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US Army Corps of Engineers

DATE	6/16/2023
ISSUED VIA AMENDMENT	1
DESCRIPTION	
MARK	

ISSUE DATE:	07 MARCH 2023
DESIGNED BY:	B. BAUNIS/TARK
SOLICITATION NO.:	972DS-19-C-0014
DESIGNED BY:	D. CALLAGHER
CHECKED BY:	K. LEIBOWITZ
FILE NUMBER:	W912DS-19-C-0031-L
FILE NAME:	ANSI'D

US ARMY CORPS OF ENGINEERS
LINCOLN HALL
WEST POINT, NEW YORK

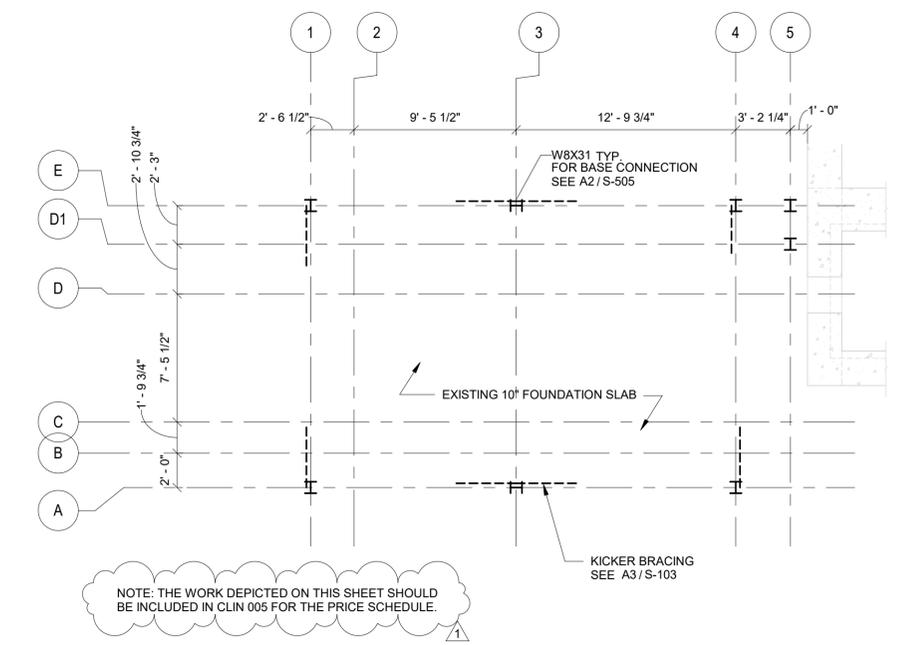
JACOBS / EWING COLE A Joint Venture

BUILDINGS 605/607 RENOVATION - LINCOLN HALL

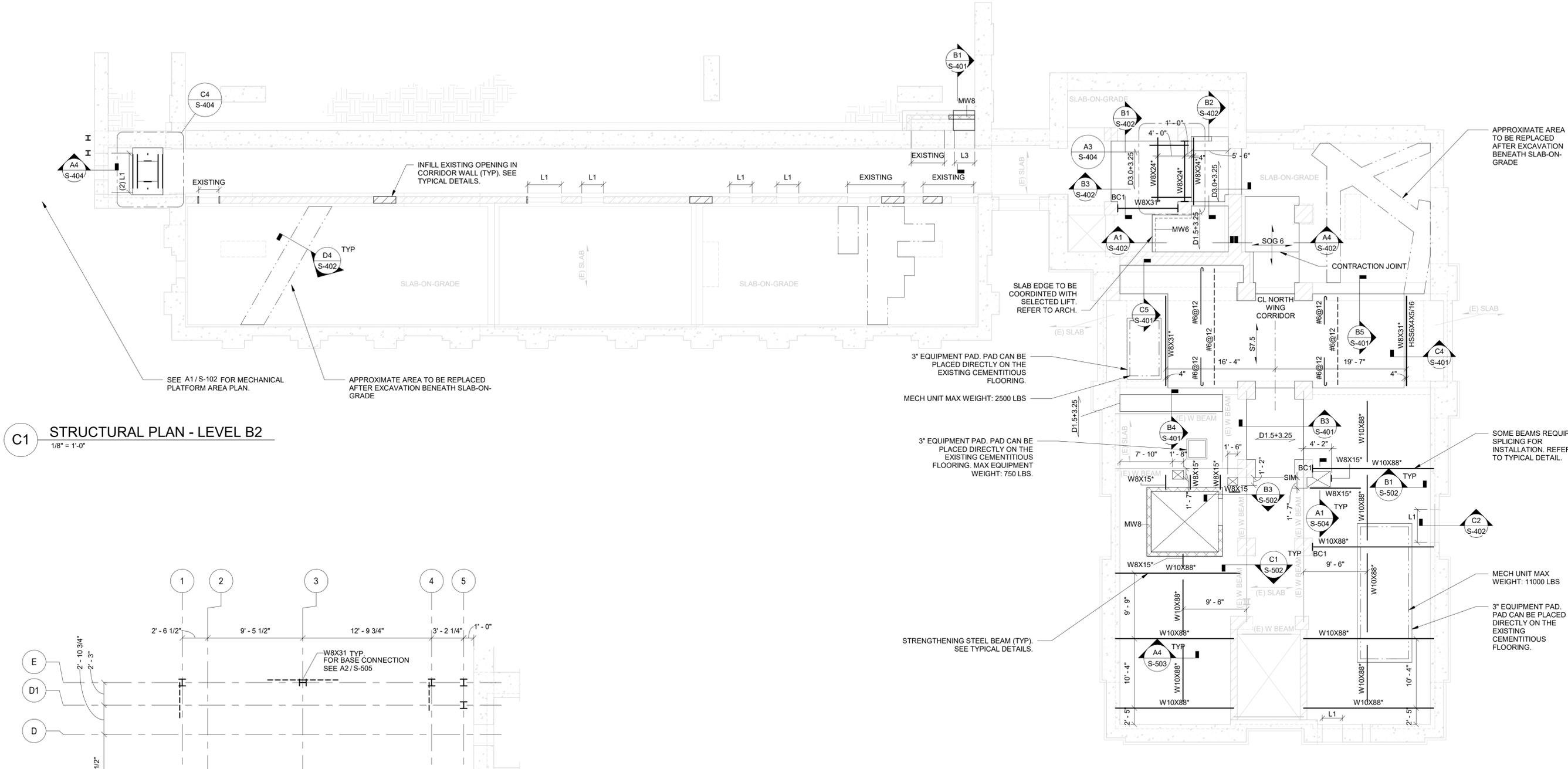
LEVEL B2 FLOOR PLAN

SHEET ID
S-102

C1 STRUCTURAL PLAN - LEVEL B2
1/8" = 1'-0"

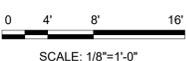


A1 MECHANICAL PLATFORM - FOUNDATION PLAN
3/16" = 1'-0"



FOR

CONCRETE WALL SCHEDULE	B3 / S-501
STEEL DECKING SCHEDULE	A2 / S-504
CONCRETE SLAB-ON-GRADE SCHEDULE	D3 / S-501
CONCRETE ONE-WAY SLAB SCHEDULE	A1 / S-501
CONCRETE WALL FOOTING SCHEDULE	A3 / S-501
STEEL LINTEL SCHEDULE	B2 / S-504
MASONRY WALL SCHEDULE	C3 / S-501
BEAM CONNECTION PLATE	B1 / S-505



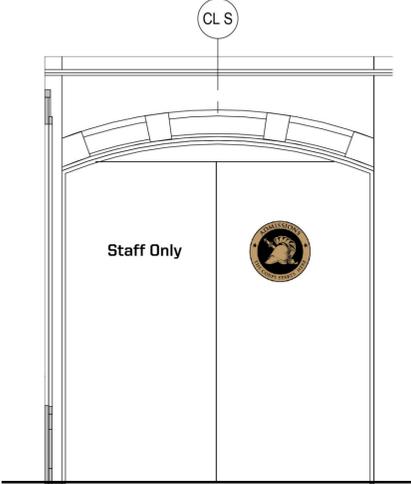


D1 STAIR LOBBY -LEVEL 1 -NORTH ELEVATION
1/2" = 1'-0"

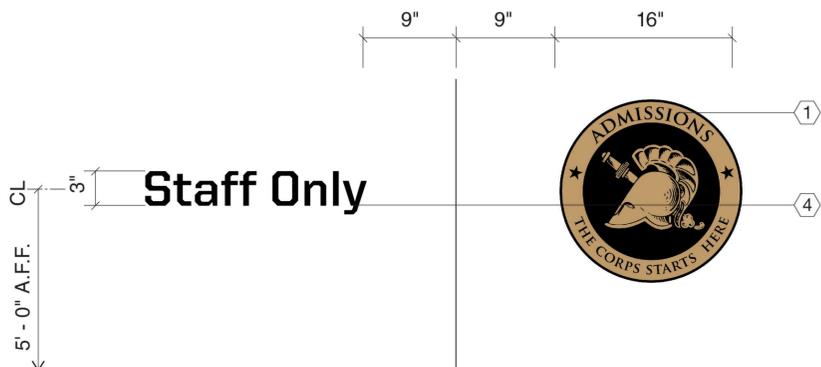


D3 SIGN TYPE SD-1 - SHOP DIRECTIONAL LEVEL 1
1 1/2" = 1'-0"

- KEY NOTES**
- 16" DIA. APPLIED CUT OUT BRUSHED BRONZE VINYL SEAL WITH DIGITALLY FRONT AND BACK PRINTED GRAPHICS
 - 9" TALL VINYL BAND WITH DIGITALLY FRONT AND BACK PRINTED GRAPHICS APPLIED TO THE BACK SIDE OF THE DOOR
 - 1/2" TALL APPLIED VINYL GRAPHICS STRIPES
 - 3" CUTOUT AND APPLIED BLACK VINYL LETTERINGS
 - DIRECT PRINTED ACRYLIC PANEL FIT INSIDE WOOD PANELING
 - 16" DIA. APPLIED CUT OUT VINYL SEAL WITH DIGITALLY PRINTED FRONT AND BACK GRAPHICS
 - 30" DIA. APPLIED CUT OUT VINYL SEAL WITH DIGITALLY PRINTED FRONT AND BACK GRAPHICS CENTERED ON WINDOW PANE ABOVE MULLION.



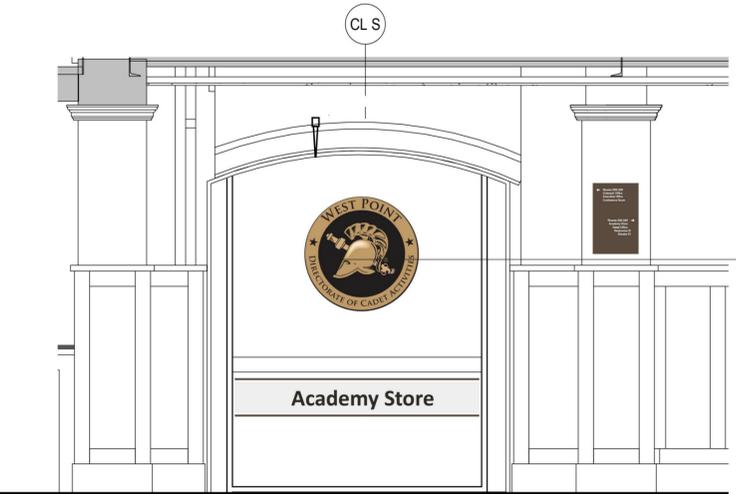
B3 STAIR LOBBY -LEVEL 1 -SOUTH ELEVATION
1/2" = 1'-0"



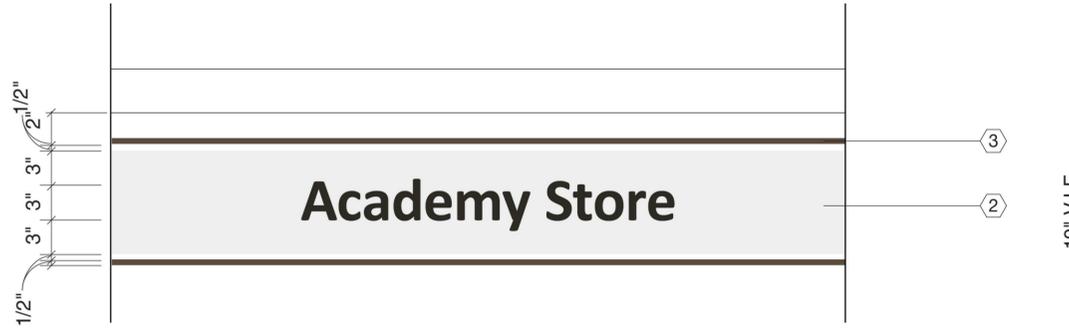
B3 SIGN TYPE AD - ADMISSION OFFICE ENTRANCE
1 1/2" = 1'-0"



B5 STAIR LOBBY -LEVEL 1 -EAST ELEVATION A
1/2" = 1'-0"



A1 STAIR LOBBY -LEVEL 2 -NORTH ELEVATION
1/2" = 1'-0"



A3 SIGN TYPE SD-2 - SHOP DIRECTIONAL LEVEL 2
1 1/2" = 1'-0"

15" V.I.F.

DIRECTORY		
4	Printing/Laminating	410
	Conference Room	411
	Equipment Loan	412
3	PCR	311
	Television Studio	317
	Outreach Office	320
2	Outreach Office	210
	Conference Room	220
	Executive Office	215
1	Reception / Interview	110
	Admissions Office	130
	Admissions Office	140
B1	AD Law Office	8110
	MIL Justice Office	8130
	Open Office	8140
B2	Client Services	8220
	Multi Media Archive	8232
	B3	Reception / Interview
Coffee Shop		170
Gift Shop		172
B1	Photo Editing Suite	8156
	Photo Editing Suite	8159
	A/V Event Storage	8165
B3	Loading Area	8301

A5 SIGN TYPE DR - DIRECTORY
3" = 1'-0"



US Army Corps of Engineers ©

DATE	DESCRIPTION	MARK
06/16/2023		1

DESIGNED BY: S. POON	ISSUE DATE: 07 MARCH 2023
DRAWN BY: D. MANTY	SOLICITATION NO.: W91ZDS-19-R0014
CHECKED BY: D. MANTY	FILE NUMBER: W91ZDS-19-C-0031-L
SUBMITTED BY:	FILE NAME: ANSI'D

US ARMY CORPS OF ENGINEERS
LINCOLN HALL
WEST POINT, NEW YORK

JACOBS / EWING COLE A Joint Venture

BUILDINGS 605/607 RENOVATION - LINCOLN HALL

SIGNAGE - INTERIOR SIGN ELEVATIONS

SHEET ID
AG202



D1 NORTH WING -LEVEL 1 - CORRIDOR NORTH ELEVATION
1/2" = 1'-0"

D4 SIGN TYPE VL - ACADEMY STORE BACK ENTRANCE
1/2" = 1'-0"



A1 SIGN TYPE CS - COFFEE SHOP ENTRANCE
1 1/2" = 1'-0"

A2 SIGN TYPE GS - ACADEMY STORE ENTRANCE
1 1/2" = 1'-0"

- KEY NOTES**
- 16" DIA. APPLIED FRONT AND BACK CUT OUT BRUSHED BRONZE VINYL SEAL WITH DIGITALLY PRINTED GRAPHICS
 - 9" TALL FROSTED VINYL BAND APPLIED TO THE FRONT OF THE DOOR WITH BLACK LETTERINGS AND OPAQUE WHITE BAND APPLIED TO THE BACK SIDE WITH BLACK LETTERINGS
 - 1/2" TALL FRONT AND BACK APPLIED VINYL GRAPHICS STRIPES
 - 3" CUTOUT AND APPLIED BLACK VINYL LETTERINGS
 - 1" CUTOUT AND APPLIED BLACK VINYL LETTERINGS
 - 8" DIA. APPLIED FRONT AND BACK CUT OUT VINYL SEALS WITH DIGITALLY PRINTED GRAPHICS

ISSUED BY/AMENDMENT	DESCRIPTION	DATE
1	MARK	06/16/2023

DESIGNED BY: A. FLORA	ISSUE DATE: 07 MARCH 2023
DRAWN BY: D. FLORA	SOLICITATION NO.: W91ZDS-19-R0014
CHECKED BY: D. MANTY	FILE NUMBER: W91ZDS-19-C-0031-L
SUBMITTED BY: D. MANTY	FILE NAME: ANSI'D
US ARMY CORPS OF ENGINEERS LINCOLN HALL WEST POINT, NEW YORK	
JACOBS / EWING COLE A Joint Venture	

BUILDINGS 605/607 RENOVATION - LINCOLN HALL
SIGNAGE - INTERIOR SIGN ELEVATIONS

SHEET ID
AG203

GENERAL NOTE:
INTERIOR SIGNAGE MUST FOLLOW UFC 3-120-1 (SIGN STANDARDS) AND
ACADEMIC BUILDING PLANNING STANDARDS (ABPS)



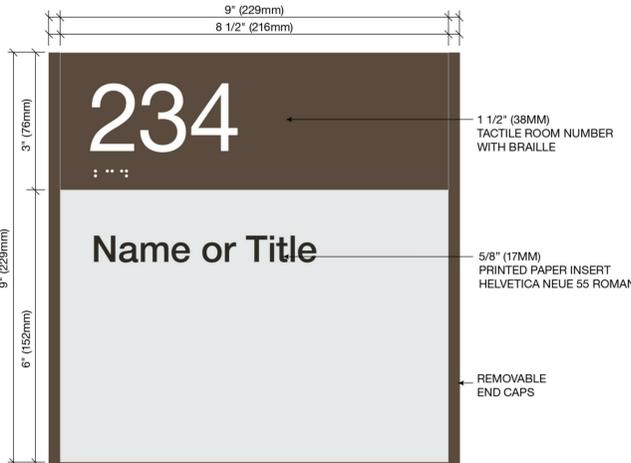
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of Engineers ©

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1			06/16/2023

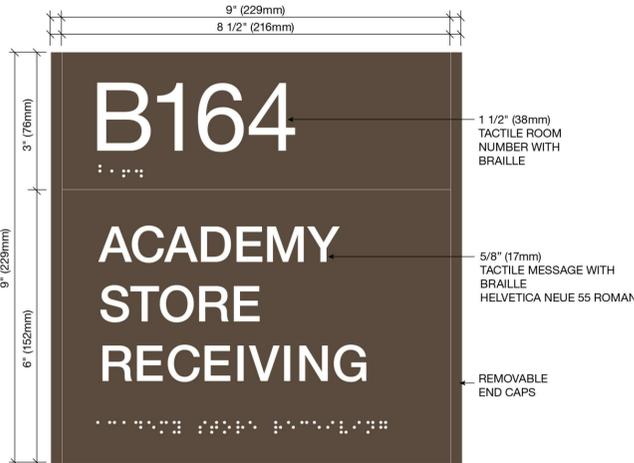
DESIGNED BY: A. FLORA	ISSUE DATE: 07 MARCH 2023
DRAWN BY: D. FLORA	SOLICITATION NO.: W91ZDS-19-R-0014
CHECKED BY: D. MANTY	FILE NUMBER: W91ZDS-19-C-0031-L
SUBMITTED BY: ANSI/D	FILE NAME:

