGISTERED ARCHITECT AND OWNER SHALL BE NOTIFIED IN THE WRITING PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITH IN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITIES FOR ANY DAMAGE AND INJURIES CAUSED BY DURING THE EXECUTION OF THE WORK.
- PLUMBING AND ELECTRICAL WORK IF ANY SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADE, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN OFF.
- THE CONTRACTOR SHALL DO ALL PATCHING AND CUTTING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED AND PLUGGED.
- AT LEAST 24 HOURS WRITTEN NOTICE SHALL BE GIVEN TO THE DEPARTMENT OF BUILDING BEFORE THE COMMENCEMENT OF ANY WORK FOR WHICH A WORK PERMIT HAS BEEN OBTAINED. BEFORE ANY WORK COMMENCED ON AN ITEM OF CONSTRUCTION REQUIRING CONTROLLED INSPECTION ALL PERSONS RESPONSIBLE FOR SUCH CONTROLLED INSPECTIONS SHALL BE NOTIFIED IN WRITING AT LEAST SEVENTY-TWO HOURS PERIOD TO SUCH COMMENCEMENT. CONTRACTOR SHALL ALL PERMIT APPROVALS AND EXPEDITING FEES .
- SHORING OF MEMBERS AND PROTECTIONS OF THE EXISTING STRUCTURE DURING CONSTRUCTION IS THE RESPONSIBILITY OF CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS OF LOCAL AND STATE CODES.

### LIST OF DRAWINGS

T-001.00	TITLE SHEET AND GENERAL NOTES
A-101.00	RESTROOM PLANS
A-201.00	RESTROOM INTERIOR ELEVATIONS
A-202.00	RESTROOM INTERIOR ELEVATIONS
A-203.00	BUILDING EXTERIOR ELEVATIONS
A-400.00	DETAILS
A-401.00	DETAILS

L+

M

Lawless + Mangione  
Architects | Engineers

[www.lawlessandmangione.com](http://www.lawlessandmangione.com)  
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580 FIFTH AVENUE | SUITE 220 | NEW YORK, N.Y. 10036  
TEL: 212.324.1700 | DIRECT: 646.293.3185

CONSULTANT:

PARKS, RECREATION & CONSERVATION

Department of Parks, Recreation & Conservation  
285 Nepperhan Avenue  
Yonkers, NY 10701



4	DOB FILING / BID	7-30-24
3	FINAL CLIENT REVIEW	6-10-24
2	CD REVIEW	4-24-24
1	PRELIMINARY REVIEW	3-09-24

NUMBER	ISSUED FOR	DATE
Revision Schedule		

PROJECT:

RESTROOM RENOVATIONS  
LENNON PARK  
YONKERS, NY

DWG TITLE:

TITLE SHEET AND  
GENERAL NOTES

PROJECT #:

24-0235-00

SCALE:

AS NOTED

DOB JOB #:

BXXXXXXX

DRAWN BY:

GJM/JP

CHECKED BY:

BP

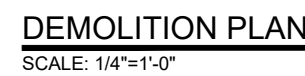
SEAL

DWG NO.

T-001.00

SHEET 1 OF 7





Lighting & Electrical Fixture Schedule							
Symbol	Manufacturer	Catalog Number	Description	Number Lamps	Lamp	Wattage	Remarks
□	DESIGN PLAN	ATSQ/1950	SQUARE -ADA COMPLIANT VANDAL RESISTANT LUMINAIRE	1	LED	18	SURFACE MOUNT - ADA Compliant. SURFACE CONDUIT ENTRY
○	HIGHLIGHTHK	178608784 SILVER	W 4.5" / D 4.5" / H 9.5" / 2.7 lb.	1	LED	4	Clear 4 Watt ST14 Dimmable LED Outdoor Party Light Bulb=40WATT EQUIV

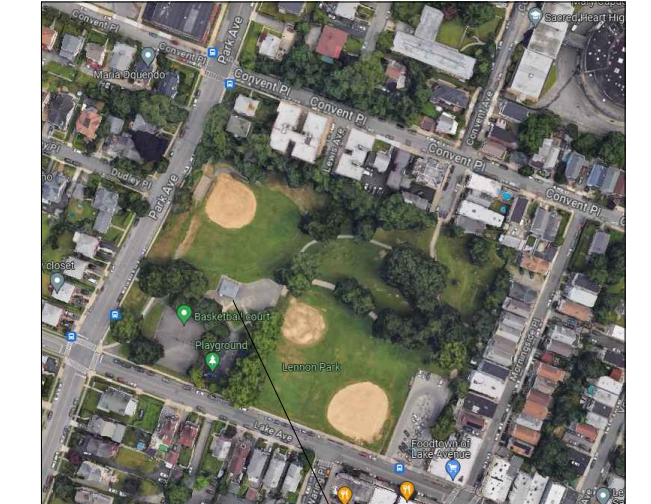
**www.lawlessandmangione.com**  
480 NORTH BROADWAY | YONKERS, N.Y. 10701  
TEL: 914.423.8844 | FAX: 914.423.8981  
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KEY PLAN:



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PROJECT:

# RESTROOM RENOVATIONS LENNON PARK YONKERS, NY

DWG TITLE:

## RESTROOM PLANS

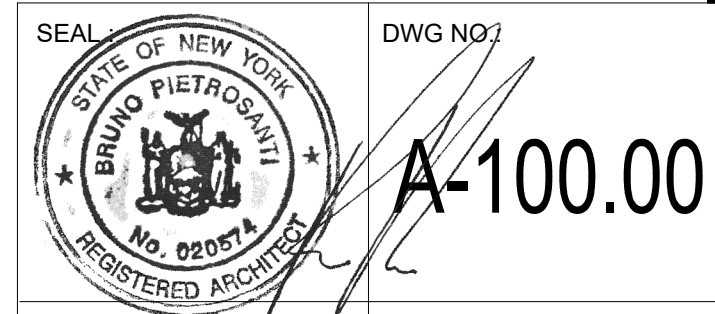
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SCALE:	AS NOTED
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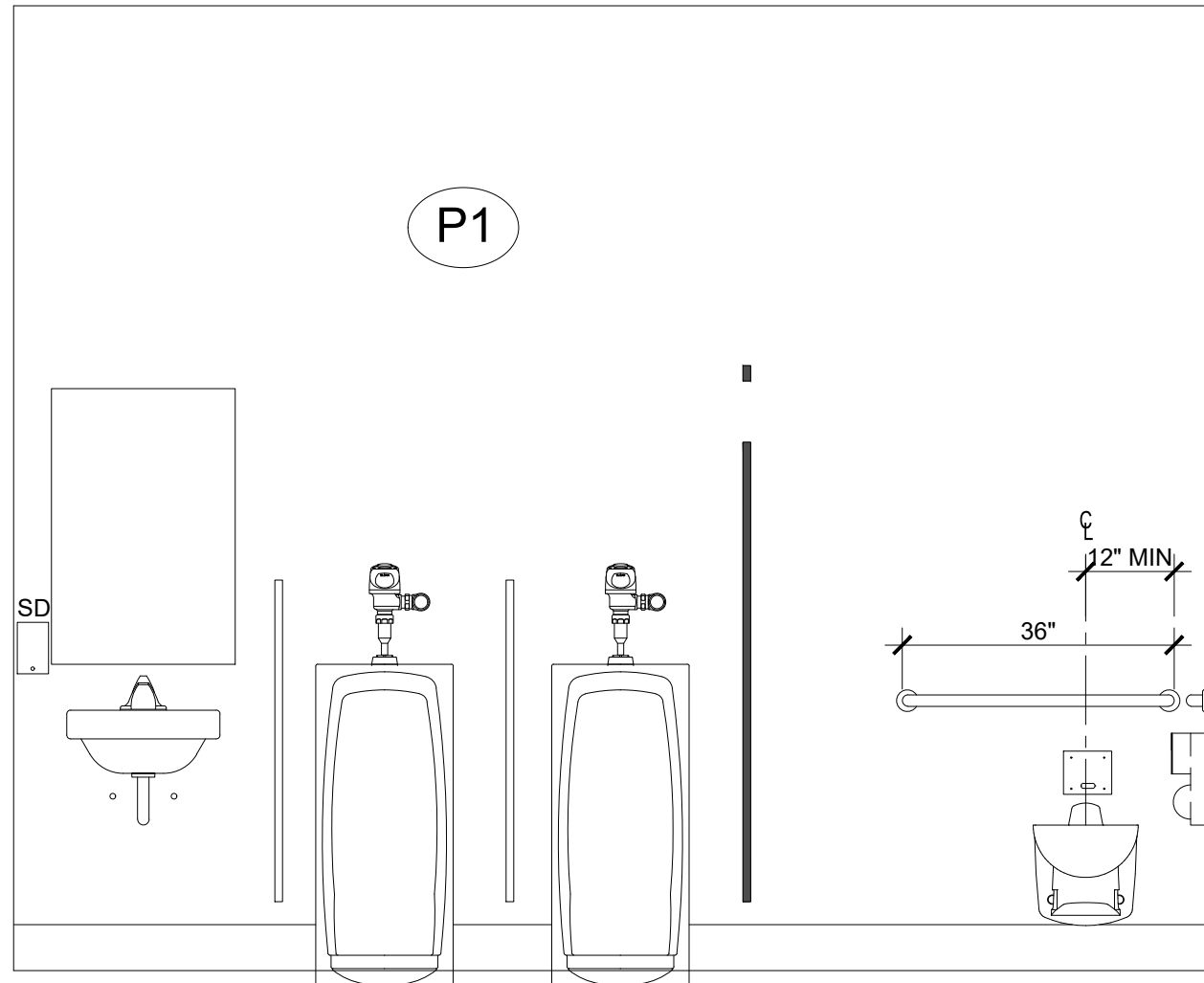
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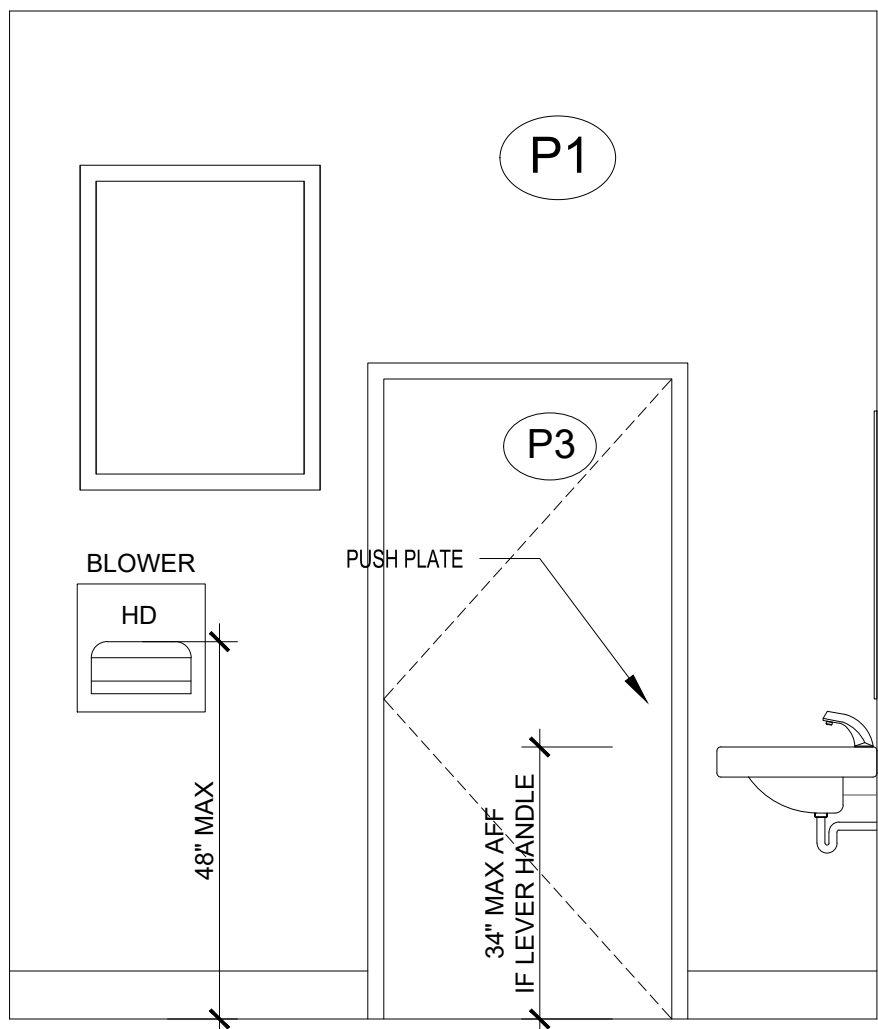
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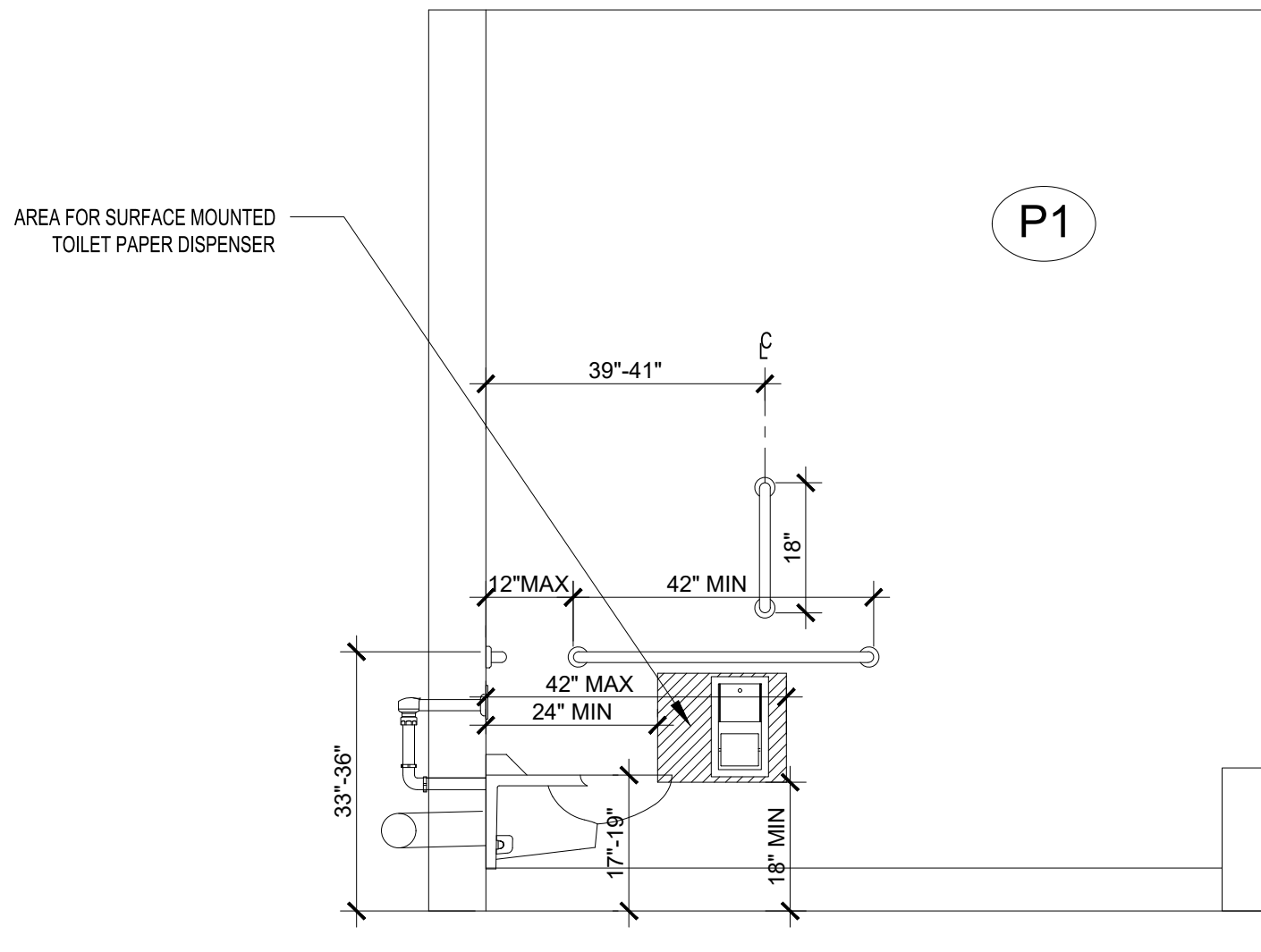




MEN'S ROOM ELEVATION -A-  
SCALE: 1/2"=1'-0"



