

11 OAKRIDGE PLACE
EASTCHESTER, NY 10709

RESTROOM ALTERATIONS

11 OAKRIDGE PLACE
EASTCHESTER, NY 10709

RESTROOM ALTERATIONS

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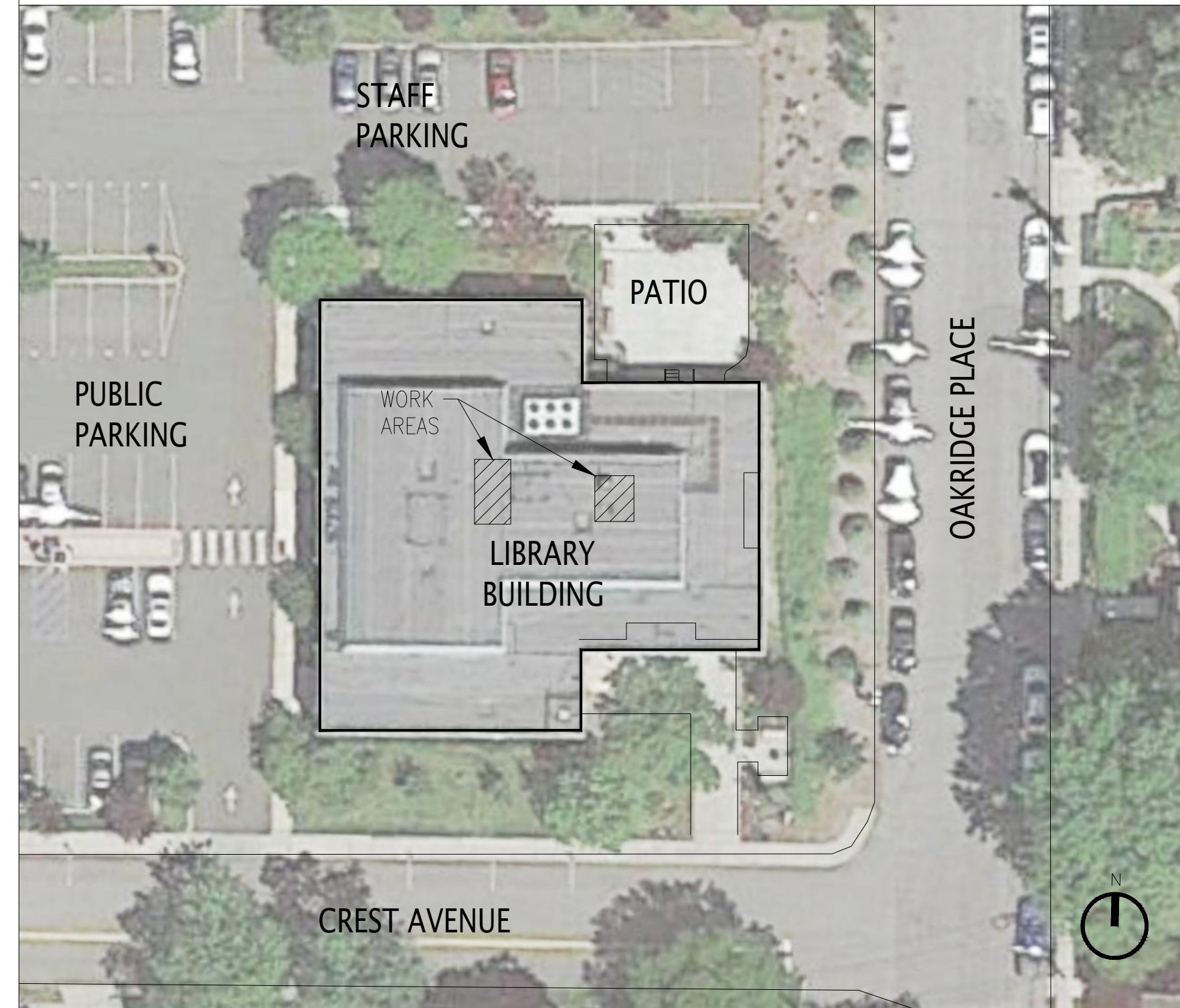
SHEILA MARCOTTE
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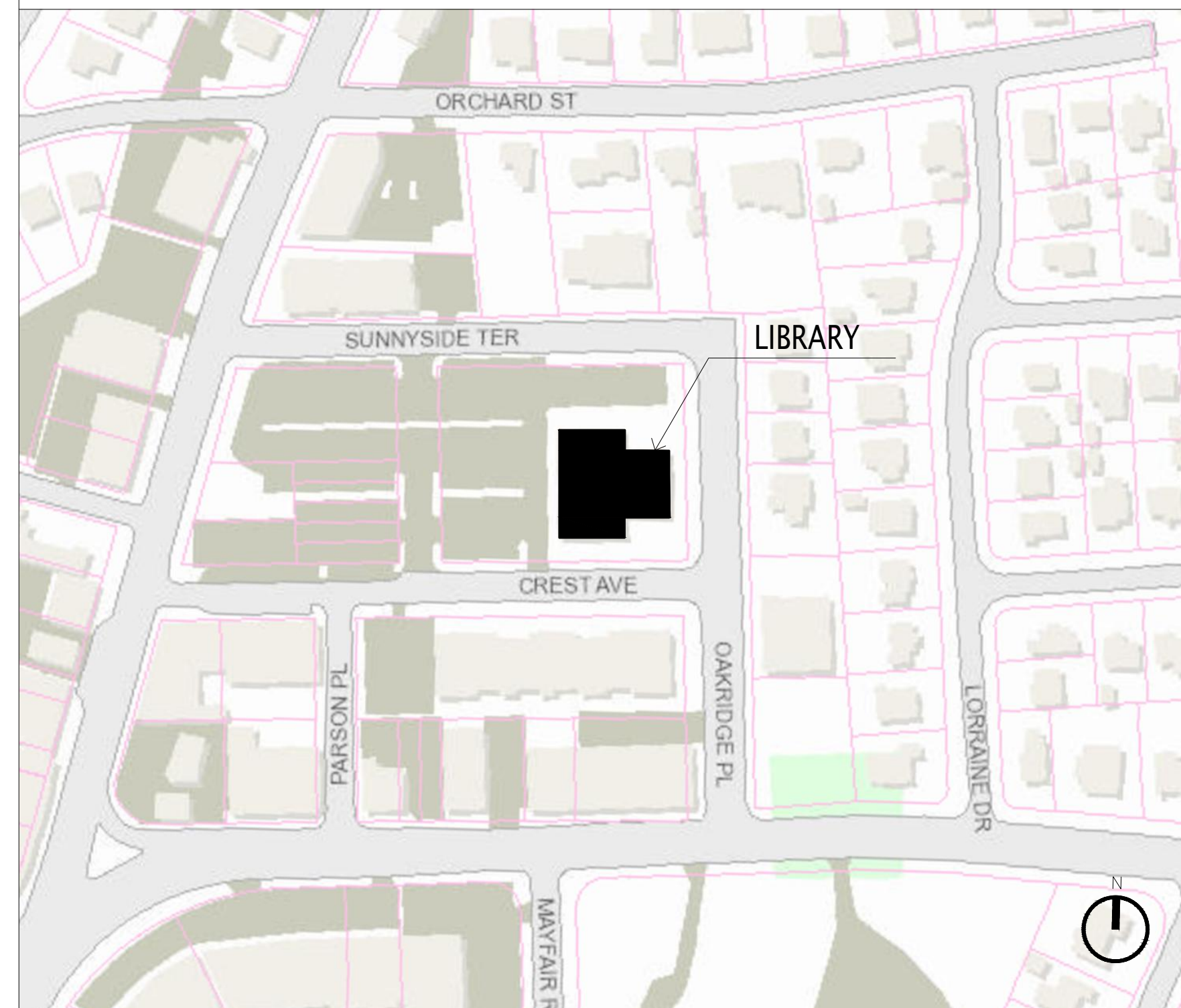
LIBRARY DIRECTOR
TRACY J. WRIGHT

DRAWING LIST

A000	COVER PAGE
A001	CODE DATA and EXISTING CONDITIONS PLANS
A002	LEGENDS & NOTES
A100	LOWER LEVEL PLANS - DEMO, CONSTRUCTION, RCP
A101	UPPER LEVEL PLANS - DEMO, CONSTRUCTION, RCP
A600	LOWER LEVEL ENLARGED PLANS AND INTERIOR ELEVATIONS
A601	UPPER LEVEL ENLARGED PLANS AND INTERIOR ELEVATIONS
A800	DOOR SCHEDULE AND DETAILS
A801	SIGNAGE DETAILS



SITE LOCATION MAP



VICINITY MAP



**333 Westchester Avenue
White Plains, New York 10604
914-741-1115**

1	01/26/24	ISSUED FOR BID

ISSUE NO.	ISSUE DATE	DESCRIPTION
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EASTCHESTER PUBLIC LIBRARY RESTROOM ALTERATIONS