BUILDINGS 605/607 RENOVATION - LINCOLN HALL
SIGNAGE LAYOUTS
US ARMY CORPS OF ENGINEERS
LINCOLN HALL
WEST POINT, NEW YORK
JACOBS / EWING COLE A Joint Venture

SHEET ID
AG501



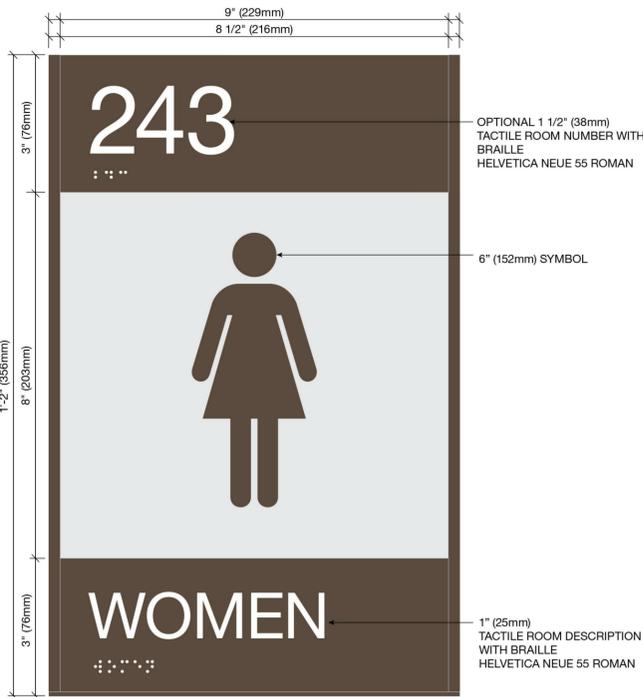
C1 SIGN TYPE OS - OFFICE SIGN
HALF SCALE



C3 SIGN TYPE SR - SUPPORT ROOM SIGN
HALF SCALE



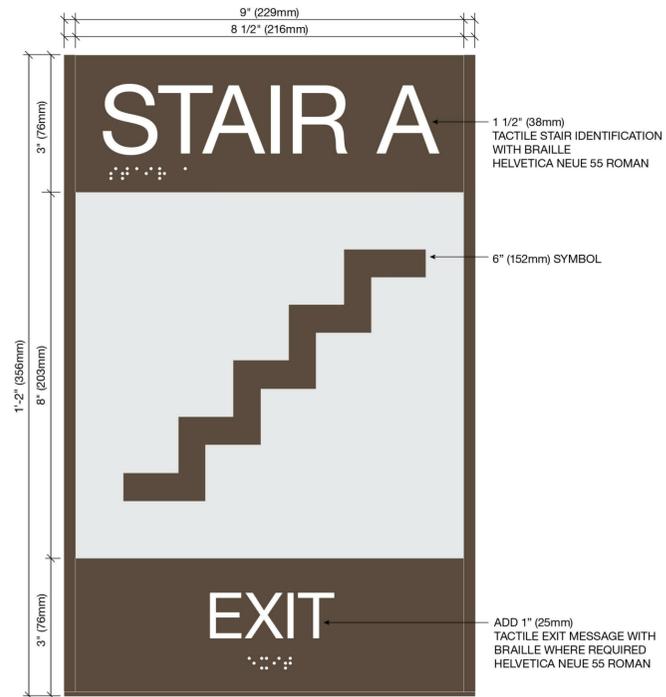
C4 SIGN TYPE WS - WORKSTATION SIGN
HALF SCALE



A1 SIGN TYPE RR - RESTROOM SIGN
HALF SCALE



A3 SIGN TYPE STX - STAIR EXIT INFO SIGN
HALF SCALE



A4 SIGN TYPE ST - STAIR ID SIGN
HALF SCALE



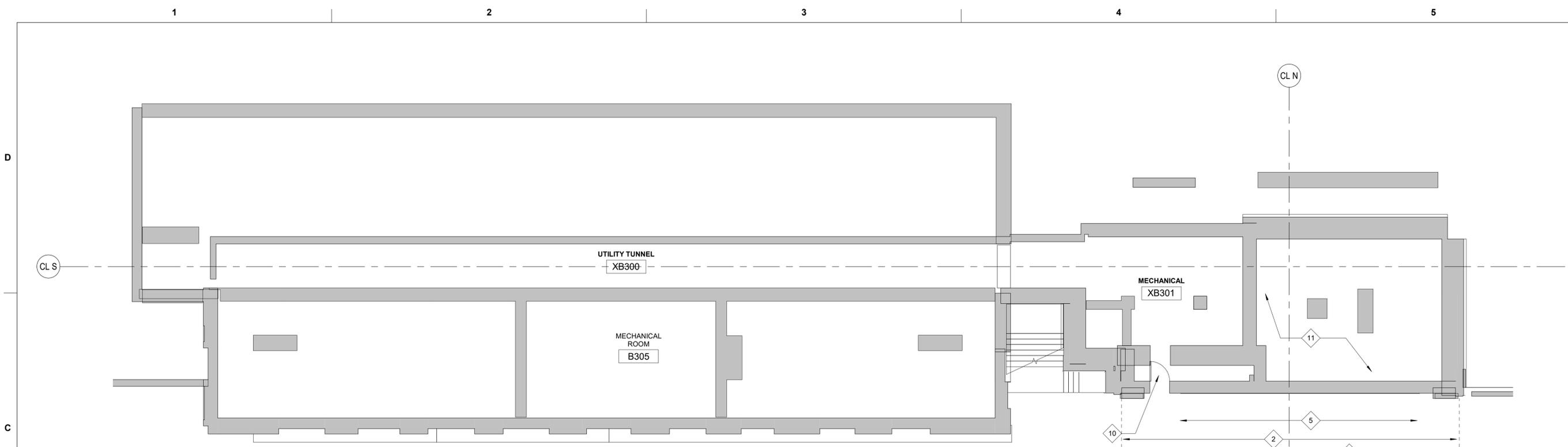
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ISSUE DATE:	06/16/2023	DATE
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DESCRIPTION:		

DESIGNED BY:	A. FLORA	ISSUE DATE:	07/MARCH/2023
DRAWN BY: <td>C. MANTY</td> <td>SOLICITATION NO.: <td>W91ZDS-19-R0014</td> </td>	C. MANTY	SOLICITATION NO.: <td>W91ZDS-19-R0014</td>	W91ZDS-19-R0014
CHECKED BY: <td>D. MANTY</td> <td>FILE NUMBER: <td>W91ZDS-19-C-0031-L</td> </td>	D. MANTY	FILE NUMBER: <td>W91ZDS-19-C-0031-L</td>	W91ZDS-19-C-0031-L
SUBMITTED BY: <td></td> <td>FILE NAME: <td>ANSI'D</td> </td>		FILE NAME: <td>ANSI'D</td>	ANSI'D

BUILDINGS 605/607 RENOVATION - LINCOLN HALL
 WEST POINT, NEW YORK
JACOBS / EWING COLE A Joint Venture
 LEVEL B3 DEMOLITION PLAN

SHEET ID
AD101



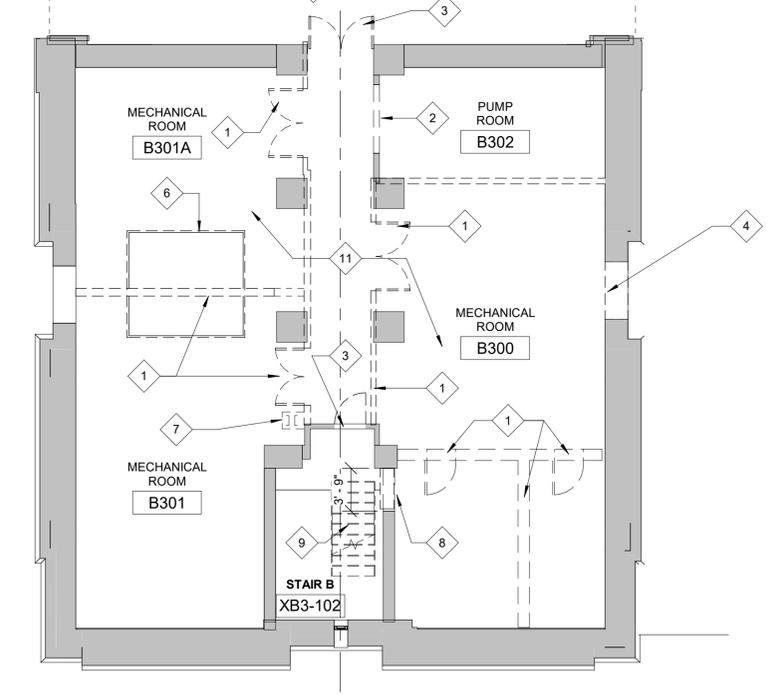
C1 DEMOLITION PLAN - LEVEL B3
 1/8" = 1'-0"

DEMOLITION KEYNOTES

- | | |
|--|---|
| 1. REMOVE GWB AND METAL STUD PARTITION AND HOLLOW METAL DOORS AND DOOR FRAMES WITHIN THE PARTITION. | 8. CUT AND REMOVE EXISTING MASONRY STAIR WALL TO CREATE NEW OPENING FROM FLOOR TO STRUCTURE ABOVE. COORDINATE SUPPORT FOR STRUCTURAL SLAB ABOVE WITH STRUCTURAL DRAWINGS. |
| 2. REFER TO STRUCTURAL FOR REMOVAL OF SLAB ON GRADE AT SALLY PORT. | 9. COORDINATE STAIR REMOVAL WITH NEW STAIR. SEE C2/A-406 FOR NEW STAIR PLACEMENT. |
| 3. REMOVE WOOD DOOR AND DOOR FRAME AND ASSOCIATED DOOR HARDWARE. SALVAGE WOOD DOOR AND RETAIN FOR OWNER. | 10. EXISTING WOOD DOOR TO REMAIN. |
| 4. REMOVE LOUVERS AND EMBRASURE WINDOWS IN THE EXTERIOR WALL. REFER TO THE EXTERIOR ELEVATIONS FOR LOCATION. | 11. FOR SLAB REMOVAL FOR BELOW GRADE PIPING, REFER TO STRUCTURAL |
| 5. REFER TO STRUCTURAL FOR REMOVAL OF SALLY PORT BRICK ARCH ABOVE. | |
| 6. REMOVE FLOOR SLAB IN LOCATION OF ELEVATOR - REFER TO STRUCTURAL FOR MORE INFORMATION | |
| 7. REMOVE FURRED PARTITION AROUND EXISTING STEEL COLUMN TO REMAIN. | |

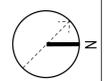
GENERAL NOTES

- | | | |
|--|---|---|
| 1. THE DEMOLITION AND ALTERATION NOTES ARE NOT ALL INCLUSIVE. PRIOR TO DEMOLITION INSPECT AND ASSESS EACH AREA AND FULFILL THE INTENT OF THE DEMOLITION WORK INDICATED BY THE CONTRACT DOCUMENTS. VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS. DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE COR PRIOR TO PROCEEDING WITH THE WORK. | 4. PROVIDE TEMPORARY SAFEGUARDS AS REQUIRED TO PROTECT EXISTING FINISHES AND EQUIPMENT TO REMAIN DURING DEMOLITION AND CONSTRUCTION. | 7. REPAIRS TO FIRE, SMOKE OR ACOUSTICALLY RATED WALLS, FLOORS OR CEILINGS SHALL BE MADE WITH MATERIALS APPROPRIATE TO ACHIEVE THE SAME RATING AS THE EXISTING. |
| 2. CONTRACTOR MUST CONSULT WITH THE OWNER REPRESENTATIVE (COR) IN ADVANCE OF DOING WORK TO DETERMINE DISPOSITION OF ALL FIXTURES, CABINETS, SERVICES, EQUIPMENT AND ITEMS TO BE REMOVED DURING THE DEMOLITION. CONTRACTOR TO REMOVE AND PROPERLY DISPOSE OF ALL EXISTING FURNITURE AND EQUIPMENT, LOOSE ITEMS AND DEBRIS ETC. LEFT BEHIND BY OWNER. | 5. WHERE EXISTING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, PARTITIONS, FLOORS AND BASES, DOOR AND WINDOW FRAMES, CEILINGS, CASEWORK, EQUIPMENT, ELECTRICAL AND MECHANICAL DEVICES, FIXTURES AND EQUIPMENT ARE REMOVED OR ALTERED, REPAIR ADJACENT SURFACES DISTURBED BY DEMOLITION OR ALTERATION WORK AND PREPARE THESE SURFACES TO RECEIVE NEW SCHEDULED FINISHES. REPAIRS TO SURFACES DEEMED BY THE ARCHITECT AND OWNER (COR) TO BE UNSATISFACTORY FOR THE PURPOSE MUST BE REMOVED AND REPLACED IN KIND. | 8. MECHANICAL AND ELECTRICAL DEMOLITION IN FINISHED SPACES MUST BE REMOVED SUCH THAT EXISTING TERMINATIONS WILL BE CONCEALED BEHIND THE NEW CONSTRUCTION. |
| 3. PROVIDE TEMPORARY BARRIERS, BARRICADES, LIGHTING, FIRE PROTECTION, ETC. TO PROTECT PERSONNEL AND ADJACENT SPACES PER THE REQUIREMENTS OF DIVISION 01 SECTION "TEMPORARY FACILITIES AND CONTROLS." | 6. HOLES IN UL RATED FLOORS AND WALLS RESULTING FROM DEMOLITION OR REMOVALS MUST BE REPAIRED IN A MANNER CONSISTENT WITH THE ADJACENT UL RATED CONSTRUCTION AND BE ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION. | 9. FOR EXTERIOR DEMOLITION THAT INCLUDES, RAILINGS, STAIRS, SEE EXTERIOR ENVELOPE SHEETS. |
| | | 10. AT BOTH SIDES OF THE STRUCTURAL CMU CORRIDOR WALLS AND THE EGRESS STAIR WALLS FACING OCCUPIED SPACE IN THE RENOVATION AREA THE PLASTER FINISH IS TO BE REMOVED AND ABATED (PER HAZARDOUS MATERIAL REQUIREMENTS) BACK TO THE FACE OF CMU. THE PLASTER FINISH WITHIN EGRESS STAIRS ARE TO REMAIN AND NOT BE ABATED. CENTRAL STAIR PLASTER FINISHES ARE TO REMAIN. |
| | | 11. REFER TO THE HAZMAT FLOOR PLANS FOR MORE INFORMATION ON REMOVAL OF EXISTING PLASTER. |



LEGEND

- EXISTING CONSTRUCTION
- DEMOLITION



ISSUED BY/AMENDMENT	DESCRIPTION	MARK	DATE
1			06/16/2023

DESIGNED BY: A. FLORA	ISSUE DATE: 07 MARCH 2023
DRAWN BY: D. MANTY	SOLICITATION NO.: W91ZDS-19-R0014
CHECKED BY: D. MANTY	FILE NUMBER: W91ZDS-19-C-0031-L
SUBMITTED BY:	FILE NAME: ANSI.D

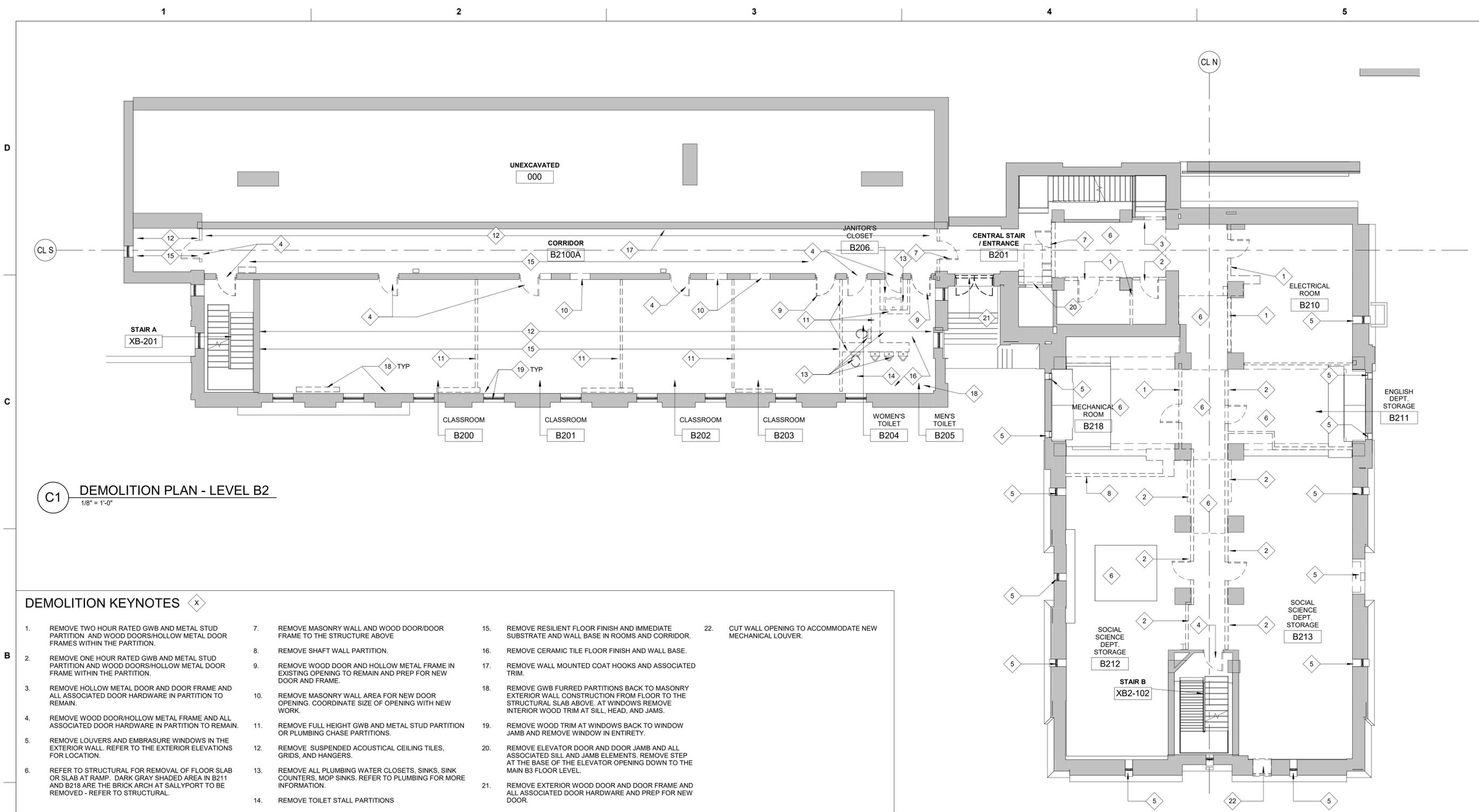
US ARMY CORPS OF ENGINEERS
LINCOLN HALL
WEST POINT, NEW YORK