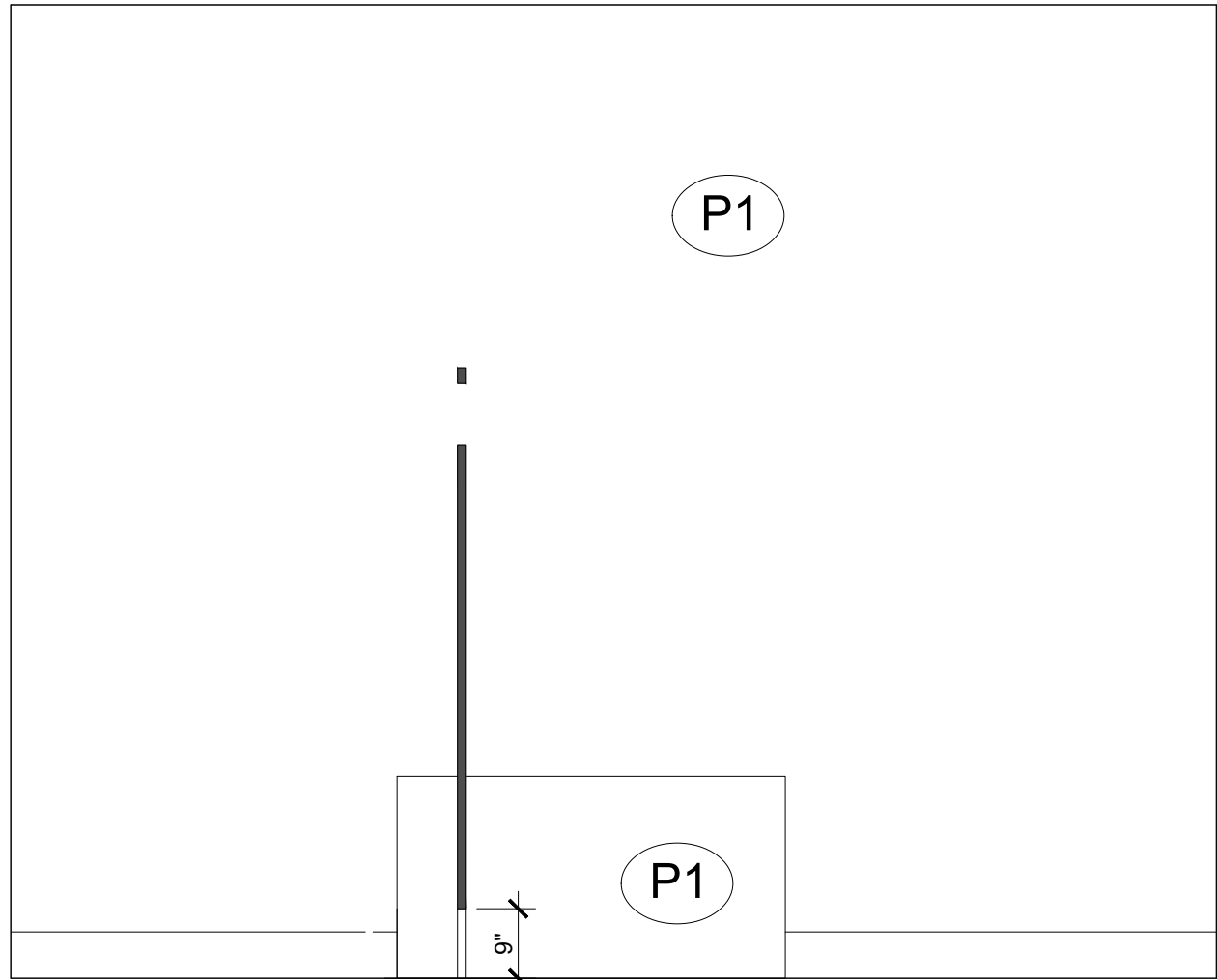
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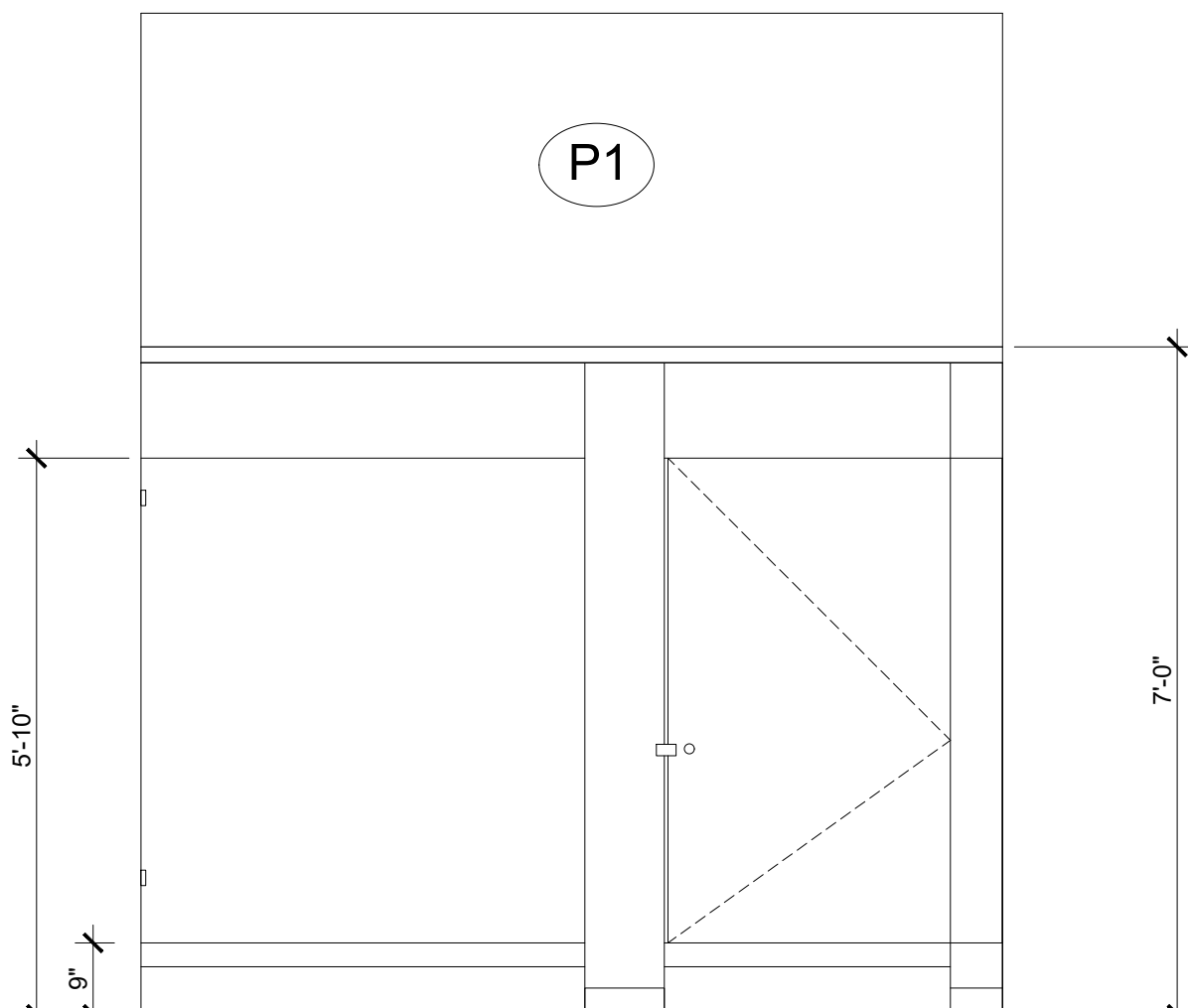
MEN'S ROOM ELEVATION -C-  
SCALE: 1/2"=1'-0"

FINISH SCHEDULE

WALLS	MANUFACTURER	MODEL # /NAME	COLOR	REMARKS
P1	BENJAMIN MOORE	Corotech Command Urethane Acrylic Satin cv392	T.B.D.	PREPARE ALL SURFACES PER MANUFACTURER'S SPECICATIONS -PRIME W/ Ultra Spec Masonry Primer n609
P2	BENJAMIN MOORE	Ultra Spec Exterior Satin N448	T.B.D.	PREPARE ALL SURFACES PER MANUFACTURER'S SPECICATIONS -PRIME W/INSL-X Aqua Lock aq-400 Satin cv392
P3	BENJAMIN MOORE	Corotech Command Urethane Acrylic Satin cv392	T.B.D.	PREPARE ALL SURFACES PER MANUFACTURER'S SPECICATIONS -PRIME W/ Ultra Spec Masonry Primer n609
CEILING	MANUFACTURER	MODEL # /NAME	COLOR	REMARKS
P1	BENJAMIN MOORE	Corotech Command Urethane Acrylic Satin cv392	T.B.D.	PREPARE ALL SURFACES PER MANUFACTURER'S SPECICATIONS -PRIME W/ Ultra Spec Masonry Primer n609



MEN'S ROOM ELEVATION -D-  
SCALE: 1/2"=1'-0"



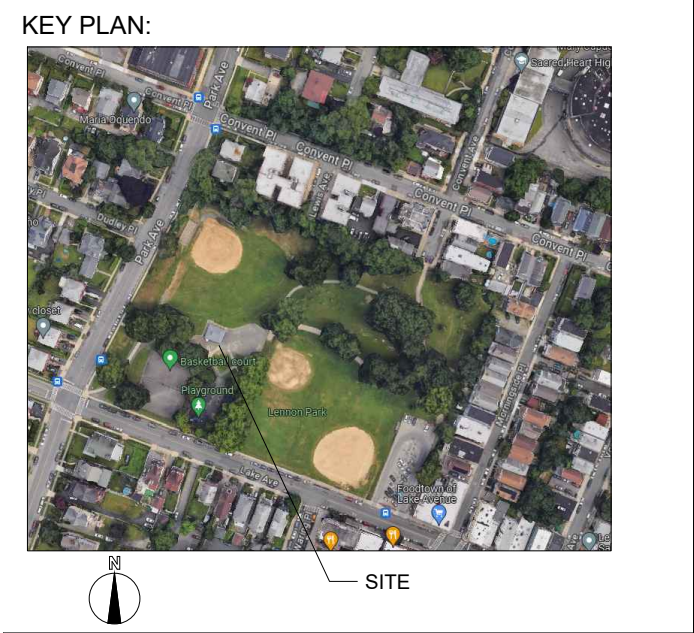
MEN'S ROOM ELEVATION -E-  
SCALE: 1/2"=1'-0"