11 OAKRIDGE PLACE
EASTCHESTER, NY 10709

COVER PAGE

PROJECT NO.:	2662-00	SCALE:	AS NOTED
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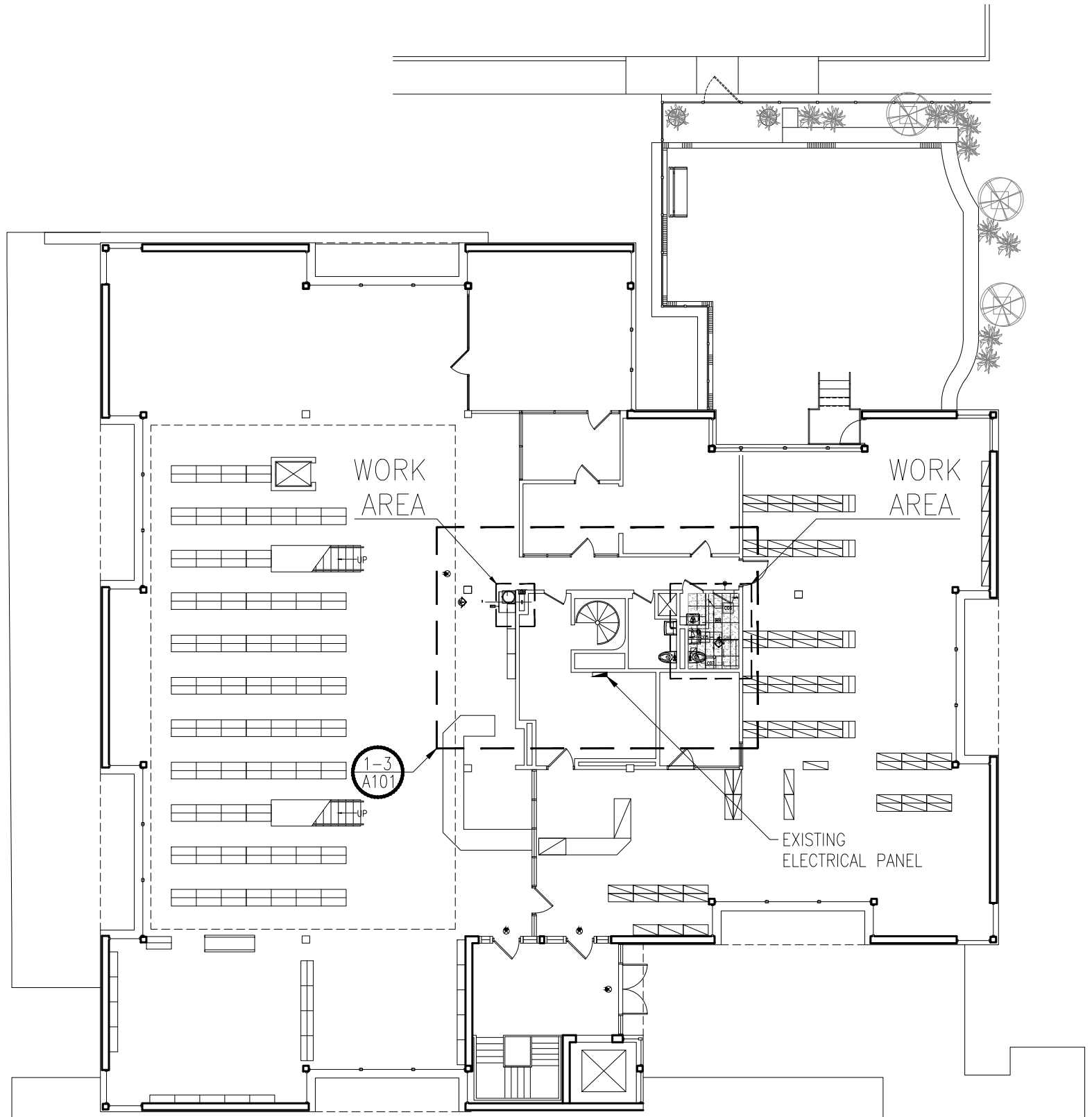
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N:\0 PROJECTS\LIB\EDU\2662-00 - EPL-Restroom Renovations\2662-00_10 - Drawings\2662-00_101 DRAWINGS-ACTIVE\2662-00_24_A001_CODE.dwg

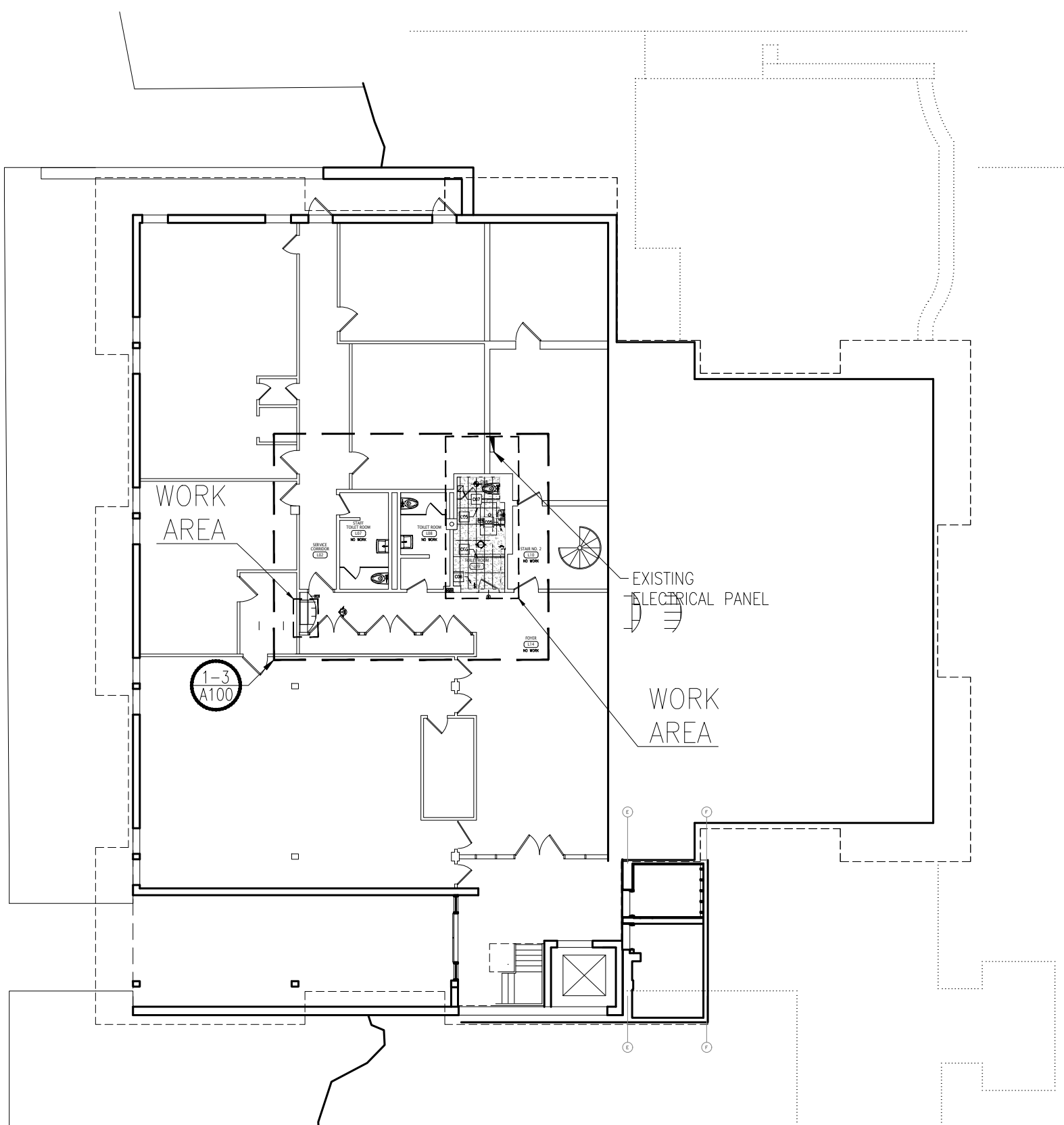
one eighth inch = one foot
one quarter inch = one foot
one half inch = one foot
one inch = one foot
three eighths inch = one foot
three quarters inch = one foot
one inch = one foot
one inch = one foot