JACOBS / EWING COLE A Joint Venture

BUILDINGS 605/607 RENOVATION - LINCOLN HALL

LEVEL B2 DEMOLITION PLAN

SHEET ID
AD102



C1 DEMOLITION PLAN - LEVEL B2
1/8" = 1'-0"

DEMOLITION KEYNOTES x

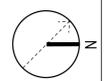
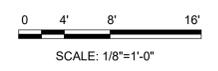
- | | | | |
|---|--|---|---|
| <p>1. REMOVE TWO HOUR RATED GWB AND METAL STUD PARTITION AND WOOD DOORS/HOLLOW METAL DOOR FRAMES WITHIN THE PARTITION.</p> <p>2. REMOVE ONE HOUR RATED GWB AND METAL STUD PARTITION AND WOOD DOORS/HOLLOW METAL DOOR FRAME WITHIN THE PARTITION.</p> <p>3. REMOVE HOLLOW METAL DOOR AND DOOR FRAME AND ALL ASSOCIATED DOOR HARDWARE IN PARTITION TO REMAIN.</p> <p>4. REMOVE WOOD DOOR/HOLLOW METAL FRAME AND ALL ASSOCIATED DOOR HARDWARE IN PARTITION TO REMAIN.</p> <p>5. REMOVE LOUVERS AND EMBRASURE WINDOWS IN THE EXTERIOR WALL. REFER TO THE EXTERIOR ELEVATIONS FOR LOCATION.</p> <p>6. REFER TO STRUCTURAL FOR REMOVAL OF FLOOR SLAB OR SLAB AT RAMP. DARK GRAY SHADED AREA IN B211 AND B218 ARE THE BRICK ARCH AT SALLYPORT TO BE REMOVED - REFER TO STRUCTURAL.</p> | <p>7. REMOVE MASONRY WALL AND WOOD DOOR/DOOR FRAME TO THE STRUCTURE ABOVE.</p> <p>8. REMOVE SHAFT WALL PARTITION.</p> <p>9. REMOVE WOOD DOOR AND HOLLOW METAL FRAME IN EXISTING OPENING TO REMAIN AND PREP FOR NEW DOOR AND FRAME.</p> <p>10. REMOVE MASONRY WALL AREA FOR NEW DOOR OPENING. COORDINATE SIZE OF OPENING WITH NEW WORK.</p> <p>11. REMOVE FULL HEIGHT GWB AND METAL STUD PARTITION OR PLUMBING CHASE PARTITIONS.</p> <p>12. REMOVE SUSPENDED ACOUSTICAL CEILING TILES, GRIDS, AND HANGERS.</p> <p>13. REMOVE ALL PLUMBING WATER CLOSETS, SINKS, SINK COUNTERS, MOP SINKS. REFER TO PLUMBING FOR MORE INFORMATION.</p> <p>14. REMOVE TOILET STALL PARTITIONS</p> | <p>15. REMOVE RESILIENT FLOOR FINISH AND IMMEDIATE SUBSTRATE AND WALL BASE IN ROOMS AND CORRIDOR.</p> <p>16. REMOVE CERAMIC TILE FLOOR FINISH AND WALL BASE.</p> <p>17. REMOVE WALL MOUNTED COAT HOOKS AND ASSOCIATED TRIM.</p> <p>18. REMOVE GWB FURRED PARTITIONS BACK TO MASONRY EXTERIOR WALL CONSTRUCTION FROM FLOOR TO THE STRUCTURAL SLAB ABOVE. AT WINDOWS REMOVE INTERIOR WOOD TRIM AT SILL, HEAD, AND JAMS.</p> <p>19. REMOVE WOOD TRIM AT WINDOWS BACK TO WINDOW JAMB AND REMOVE WINDOW IN ENTIRETY.</p> <p>20. REMOVE ELEVATOR DOOR AND DOOR JAMB AND ALL ASSOCIATED SILL AND JAMB ELEMENTS. REMOVE STEP AT THE BASE OF THE ELEVATOR OPENING DOWN TO THE MAIN B3 FLOOR LEVEL.</p> <p>21. REMOVE EXTERIOR WOOD DOOR AND DOOR FRAME AND ALL ASSOCIATED DOOR HARDWARE AND PREP FOR NEW DOOR.</p> | <p>22. CUT WALL OPENING TO ACCOMMODATE NEW MECHANICAL LOUVER.</p> |
|---|--|---|---|

GENERAL NOTES

- | | | |
|--|---|--|
| <p>1. THE DEMOLITION AND ALTERATION NOTES ARE NOT ALL INCLUSIVE. PRIOR TO DEMOLITION INSPECT AND ASSESS EACH AREA AND FULFILL THE INTENT OF THE DEMOLITION WORK INDICATED BY THE CONTRACT DOCUMENTS. VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS. DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE COR PRIOR TO PROCEEDING WITH THE WORK.</p> <p>2. CONTRACTOR MUST CONSULT WITH THE OWNER REPRESENTATIVE (COR) IN ADVANCE OF DOING WORK TO DETERMINE DISPOSITION OF ALL FIXTURES, CABINETS, SERVICES, EQUIPMENT AND ITEMS TO BE REMOVED DURING THE DEMOLITION. CONTRACTOR TO REMOVE AND PROPERLY DISPOSE OF ALL EXISTING FURNITURE AND EQUIPMENT, LOOSE ITEMS AND DEBRIS ETC. LEFT BEHIND BY OWNER.</p> <p>3. PROVIDE TEMPORARY BARRIERS, BARRICADES, LIGHTING, FIRE PROTECTION, ETC. TO PROTECT PERSONNEL AND ADJACENT SPACES PER THE REQUIREMENTS OF DIVISION 01 SECTION "TEMPORARY FACILITIES AND CONTROLS."</p> | <p>4. PROVIDE TEMPORARY SAFEGUARDS AS REQUIRED TO PROTECT EXISTING FINISHES AND EQUIPMENT TO REMAIN DURING DEMOLITION AND CONSTRUCTION.</p> <p>5. WHERE EXISTING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, PARTITIONS, FLOORS AND BASES, DOOR AND WINDOW FRAMES, CEILINGS, CASEWORK, EQUIPMENT, ELECTRICAL AND MECHANICAL DEVICES, FIXTURES AND EQUIPMENT ARE REMOVED OR ALTERED, REPAIR ADJACENT SURFACES DISTURBED BY DEMOLITION OR ALTERATION WORK AND PREPARE THESE SURFACES TO RECEIVE NEW SCHEDULED FINISHES. REPAIRS TO SURFACES DEEMED BY THE ARCHITECT AND OWNER (COR) TO BE UNSATISFACTORY FOR THE PURPOSE MUST BE REMOVED AND REPLACED IN KIND.</p> <p>6. HOLES IN UL RATED FLOORS AND WALLS RESULTING FROM DEMOLITION OR REMOVALS MUST BE REPAIRED IN A MANNER CONSISTENT WITH THE ADJACENT UL RATED CONSTRUCTION AND BE ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION.</p> | <p>7. REPAIRS TO FIRE, SMOKE OR ACOUSTICALLY RATED WALLS, FLOORS OR CEILINGS SHALL BE MADE WITH MATERIALS APPROPRIATE TO ACHIEVE THE SAME RATING AS THE EXISTING.</p> <p>8. MECHANICAL AND ELECTRICAL DEMOLITION IN FINISHED SPACES MUST BE REMOVED SUCH THAT EXISTING TERMINATIONS WILL BE CONCEALED BEHIND THE NEW CONSTRUCTION.</p> <p>9. FOR EXTERIOR DEMOLITION THAT INCLUDES, RAILINGS, STAIRS, SEE EXTERIOR ENVELOPE SHEETS.</p> <p>10. AT BOTH SIDES OF THE STRUCTURAL CMU CORRIDOR WALLS AND THE EGRESS STAIR WALLS FACING OCCUPIED SPACE IN THE RENOVATION AREA THE PLASTER FINISH IS TO BE REMOVED AND ABATED (PER HAZARDOUS MATERIAL REQUIREMENTS) BACK TO THE FACE OF CMU. THE PLASTER FINISH WITHIN EGRESS STAIRS ARE TO REMAIN AND NOT BE ABATED. CENTRAL STAIR PLASTER FINISHES ARE TO REMAIN.</p> <p>11. REFER TO THE HAZMAT FLOOR PLANS FOR MORE INFORMATION ON REMOVAL OF EXISTING PLASTER.</p> |
|--|---|--|

LEGEND

- EXISTING CONSTRUCTION
- DEMOLITION



06/16/2023	DATE
1	MARK
ISSUED BY/AMENDMENT	DESCRIPTION

DESIGNED BY: A. FLORA	ISSUE DATE: 07 MARCH 2023
DRAWN BY: W. ZHANG	SOLICITATION NO.: W91ZDS-19-R0014
CHECKED BY: D. MANTY	FILE NUMBER: W91ZDS-19-C-0031-L
SUBMITTED BY: ANSI'D	FILE NAME: ANSI'D

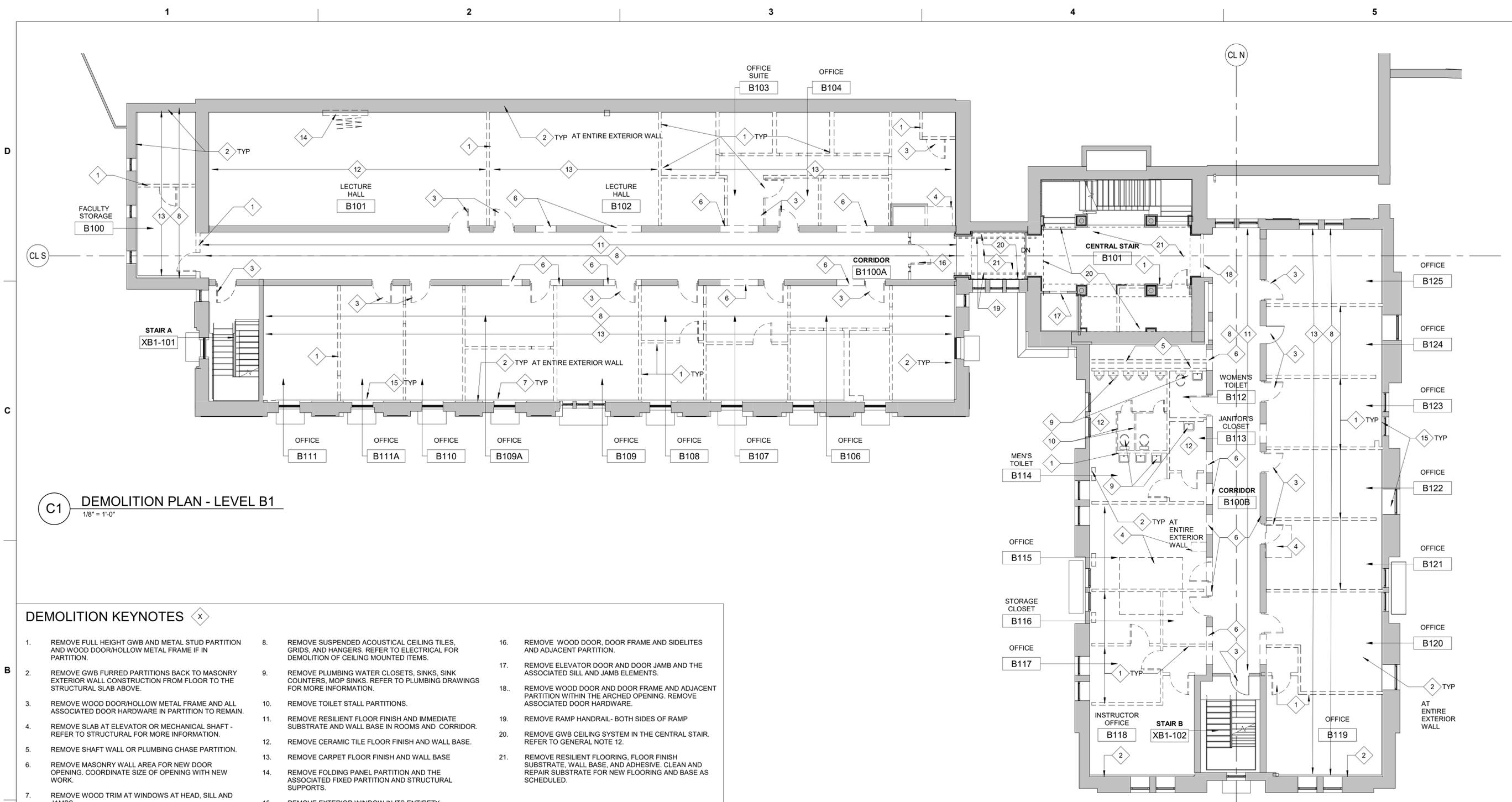
US ARMY CORPS OF ENGINEERS
LINCOLN HALL
WEST POINT, NEW YORK

JACOBS / EWING COLE A Joint Venture

BUILDINGS 605/607 RENOVATION - LINCOLN HALL

LEVEL B1 DEMOLITION PLAN

SHEET ID
AD103



C1 DEMOLITION PLAN - LEVEL B1
1/8" = 1'-0"

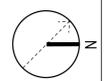
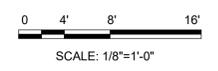
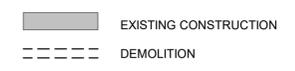
DEMOLITION KEYNOTES

- | | | |
|---|--|--|
| 1. REMOVE FULL HEIGHT GWB AND METAL STUD PARTITION AND WOOD DOOR/HOLLOW METAL FRAME IF IN PARTITION. | 8. REMOVE SUSPENDED ACOUSTICAL CEILING TILES, GRIDS, AND HANGERS. REFER TO ELECTRICAL FOR DEMOLITION OF CEILING MOUNTED ITEMS. | 16. REMOVE WOOD DOOR, DOOR FRAME AND SIDELITES AND ADJACENT PARTITION. |
| 2. REMOVE GWB FURRED PARTITIONS BACK TO MASONRY EXTERIOR WALL CONSTRUCTION FROM FLOOR TO THE STRUCTURAL SLAB ABOVE. | 9. REMOVE PLUMBING WATER CLOSETS, SINKS, SINK COUNTERS, MOP SINKS. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION. | 17. REMOVE ELEVATOR DOOR AND DOOR JAMB AND THE ASSOCIATED SILL AND JAMB ELEMENTS. |
| 3. REMOVE WOOD DOOR/HOLLOW METAL FRAME AND ALL ASSOCIATED DOOR HARDWARE IN PARTITION TO REMAIN. | 10. REMOVE TOILET STALL PARTITIONS. | 18. REMOVE WOOD DOOR AND DOOR FRAME AND ADJACENT PARTITION WITHIN THE ARCHED OPENING. REMOVE ASSOCIATED DOOR HARDWARE. |
| 4. REMOVE SLAB AT ELEVATOR OR MECHANICAL SHAFT - REFER TO STRUCTURAL FOR MORE INFORMATION. | 11. REMOVE RESILIENT FLOOR FINISH AND IMMEDIATE SUBSTRATE AND WALL BASE IN ROOMS AND CORRIDOR. | 19. REMOVE RAMP HANDRAIL - BOTH SIDES OF RAMP |
| 5. REMOVE SHAFT WALL OR PLUMBING CHASE PARTITION. | 12. REMOVE CERAMIC TILE FLOOR FINISH AND WALL BASE. | 20. REMOVE GWB CEILING SYSTEM IN THE CENTRAL STAIR. REFER TO GENERAL NOTE 12. |
| 6. REMOVE MASONRY WALL AREA FOR NEW DOOR OPENING. COORDINATE SIZE OF OPENING WITH NEW WORK. | 13. REMOVE CARPET FLOOR FINISH AND WALL BASE | 21. REMOVE RESILIENT FLOORING, FLOOR FINISH SUBSTRATE, WALL BASE, AND ADHESIVE. CLEAN AND REPAIR SUBSTRATE FOR NEW FLOORING AND BASE AS SCHEDULED. |
| 7. REMOVE WOOD TRIM AT WINDOWS AT HEAD, SILL AND JAMBS. | 14. REMOVE FOLDING PANEL PARTITION AND THE ASSOCIATED FIXED PARTITION AND STRUCTURAL SUPPORTS. | |
| | 15. REMOVE EXTERIOR WINDOW IN ITS ENTIRETY. | |