FIXTURE & ACCESSORY SCHEDULE:							
	TYPE/FIXTURE	MODEL #/NAME	COLOR	MANUFACTURER	FAUCET/FLUSHOMETER	FINISH/MATERIAL	REMARKS
LAV	LAVATORY	L.T.307 COMMERCIAL WALL-HUNG LAVATORY	COTTON	TOTO	TOTO TEL103-D20E STD ECO POWER	VIT CHINA	USE OF JAY R. SMITH 0700 (CONCEALED ARMS) WITH 19" ARMS 0800 (WALL SUPPORT PLATE)
UR	URINAL	STALLBROOK WASHOUT URINAL	WHITE	AMERICAN STANDARD	0.5GPF FLUSH VALVE 6045013.002	VIT CHINA	PROVIDE 1233 STRAINER
TL	TOILETS	ST-2469 WATER CLOSET	COTTON	TOTO	1.28GPF FLUSH VALVE TMU1LN	VIT CHINA	1.28 GPF -SEAT SC534
TP	TOILET PARTITIONS	GLOBAL PARTITIONS	TBD	ASI- GLOBAL PARTITIONS		METAL PWDR COAT	24" DOORS / ADA STALLS 36" DOORS
UP	URINAL PARTITION	GLOBAL PARTITIONS	TBD	ASI- GLOBAL PARTITIONS		METAL PWDR COAT	42" H
HD	HAND DRYER	TURBO PRO- 0196-2-00 SURFACE MOUNT SENSOR	STAINLESS STL	ASI		S/S	PROVIDE SEPARATE CIRCUIT
TSD	TOILET PAPER DISPENSER	0030 SURFACE MOUNTED	STAINLESS STL	ASI		S/S	
GB	GRAB BARS	ASI 3801-42P/36P/18P	STAINLESS STL	ASI		S/S	SEE DRAWINGS FOR LOCATION AND MOUNTING HEIGHTS
SD	SOAP DISPENSER	ASI 20364 ROVAL AUTOMATIC TOUCHLESS SOAP DISPENSER	STAINLESS STL	ASI		S/S	
MI	MIRROR	FRAMELESS MIRROR -8287 20x36		ASI		S/S - PLATE GLASS	
BCS	BABY CHANGING STATION	ASI 9012		ASI			

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RESTROOM RENOVATIONS  
LENNON PARK  
YONKERS, NY

DWG TITLE:

RESTROOM ELEVATIONS

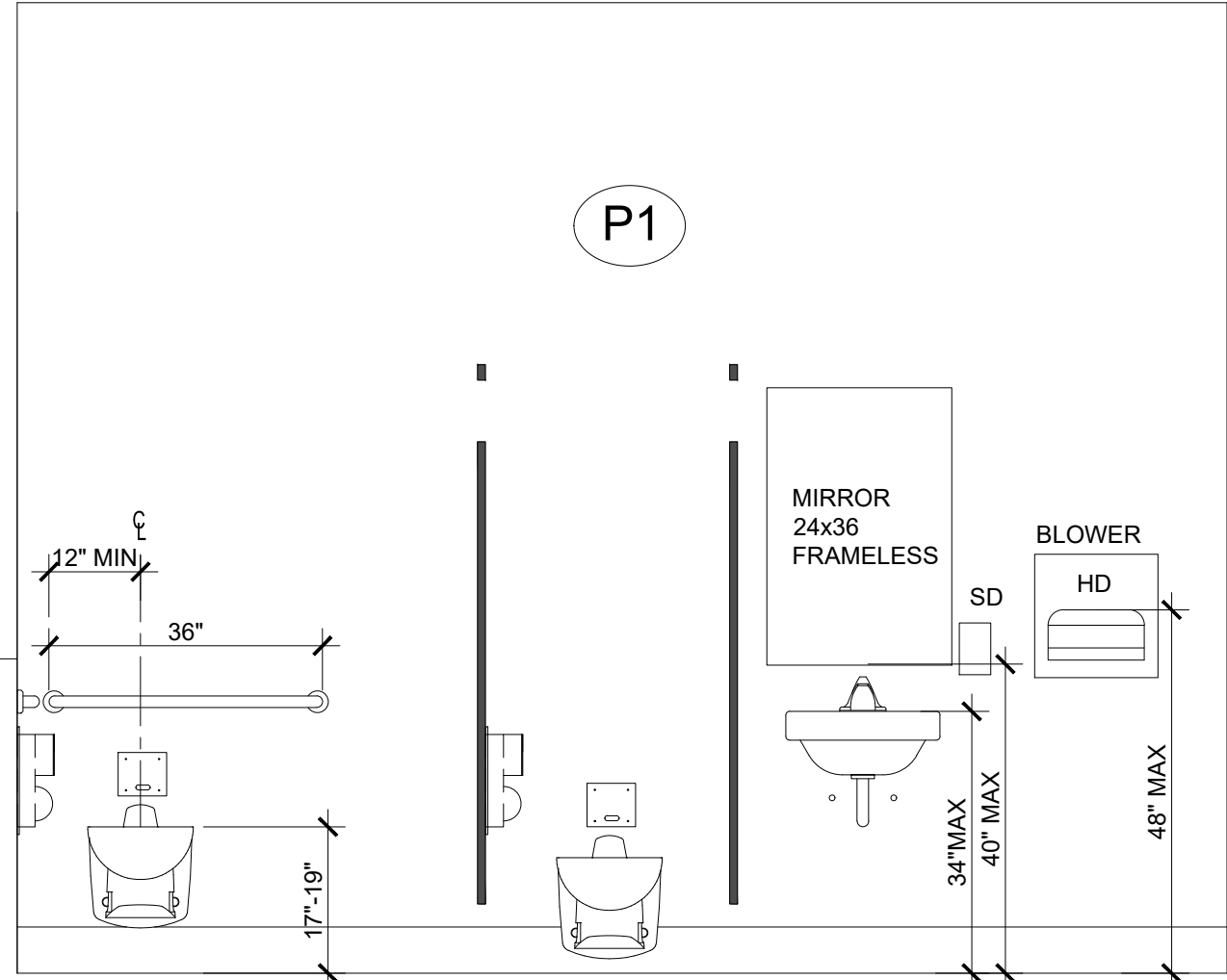
PROJECT #: 24-0235-00

SCALE: AS NOTED

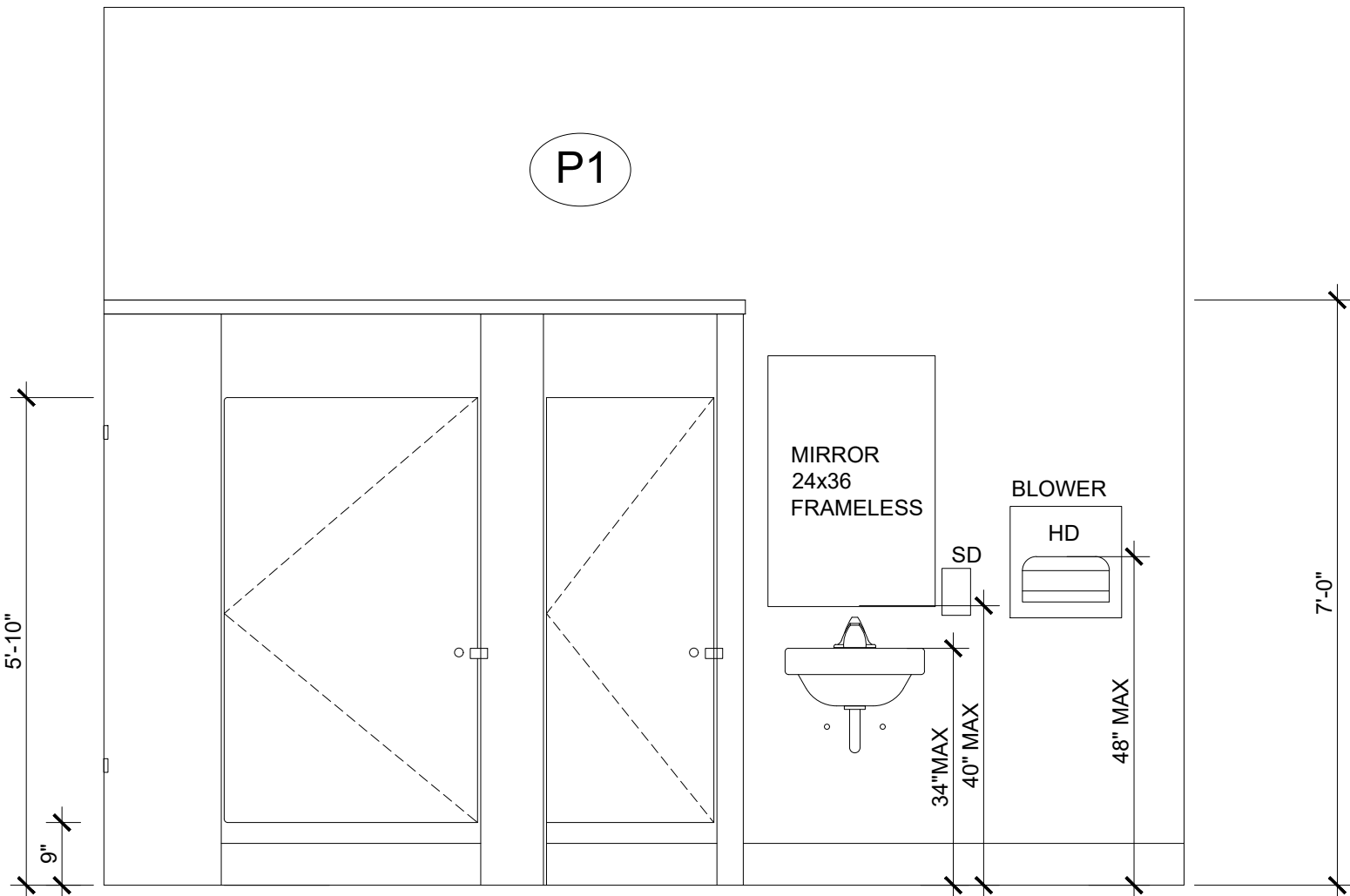
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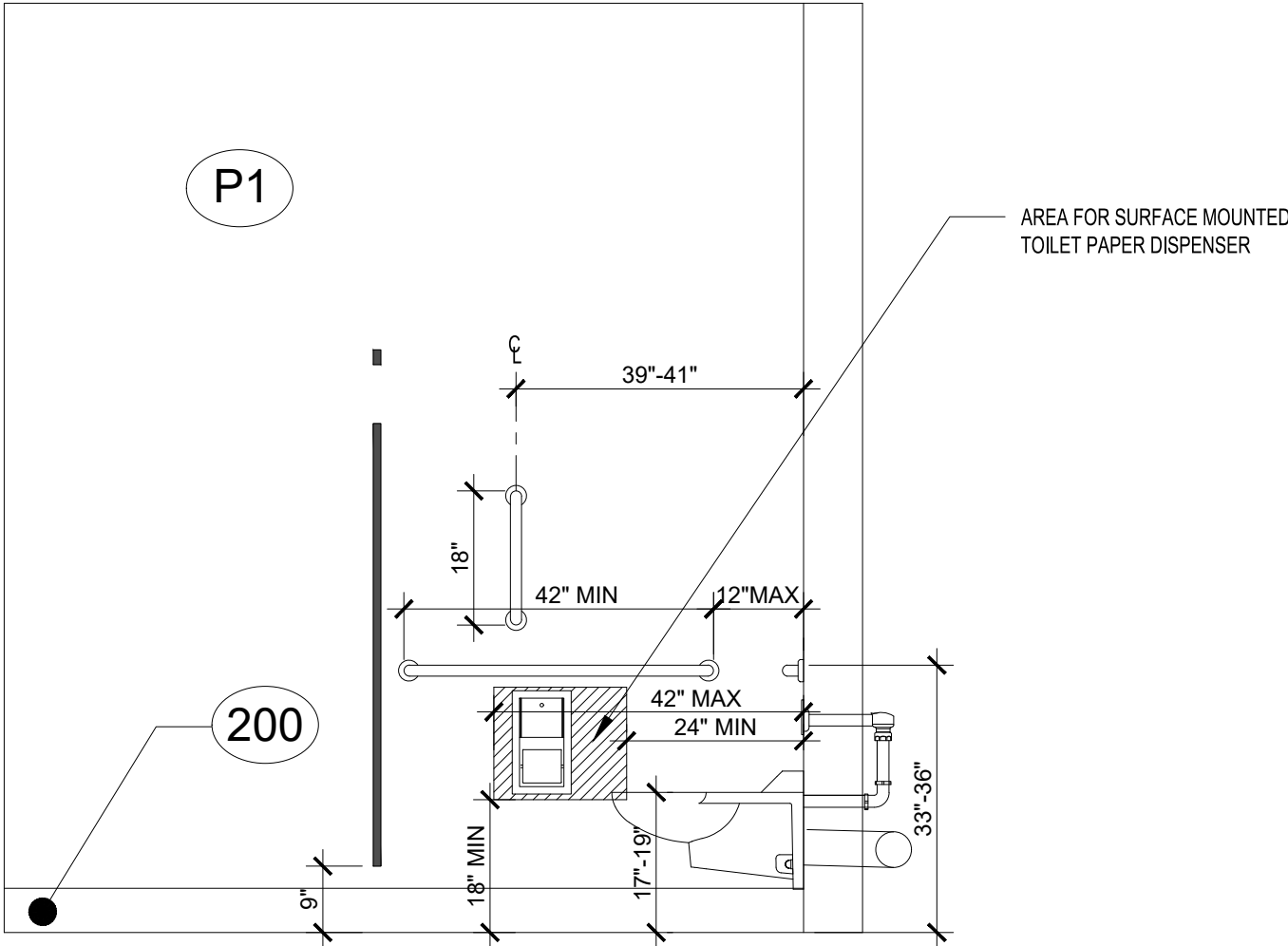