PROJECT: Eastchester Public Library - Restroom Alterations		CODE ANALYSIS
ADDRESS: 11 Oakridge Place, Eastchester, NY 10709		
PREPARED BY: Lothrop Associates Architects D.P.C.		
Project No.: 2662-		
New York State Existing Building Code Analysis - IBC 2020		
THESE PLANS ARE IN CONFORMANCE WITH THE FOLLOWING CODES TO THE EXTENT THAT THEY APPLY TO THE EXISTING BUILDING WHERE THE SCOPE OF WORK IS A LEVEL 2 ALTERATION IN ACCORDANCE WITH CHAPTERS 7 AND 8 OF THE EXISTING BUILDING CODE OF NEW YORK STATE:		
2020 N.Y.S. Building Code		
2020 N.Y.S. Existing Building Code		
2020 N.Y.S. Fire Code		
2020 N.Y.S. Plumbing Code		
2020 N.Y.S. Mechanical Code		
2020 N.Y.S. Fuel Gas Code		
2020 N.Y.S. Property Maintenance Code		
2020 N.Y.S. Energy Conservation Code		
2016 ASHRAE 90.1		
NFPA 70		
ANSI A117.1-2009 (Ref. Standard)		
USE AND OCCUPANCY CLASSIFICATION		
EXISTING OCCUPANCY: Library		Assembly, A-3
PROPOSED OCCUPANCY: Library		Assembly, A-3
CONSTRUCTION CLASSIFICATION		
CONSTRUCTION CLASSIFICATION IS: Type 1A - Noncombustible, Concrete Structure		
STORIES		
(2) Stories: (1 Partially below grade)		
SPRINKLER		
BUILDING IS NOT SPRINKLERED		
FIRE ALARM		
BUILDING IS PROTECTED WITH AN EXISTING FIRE ALARM SYSTEM		
CLASSIFICATION OF WORK		
THE WORK IS CLASSIFIED AS AN ALTERATION - LEVEL 2, WHICH MUST COMPLY WITH CHAPTER 7 FOR LEVEL 1 ALTERATIONS AND CHAPTER 8 FOR LEVEL 2 ALTERATIONS		
EASTCHESTER PUBLIC LIBRARY - AKA 1 CREST AVE		
SECTION: 6SD		
BLOCK: 3		
LOT: 1		
CHAPTER 7 - LEVEL 1 ALTERATIONS		PROJECT CONFORMS?
701 GENERAL		
701.1 LEVEL 1 ALTERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THIS CHAPTER	YES	
701.2 AN EXISTING BUILDING OR PORTION THEREOF SHALL NOT BE ALTERED SUCH THAT THE BUILDING BECOMES LESS SAFE THAN ITS EXISTING CONDITION	YES	
701.3 FLOOD HAZARD AREAS	N/A	
701.4 EMERGENCY ESCAPE AND RESCUE OPENINGS	N/A	
702 BUILDING ELEMENTS AND MATERIALS		
702.1 NEWLY INSTALLED INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH CHAPTER 8 OF THE BUILDING CODE OF NEW YORK STATE.	YES	
702.2 NEW INTERIOR FLOOR FINISH, INCLUDING NEW CARPETING USED AS AN INTERIOR FLOOR FINISH MATERIAL, SHALL COMPLY WITH SECTION 804 OF THE BUILDING CODE OF NEW YORK STATE	YES	
702.3 NEWLY INSTALLED INTERIOR TRIM MATERIALS SHALL COMPLY WITH THE BUILDING CODE OF NEW YORK STATE	YES	
702.4 WINDOW OPENING CONTROL DEVICES ON REPLACEMENT WINDOWS	N/A	
702.5 REPLACEMENT WINDOW EMERGENCY ESCAPE AND RESCUE OPENINGS	N/A	
702.6 NEW WORK SHALL COMPLY WITH THE MATERIALS AND METHODS REQUIREMENTS OF THE BUILDING CODE OF NEW YORK STATE, ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, MECHANICAL CODE OF NEW YORK STATE, AND PLUMBING CODE OF NEW YORK STATE, AS APPLICABLE, THAT SPECIFY MATERIAL STANDARDS, DETAIL OF INSTALLATION AND CONNECTION, JOINTS, PENETRATIONS, AND CONTINUITY OF ANY ELEMENT, COMPONENT, OR SYSTEM IN THE BUILDING.	YES	
703 FIRE PROTECTION		
703.1 ALTERATIONS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF FIRE PROTECTION PROVIDED	YES	
704 MEANS OF EGRESS		
704.1 ALTERATIONS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION PROVIDED FOR THE MEANS OF EGRESS	YES	
705 REROOFING		
706 STRUCTURAL	N/A	
706.1 WHERE ALTERATION WORK INCLUDES REPLACEMENT OF EQUIPMENT THAT IS SUPPORTED BY THE BUILDING OR WHERE A REROOFING PERMIT IS REQUIRED, THE PROVISIONS OF THIS SECTION SHALL APPLY.	N/A	
707 ENERGY CONSERVATION		
707.1 LEVEL 1 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES DO NOT REQUIRE THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. THE ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE AS THEY RELATE TO NEW CONSTRUCTION ONLY.	YES	
708 PLUMBING		
708.1 WHEN ANY WATER CLOSET IS REPLACED, THE REPLACEMENT WATER CLOSET SHALL COMPLY WITH SECTION 604.4 OF THE PLUMBING CODE OF NEW YORK STATE.	YES	

CHAPTER 8 - LEVEL 2 ALTERATIONS		PROJECT CONFORMS?
801 GENERAL		
801.1 LEVEL 2 ALTERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THIS CHAPTER	YES	
801.2 IN ADDITION TO THE REQUIREMENTS OF THIS CHAPTER, ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 7.	YES	
801.3 NEW CONSTRUCTION ELEMENTS, COMPONENTS, SYSTEMS, AND SPACES SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE OF NEW YORK STATE.	YES	
EXCEPTIONS:		
1. N/A		N/A
2. NEWLY INSTALLED ELECTRICAL EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 807.		YES
3. N/A		N/A
4. THE MINIMUM CEILING HEIGHT OF THE NEWLY CREATED HABITABLE AND OCCUPIABLE SPACES AND CORRIDORS SHALL BE 7 FEET.		YES
5. N/A		N/A
6. NEW STRUCTURAL MEMBERS AND CONNECTIONS SHALL BE PERMITTED TO COMPLY WITH ALTERNATIVE DESIGN CRITERIA IN ACCORDANCE WITH SECTION 302.		N/A
802 BUILDING ELEMENTS AND MATERIALS		
802.1 THE REQUIREMENTS OF THIS SECTION ARE LIMITED TO WORK AREAS IN WHICH LEVEL 2 ALTERATIONS ARE BEING PERFORMED AND SHALL APPLY BEYOND THE WORK AREA WHERE SPECIFIED.		
802.2 VERTICAL OPENINGS		N/A
802.3 SMOKE COMPARTMENTS		N/A
802.4 THE INTERIOR FINISH OF WALLS AND CEILINGS IN EXITS AND CORRIDORS IN ANY WORK AREAS SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE OF NEW YORK STATE.		YES
802.5 GUARDS: THE REQUIREMENTS OF SECTIONS 802.5.1 AND 802.5.2 SHALL APPLY IN ALL WORK AREAS.		
802.5.1 EVERY PORTION OF A FLOOR, SUCH AS A BALCONY OR A LOADING DOCK, THAT IS MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AND IS NOT PROVIDED WITH GUARDS, OR THOSE IN WHICH THE EXISTING GUARDS ARE JUDGED TO BE IN DANGER OF COLLAPSING, SHALL BE PROVIDED WITH GUARDS.		YES
802.5.2 WHERE THERE ARE NO GUARDS OR WHERE EXISTING GUARDS MUST BE REPLACED, THE GUARDS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE BUILDING CODE OF NEW YORK STATE.		YES
802.6 FIRE RESISTANCE RATINGS		N/A
803 FIRE PROTECTION		
803.1 THE REQUIREMENTS OF THIS SECTION ARE LIMITED TO WORK AREAS IN WHICH LEVEL 2 ALTERATIONS ARE BEING PERFORMED AND WHERE SPECIFIED THEY SHALL APPLY THROUGHOUT THE FLOOR ON WHICH THE WORK AREAS ARE LOCATED OR OTHERWISE BEYOND THE WORK AREA.		
803.1.1 CORRIDOR RATINGS		N/A
803.2 AUTOMATIC SPRINKLER SYSTEMS		N/A
803.3 STANDPIPES		N/A
803.4 FIRE ALARM AND DETECTION - N/A FOR PROPOSED OCCUPANCY		YES - EXISTING
804 CARBON MONOXIDE DETECTION		
804.1 CARBON MONOXIDE DETECTION AND NOTIFICATION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 503.15 THROUGH 503.15.1 FOR BUILDINGS THAT UNDERGO AN ALTERATION.		YES
805 MEANS OF EGRESS		
803.1 THE REQUIREMENTS OF THIS SECTION SHALL BE LIMITED TO WORK AREAS THAT INCLUDE EXITS OR CORRIDORS SHARED BY MORE THAN 1 TENANT WITHIN THE WORK AREA.		N/A
806 STRUCTURAL		
806.1 STRUCTURAL ELEMENTS AND SYSTEMS WITHIN BUILDINGS UNDERGOING LEVEL 2 ALTERATIONS SHALL COMPLY WITH THIS SECTION.		
806.2 ANY EXISTING GRAVITY LOAD-CARRYING STRUCTURAL ELEMENT FOR WHICH AN ALTERATION CAUSES AN INCREASE IN DESIGN DEAD, LIVE OR SNOW LOAD, INCLUDING SNOW DRIFT EFFECTS, OF MORE THAN 5 PERCENT SHALL BE REPLACED OR ALTERED AS NEEDED TO CARRY THE GRAVITY LOADS REQUIRED BY THE BUILDING CODE OF NEW YORK STATE.		N/A
806.3 EXISTING STRUCTURAL ELEMENTS RESISTING LATERAL LOADS		N/A
806.4 VOLUNTARY LATERAL FORCE-RESISTING SYSTEM ALTERATIONS		N/A
807 ELECTRICAL		
807.1 NEWLY INSTALLED ELECTRICAL EQUIPMENT AND WIRING RELATING TO WORK DONE IN ANY WORK AREA SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF NFPA 70, EXCEPT AS PROVIDED IN SECTION 807.3.		YES
807.2 EXISTING INSTALLATIONS - N/A FOR PROPOSED OCCUPANCY		N/A
807.3 RESIDENTIAL OCCUPANCIES - N/A FOR PROPOSED OCCUPANCY		N/A
808 MECHANICAL		
808.1 RECONFIGURED SPACES INTENDED FOR OCCUPANCY AND SPACES CONVERTED TO HABITABLE OR OCCUPIABLE SPACE IN ANY WORK AREA SHALL BE PROVIDED WITH NATURAL OR MECHANICAL VENTILATION IN ACCORDANCE WITH THE MECHANICAL CODE OF NEW YORK STATE.		YES
EXCEPTION: EXISTING MECHANICAL VENTILATION SYSTEMS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 808.2.		
808.2 IN MECHANICALLY VENTILATED SPACES, EXISTING MECHANICAL VENTILATION SYSTEM THAT ARE ALTERED, RECONFIGURED, OR EXTENDED SHALL PROVIDE NOT LESS THAN 5 CUBIC FEET PER MINUTE PER PERSON OF OUTDOOR AIR AND NOT LESS THAN 15CUBIC FEET PER MINUTE OF VENTILATION AIR PER PERSON, OR NOT LESS THAN THE AMOUNT OF VENTILATION AIR DETERMINED BY THE INDOOR AIR QUALITY PROCEDURE OF ASHRAE 62.1.		YES
808.3 NEWLY INTRODUCED DEVICES, EQUIPMENT, OR OPERATIONS THAT PRODUCE AIRBORNE PARTICULATE MATTER, ODORS, FUMES, VAPOR, COMBUSTION PRODUCTS, GASEOUS CONTAMINANTS, PATHOGENIC AND ALLERGENIC ORGANISMS, AND MICROBIAL CONTAMINANTS IN SUCH QUANTITIES AS TO AFFECT ADVERSELY OR IMPAIR HEALTH OR CAUSE DISCOMFORT TO OCCUPANTS SHALL BE PROVIDED WITH LOCAL EXHAUST.		YES
809 PLUMBING		
809.1 MINIMUM FIXTURES - N/A - NO INCREASE IN OCCUPANT LOAD		N/A
810 ENERGY CONSERVATION		
810.1 LEVEL 2 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES DO NOT REQUIRE THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. THE ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE AS THEY RELATE TO NEW CONSTRUCTION ONLY.		YES