GENERAL NOTES

- | | | | |
|--|---|---|---|
| 1. THE DEMOLITION AND ALTERATION NOTES ARE NOT ALL INCLUSIVE. PRIOR TO DEMOLITION INSPECT AND ASSESS EACH AREA AND FULFILL THE INTENT OF THE DEMOLITION WORK INDICATED BY THE CONTRACT DOCUMENTS. VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS. DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE COR PRIOR TO PROCEEDING WITH THE WORK. | 4. PROVIDE TEMPORARY SAFEGUARDS AS REQUIRED TO PROTECT EXISTING FINISHES AND EQUIPMENT TO REMAIN DURING DEMOLITION AND CONSTRUCTION. | 7. REPAIRS TO FIRE, SMOKE OR ACOUSTICALLY RATED WALLS, FLOORS OR CEILINGS SHALL BE MADE WITH MATERIALS APPROPRIATE TO ACHIEVE THE SAME RATING AS THE EXISTING. | 12. CENTRAL STAIR CEILING AREAS ONLY - WHERE A KEYNOTE INDICATES TO REMOVE THE GWB CEILING AREA, IT IS ASSUMED YET NOT VERIFIED THAT THE ORIGINAL CEILING MATERIALS AND ASSOCIATED DECORATIVE TRIM HAVE BEEN REMOVED IN THE PREVIOUS PROJECT. TO ENSURE THAT THE ORIGINAL MATERIALS ARE NOT DAMAGED IF THEY DO REMAIN, THE CONTRACTOR IS TO CAREFULLY REMOVE THE GWB CEILING STARTING IN THE CENTER OF CEILING BETWEEN COLUMNS AND CONFIRM THE EXISTING CONDITIONS AND WHETHER ORIGINAL CEILING MATERIALS AND MOLDINGS REMAIN ABOVE THE CEILING AND INFORM THE CONTRACTING OFFICER ACCORDINGLY. |
| 2. CONTRACTOR MUST CONSULT WITH THE OWNER REPRESENTATIVE (COR) IN ADVANCE OF DOING WORK TO DETERMINE DISPOSITION OF ALL FIXTURES, CABINETS, SERVICES, EQUIPMENT AND ITEMS TO BE REMOVED DURING THE DEMOLITION. CONTRACTOR TO REMOVE AND PROPERLY DISPOSE OF ALL EXISTING FURNITURE AND EQUIPMENT, LOOSE ITEMS AND DEBRIS ETC. LEFT BEHIND BY OWNER. | 5. WHERE EXISTING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, PARTITIONS, FLOORS AND BASES, DOOR AND WINDOW FRAMES, CEILINGS, CASEWORK, EQUIPMENT, ELECTRICAL AND MECHANICAL DEVICES, FIXTURES AND EQUIPMENT ARE REMOVED OR ALTERED, REPAIR ADJACENT SURFACES DISTURBED BY DEMOLITION OR ALTERATION WORK AND PREPARE THESE SURFACES TO RECEIVE NEW SCHEDULED FINISHES. REPAIRS TO SURFACES DEEMED BY THE ARCHITECT AND OWNER (COR) TO BE UNSATISFACTORY FOR THE PURPOSE MUST BE REMOVED AND REPLACED IN KIND. | 8. MECHANICAL AND ELECTRICAL DEMOLITION IN FINISHED SPACES MUST BE REMOVED SUCH THAT EXISTING TERMINATIONS WILL BE CONCEALED BEHIND THE NEW CONSTRUCTION. | |
| 3. PROVIDE TEMPORARY BARRIERS, BARRICADES, LIGHTING, FIRE PROTECTION, ETC. TO PROTECT PERSONNEL AND ADJACENT SPACES PER THE REQUIREMENTS OF DIVISION 01 SECTION "TEMPORARY FACILITIES AND CONTROLS." | 6. HOLES IN UL RATED FLOORS AND WALLS RESULTING FROM DEMOLITION OR REMOVALS MUST BE REPAIRED IN A MANNER CONSISTENT WITH THE ADJACENT UL RATED CONSTRUCTION AND BE ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION. | 9. FOR EXTERIOR DEMOLITION THAT INCLUDES, RAILINGS, STAIRS, SEE EXTERIOR ENVELOPE SHEETS. | |
| | | 10. AT BOTH SIDES OF THE STRUCTURAL CMU CORRIDOR WALLS AND THE EGRESS STAIR WALLS FACING OCCUPIED SPACE IN THE RENOVATION AREA THE PLASTER FINISH IS TO BE REMOVED AND ABATED (PER HAZARDOUS MATERIAL REQUIREMENTS) BACK TO THE FACE OF CMU. THE PLASTER FINISH WITHIN EGRESS STAIRS ARE TO REMAIN AND NOT BE ABATED. CENTRAL STAIR PLASTER FINISHES ARE TO REMAIN. | |
| | | 11. REFER TO THE HAZMAT FLOOR PLANS FOR MORE INFORMATION ON REMOVAL OF EXISTING PLASTER. | |

LEGEND



06/16/2023	DATE
1	MARK
ISSUED BY/AMENDMENT	DESCRIPTION

DESIGNED BY: A. FLORA	ISSUE DATE: 07 MARCH 2023
DRAWN BY: D. MANTY	SOLICITATION NO.: W91ZDS-19-R0014
CHECKED BY: D. MANTY	FILE NUMBER: W91ZDS-19-C-0031-L
SUBMITTED BY: ANSI/D	FILE NAME: ANSI/D

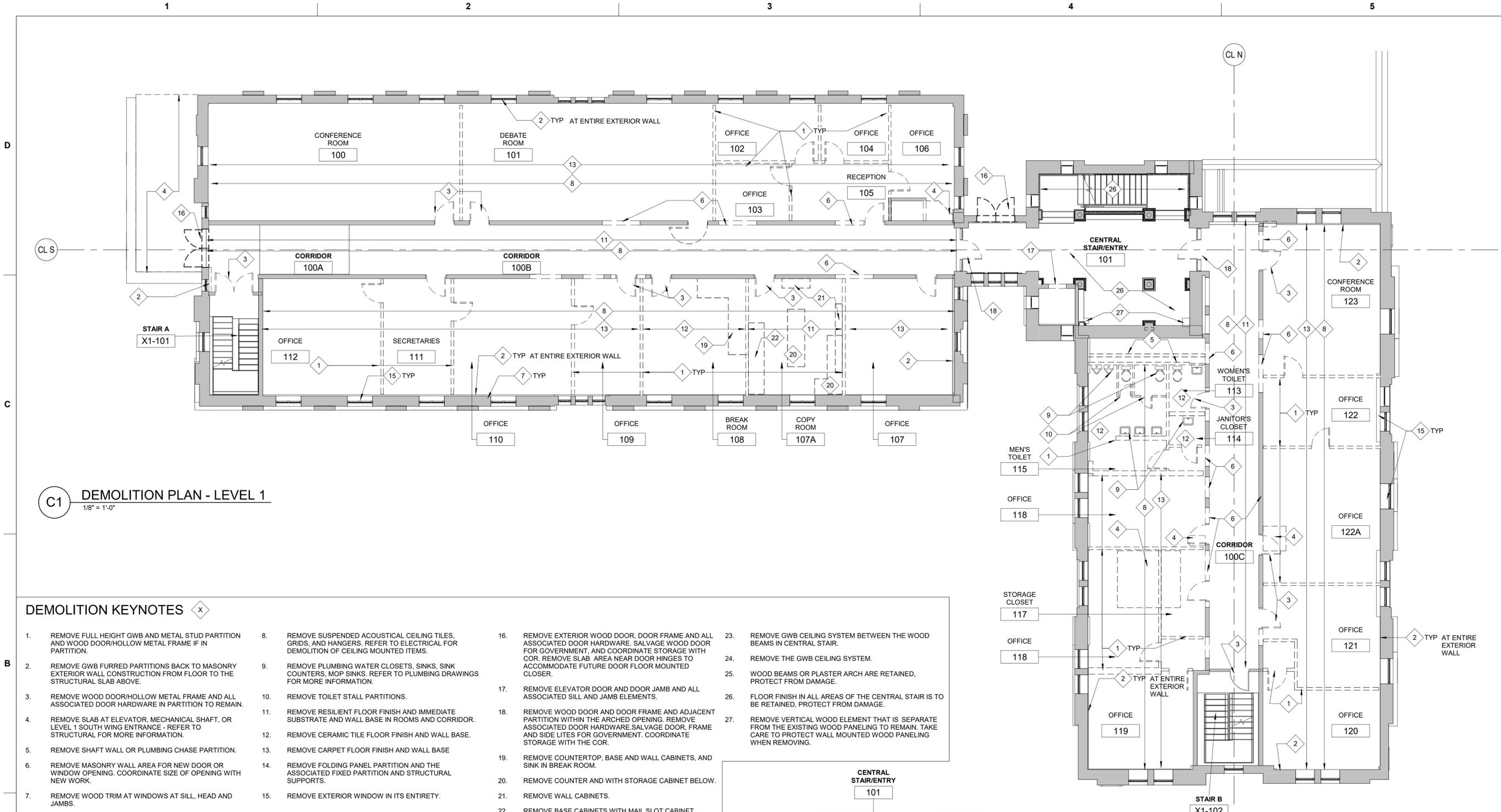
US ARMY CORPS OF ENGINEERS
LINCOLN HALL
WEST POINT, NEW YORK

JACOBS / EWING COLE A Joint Venture

BUILDINGS 605/607 RENOVATION - LINCOLN HALL

LEVEL 1 DEMOLITION PLAN

SHEET ID
AD104



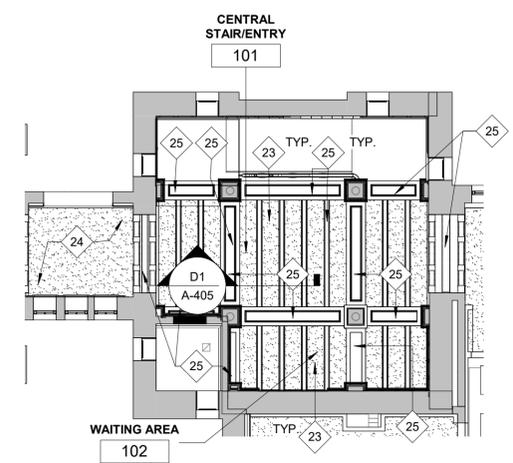
C1 DEMOLITION PLAN - LEVEL 1
1/8" = 1'-0"

DEMOLITION KEYNOTES

- | | | | |
|--|--|---|---|
| 1. REMOVE FULL HEIGHT GWB AND METAL STUD PARTITION AND WOOD DOOR/HOLLOW METAL FRAME IF IN PARTITION. | 8. REMOVE SUSPENDED ACOUSTICAL CEILING TILES, GRIDS, AND HANGERS. REFER TO ELECTRICAL FOR DEMOLITION OF CEILING MOUNTED ITEMS. | 16. REMOVE EXTERIOR WOOD DOOR, DOOR FRAME AND ALL ASSOCIATED DOOR HARDWARE. SALVAGE WOOD DOOR FOR GOVERNMENT. AND COORDINATE STORAGE WITH COR. REMOVE SLAB AREA NEAR DOOR HINGES TO ACCOMMODATE FUTURE DOOR FLOOR MOUNTED CLOSER. | 23. REMOVE GWB CEILING SYSTEM BETWEEN THE WOOD BEAMS IN CENTRAL STAIR. |
| 2. REMOVE GWB FURRED PARTITIONS BACK TO MASONRY EXTERIOR WALL CONSTRUCTION FROM FLOOR TO THE STRUCTURAL SLAB ABOVE. | 9. REMOVE PLUMBING WATER CLOSETS, SINKS, SINK COUNTERTOPS, MOP SINKS. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION. | 17. REMOVE ELEVATOR DOOR AND DOOR JAMB AND ALL ASSOCIATED SILL AND JAMB ELEMENTS. | 24. REMOVE THE GWB CEILING SYSTEM. |
| 3. REMOVE WOOD DOOR/HOLLOW METAL FRAME AND ALL ASSOCIATED DOOR HARDWARE IN PARTITION TO REMAIN. | 10. REMOVE TOILET STALL PARTITIONS. | 18. REMOVE WOOD DOOR AND DOOR FRAME AND ADJACENT PARTITION WITHIN THE ARCHED OPENING. REMOVE ASSOCIATED DOOR HARDWARE. SALVAGE DOOR, FRAME AND SIDE LITES FOR GOVERNMENT. COORDINATE STORAGE WITH THE COR. | 25. WOOD BEAMS OR PLASTER ARCH ARE RETAINED, PROTECT FROM DAMAGE. |
| 4. REMOVE SLAB AT ELEVATOR, MECHANICAL SHAFT, OR LEVEL 1 SOUTH WING ENTRANCE - REFER TO STRUCTURAL FOR MORE INFORMATION. | 11. REMOVE RESILIENT FLOOR FINISH AND IMMEDIATE SUBSTRATE AND WALL BASE IN ROOMS AND CORRIDOR. | 19. REMOVE COUNTERTOP, BASE AND WALL CABINETS, AND SINK IN BREAK ROOM. | 26. FLOOR FINISH IN ALL AREAS OF THE CENTRAL STAIR IS TO BE RETAINED, PROTECT FROM DAMAGE. |
| 5. REMOVE SHAFT WALL OR PLUMBING CHASE PARTITION. | 12. REMOVE CERAMIC TILE FLOOR FINISH AND WALL BASE. | 20. REMOVE COUNTER AND WITH STORAGE CABINET BELOW. | 27. REMOVE VERTICAL WOOD ELEMENT THAT IS SEPARATE FROM THE EXISTING WOOD PANELING TO REMAIN. TAKE CARE TO PROTECT WALL MOUNTED WOOD PANELING WHEN REMOVING. |
| 6. REMOVE MASONRY WALL AREA FOR NEW DOOR OR WINDOW OPENING. COORDINATE SIZE OF OPENING WITH NEW WORK. | 13. REMOVE CARPET FLOOR FINISH AND WALL BASE | 21. REMOVE WALL CABINETS. | |
| 7. REMOVE WOOD TRIM AT WINDOWS AT SILL, HEAD AND JAMBS. | 14. REMOVE FOLDING PANEL PARTITION AND THE ASSOCIATED FIXED PARTITION AND STRUCTURAL SUPPORTS. | 22. REMOVE BASE CABINETS WITH MAIL SLOT CABINET ABOVE. | |

GENERAL NOTES

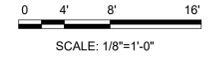
- | | | |
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| 1. THE DEMOLITION AND ALTERATION NOTES ARE NOT ALL INCLUSIVE. PRIOR TO DEMOLITION INSPECT AND ASSESS EACH AREA AND FULFILL THE INTENT OF THE DEMOLITION WORK INDICATED BY THE CONTRACT DOCUMENTS. VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS. DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE COR PRIOR TO PROCEEDING WITH THE WORK. | 4. PROVIDE TEMPORARY SAFEGUARDS AS REQUIRED TO PROTECT EXISTING FINISHES AND EQUIPMENT TO REMAIN DURING DEMOLITION AND CONSTRUCTION. | 7. REPAIRS TO FIRE, SMOKE OR ACOUSTICALLY RATED WALLS, FLOORS OR CEILINGS SHALL BE MADE WITH MATERIALS APPROPRIATE TO ACHIEVE THE SAME RATING AS THE EXISTING. |
| 2. CONTRACTOR MUST CONSULT WITH THE OWNER REPRESENTATIVE (COR) IN ADVANCE OF DOING WORK TO DETERMINE DISPOSITION OF ALL FIXTURES, CABINETS, SERVICES, EQUIPMENT AND ITEMS TO BE REMOVED DURING THE DEMOLITION. CONTRACTOR TO REMOVE AND PROPERLY DISPOSE OF ALL EXISTING FURNITURE AND EQUIPMENT, LOOSE ITEMS AND DEBRIS ETC. LEFT BEHIND BY OWNER. | 5. WHERE EXISTING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, PARTITIONS, FLOORS AND BASES, DOOR AND WINDOW FRAMES, CEILINGS, CASEWORK, EQUIPMENT, ELECTRICAL AND MECHANICAL DEVICES, FIXTURES AND EQUIPMENT ARE REMOVED OR ALTERED, REPAIR ADJACENT SURFACES DISTURBED BY DEMOLITION OR ALTERATION WORK AND PREPARE THESE SURFACES TO RECEIVE NEW SCHEDULED FINISHES. REPAIRS TO SURFACES DEEMED BY THE ARCHITECT AND OWNER (COR) TO BE UNSATISFACTORY FOR THE PURPOSE MUST BE REMOVED AND REPLACED IN KIND. | 8. MECHANICAL AND ELECTRICAL DEMOLITION IN FINISHED SPACES MUST BE REMOVED SUCH THAT EXISTING TERMINATIONS WILL BE CONCEALED BEHIND THE NEW CONSTRUCTION. |
| 3. PROVIDE TEMPORARY BARRIERS, BARRICADES, LIGHTING, FIRE PROTECTION, ETC. TO PROTECT PERSONNEL AND ADJACENT SPACES PER THE REQUIREMENTS OF DIVISION 01 SECTION "TEMPORARY FACILITIES AND CONTROLS." | 6. HOLES IN UL RATED FLOORS AND WALLS RESULTING FROM DEMOLITION OR REMOVALS MUST BE REPAIRED IN A MANNER CONSISTENT WITH THE ADJACENT UL RATED CONSTRUCTION AND BE ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION. | 9. FOR EXTERIOR DEMOLITION THAT INCLUDES, RAILINGS, STAIRS, SEE EXTERIOR ENVELOPE SHEETS. |
| | | 10. AT BOTH SIDES OF THE STRUCTURAL CMU CORRIDOR WALLS AND THE EGRESS STAIR WALLS FACING OCCUPIED SPACE IN THE RENOVATION AREA THE PLASTER FINISH IS TO BE REMOVED AND ABATED (PER HAZARDOUS MATERIAL REQUIREMENTS) BACK TO THE FACE OF CMU. THE PLASTER FINISH WITHIN EGRESS STAIRS ARE TO REMAIN AND NOT BE ABATED. CENTRAL STAIR PLASTER FINISHES ARE TO REMAIN. |
| | | 11. REFER TO THE HAZMAT FLOOR PLANS FOR MORE INFORMATION ON REMOVAL OF EXISTING PLASTER. |



A3 REFLECTED CEILING PLAN - FOR CENTRAL STAIR DEMO
1/8" = 1'-0"

LEGEND

- EXISTING CONSTRUCTION
- DEMOLITION



1

2

3

4

5



US Army Corps of Engineers ©

ISSUED BY/AMENDMENT	MARK	DESCRIPTION	DATE
1			06/16/2023

DESIGNED BY:	A. FLORA
DRAWN BY:	D. MANTY
CHECKED BY:	D. MANTY
SUBMITTED BY:	D. MANTY
ISSUE DATE:	07 MARCH 2023
SOLICITATION NO.:	W91ZDS-19-R-0014
FILE NUMBER:	W91ZDS-19-C-0031-L
FILE NAME:	ANSI'D