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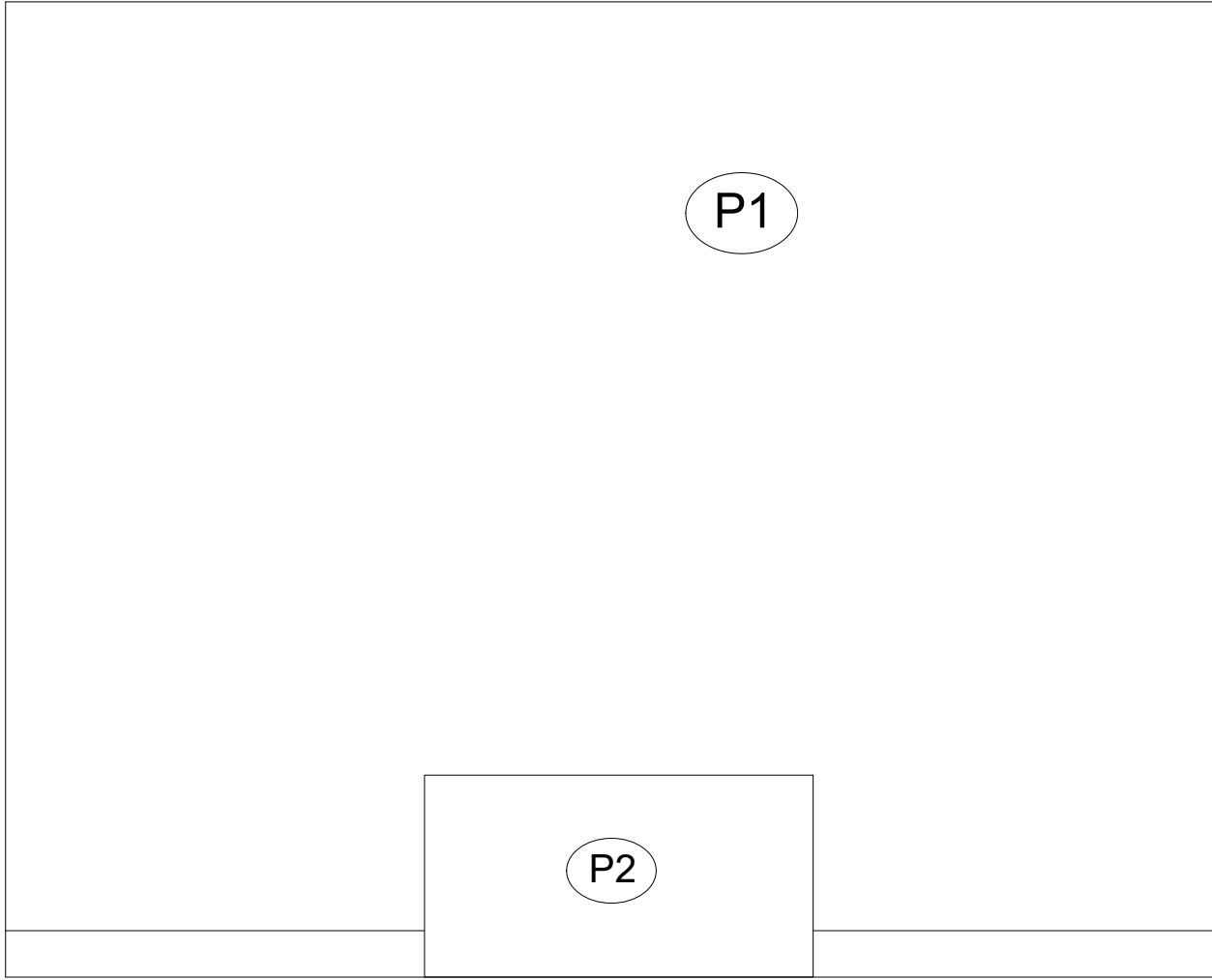
WOMEN'S ROOM ELEVATION -A-  
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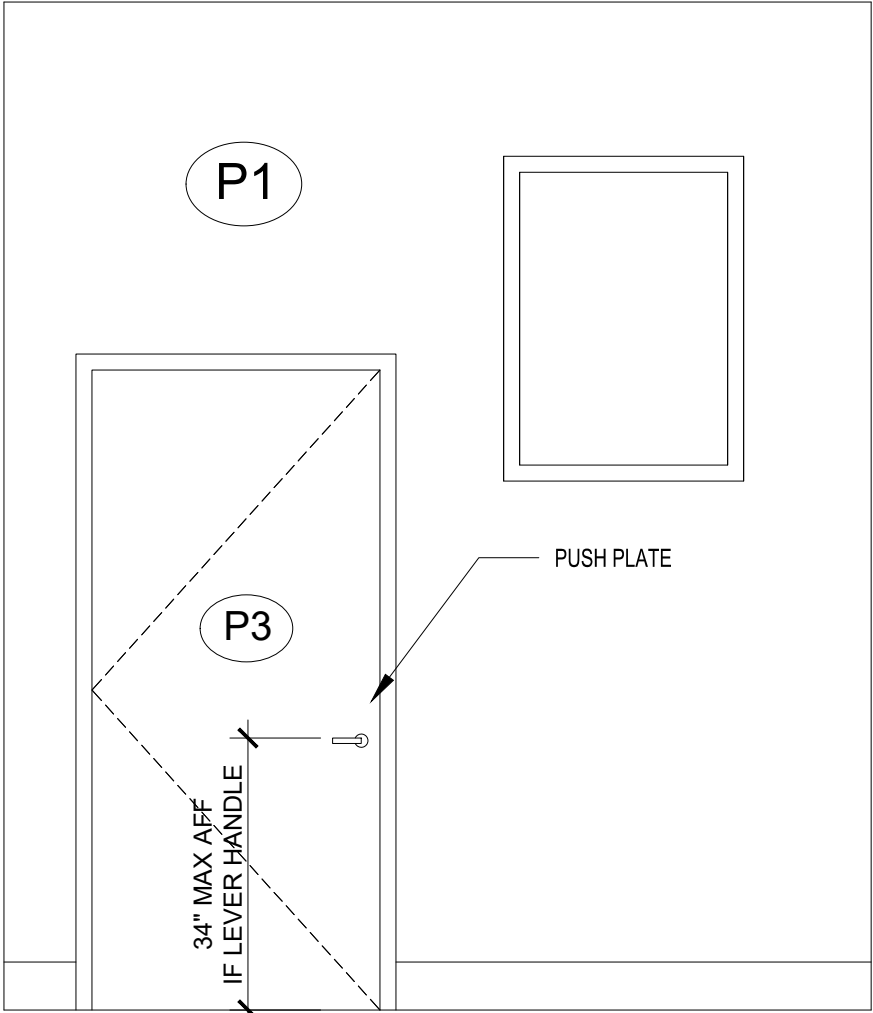
WOMEN'S ROOM ELEVATION -B-  
SCALE: 1/2"=1'-0"