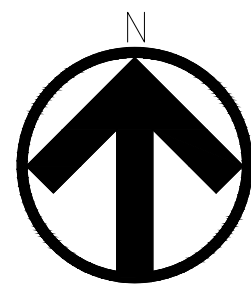
1 UPPER LEVEL WORK AREA PLAN - EXISTING CONDITIONS
SCALE: 1/16" = 1'-0"



2 LOWER LEVEL WORK AREA PLAN - EXISTING CONDITIONS
SCALE: 1/16" = 1'-0"

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Associates Architects D.P.C.
333 Westchester Avenue
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1	01/26/24	ISSUED FOR BID
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**EASTCHESTER
PUBLIC LIBRARY
RESTROOM
ALTERATIONS**
**11 OAKRIDGE PLACE
EASTCHESTER, NY 10709**

**CODE DATA &
EXISTING CONDITIONS PLANS**

PROJECT NO.: 2662-00 SCALE: AS NOTED

DRAWING NO.:

A001

N:\10 PROJECTS\1018-EDU\2662-00 - EPL-Restroom Renovations\2662-00_10 - Drawings\2662-00_101 DRAWINGS-ACTIVE\2662-00_24_016_A002_LEGENDS-NOTES.dwg

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0 4 8 16
one quarter inch = one foot
0 4 8
three eighths inch = one foot
0 4 8
one half inch = one foot
0 4
three quarters inch = one foot
0 4 8
one inch = one foot
0 6 12

ABBREVIATIONS LEGEND

AFF	ABOVE FINISHED FLOOR
DN	DOWN
EMR	ELEVATOR MACHINE ROOM
EQ	EQUAL
ETR	EXISTING TO REMAIN
GWB	GYPSUM WALL BOARD
GFI	GROUND FAULT CIRCUIT INTERRUPTER
HM	HOLLOW METAL
INSUL	INSULATION
OH	OPPOSITE HAND
PT	PAINT
PTD	PAINTED
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
WD	WOOD

TEMPORARY PROTECTION NOTES

PROTECT AREA OF WORK AND SURROUNDING AREAS FROM POTENTIAL DAMAGE FROM CONSTRUCTION. PROVIDE A PROTECTION PLAN FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER.

- PROTECTION SHALL INCLUDE:
1. COVERING OF THE FLOOR AND WALLS IN AREAS WHERE MATERIALS OR WORKERS ACCESS THE SITE.
 2. PROTECTION OF OCCUPIED AREAS FROM DUST AND ODORS.
 3. PROTECTION OF HVAC SYSTEMS FROM DUST AND MATERIAL ENTERING THE SYSTEM.
 4. PROTECTION OF PUBLIC AREAS WITH PHYSICAL AND VISUAL BARRICADES OR TEMPORARY WALLS

DEMOLITION GENERAL NOTES

DEMOLITION SHALL BE COMPLETED TO LEAVE SPACE IN EXISTING BUILDING CONDITION. EXISTING BUILDING MEANS THE FOLLOWING:

- EXPOSED FLOORS DOWN TO THE SLAB, SCRAPPED CLEAN OF GLUES AND OTHER REMAINING MATERIAL.
- REMOVED WALLS AND OTHER ELEMENTS WITH THE SPACE LEFT FREE OF ANY DEMOLISHED ELEMENTS WITH IN THE LIBRARY PREMISES. STRUCTURAL ELEMENTS SHALL REMAIN INTACT WITH EXISTING FIRE PROTECTION UNLESS OTHERWISE NOTED.
- REMOVED CEILINGS TO THE EXPOSED STRUCTURE ABOVE. LEAVE DISTRIBUTION OF MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS INTACT, BUT WITH BRANCH OR SECONDARY DISTRIBUTION REMOVED.
- LEAVE SECURITY AND FIRE ALARM SYSTEMS INTACT OR AS OTHERWISE DIRECTED BY THE RESPECTIVE VENDORS. COORDINATION SHALL BE REQUIRED FOR DEMOLITION OF THESE SYSTEMS.
- REMOVE UNUSED WIRING BACK TO THE ELECTRICAL PANEL.

GENERAL NOTES

1. VERIFY EXISTING PLUMBING. MODIFY/ADJUST FOR NEW WORK. REUSE EXISTING WC CARRIERS.
2. PROVIDE NEW IN-WALL BLOCKING FOR LAVATORIES AND TOILET ACCESSORIES.
3. VERIFY AVAILABLE SPACE FOR NEW CIRCUIT BREAKERS. ADVISE ARCHITECT OF ANY DISCREPANCIES.
4. OWNER'S FIRE ALARM SERVICE COMPANY:
ADT (RED HAWK)
ANTHONYLAGHER@ADT.COM

DEMOLITION LEGEND

-----	EXISTING PARTITIONS TO BE REMOVED
=====	EXISTING PARTITIONS AND ELEMENTS TO REMAIN
-----	EXISTING ITEMS TO BE REMOVED

CONSTRUCTION PLAN LEGEND

000	ROOM NUMBER DESIGNATIONS
	NEW PARTITION, SEE PARTITION TYPES ON SHEET A500
X	
	FIRE EXTINGUISHER, IN RECESSED CABINET
	EXISTING PARTITIONS AND ELEMENTS TO REMAIN
###	DOOR TAG
XX	FIXTURE OR ACCESSORY TAG
RR	ROOM SIGN TAG. REFER TO SHEET A801 FOR DETAILS.

REFLECTED CEILING LEGEND

(DRAWINGS A100 AND A101)

	CEILING MOUNTED EXIT SIGN - DIRECTIONAL ARROWS WHEN INDICATED.
	EXHAUST GRILLE. TITUS ABC-3FS. WHITE ALUMINUM. MATCH SIZE TO EXISTING.
	GYPSUM BOARD CEILING
S	SMOKE DETECTOR. REPLACE EXISTING SMOKE DETECTOR WITH NEW COMPATIBLE WITH EXISTING FIRE ALARM SYSTEM.

LIGHTING FIXTURE TAG LEGEND

A	NEW RECESSED DOWNLIGHT - 6" DIAMETER PEACHTREE #6BLRD 3500K WHITE OR APPROVED EQUAL
B	LED UTILITY LIGHT FIXTURE - BY METALUX OR APPROVED EQUAL NEW 48" LW SURFACE MOUNTED LED UTILITY LIGHT FIXTURE CATALOG #4NLW4040C

ELECTRICAL LEGEND

	ELECTRICAL DUPLEX RECEPTACLE
GFI	ELECTRICAL DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTERS
	VACANCY SENSOR SWITCH
	ALL DEVICES - DECORA STYLE, WHITE FLUSH

FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR	WALLS				CEILING	COMMENTS
			MATERIALS	N	S	E	W	
L102	SERVICE CORRIDOR	PFT1	ETR	ETR	ETR	ETR	PWT3	SEE NOTES 1 AND 3
L09	TOILET ROOM	PFT1	PWT1 PWT2 PT-1	PWT1 PWT2 PT-1	PWT1 PWT2 PT-1	PWT1 PWT2 PT-1	PT-2	SEE NOTES 1 AND 3
L14	FOYER	ETR	PT	ETR	ETR	ETR	ETR	SEE NOTES 2 AND 3
103	ADULTS' SECTION	PFT1	ETR	ETR	ETR	ETR	ETR	SEE NOTES 1 AND 3
108	PASSAGE	ETR	ETR	PT	ETR	ETR	ETR	SEE NOTES 2 AND 3
111	TOILET ROOM	PFT1	PWT1 PWT2 PT-1	PWT1 PWT2 PT-1	PWT1 PWT2 PT-1	PWT1 PWT2 PT-1	PT-2	SEE NOTES 1 AND 3
NOTES:								
1) SEE FLOOR PLANS AND ELEVATIONS FOR TILE PATTERNS								
2) PAINT WALL INFILL TO MATCH EXISTING ADJACENT.								
3) SEE SPECIFICATIONS FOR RELATED INFORMATION								
4) PAINT HOLLOW METAL DOOR FRAMES PT-3.								