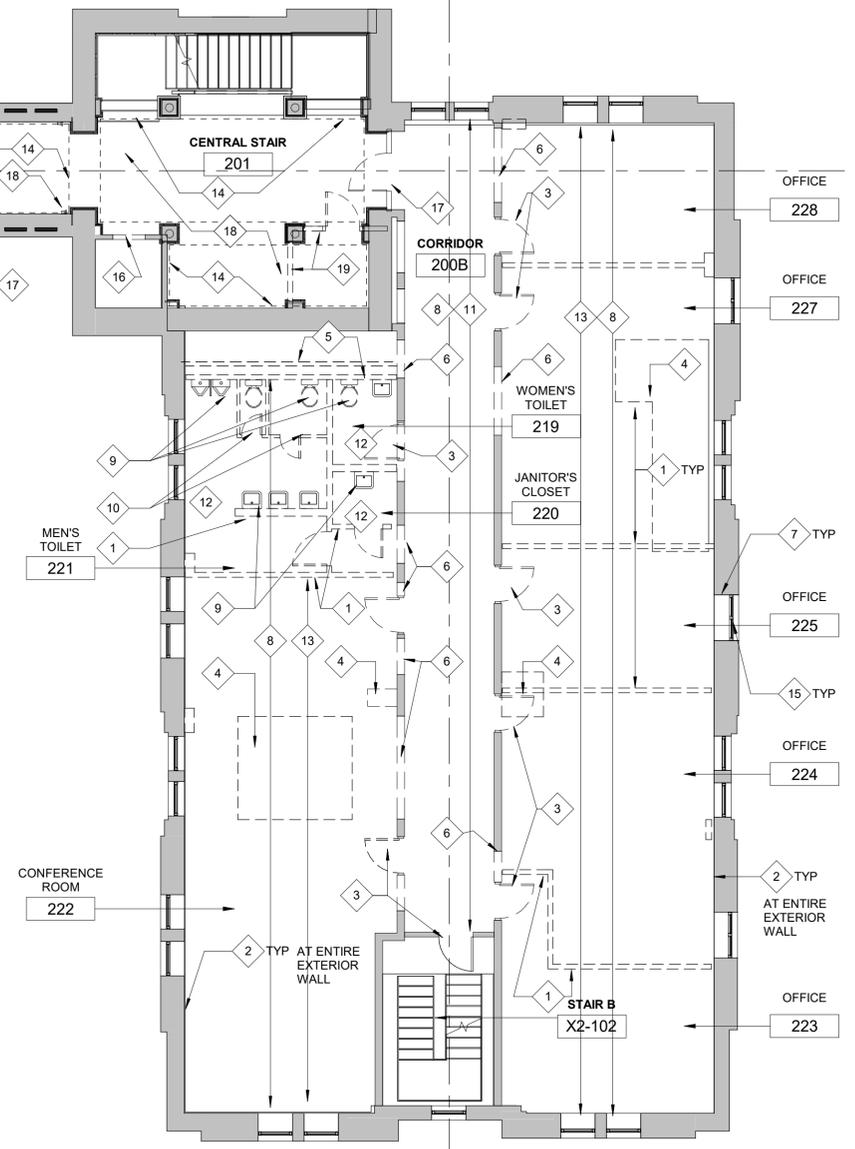
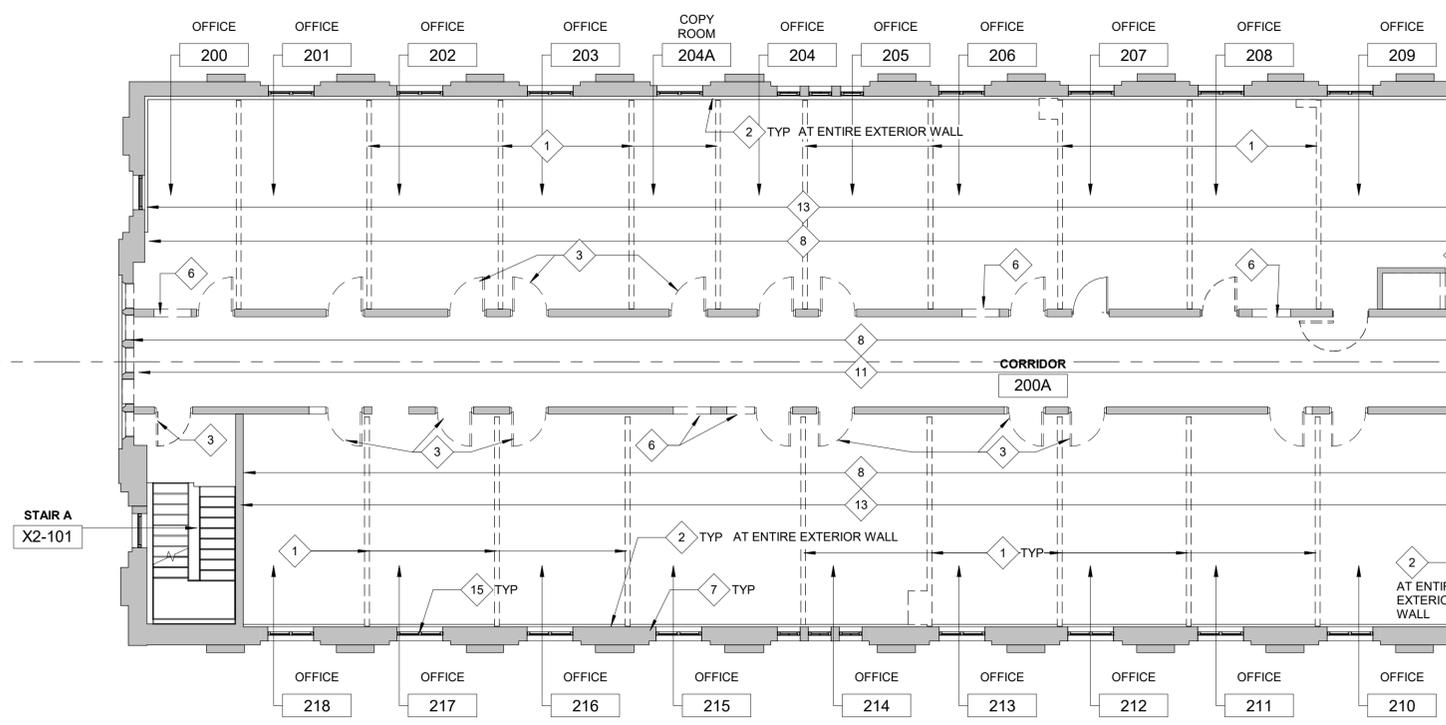
US ARMY CORPS OF ENGINEERS
LINCOLN HALL
WEST POINT, NEW YORK

JACOBS / EWING COLE
A Joint Venture

BUILDINGS 605/607 RENOVATION - LINCOLN HALL

LEVEL 2 DEMOLITION PLAN

SHEET ID
AD105



C1 DEMOLITION PLAN - LEVEL 2
1/8" = 1'-0"

DEMOLITION KEYNOTES

- | | | |
|--|---|---|
| <p>1. REMOVE FULL HEIGHT GWB AND METAL STUD PARTITION AND WOOD DOOR/HOLLOW METAL FRAME IF IN PARTITION.</p> <p>2. REMOVE GWB FURRED PARTITIONS BACK TO MASONRY EXTERIOR WALL CONSTRUCTION FROM FLOOR TO THE STRUCTURAL SLAB ABOVE.</p> <p>3. REMOVE WOOD DOOR/HOLLOW METAL FRAME AND ALL ASSOCIATED DOOR HARDWARE IN PARTITION TO REMAIN.</p> <p>4. REMOVE SLAB AT ELEVATOR OR MECHANICAL SHAFT OR NEW STAIR - REFER TO STRUCTURAL FOR MORE INFORMATION.</p> <p>5. REMOVE SHAFT WALL OR PLUMBING CHASE PARTITION.</p> <p>6. REMOVE MASONRY WALL AREA FOR NEW DOOR OR CASED OPENING. COORDINATE SIZE OF OPENING WITH NEW WORK.</p> <p>7. REMOVE WOOD TRIM AT WINDOWS BACK TO WINDOW JAMB.</p> | <p>8. REMOVE SUSPENDED ACOUSTICAL CEILING TILES, GRIDS, AND HANGERS. REFER TO ELECTRICAL FOR DEMOLITION OF CEILING MOUNTED ITEMS.</p> <p>9. REMOVE PLUMBING WATER CLOSETS, SINKS, SINK COUNTERS, MOP SINKS. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION.</p> <p>10. REMOVE TOILET STALL PARTITIONS.</p> <p>11. REMOVE RESILIENT FLOOR FINISH AND IMMEDIATE SUBSTRATE AND WALL BASE IN ROOMS AND CORRIDOR.</p> <p>12. REMOVE CERAMIC TILE FLOOR FINISH AND WALL BASE.</p> <p>13. REMOVE CARPET FLOOR FINISH AND WALL BASE.</p> <p>14. REMOVE THE GWB CEILING SYSTEM IN THE CENTRAL STAIR. REFER TO GENERAL NOTE 12.</p> <p>15. REMOVE EXTERIOR WINDOW IN ITS ENTIRETY.</p> | <p>16. REMOVE ELEVATOR DOOR AND DOOR JAMB AND ASSOCIATED SILL AND JAMB ELEMENTS.</p> <p>17. REMOVE WOOD DOOR AND DOOR FRAME AND ADJACENT PARTITION WITHIN THE ARCHED OPENING. REMOVE ASSOCIATED DOOR HARDWARE.</p> <p>18. REMOVE RESILIENT FLOORING, FLOOR FINISH SUBSTRATE, WALL BASE, AND ADHESIVE. CLEAN AND REPAIR SUBSTRATE FOR NEW FLOORING AND BASE AS SCHEDULED.</p> <p>19. REMOVE PARTITION AND DOOR/HOLLOW METAL FRAME AND ASSOCIATED ELEMENTS.</p> |
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GENERAL NOTES

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|--|---|--|--|
| <p>1. THE DEMOLITION AND ALTERATION NOTES ARE NOT ALL INCLUSIVE. PRIOR TO DEMOLITION INSPECT AND ASSESS EACH AREA AND FULFILL THE INTENT OF THE DEMOLITION WORK INDICATED BY THE CONTRACT DOCUMENTS. VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS. DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE COR PRIOR TO PROCEEDING WITH THE WORK.</p> <p>2. CONTRACTOR MUST CONSULT WITH THE OWNER REPRESENTATIVE (COR) IN ADVANCE OF DOING WORK TO DETERMINE DISPOSITION OF ALL FIXTURES, CABINETS, SERVICES, EQUIPMENT AND ITEMS TO BE REMOVED DURING THE DEMOLITION. CONTRACTOR TO REMOVE AND PROPERLY DISPOSE OF ALL EXISTING FURNITURE AND EQUIPMENT, LOOSE ITEMS AND DEBRIS ETC. LEFT BEHIND BY OWNER.</p> <p>3. PROVIDE TEMPORARY BARRIERS, BARRICADES, LIGHTING, FIRE PROTECTION, ETC. TO PROTECT PERSONNEL AND ADJACENT SPACES PER THE REQUIREMENTS OF DIVISION 01 SECTION "TEMPORARY FACILITIES AND CONTROLS."</p> | <p>4. PROVIDE TEMPORARY SAFEGUARDS AS REQUIRED TO PROTECT EXISTING FINISHES AND EQUIPMENT TO REMAIN DURING DEMOLITION AND CONSTRUCTION.</p> <p>5. WHERE EXISTING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, PARTITIONS, FLOORS AND BASES, DOOR AND WINDOW FRAMES, CEILINGS, CASEWORK, EQUIPMENT, ELECTRICAL AND MECHANICAL DEVICES, FIXTURES AND EQUIPMENT ARE REMOVED OR ALTERED, REPAIR ADJACENT SURFACES DISTURBED BY DEMOLITION OR ALTERATION WORK AND PREPARE THESE SURFACES TO RECEIVE NEW SCHEDULED FINISHES. REPAIRS TO SURFACES DEEMED BY THE ARCHITECT AND OWNER (COR) TO BE UNSATISFACTORY FOR THE PURPOSE MUST BE REMOVED AND REPLACED IN KIND.</p> <p>6. HOLES IN UL RATED FLOORS AND WALLS RESULTING FROM DEMOLITION OR REMOVALS MUST BE REPAIRED IN A MANNER CONSISTENT WITH THE ADJACENT UL RATED CONSTRUCTION AND BE ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION.</p> | <p>7. REPAIRS TO FIRE, SMOKE OR ACOUSTICALLY RATED WALLS, FLOORS OR CEILINGS SHALL BE MADE WITH MATERIALS APPROPRIATE TO ACHIEVE THE SAME RATING AS THE EXISTING.</p> <p>8. MECHANICAL AND ELECTRICAL DEMOLITION IN FINISHED SPACES MUST BE REMOVED SUCH THAT EXISTING TERMINATIONS WILL BE CONCEALED BEHIND THE NEW CONSTRUCTION.</p> <p>9. FOR EXTERIOR DEMOLITION THAT INCLUDES, RAILINGS, STAIRS, SEE EXTERIOR ENVELOPE SHEETS.</p> <p>10. AT BOTH SIDES OF THE STRUCTURAL CMU CORRIDOR WALLS AND THE EGRESS STAIR WALLS FACING OCCUPIED SPACE IN THE RENOVATION AREA THE PLASTER FINISH IS TO BE REMOVED AND ABATED (PER HAZARDOUS MATERIAL REQUIREMENTS) BACK TO THE FACE OF CMU. THE PLASTER FINISH WITHIN EGRESS STAIRS ARE TO REMAIN AND NOT BE ABATED. CENTRAL STAIR PLASTER FINISHES ARE TO REMAIN.</p> <p>11. REFER TO THE HAZMAT FLOOR PLANS FOR MORE INFORMATION ON REMOVAL OF EXISTING PLASTER.</p> | <p>12. CENTRAL STAIR CEILING AREAS ONLY - WHERE A KEYNOTE INDICATES TO REMOVE THE GWB CEILING AREA, IT IS ASSUMED YET NOT VERIFIED THAT THE ORIGINAL CEILING MATERIALS AND ASSOCIATED DECORATIVE TRIM HAVE BEEN REMOVED IN THE PREVIOUS PROJECT. TO ENSURE THAT THE ORIGINAL MATERIALS ARE NOT DAMAGED IF THEY DO REMAIN, THE CONTRACTOR IS TO CAREFULLY REMOVE THE GWB CEILING STARTING IN THE CENTER OF CEILING BETWEEN COLUMNS AND CONFIRM THE EXISTING CONDITIONS AND WHETHER ORIGINAL CEILING MATERIALS AND MOLDINGS REMAIN ABOVE THE CEILING AND INFORM THE CONTRACTING OFFICER ACCORDINGLY.</p> |
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LEGEND

- EXISTING CONSTRUCTION
- DEMOLITION





US Army Corps of Engineers

06/16/2023	DATE
1	MARK
ISSUED BY/AMENDMENT	DESCRIPTION

DESIGNED BY: A. FLORA	ISSUE DATE: 07 MARCH 2023
DRAWN BY: D. MANTY	SOLICITATION NO.: W91ZDS-19-R0014
CHECKED BY: D. MANTY	FILE NUMBER: W91ZDS-19-C-0031-L
SUBMITTED BY:	FILE NAME: ANSI'D

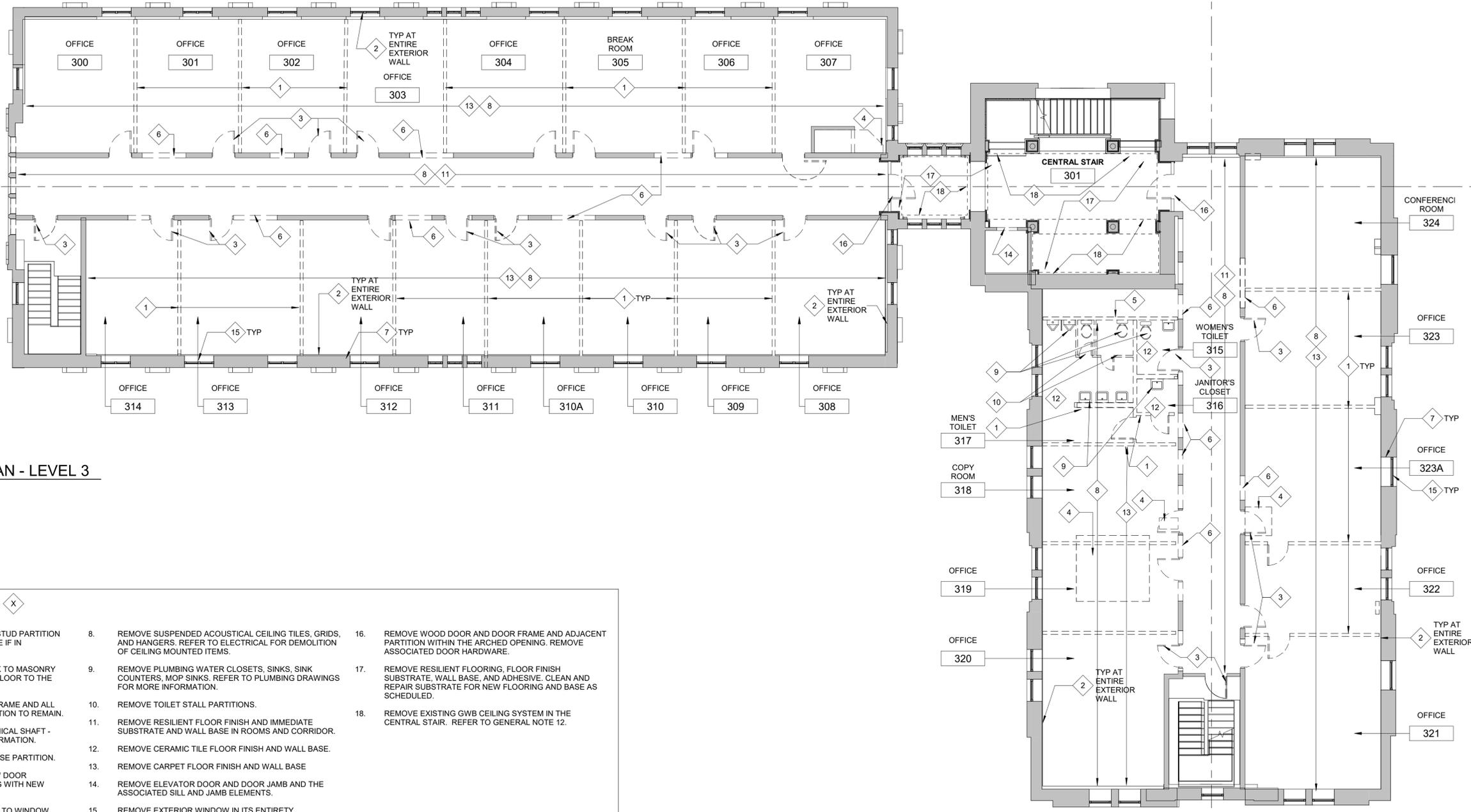
US ARMY CORPS OF ENGINEERS
LINCOLN HALL
WEST POINT, NEW YORK

JACOBS / EWING COLE
A Joint Venture

BUILDINGS 605/607 RENOVATION - LINCOLN HALL

LEVEL 3 DEMOLITION PLAN

SHEET ID
AD106



C1 DEMOLITION PLAN - LEVEL 3
1/8" = 1'-0"