WOMEN'S ROOM ELEVATION -C-  
SCALE: 1/2"=1'-0"



WOMEN'S ROOM ELEVATION -D-  
SCALE: 1/2"=1'-0"



WOMEN'S ROOM ELEVATION -E-  
SCALE: 1/2"=1'-0"

CONSULTANT:

CLIENT:

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SEAL

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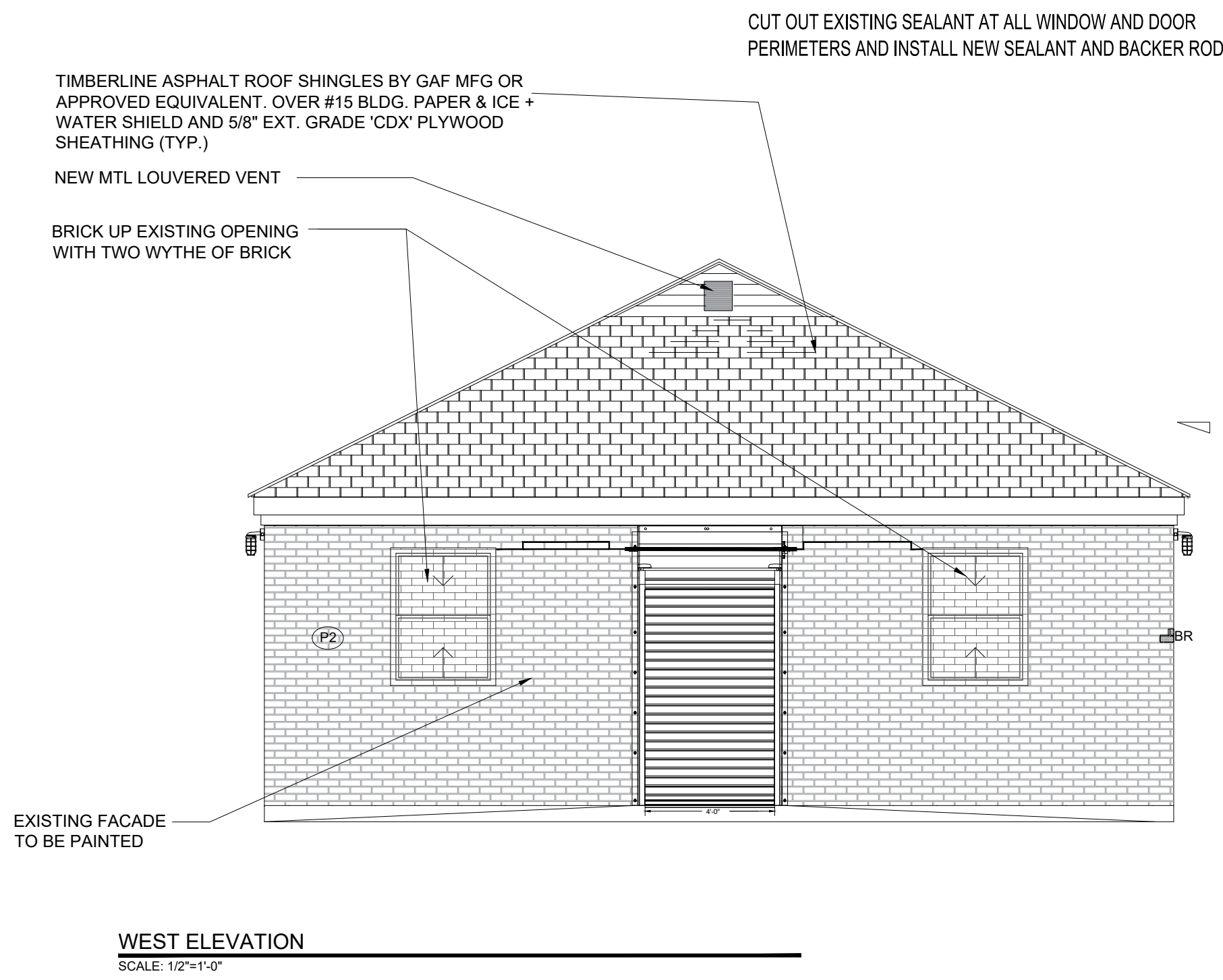
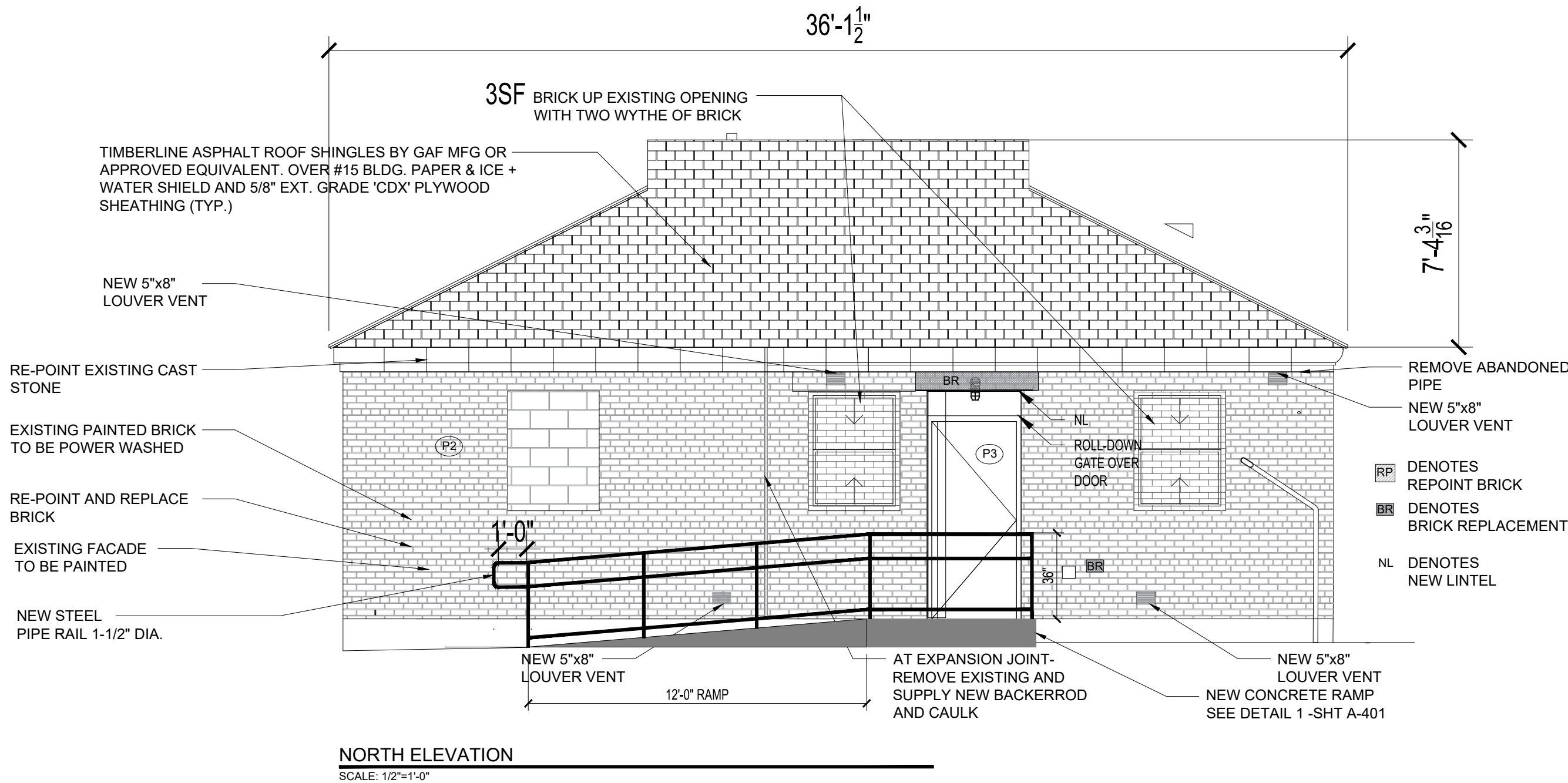
A-201.00