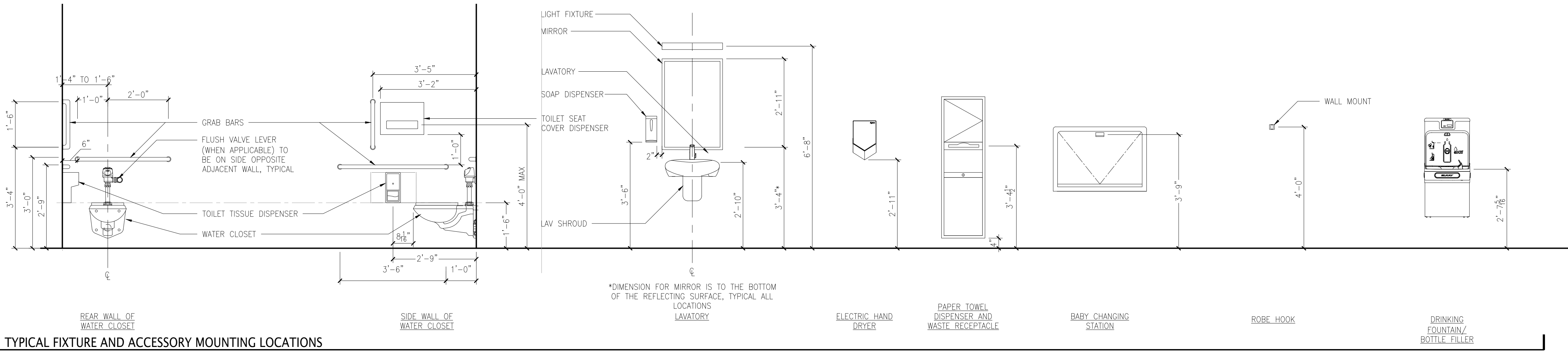
FINISH LEGEND

ITEM CODE	DESCRIPTION	MANUFACTURER	MODEL #/ COLOR	SIZE	COMMENTS
WALL AND TRIM					
PWT1	PORCELAIN WALL TILE	DALTILE	STYLE: FABRIQUE RECTANGLE (PORCELAIN) COLOR: BLANC LINEN P685, FINISH: MATTE	4x24	GROUT MFR: MAPEI, COLOR: FROST #77
PWT2	PORCELAIN WALL TILE	DALTILE	STYLE: ARTISANAL COLOR: BLUE, FINISH: GLOSSY	3x12	GROUT MFR: MAPEI, COLOR: FROST #77
PWT3	PORCELAIN WALL TILE			24x12	OWNER FURNISHED CONTRACTOR INSTALLED
PT-1	WALL PAINT	BENJAMIN MOORE	MINERAL ALLOY #1622	N/A	EGGSHELL FINISH
FLOORING					
MB	MARBLE SADDLE				
PFT1	PORCELAIN FLOOR TILE	DALTILE	STYLE: FABRIC ART MODERN LINEAR (PORCELAIN) COLOR: MEDIUM GRAY ML63, FINISH: MATTE	12x24	GROUT MFR: MAPEI, COLOR: IRON #107
CEILING					
PT-2	CEILING PAINT	BENJAMIN MOORE	SUPER WHITE #OC-152	N/A	MATTE FINISH
MISCELLANEOUS					
SCH1	WALL TILE EDGE FINISH	SCHLUTER	QUADEC #Q 100 AE	3/8"	SATIN ANODIZED ALUMINUM
PT-3	HM FRAME PAINT	BENJAMIN MOORE	BLACK		SEMI-GLOSS

TOILET ACCESSORIES AND FIXTURE LEGEND

REFER TO 1/A002, A600, AND A601 FOR LOCATION OF TOILET ACCESSORIES

TAG	DESCRIPTION	MANUFACTURER	MODEL #	FINISH / NOTES
BCS	BABY CHANGING STATION	AMERICAN SPECIALTIES, INC.	#9014	SURFACE MOUNTED, HORIZONTAL - PLASTIC BEIGE
GB1	42" GRAB BAR	AMERICAN SPECIALTIES, INC.	#3801-42	1-1/2" DIA SNAP FLANGE, STAINLESS STEEL, SATIN FINISH
GB2	36" GRAB BAR	AMERICAN SPECIALTIES, INC.	#3801-36	1-1/2" DIA SNAP FLANGE, STAINLESS STEEL, SATIN FINISH
GB3	18" GRAB BAR	AMERICAN SPECIALTIES, INC.	#3801-18	1-1/2" DIA SNAP FLANGE, STAINLESS STEEL, SATIN FINISH
HD	HAND DRYER	DYSON AIRBLADE V	307174-01	HU02, SPRAYED NICKEL
MR	MIRROR	AMERICAN SPECIALTIES, INC.	#0535-2436	FIXED TILTED MIRROR, SIZE: 24"x36"
RH	ROBE HOOK	AMERICAN SPECIALTIES, INC.	#7340-S	SATIN #4 STAINLESS STEEL
SD	SOAP DISPENSER	AMERICAN SPECIALTIES, INC.	#0360	"TOUCH FREE", STAINLESS STEEL, SATIN FINISH
TDD	TOWEL DISPENSER AND WASTE DISPOSAL	AMERICAN SPECIALTIES, INC.	#0469-2	SEMI-RECESSED, STAINLESS STEEL, SATIN FINISH
TP	TOILET PAPER DISPENSER	AMERICAN SPECIALTIES, INC.	#0030	TWIN HIDE-A-ROLL, STAINLESS STEEL, SATIN FINISH
TSC	TOILET SEAT COVER DISPENSER	AMERICAN SPECIALTIES, INC.	#0477	STAINLESS STEEL, SATIN FINISH WITH PIANO HINGE DOOR
DF	DRINKING FOUNTAIN/ BOTTLE FILLER	SEE PROJECT MANUAL FOR SPECIFICATIONS		
LAV	LAVATORY AND FAUCET			
WC	WATER CLOSET, FLUSHOMETER, AND SEAT			
COC	CLEANOUT COVER			



1 TYPICAL FIXTURE AND ACCESSORY MOUNTING LOCATIONS
SCALE: 1/2" = 1'-0"

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Associates Architects D.P.C.

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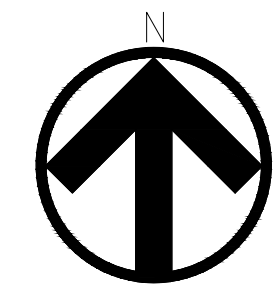
A002

(D01)	REMOVE AND PROPERLY DISPOSE OF EXISTING FULL HEIGHT CMU PARTITION.
(D02)	REMOVE AND PROPERLY DISPOSE OF EXISTING DOOR, FRAME, AND HARDWARE.
(D03)	REMOVE EXISTING WALL TILE AND BACKER BOARD FROM CMU WALL TO REMAIN. CLEAN WALLS OF ADHESIVE AND OTHER RESIDUAL MATERIAL.
(D04)	REMOVE EXISTING FLOOR TILE AND ADHESIVE DOWN TO CONCRETE FLOOR SLAB. PREP SLAB FOR NEW FINISH.
(D05)	REMOVE AND PROPERLY DISPOSE OF EXISTING GYPSUM BOARD CEILING.
(D06)	REMOVE AND PROPERLY DISPOSE OF EXISTING TOILET ACCESSORIES.
(D07)	REMOVE AND PROPERLY DISPOSE OF EXISTING TOILET PARTITIONS.
(D08)	NOT USED
(D09)	REMOVE AND PROPERLY DISPOSE OF EXISTING LAVATORY AND URINAL. CUT & CAP ASSOCIATED PIPING BEHIND WALL.
(D10) - (D12)	NOT USED
(D13)	REMOVE AND PROPERLY DISPOSE OF EXISTING WATER CLOSET.
(D14)	REMOVE AND PROPERLY DISPOSE OF EXHAUST GRILLE TO REMAIN.
(D15)	NOT USED
(D16)	EXISTING SHELVING TO BE REMOVED BY OWNER.
(D17)	EXISTING FIRE EXTINGUISHER CABINET TO REMAIN.
(D18)	MAKE SAFE. REMOVE AND PROPERLY DISPOSE OF EXISTING DUPLEX RECEPTACLE.
(D19)	MAKE SAFE. REMOVE AND PROPERLY DISPOSE OF EXISTING LIGHT SWITCH. CUT BACK WIRING ABOVE CEILING.
(D20)	MAKE SAFE. REMOVE AND PROPERLY DISPOSE OF EXISTING 2x4 SURFACE MOUNTED LUMINAIRE.
(D21)	REMOVE AND PROPERLY DISPOSE OF EXISTING CLEANOUT COVER.
(D22)	REMOVE EXISTING WOOD PANEL AND DRYWALL TO EXPOSE EXISTING PLUMBING AND FRAMING.
(D23)	REMOVE PORTION OF EXISTING CARPET AND ADHESIVE DOWN TO CONCRETE FLOOR SLAB. PREP SLAB FOR NEW FINISH.

C01	PREPARE CONCRETE SUBSTRATE FOR NEW FLOOR INSTALLATION. SKIM COAT AND FLASH PATCH TO ACHIEVE TILE MANUFACTURER'S FLATNESS REQUIREMENTS.
C02	EXISTING FIRE EXTINGUISHER CABINET TO REMAIN.
C03	EXTEND EXISTING PLUMBING PIPING TO NEW FIXTURE.
C04	PROVIDE NEW 15A CIRCUIT BREAKER IN NEAREST PANEL WITH SPACE AVAILABLE. EXTEND WIRING TO NEW HAND DRYER.
C05	NEW LIGHTING FIXTURE. CONNECT TO EXISTING CIRCUIT.
C06	NEW LIGHT SWITCH WITH BUILT-IN VACANCY SENSOR. CONNECT TO EXISTING CIRCUIT.
C07	NEW EXHAUST GRILLE. MATCH EXISTING SIZE.
C08	DRINKING FOUNTAIN. CONNECT TO EXISTING COLD WATER AND WASTE PIPING. PROVIDE REINFORCEMENT IN WALL FOR SUPPORT.
C09	PROVIDE NEW GFI RECEPTACLE. CONNECT TO EXISTING CIRCUIT.
C10	PROVIDE NEW 20A CIRCUIT BREAKER IN EXISTING PANEL. EXTEND WIRING TO NEW DRINKING FOUNTAIN.
C11	REPLACE EXISTING CLEANOUT COVER WITH NEW.