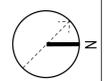
DEMOLITION KEYNOTES

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GENERAL NOTES

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| 2. CONTRACTOR MUST CONSULT WITH THE OWNER REPRESENTATIVE (COR) IN ADVANCE OF DOING WORK TO DETERMINE DISPOSITION OF ALL FIXTURES, CABINETS, SERVICES, EQUIPMENT AND ITEMS TO BE REMOVED DURING THE DEMOLITION. CONTRACTOR TO REMOVE AND PROPERLY DISPOSE OF ALL EXISTING FURNITURE AND EQUIPMENT, LOOSE ITEMS AND DEBRIS ETC. LEFT BEHIND BY OWNER. | 5. WHERE EXISTING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, PARTITIONS, FLOORS AND BASES, DOOR AND WINDOW FRAMES, CEILINGS, CASEWORK, EQUIPMENT, ELECTRICAL AND MECHANICAL DEVICES, FIXTURES AND EQUIPMENT ARE REMOVED OR ALTERED, REPAIR ADJACENT SURFACES DISTURBED BY DEMOLITION OR ALTERATION WORK AND PREPARE THESE SURFACES TO RECEIVE NEW SCHEDULED FINISHES. REPAIRS TO SURFACES DEEMED BY THE ARCHITECT AND OWNER (COR) TO BE UNSATISFACTORY FOR THE PURPOSE MUST BE REMOVED AND REPLACED IN KIND. | 8. MECHANICAL AND ELECTRICAL DEMOLITION IN FINISHED SPACES MUST BE REMOVED SUCH THAT EXISTING TERMINATIONS WILL BE CONCEALED BEHIND THE NEW CONSTRUCTION. | |
| 3. PROVIDE TEMPORARY BARRIERS, BARRICADES, LIGHTING, FIRE PROTECTION, ETC. TO PROTECT PERSONNEL AND ADJACENT SPACES PER THE REQUIREMENTS OF DIVISION 01 SECTION "TEMPORARY FACILITIES AND CONTROLS." | 6. HOLES IN UL RATED FLOORS AND WALLS RESULTING FROM DEMOLITION OR REMOVALS MUST BE REPAIRED IN A MANNER CONSISTENT WITH THE ADJACENT UL RATED CONSTRUCTION AND BE ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION. | 9. FOR EXTERIOR DEMOLITION THAT INCLUDES, RAILINGS, STAIRS, SEE EXTERIOR ENVELOPE SHEETS. | |
| | | 10. AT BOTH SIDES OF THE STRUCTURAL CMU CORRIDOR WALLS AND THE EGRESS STAIR WALLS FACING OCCUPIED SPACE IN THE RENOVATION AREA THE PLASTER FINISH IS TO BE REMOVED AND ABATED (PER HAZARDOUS MATERIAL REQUIREMENTS) BACK TO THE FACE OF CMU. THE PLASTER FINISH WITHIN EGRESS STAIRS ARE TO REMAIN AND NOT BE ABATED. CENTRAL STAIR PLASTER FINISHES ARE TO REMAIN. | |
| | | 11. REFER TO THE HAZMAT FLOOR PLANS FOR MORE INFORMATION ON REMOVAL OF EXISTING PLASTER. | |

LEGEND





US Army Corps of Engineers

MARK	ISSUED BY/AMENDMENT	DESCRIPTION	DATE
1			06/16/2023

DESIGNED BY: A. FLORA	ISSUE DATE: 07 MARCH 2023
DRAWN BY: D. MANTY	SOLICITATION NO.: W91ZDS-19-R-0014
CHECKED BY: D. MANTY	FILE NUMBER: W91ZDS-19-C-0031-L
SUBMITTED BY: ANSI'D	FILE NAME: ANSI'D

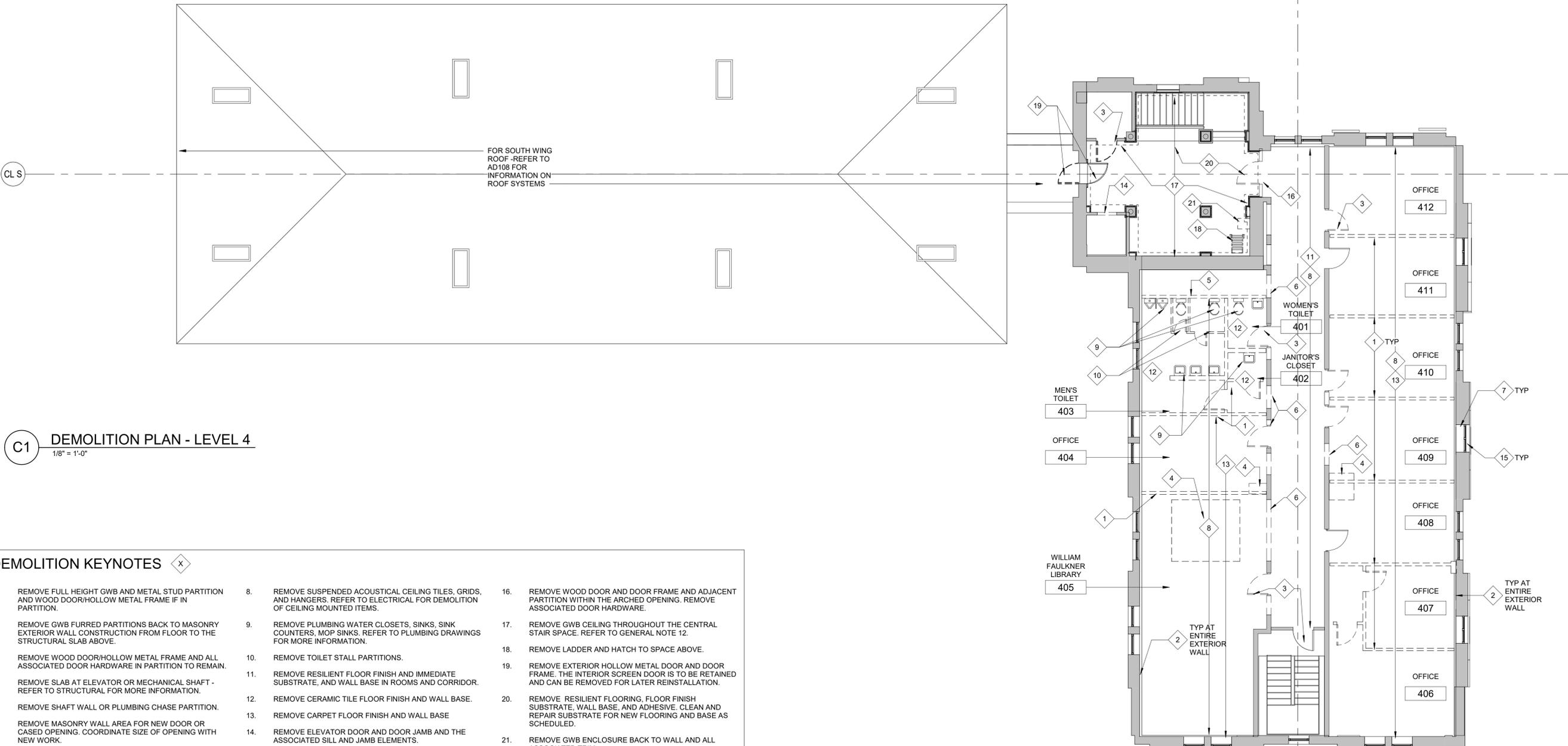
US ARMY CORPS OF ENGINEERS
LINCOLN HALL
WEST POINT, NEW YORK

JACOBS / EWING COLE A Joint Venture

BUILDINGS 605/607 RENOVATION - LINCOLN HALL

LEVEL 4 DEMOLITION PLAN

SHEET ID
AD107



C1 DEMOLITION PLAN - LEVEL 4
1/8" = 1'-0"

- DEMOLITION KEYNOTES** X
- | | | |
|---|--|--|
| 1. REMOVE FULL HEIGHT GWB AND METAL STUD PARTITION AND WOOD DOOR/HOLLOW METAL FRAME IF IN PARTITION. | 8. REMOVE SUSPENDED ACOUSTICAL CEILING TILES, GRIDS, AND HANGERS. REFER TO ELECTRICAL FOR DEMOLITION OF CEILING MOUNTED ITEMS. | 16. REMOVE WOOD DOOR AND DOOR FRAME AND ADJACENT PARTITION WITHIN THE ARCHED OPENING. REMOVE ASSOCIATED DOOR HARDWARE. |
| 2. REMOVE GWB FURRED PARTITIONS BACK TO MASONRY EXTERIOR WALL CONSTRUCTION FROM FLOOR TO THE STRUCTURAL SLAB ABOVE. | 9. REMOVE PLUMBING WATER CLOSETS, SINKS, SINK COUNTERS, MOP SINKS. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION. | 17. REMOVE GWB CEILING THROUGHOUT THE CENTRAL STAIR SPACE. REFER TO GENERAL NOTE 12. |
| 3. REMOVE WOOD DOOR/HOLLOW METAL FRAME AND ALL ASSOCIATED DOOR HARDWARE IN PARTITION TO REMAIN. | 10. REMOVE TOILET STALL PARTITIONS. | 18. REMOVE LADDER AND HATCH TO SPACE ABOVE. |
| 4. REMOVE SLAB AT ELEVATOR OR MECHANICAL SHAFT - REFER TO STRUCTURAL FOR MORE INFORMATION. | 11. REMOVE RESILIENT FLOOR FINISH AND IMMEDIATE SUBSTRATE, AND WALL BASE IN ROOMS AND CORRIDOR. | 19. REMOVE EXTERIOR HOLLOW METAL DOOR AND DOOR FRAME. THE INTERIOR SCREEN DOOR IS TO BE RETAINED AND CAN BE REMOVED FOR LATER REINSTALLATION. |
| 5. REMOVE SHAFT WALL OR PLUMBING CHASE PARTITION. | 12. REMOVE CERAMIC TILE FLOOR FINISH AND WALL BASE. | 20. REMOVE RESILIENT FLOORING, FLOOR FINISH SUBSTRATE, WALL BASE, AND ADHESIVE. CLEAN AND REPAIR SUBSTRATE FOR NEW FLOORING AND BASE AS SCHEDULED. |
| 6. REMOVE MASONRY WALL AREA FOR NEW DOOR OR CASED OPENING. COORDINATE SIZE OF OPENING WITH NEW WORK. | 13. REMOVE CARPET FLOOR FINISH AND WALL BASE | 21. REMOVE GWB ENCLOSURE BACK TO WALL AND ALL ASSOCIATED TRIM. |
| 7. REMOVE WOOD TRIM AT WINDOWS AT HEAD, SILL AND JAMBS. | 14. REMOVE ELEVATOR DOOR AND DOOR JAMB AND THE ASSOCIATED SILL AND JAMB ELEMENTS. | |
| | 15. REMOVE EXTERIOR WINDOW IN ITS ENTIRETY. | |

- GENERAL NOTES**
- | | | | |
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LEGEND

- EXISTING CONSTRUCTION
- DEMOLITION

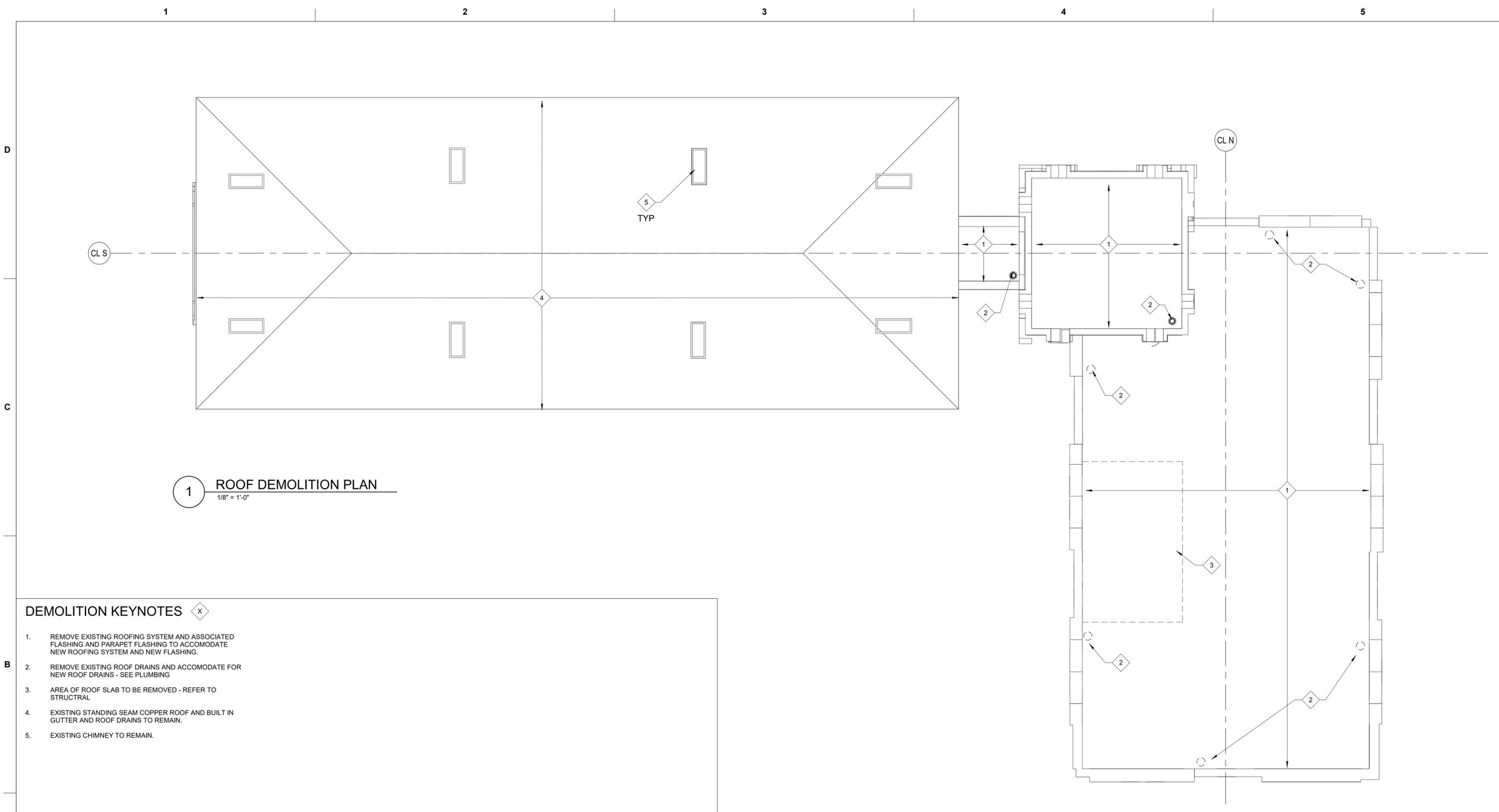


06/16/2023	DATE
1	MARK
	ISSUED BY/AMENDMENT
	DESCRIPTION

DESIGNED BY: A. FLORA	ISSUE DATE: 07 MARCH 2023
DRAWN BY: D. MANTY	SOLICITATION NO.: W91ZDS-19-R0014
CHECKED BY: D. MANTY	PROJECT NO.: W91ZDS-19-C-0031-L
SUBMITTED BY: A. FLORA	FILE NUMBER:
SIZE: ANSI D	FILE NAME:

US ARMY CORPS OF ENGINEERS LINCOLN HALL WEST POINT, NEW YORK	JACOBS / EWING COLE A Joint Venture
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BUILDINGS 605/607 RENOVATION - LINCOLN HALL	ROOF DEMOLITION PLAN
	SHEET ID AD108



1 ROOF DEMOLITION PLAN
1/8" = 1'-0"

DEMOLITION KEYNOTES x

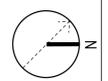
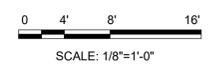
1. REMOVE EXISTING ROOFING SYSTEM AND ASSOCIATED FLASHING AND PARAPET FLASHING TO ACCOMMODATE NEW ROOFING SYSTEM AND NEW FLASHING.
2. REMOVE EXISTING ROOF DRAINS AND ACCOMMODATE FOR NEW ROOF DRAINS - SEE PLUMBING
3. AREA OF ROOF SLAB TO BE REMOVED - REFER TO STRUCTRAL
4. EXISTING STANDING SEAM COPPER ROOF AND BUILT IN GUTTER AND ROOF DRAINS TO REMAIN.
5. EXISTING CHIMNEY TO REMAIN.