SHEET

4

OF 7





#### WORKMANSHIP FOR REPLACEMENT OF STEEL LINTELS

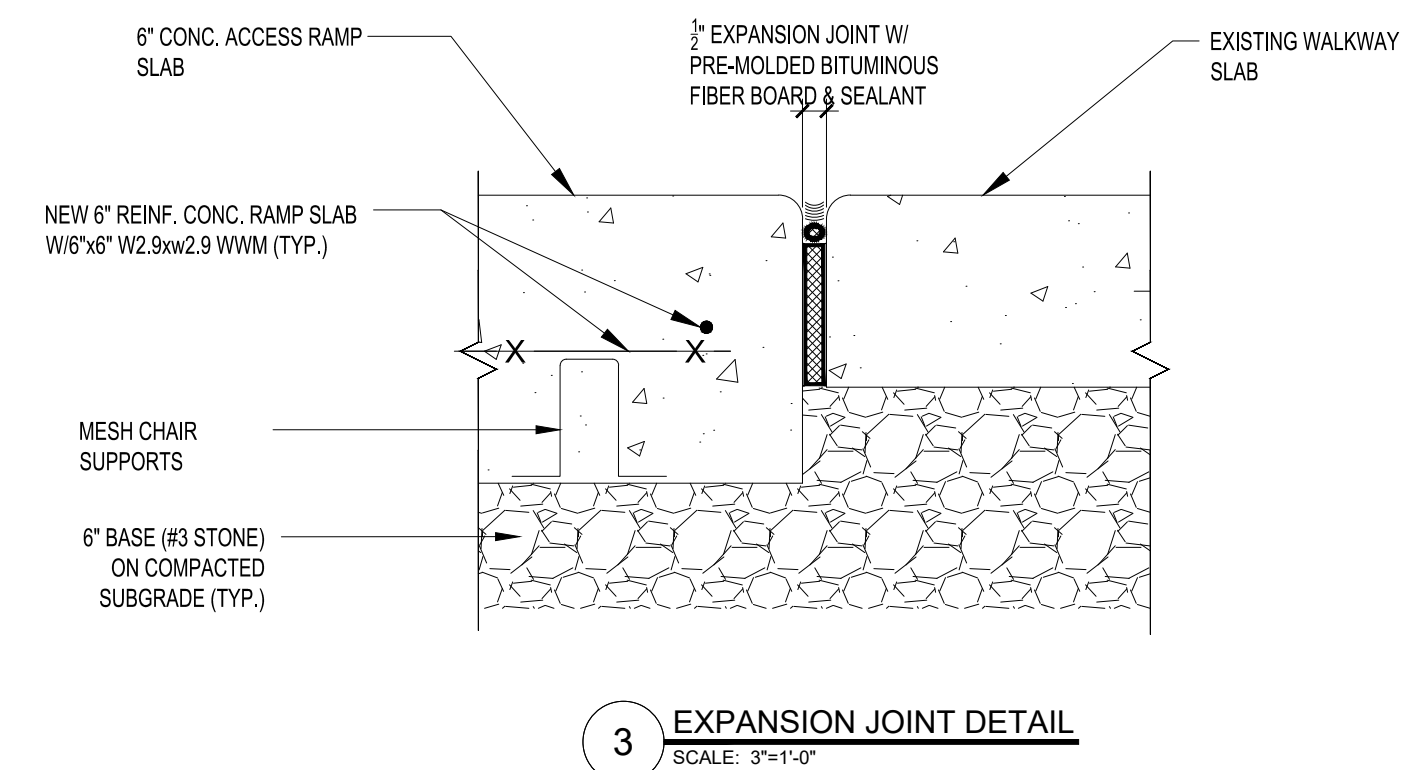
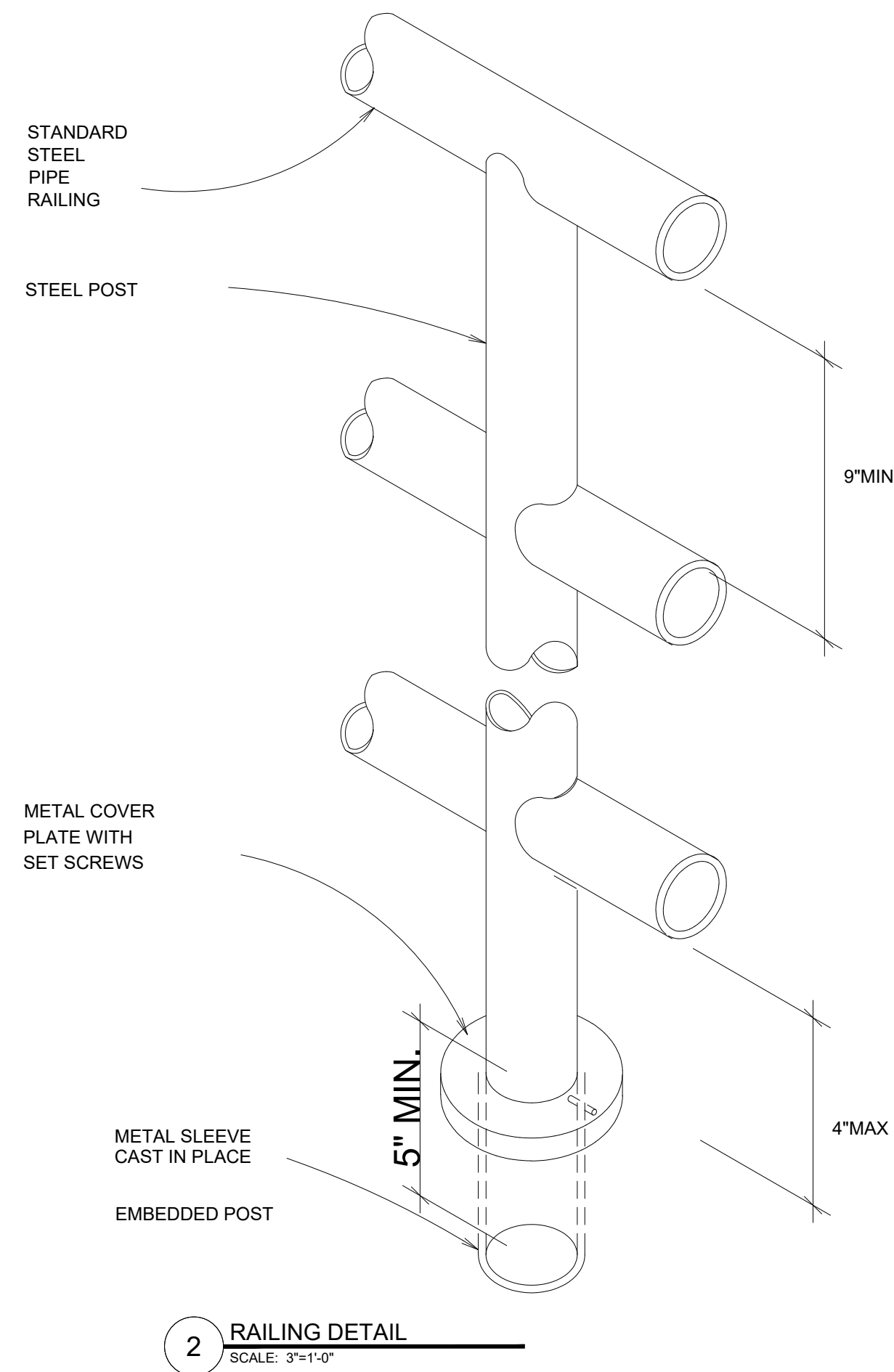
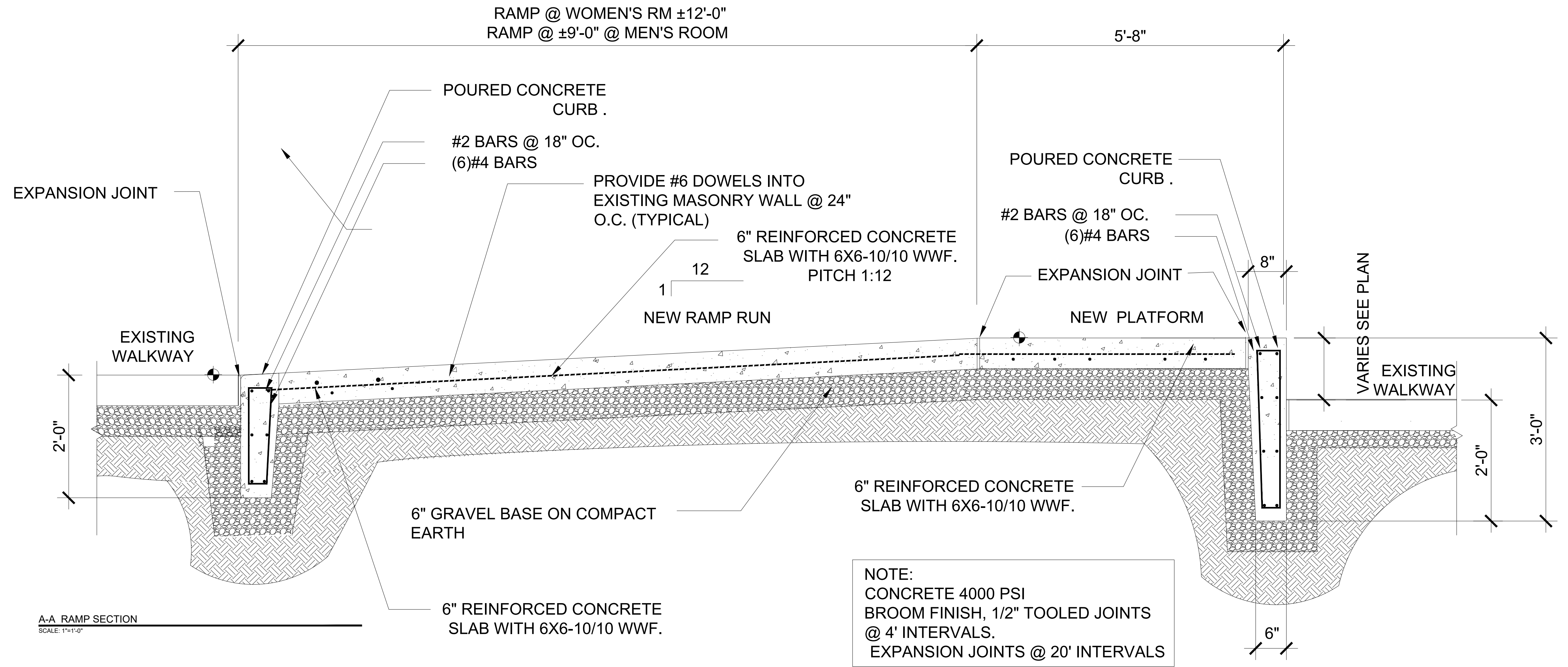
- A. REMOVE AT LOCATIONS INDICATED ANY DAMAGED, SPALLED OR DETERIORATED BRICK. CUT OUT FULL UNITS FROM JOINT TO JOINT AND IN A MANNER TO PERMIT REPAIRING WITH FULL SIZE UNITS. KEY NEW UNITS INTO EXISTING.
- B. SUPPORT, PIN, SHORE AND PROTECT MASONRY INDICATED TO REMAIN WHICH SURROUNDS THE REMOVAL AREA.
- C. CLEAN REMAINING BRICK AT EDGES OF REMOVAL AREAS BY REMOVING MORTAR DUST AND LOOSE DEBRIS IN PREPARATION FOR REBUILDING.
- D. SET MASONRY TO A LINE, WITH SURFACES PLUMB AND TRUE, HORIZONTAL JOINTS CONTINUOUSLY LEVEL AND VERTICAL JOINTS IN ALIGNMENT.
- E. WET THOROUGHLY BEFORE SETTING ALL NEW BRICK HAVING AN ABSORPTION RATE (DETERMINED IN ACCORDANCE WITH ASTM C-67) IN EXCESS OF 0.025 OZ. PER SQUARE INCH PER MINIMUM.
- F. WHERE NEW BRICK JOINS EXISTING BRICK, WET THE EXPOSED SURFACE OF THE EXISTING BRICK.
- G. THE METHOD OF WETTING SHALL BE SUCH TO ENSURE THAT EACH UNIT IS NEARLY SATURATED, SURFACE DRY WHEN LAID.
- H. PUSH-AY AND SLUSH VOIDS AND JOINTS FULL AT EVERY COURSE, WORKING MORTAR INTO CLOSE CONTACT WITH ALL SURFACES.
- I. FILL OPEN JOINTS BETWEEN MASONRY UNITS OF INNER COURSE, WORKING MORTAR INTO CLOSE CONTACT WITH ALL SURFACES.
- J. ROLL BRICK UNITS INTO PLACE KEEPING MOST OF THE MORTAR ON THE OUTSIDE SURFACE AND PREVENTING MORTAR FINS IN THE CAVITY. FLATTEN, DO NOT CUT, MORTAR FINS IN THE CAVITY.
- K. WHERE MASONRY WORK IS IN PROGRESS, BUILD IN AND SECURELY ANCHOR ALL MATERIALS AND ITEMS SUCH AS FLASHINGS, ANCHORS, LINTELS, WEEPS, VENTS, AND LOUVERS DESCRIBED IN OTHER PARAGRAPHS TO BE BUILT INTO WALLS.
- L. INSTALL WEEP TUBES 1/4" OUTSIDE DIAMETER X 4" LONG AND WEEP SLOTS 3/8" WIDE BY 1 1/2" HIGH, SPACED 16" O.C. LEADING TO EXTERIOR FACE ON EXTERIOR MASONRY WALLS, ABOVE ALL FLASHINGS AND AT REPLACEMENT UNITS AS DIRECTED BY THE ARCHITECT.
- M. POINT EXPOSED EXTERIOR JOINT WITH SETTING MORTAR AND DOUBLE TOOL TO A HARD, SMOOTH JOINT TO MATCH ADJACENT EXISTING JOINTS. TOOL WHILE MORTAR IS SOFT AND AGAIN AFTER INITIAL SET. JOINTS IN CONCEALED WORK SHALL BE CUT.
- N. MASONRY BONDS SHALL MATCH EXISTING.
- O. KEEP EXPOSED MASONRY SURFACES CLEAN AND FREE FROM MORTAR.

- SHEET 5 OF 7









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PROJECT:

**RESTROOM RENOVATIONS  
LENNON PARK  
YONKERS, NY**

DWG TITLE:

**DETAILS**

PROJECT #: 24-0235-00

SCALE: AS NOTED

DOB JOB #: BXXXXXXX

DRAWN BY: GJM/JP

CHECKED BY: BP