**333 Westchester Avenue
White Plains, New York 10604
914-741-1115**

[illegible]

11 OAKRIDGE PLACE
EASTCHESTER, NY
10709

PROJECT NO.:	2662-00	SCALE:	AS NOTED
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DRAWING NO.:	
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A100

N: \10 PROJECTS\LIB+EDU\2662-00 - EPL-Restroom Renovations\2662-00_10 - Drawings\2662-00_10.1 DRAWINGS-ACTIVE\2662-00_24_0116_A010_LOWER-LEVEL.dwg
one eighth inch = one foot
one quarter inch = one foot
three eighths inch = one foot

11 OAKRIDGE PLACE
EASTCHESTER, NY 10709

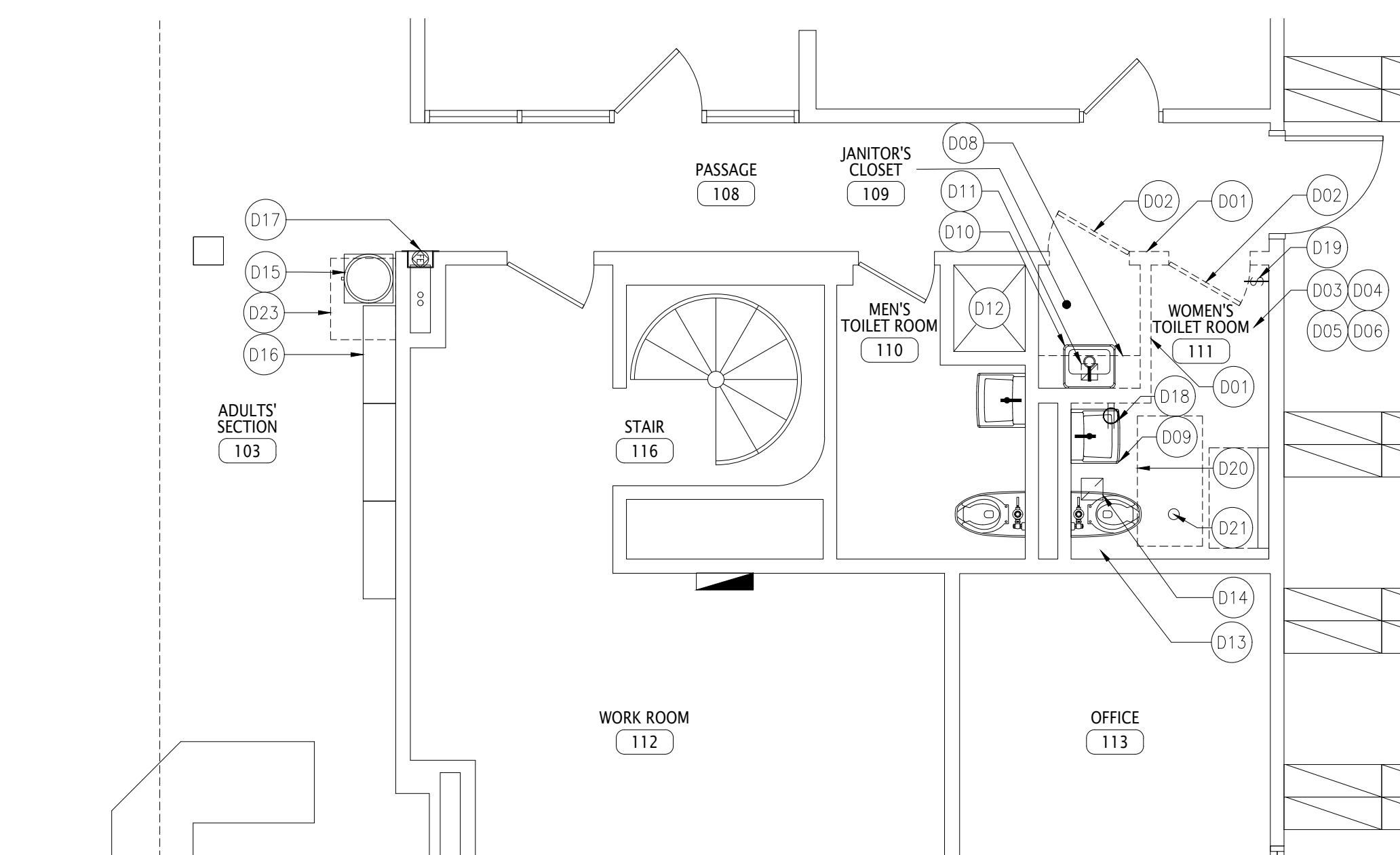
PROJECT NO.:	2662-00	SCALE:	AS NOTED
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DRAWING NO.:

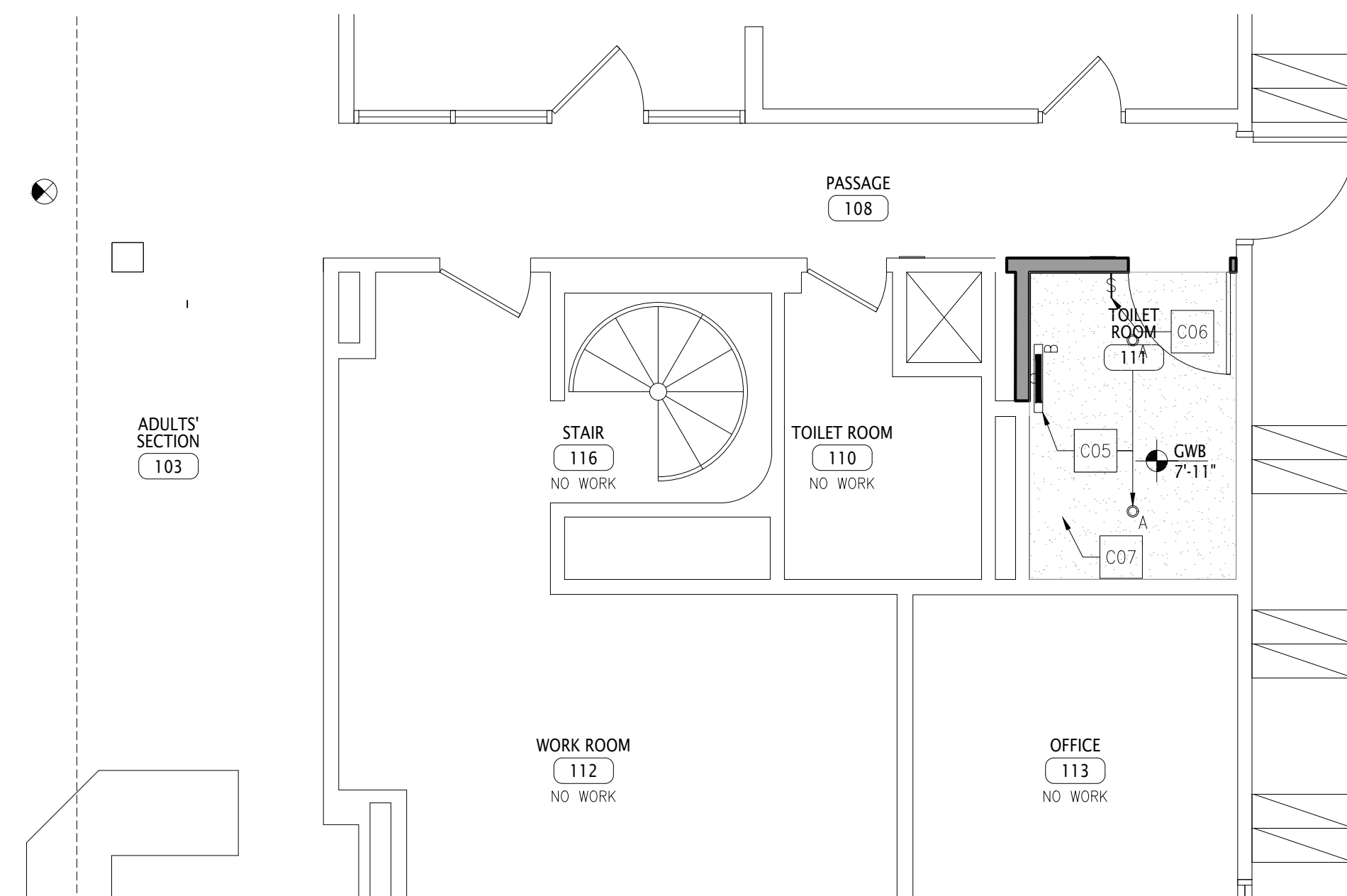
A101

D01	REMOVE AND PROPERLY DISPOSE OF EXISTING FULL CMU PARTITION.
D02	REMOVE AND PROPERLY DISPOSE OF EXISTING DOOR, FRAME, AND HARDWARE.
D03	REMOVE EXISTING WALL TILE AND BACKER BOARD FROM CMU WALL TO REMAIN. CLEAN WALLS OF ADHESIVE AND OTHER RESIDUAL MATERIAL.
D04	REMOVE EXISTING FLOOR TILE AND ADHESIVE DOWN TO CONCRETE FLOOR SLAB. PREP SLAB FOR NEW FINISH.
D05	REMOVE AND PROPERLY DISPOSE OF EXISTING GYPSUM BOARD CEILING, LIGHTING, AND M/E/P DEVICES.
D06	REMOVE AND PROPERLY DISPOSE OF EXISTING TOILET ACCESSORIES.
D07	NOT USED
D08	REMOVE AND PROPERLY DISPOSE OF EXISTING SHELVES.
D09	REMOVE AND PROPERLY DISPOSE OF EXISTING LAVATORY. CUT & CAP ASSOCIATED PIPING BEHIND WALL.
D10	REMOVE AND PROPERLY DISPOSE OF EXISTING UTILITY SINK. CAP PLUMBING BELOW FLOOR AND BEHIND WALL.
D11	REMOVE AND PROPERLY DISPOSE OF EXISTING EXHAUST GRILLE. CAP DUCT ABOVE CEILING.
D12	EXISTING SHAFT TO REMAIN.
D13	REMOVE AND PROPERLY DISPOSE OF EXISTING WATER CLOSET.
D14	REMOVE AND PROPERLY DISPOSE OF EXHAUST GRILLE.
D15	REMOVE EXISTING WATER DISPENSER AND TURN OVER TO OWNER.
D16	EXISTING SHELVING TO BE REMOVED BY OWNER.
D17	EXISTING FIRE EXTINGUISHER CABINET TO REMAIN.
D18	MAKE SAFE. REMOVE AND PROPERLY DISPOSE OF EXISTING DUPLEX RECEPTACLE.
D19	MAKE SAFE. REMOVE AND PROPERLY DISPOSE OF EXISTING LIGHT SWITCH. CUT BACK WIRING ABOVE CEILING.
D20	MAKE SAFE. REMOVE AND PROPERLY DISPOSE OF EXISTING 2x4 SURFACE MOUNTED LUMINAIRE.
D21	REMOVE AND PROPERLY DISPOSE OF EXISTING CLEANOUT COVER.
D22	NOT USED
D23	REMOVE PORTION OF EXISTING CARPET AND ADHESIVE DOWN TO CONCRETE FLOOR SLAB. PREP SLAB FOR NEW FINISH.