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LEGEND

- EXISTING CONSTRUCTION
- DEMOLITION





US Army Corps of Engineers ©

06/16/2023	DATE
ISSUED VIA AMENDMENT	DESCRIPTION
1	MARK

07 MARCH 2023	ISSUE DATE:
191ZDS-19-R0014	SOLICITATION NO.:
191ZDS-19-C-0031-L	FILE NUMBER:
B. HAMILIN	DESIGNED BY:
B. HAMILIN	DRAWN BY:
D. BATT	CHECKED BY:
	SUBMITTED BY:
ANSI D	FILE NAME:
	SIZE:

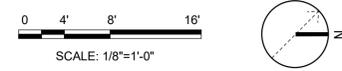
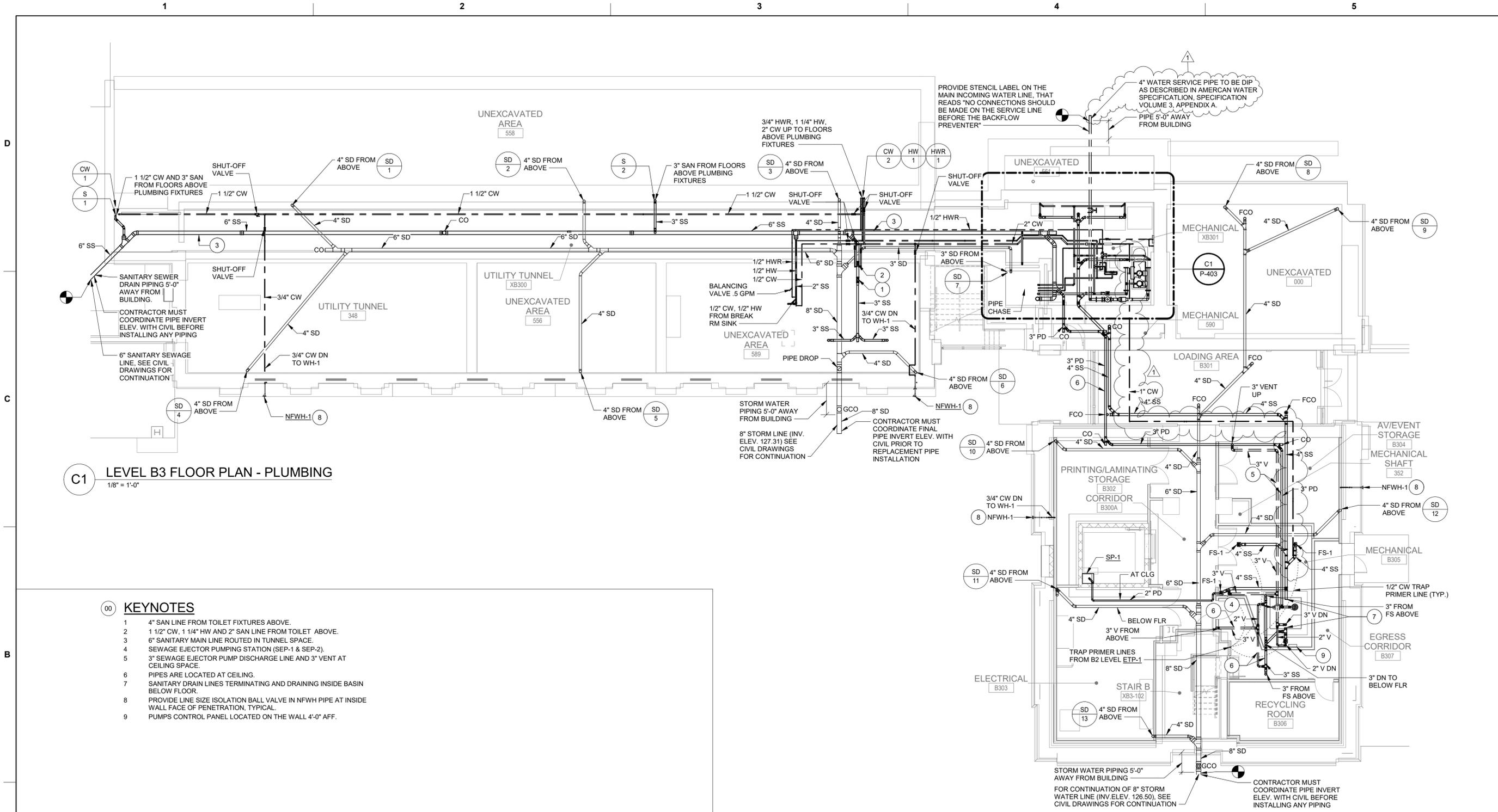
US ARMY CORPS OF ENGINEERS
LINCOLN HALL
WEST POINT, NEW YORK

JACOBS / EWING COLE A Joint Venture

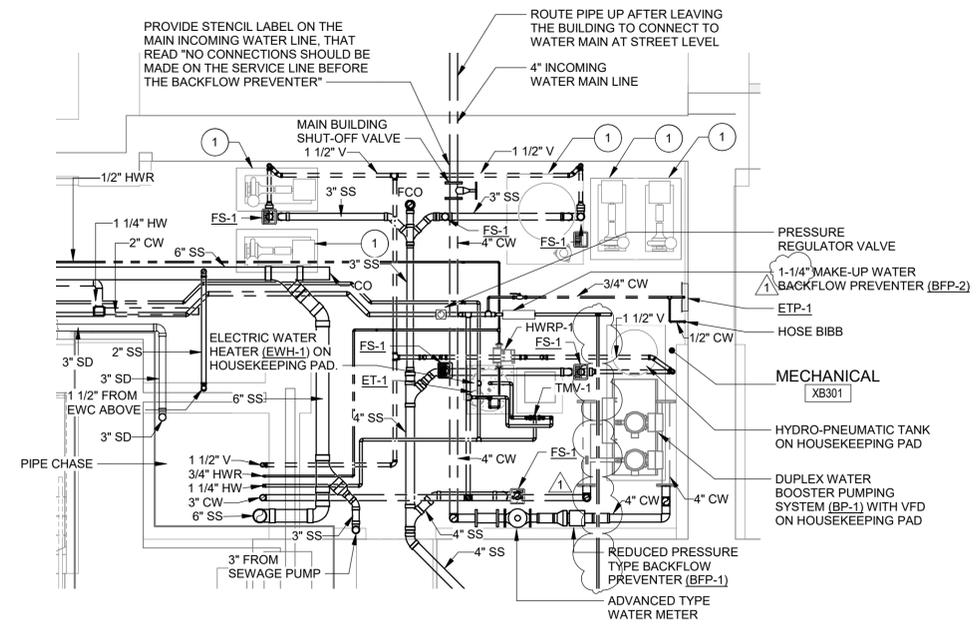
BUILDINGS 605/607 RENOVATION - LINCOLN HALL

LEVEL B3 FLOOR PLAN - PLUMBING

SHEET ID
P-101



REVISED RTA SUBMISSION 03/01/2023



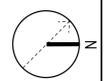
C1 ENLARGEMENT MECHANICAL ROOM PLAN
1/4" = 1'-0"

KEYNOTES

- 1 MECHANICAL EQUIPMENT LOCATION. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.

GENERAL NOTES

1. REFER TO P001 DRAWINGS FOR ABBREVIATIONS, LEGENDS, SYMBOLS AND GENERAL PROJECT NOTES.
2. CONTRACTOR MUST CONNECT STORM WATER DOWNSPOUT PIPE ON THE SOUTH BUILDING TO THE GUTTER SYSTEM INSIDE THE EXTERIOR WALL. THE PIPE FROM THE GUTTER SYSTEM INSIDE WALL MUST REMAIN IN PLACE.
3. SAW CUT FLOOR SLAB AS REQUIRED TO PROVIDE REPLACEMENT UNDERGROUND PIPES. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION.
4. LOCATE PIPING IN OR AT CEILING UNLESS OTHERWISE INDICATED. BRANCH RUNOUTS TO TERMINAL EQUIPMENT MUST BE MINIMUM 3/4 INCH UNLESS NOTED OTHERWISE.
5. PROVIDE PIPING ISOLATION VALVES IN ACCESSIBLE LOCATIONS, AS CLOSE TO MAIN RISERS AND BRANCH TAKE-OFFS AS POSSIBLE.
6. CONNECTED PIPING SYSTEMS MUST NOT IMPART ANY WEIGHT TO EQUIPMENT ITSELF, AND VICE VERSA.
7. MAINTAIN EQUIPMENT ACCESS CLEARANCES FOR ELECTRICAL, MAINTENANCE, REPAIRS, MOTOR REPLACEMENT, ETC. ON SIDES.
8. LINCOLN HALL PLUMBING SANITARY WASTE/VENT, STORM AND DOMESTIC POTABLE WATER PIPING AND EQUIPMENT MUST BE REMOVED IN THEIR ENTIRETY AND COMPLETELY. REFER TO 1986 DESIGN PDF DRAWINGS PROVIDED BY GOVERNMENT FOR AVAILABLE RECORD DRAWINGS DOCUMENTATION FOR EXISTING CONDITIONS.
9. THE DISTRIBUTION OF PLUMBING PIPING SYSTEMS THROUGHOUT THE BUILDING MUST BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR MUST VISIT THE PROJECT SITE PRIOR TO BIDDING AND VERIFY EXISTING CONDITIONS.
10. PROVIDE FIRESTOPPING AT PIPE PENETRATION AT CEILING/FLOOR SLAB FROM LEVEL ABOVE.
11. PROVIDE FIRESTOPPING AT PIPE PENETRATIONS UP INTO SLAB TO NEXT FLOOR OR INTO WALL BEFORE IT RISES UP INSIDE THE WALL, TYPICAL.
12. EXISTING STORM WATER ROOF DRAINS AND PIPES MUST REMAIN IN PLACE UNTIL REPLACEMENT PIPING CAN BE PROVIDED ON THE SAME DAY. THE CONTRACTOR MUST MAKE SURE A CLEAR DAY OF WEATHER, BEFORE STARTING REMOVAL AND REPLACEMENT OF STORM WATER PIPING CAN BE DONE.
13. MAINTAIN ROOFING ASSEMBLY WARRANTIES, TO PRESERVE WARRANTY; ROOF WORK MUST BE COMPLETED BY THE ROOFER HOLDING THE WARRANTY ON THE EXISTING ROOF.
14. THE 6" SANITARY SEWER MAIN LOCATED IN THE TUNNEL WILL BE PROVIDED AND INSTALLED BY AMERICAN WATER. AMERICAN WATER (AW) MUST FURNISH ALL LABOR, MATERIALS, EQUIPMENT, AND SUPERVISION TO COMPLETE THE SCOPE OF WORK. ALL CONSTRUCTION MUST COMFORM TO AW MSG STANDARD AND SPECIFICATIONS. THE CONTRACTOR MUST COORDINATE WITH AMERICAN WATER (AW).



MARK	DESCRIPTION	DATE
1	ISSUED VIA AMENDMENT	06/16/2023

DESIGNED BY: B. HAMILIN	ISSUE DATE: 07 MARCH 2023
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US ARMY CORPS OF ENGINEERS
LINCOLN HALL
WEST POINT, NEW YORK

JACOBS / EWING COLE A Joint Venture

BUILDINGS 605/607 RENOVATION - LINCOLN HALL

ENLARGED PLANS

SHEET ID
P-403

PLUMBING FIXTURE SCHEDULE

TAG	FIXTURE	MOUNTING	MINIMUM CONNECTION SIZE (INCHES)				DESCRIPTION
			SS	V	CW	HW	
ETP-1	ELECTRONIC TRAP PRIMER	WALL MOUNTED	0"	0"	1/2"	0"	GALVANNEALED STEEL FLUSH MOUNT ENCLOSURE, WITH SOLENOID VALVE, VACUUM BREAKER, TIMER AND MULTIPLE OUTLETS
FS-1	FLOOR SINK	FLOOR MOUNTED	0"	0"	0"	0"	SEE PLANS FOR SIZES
NFWH-1	NON-FREEZE WALL HYDRANT	WALL MOUNTED	0"	0"	3/4"	0"	LEAD FREE, AUTOMATIC DRAINING, INTERGRAL BACKFLOW PREVENTER WITH ANTI-SIPHON TECHNOLOGY.
TP-1	AUTOMATIC TRAP PRIMER	PIPE HUNG	0"	0"	1/2"	0"	PRESSURE DROP ACTIVATED, WITH DISTRIBUTION UNIT
P-1	WATER CLOSET	WALL MOUNTED	4"	2"	1"	0"	WALL MOUNTED ELONGATED TOILET FLUSHOMETER VALVE, VITREOUS CHINA, HARDWIRED SENSOR FLUSHOMETER, 1.1 GPF
P-1A	WATER CLOSET - ADA	WALL MOUNTED	4"	2"	1"	0"	WALL MOUNTED ELONGATED TOILET FLUSHOMETER VALVE, VITREOUS CHINA, HARDWIRED SENSOR FLUSHOMETER, 1.1 GPF, ADA COMPLIANT
P-2A	URINAL	WALL MOUNTED	2"	1 1/2"	3/4"	3/4"	SENSOR OPERATED FLUSH VALVE, HARD WIRED AC TRANSFORMER, 0.125 GPF
P-3	LAVATORY - ADA	UNDERCOUNTER MOUNTED SINK	1 1/2"	1 1/2"	1/2"	1/2"	SENSOR OPERATED FAUCET, HARD WIRED AC TRANSFORMER, 0.5 GPM RESTRICTOR
P-3A	LAVATORY - ADA	UNDERCOUNTER MOUNTED SINK	1 1/2"	1 1/2"	1/2"	1/2"	SENSOR OPERATED FAUCET, HARD WIRED AC TRANSFORMER, 0.5 GPM RESTRICTOR
EWC-1	ELECTRIC WATER COOLER	WALL MOUNTED	1 1/2"	1 1/2"	1/2"	0"	BI-LEVEL UNIT WITH BOTTLE FILLER, REFRIGERATED ADA 8 GPH CHILLER, 115V/60HZ POWER
FCO	FLOOR CLEANOUT	FLOOR MOUNTED	0"	0"	0"	0"	SEE PLANS FOR SIZES
FD-1	FLOOR DRAIN	FLOOR MOUNTED	0"	0"	0"	0"	SEE PLANS FOR SIZES
KS-1	BREAK ROOM SINK	COUNTERTOP MOUNTED SINK	2"	1 1/2"	1/2"	1/2"	18 GAUGE 300 SERIES STAINLESS STEEL, 27"X22"X8, SINGLE BOWL WITH 1/2 HP GARBAGE DISPOSER, ADA
MS-1	MOP SINK	FLOOR MOUNTED	3"	1 1/2"	3/4"	3/4"	PRECAST TERRAZZO, 28"X28"X2 CORNER TYPE
RD-1	ROOF DRAIN	ROOF MOUNTED	0"	0"	0"	0"	SEE PLANS FOR SIZES
RD-1 & OFD-1	COMBINATION ROOF/OVERFLOW DRAIN	ROOF MOUNTED	0"	0"	0"	0"	SEE PLANS FOR SIZES
S-1	WELLNESS ROOM & CAFE SINK	COUNTERTOP MOUNTED SINK	2"	1 1/2"	1/2"	1/2"	18 GAUGE 300 SERIES STAINLESS STEEL, 18"X18"X8, SINGLE BOWL

WATER HAMMER SCHEDULE

TAG	ARRESTOR SIZE	WATER SUPPLY FIXTURE UNITS	PDI STD WH 201	NOTES
WHA-A	1/2"	1-11	PDI-A	1,2,3,4,5
WHA-B	3/4"	12-32	PDI-B	
WHA-C	1"	33-60	PDI-C	

NOTES:
1. ALL ARRESTORS SHALL BE INSTALLED PER PDI (PLUMBING AND DRAINAGE INSTITUTE) STANDARD PDI-WH201 (2006) FOR SIZING AND PLACEMENT.
2. ARRESTORS MUST BE PROVIDED PER PDI (PLUMBING AND DRAINAGE INSTITUTE) STANDARD PDI-WH201 (2006) FOR SIZING AND PLACEMENT.
3. PROVIDE PISTON OPERATED, COPPER BODY, LEAD FREE WATER HAMMER ARRESTOR.
4. WATER HAMMER ARRESTOR SIZING MUST BE BASED ON SPECIFIC MANUFACTURER'S FIXTURE UNIT CAPACITY TABLE.
5. WATER HAMMER ARRESTORS MUST BE CERTIFIED BY THE PLUMBING AND DRAINAGE INSTITUTE.

ELECTRIC WATER HEATER SCHEDULE

TAG	CW CONNECTION	HW CONNECTION	LOCATION	ACTIVATION GPM	RECOVERY RATE (GPH)	MAX TEMP RISE IN °F AT 0.5 GPM	TEMP SET POINT DEGREES F	GALLON	ELECTRICAL DATA				NOTES
									INPUT (KW)	V	PH	Hz	
EWH-1	1 1/2"	1 1/2"	MECHANICAL RM XB301	N/A	166	100	140	120 GALLON STORAGE TANK.	30	480	3	60	1,2,3,4
EWH-2	1/2"	1/2"	BREAK ROOM SINK B135	0.3	0	60	110	POINT OF USE INSTANTANEOUS	1.4	115	1	60	1,2,3,4
EWH-3	3/4"	3/4"	JANITOR CLOSETS	0.5	0	100	110	POINT OF USE INSTANTANEOUS	6.7	208	1	60	1,2,3,4

- NOTES:
1. PROVIDE ASME RATED ELECTRIC WATER HEATER.
2. KW INDICATED IS THE TOTAL OF TWO 6.0 KW ELEMENTS OPERATING SIMULTANEOUSLY.
3. SET STORAGE TEMPERATURE TO 140°F AND PROVIDE WITH ASSE 1017 THERMOSTATIC MASTER MIXING VALVE SET TO 110°F.
4. PROVIDE SINGLE POWER POINT CONNECTION WITH LOCAL DISCONNECT SWITCH.

SUMP PUMP SCHEDULE

TAG	TYPE	LOCATION	PUMP CAPACITY (GPM)	PUMP FT WC	MOTOR (RPM)	ELECTRICAL				NOTES
						MOTOR (HP)	VOLTS	PHASE	Hz	
SP-1	SIMPLEX	ELEVATOR PIT	50	21	3,600	1.0	208	3	60	1,2,3

- NOTES:
1. PROVIDE PACKAGED SINGLE ELEVATOR SUMP PUMP AND CONTROL SYSTEM WITH OIL DETECTION; PUMP SYSTEM MUST BE CAPABLE OF PUMPING DISCHARGE WATER WITHOUT THE POTENTIAL OF DISCHARGING AN OIL-WATER MIXTURE. LOCATE CONTROL PANEL INSIDE ELEVATOR MACHINE ROOM. PROVIDE DRY CONTACT CONNECTION FOR REMOTE MONITORING OF HIGH LEVEL ALARM TO BAS.
2. INDICATED 0.5 HP PUMPS.
3. PROVIDE TURNKEY SUMP PUMP SYSTEM PER MANUFACTURER'S REQUIREMENTS AND SPECIFICATIONS.

HOT WATER CIRCULATING PUMP SCHEDULE

TAG	LOCATION	SYSTEM	GPM	PUMP HEAD (FT WC)	RPM	ELECTRICAL DATA				NOTES
						HP	V	PH	Hz	
HWRP-1	MECHANICAL RM XB301	DOMESTIC HOT WATER SYSTEM	15	17	1,725	0.300	120	1	60	IRON & LEAD FREE, BRONZE, SEE NOTE 1,2

- NOTES:
1. PROVIDE LEAD FREE STAINLESS STEEL BODY WITH STAINLESS STEEL IMPELLER.
2. PROVIDE IMMERSION AQUASTAT WITH PROGRAMMABLE TIMER.

BACKFLOW PREVENTER SCHEDULE

TAG	FLOW	SERVICE	CW CONNECTION	LOCATION	NOTES
BFP-1	177 GPM	MAIN WATER SERVICE	4"	MECHANICAL ROOM XB301	REDUCED PRESSURE ZONE ASSEMBLY, BRONZE, LEAD FREE, ASSE LISTED 1013, SEE NOTE 1,2
BFP-2	35 GPM	MAKE-UP WATER	1 1/4"	MECHANICAL ROOM XB301	REDUCED PRESSURE ZONE ASSEMBLY, BRONZE, LEAD FREE, ASSE LISTED 1013, SEE NOTE 1,2

- NOTES:
1. PROVIDE LEAD FREE ASSE 1013 REDUCED PRESSURE ZONE BACKFLOW PREVENTER WITH INLET STRAINER.
2. ROUTE RELIEF DRAIN THROUGH AIR GAP TO FLOOR DRAIN.