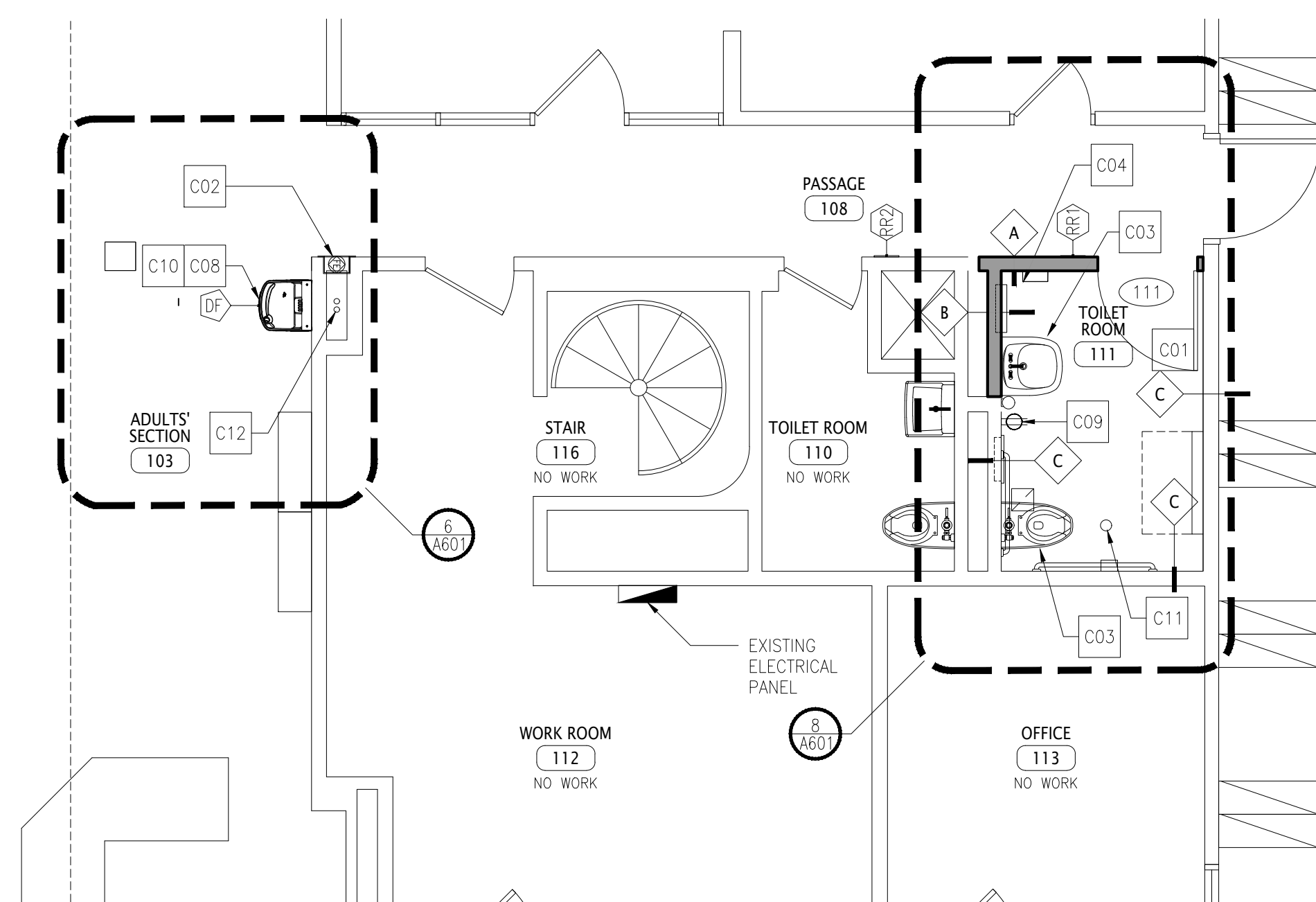
C01	PREPARE CONCRETE SUBSTRATE FOR NEW FLOOR INSTALLATION. SKIM COAT AND FLASH PATCH TO ACHIEVE TILE MANUFACTURER'S FLATNESS REQUIREMENTS. PITCH 1/8" [ER FOOT TO EXISTING FLOOR DRAIN.
C02	EXISTING FIRE EXTINGUISHER CABINET TO REMAIN.
C03	EXTEND EXISTING PLUMBING PIPING TO NEW FIXTURE.
C04	PROVIDE NEW 15A CIRCUIT BREAKER IN NEAREST PANEL WITH SPACE AVAILABLE. EXTEND WIRING TO NEW HAND DRYER.
C05	NEW LIGHTING FIXTURE. CONNECT TO EXISTING CIRCUIT.
C06	NEW LIGHT SWITCH WITH BUILT-IN VACANCY SENSOR. CONNECT TO EXISTING CIRCUIT.
C07	NEW EXHAUST GRILLE. MATCH EXISTING SIZE.
C08	DRINKING FOUNTAIN, CONNECT TO EXISTING COLD WATER AND WASTE PIPING. PROVIDE REINFORCEMENT IN WALL FOR SUPPORT.
C09	PROVIDE NEW GFI RECEPTACLE. CONNECT TO EXISTING CIRCUIT.
C10	PROVIDE NEW 20A CIRCUIT BREAKER IN EXISTING PANEL. EXTEND WIRING TO NEW DRINKING FOUNTAIN.
C11	REPLACE EXISTING CLEANOUT COVER WITH NEW.
C12	EXISTING SANITARY WASTE AND COLD WATER PIPING IN CHASE (ASSUMED). IF NOT PRESENT, CONNECT TO EXISTING TOILET ROOM PLUMBING BELOW.



SCALE: 1/4" = 1'-0"



SCALE: $1/4" = 1'-0"$

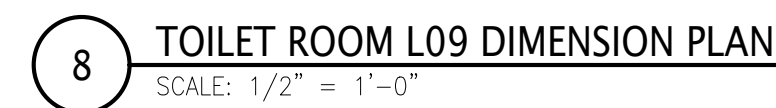
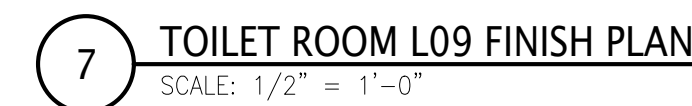
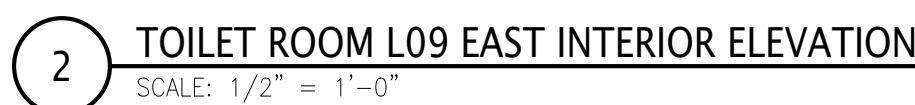


SCALE: 1/4" = 1'-0"



LOWER LEVEL ENLARGED PLANS AND INTERIOR ELEVATIONS

DRAWING NO.: A600





11 OAKRIDGE PLACE
EASTCHESTER, NY 10709

DOOR SCHEDULE & DETAILS

DRAWING NO.:

A800

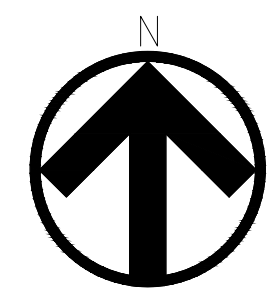


SCALE: 1 1/2" = 1'-0"



3 DOOR TYPE 'A' - WOOD
SCALE: 1/4" = 1'-0"



[illegible]

EASTCHESTER PUBLIC LIBRARY RESTROOM ALTERATIONS

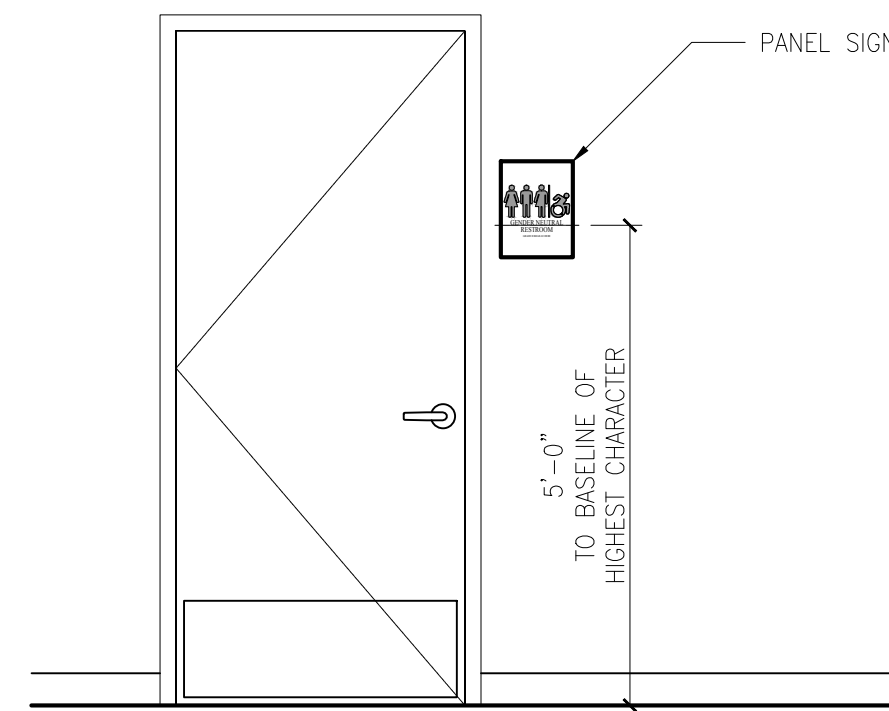
11 OAKRIDGE PLACE
EASTCHESTER, NY 10709

SIGNAGE DETAILS

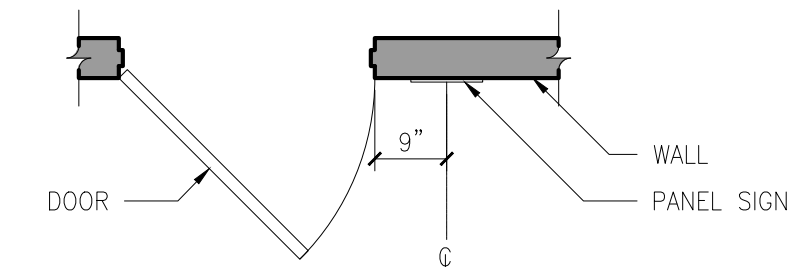
PROJECT NO.:	2662-00	SCALE:	AS NOTED
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DRAWING NO.:

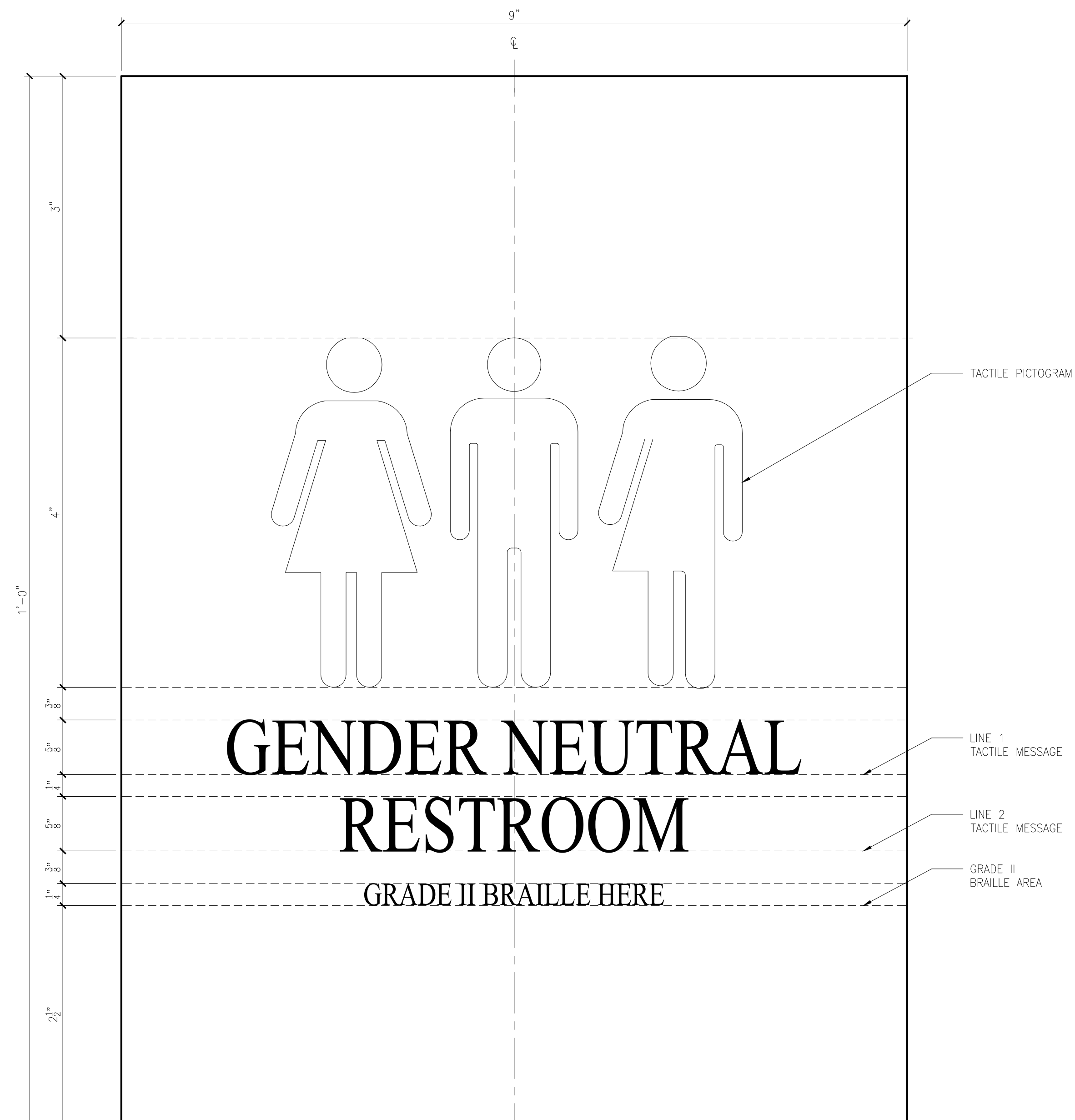
A801



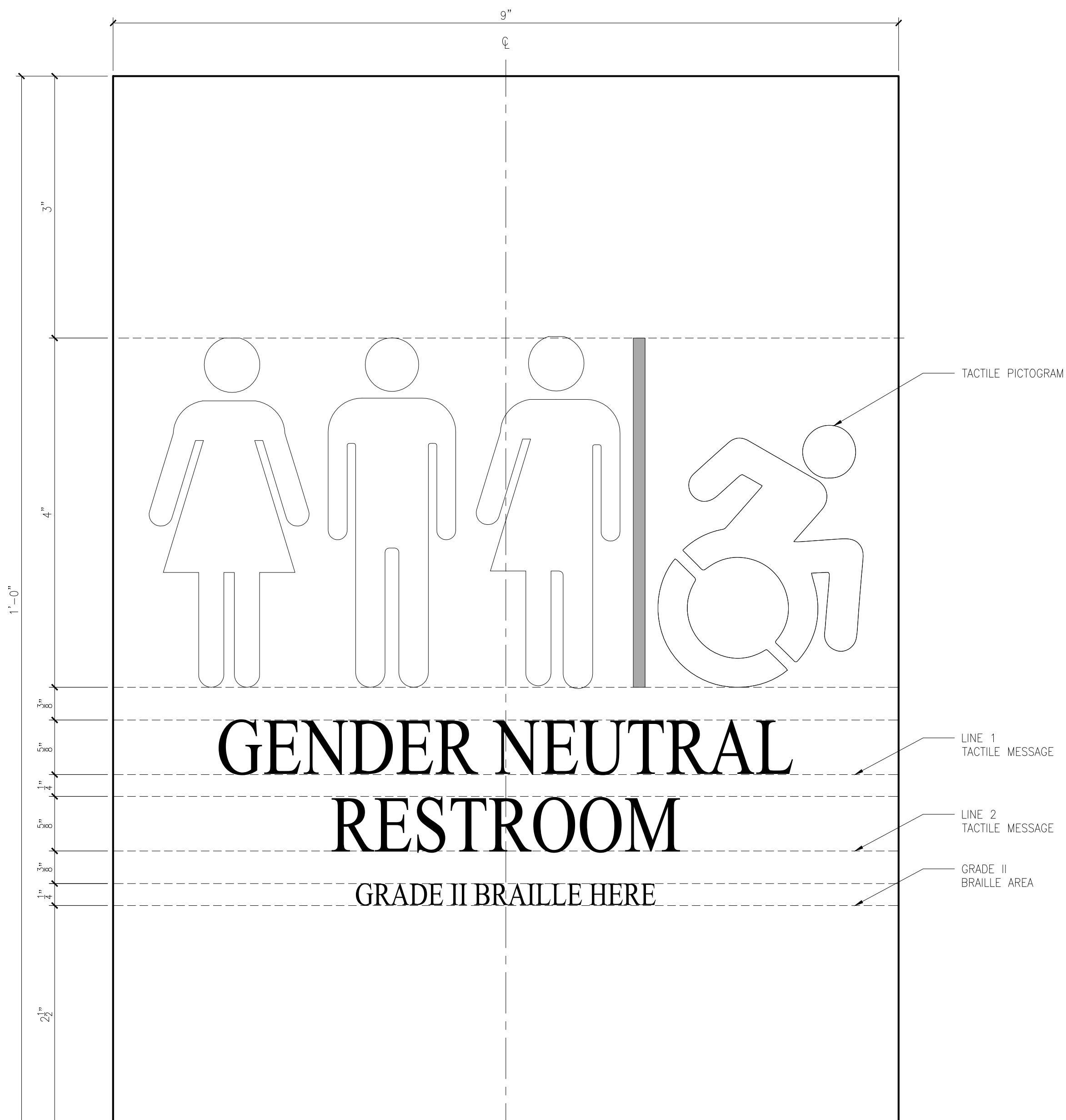
3 TYPICAL SIGN LOCATION ELEVATION
SCALE: 1/2" = 1'-0"



4 TYPICAL SIGN LOCATION PLAN
SCALE: 1/2" = 1'-0"



11 ROOM IDENTIFICATION SIGN TYPE 'RR-2'
FULL SCALE



9 ROOM IDENTIFICATION SIGN TYPE 'RR-1'
FULL SCALE