MIXING VALVE SCHEDULE

TAG	LOCATION	SYSTEM	GPM	WATER TEMPERATURE		PIPE SIZE			NOTES
				IN	OUT	CW IN	HW IN	TW OUT	
TMV-1	MECHANICAL ROOM XB301	DOMESTIC HOT WATER SYSTEM	1.23	140 °F	120 °F	1 1/4"	1 1/4"	0"	1,2,3

- NOTES:
1. PROVIDE ADJUSTABLE HIGH TEMPERATURE LIMIT STOP.
2. PROVIDE INLET CHECKSTOPS, OUTLET BALL VALVE.
3. PROVIDE WITH 0.5 GPM MINIMUM FLOW CAPABILITY, 10 PSI PRESSURE DROP AT 40 GPM

DOMESTIC WATER BOOSTER PUMP SCHEDULE

TAG	TYPE	LOCATION	SYSTEM CAPACITY (GPM)	SYSTEM BOOST (PSI)	PUMP CAPACITY (GPM) EACH	PUMP HEAD (FEET)	MOTOR (RPM)	PUMP SIZE (L"XW"XH")	ELECTRICAL				NOTES
									MOTOR (HP)	VOLTS	PHASE	Hz	
BP-1	DUPLEX	B3 MECHANICAL ROOM	177	54	110	92	3,500	29 x 36 x 42	5.0	480	3	60	1,2,3

- NOTES:
1. VARIABLE CONTROL SYSTEMS DUPLEX BOOSTER PUMPING SYSTEM.
2. PROVIDE LEAD FREE PACKAGED DUPLEX SKID MOUNTED DOMESTIC WATER BOOSTER PUMP SYSTEM WITH STAINLESS STEEL HEADERS, SINGLE POINT POWER CONNECTION, INLET/DISCHARGE PRESSURE GAUGES AND VARIABLE SPEED DRIVES.
3. PROVIDE COMMUNICATION TO THE DDC SYSTEM.
4. PROVIDE PNEUMATIC PRESSURE TANK WITH BLADDER.

PLUMBING EXPANSION TANK SCHEDULE

TAG	LOCATION	SYSTEM	TYPE	TANK VOLUME (GAL)	ACCEPTANCE VOLUME (GAL)	DIAMETER	HEIGHT	PRESSURE (PSI)		NOTES
								PRE-CHARGE	MAX OPERATING	
ET-1	MECHANICAL RM XB301	DOMESTIC HOT WATER SYSTEM	INLINE	14.00	0.00	10 1/2"	13 1/2"	20	150	



US Army Corps of Engineers

DATE	DESCRIPTION	MARK
06/16/2023	ISSUED VIA AMENDMENT	1

DESIGNED BY: B. HAMILIN	ISSUE DATE: 07 MARCH 2023
DRAWN BY: B. HAMILIN	SOLICITATION NO.: W91ZDS-19-R0014
CHECKED BY: D. BATT	DATE: 07 MARCH 2023
SUBMITTED BY: B. HAMILIN	FILE NUMBER: W91ZDS-19-C-0031-L
SIZE: ANSIS'	FILE NAME: A Joint Venture

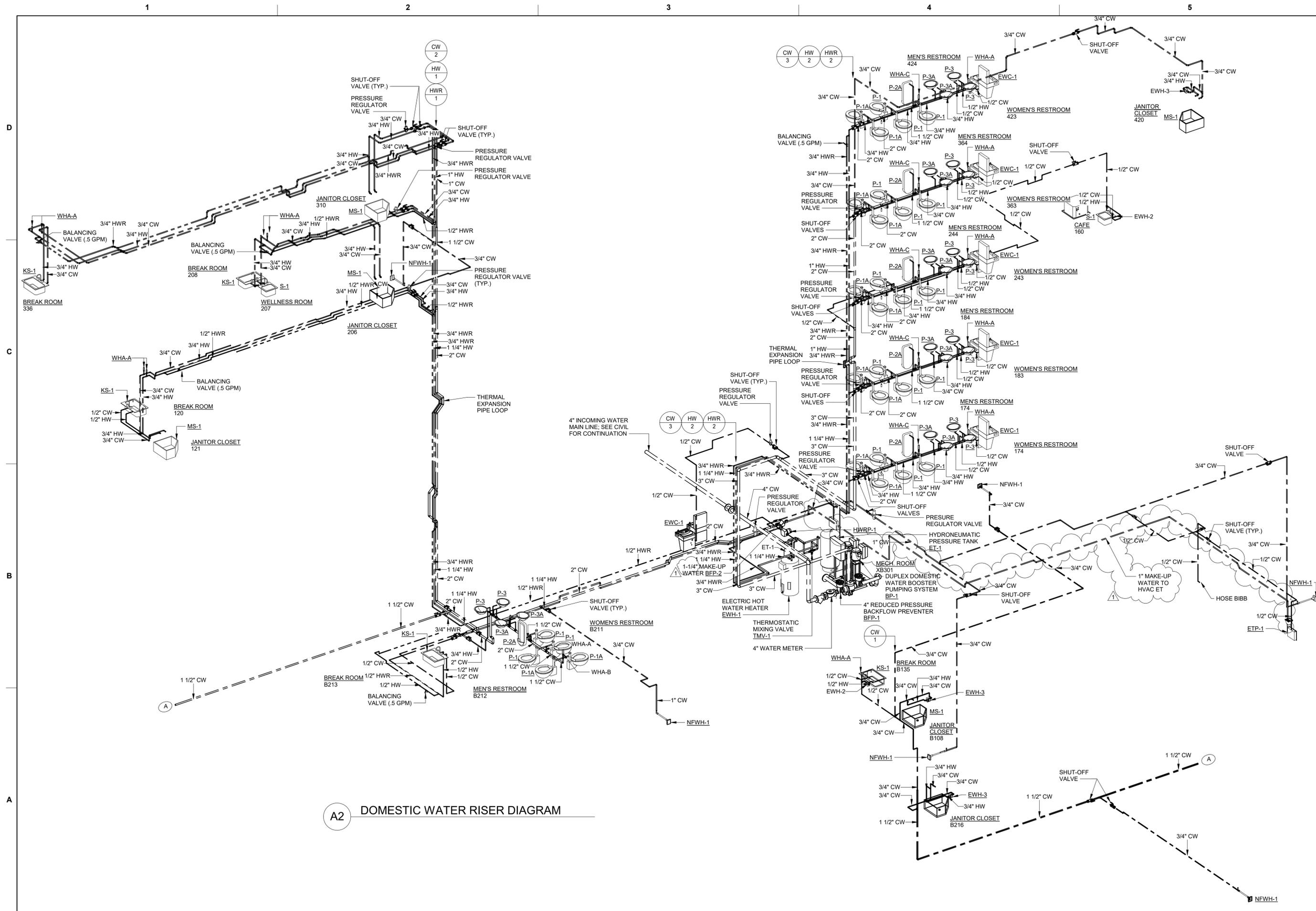
US ARMY CORPS OF ENGINEERS
LINCOLN HALL
WEST POINT, NEW YORK

JACOBS / EWING COLE
A Joint Venture

BUILDINGS 605/607 RENOVATION - LINCOLN HALL

SCHEDULES

SHEET ID
P-604



A2 DOMESTIC WATER RISER DIAGRAM

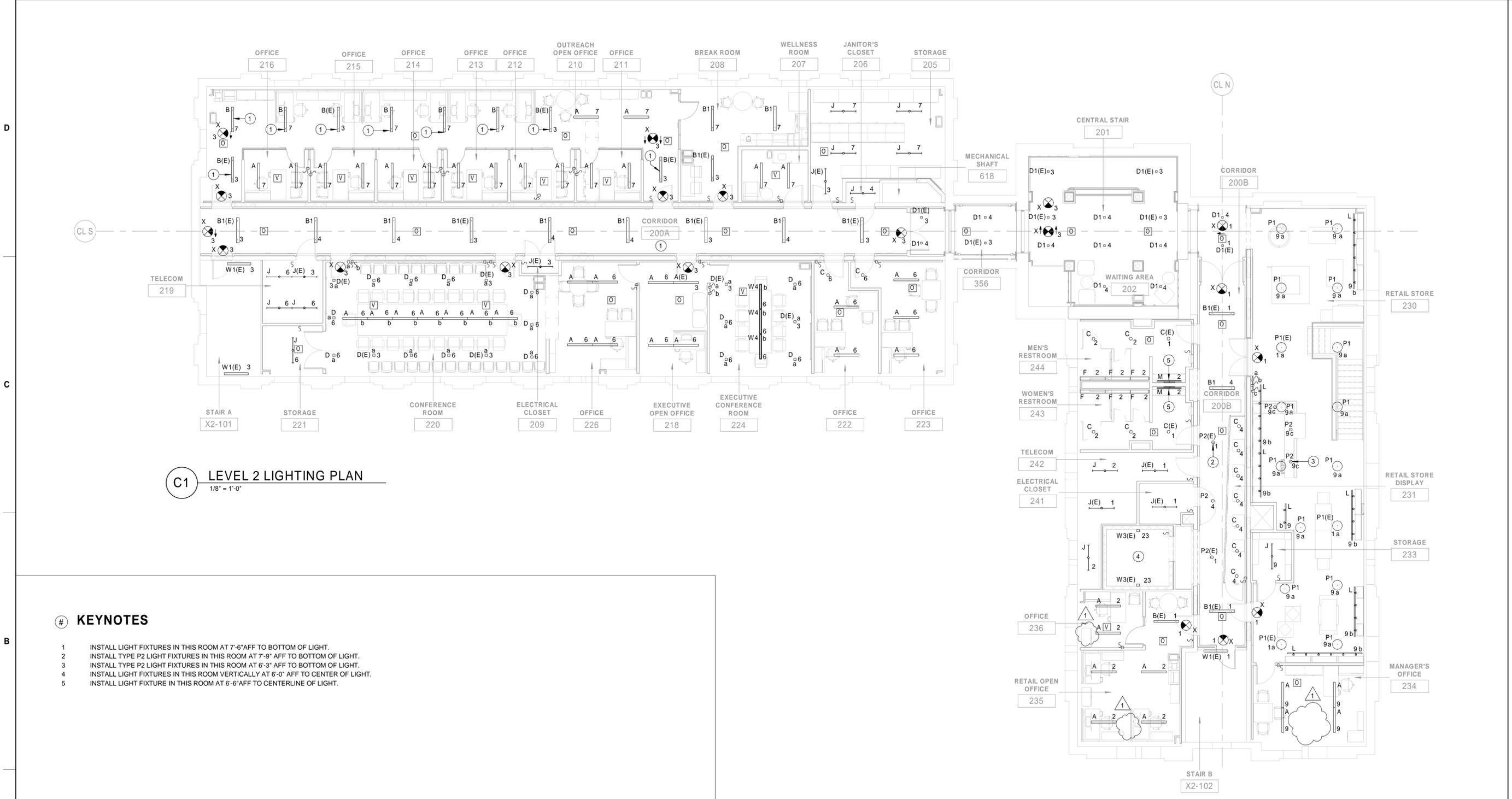


DATE	06/16/2023
ISSUED VIA AMENDMENT	1
MARK	
DESCRIPTION	

DESIGNED BY:	B. HAMILIN
CHECKED BY:	D. BATT
ISSUE DATE:	07 MARCH 2023
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DESIGNED BY:	B. HAMILIN
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US ARMY CORPS OF ENGINEERS	JACOBS / EWING COLE
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WEST POINT, NEW YORK	
BUILDINGS 605/607 RENOVATION - LINCOLN HALL	DOMESTIC WATER RISER DIAGRAMS

SHEET ID	P-701
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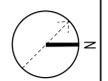
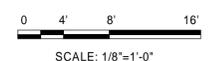
C1 LEVEL 2 LIGHTING PLAN
1/8" = 1'-0"

KEYNOTES

- 1. INSTALL LIGHT FIXTURES IN THIS ROOM AT 7'-6" AFF TO BOTTOM OF LIGHT.
- 2. INSTALL TYPE P2 LIGHT FIXTURES IN THIS ROOM AT 7'-9" AFF TO BOTTOM OF LIGHT.
- 3. INSTALL TYPE P2 LIGHT FIXTURES IN THIS ROOM AT 6'-3" AFF TO BOTTOM OF LIGHT.
- 4. INSTALL LIGHT FIXTURES IN THIS ROOM VERTICALLY AT 6'-0" AFF TO CENTER OF LIGHT.
- 5. INSTALL LIGHT FIXTURE IN THIS ROOM AT 6'-6" AFF TO CENTERLINE OF LIGHT.

GENERAL NOTES

- 1. REFER TO DRAWING SHEETS E-001, AND E-002 FOR ELECTRICAL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS.
- 2. REFER TO SHEET EL701 FOR LUMINAIRE SCHEDULE.
- 3. REFER TO EL702 FOR LIGHTING CONTROL ROOM SCHEDULE.
- 4. UNLESS OTHERWISE NOTED, ALL NORMAL LIGHT FIXTURES MUST BE CIRCUITED TO PANEL HN2.
- 5. UNLESS OTHERWISE NOTED, ALL EMERGENCY LIGHT FIXTURES AND EXIT LIGHTS MUST BE CIRCUITED TO PANEL H2-E.
- 6. ALL LIGHT FIXTURES TO BE MOUNTED 8'-0" AFF, UNLESS OTHERWISE NOTED.



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CHECKED BY: Y. SOLOMON	CONTRACT NO.:
SUBMITTED BY:	FILE NUMBER:
SIZE: ANSI D	FILE NAME:

US ARMY CORPS OF ENGINEERS
LINCOLN HALL
WEST POINT, NEW YORK

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BUILDINGS 605/607 RENOVATION - LINCOLN HALL

LEVEL 2 LIGHTING PLAN

SHEET ID
EL105

1

2

3

4

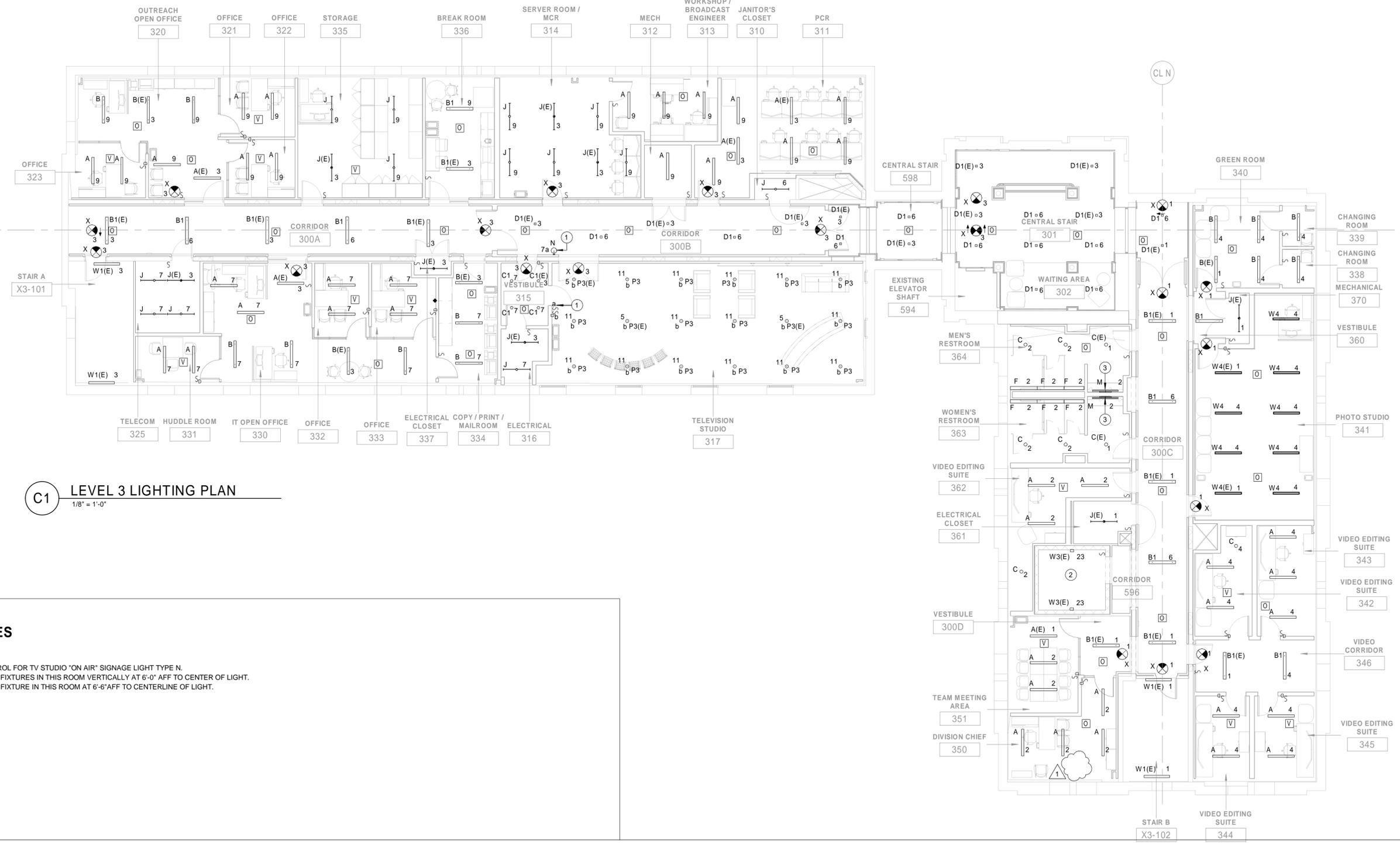
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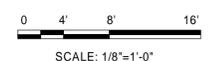
C1 LEVEL 3 LIGHTING PLAN
1/8" = 1'-0"

KEYNOTES

- 1 SWITCH CONTROL FOR TV STUDIO "ON AIR" SIGNAGE LIGHT TYPE N.
- 2 INSTALL LIGHT FIXTURES IN THIS ROOM VERTICALLY AT 6'-0" AFF TO CENTER OF LIGHT.
- 3 INSTALL LIGHT FIXTURE IN THIS ROOM AT 6'-6" AFF TO CENTERLINE OF LIGHT.

GENERAL NOTES

1. REFER TO DRAWING SHEETS E-001, AND E-002 FOR ELECTRICAL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS.
2. REFER TO SHEET EL701 FOR LUMINAIRE SCHEDULE.
3. REFER TO EL702 FOR LIGHTING CONTROL ROOM SCHEDULE.
4. UNLESS OTHERWISE NOTED, ALL NORMAL LIGHT FIXTURES MUST BE CIRCUITED TO PANEL HN3.
5. UNLESS OTHERWISE NOTED, ALL EMERGENCY LIGHT FIXTURES AND EXIT LIGHTS MUST BE CIRCUITED TO PANEL H3-E.
6. ALL LIGHT FIXTURES TO BE MOUNTED 8'-0" AFF, UNLESS OTHERWISE NOTED.



DATE	DESCRIPTION	MARK
06/16/2023	ISSUED VIA AMENDMENT	1

DESIGNED BY: D. PAXTON	ISSUE DATE: 01 MARCH 2023
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WEST POINT, NEW YORK

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BUILDINGS 605/607 RENOVATION - LINCOLN HALL

LEVEL 3 LIGHTING PLAN

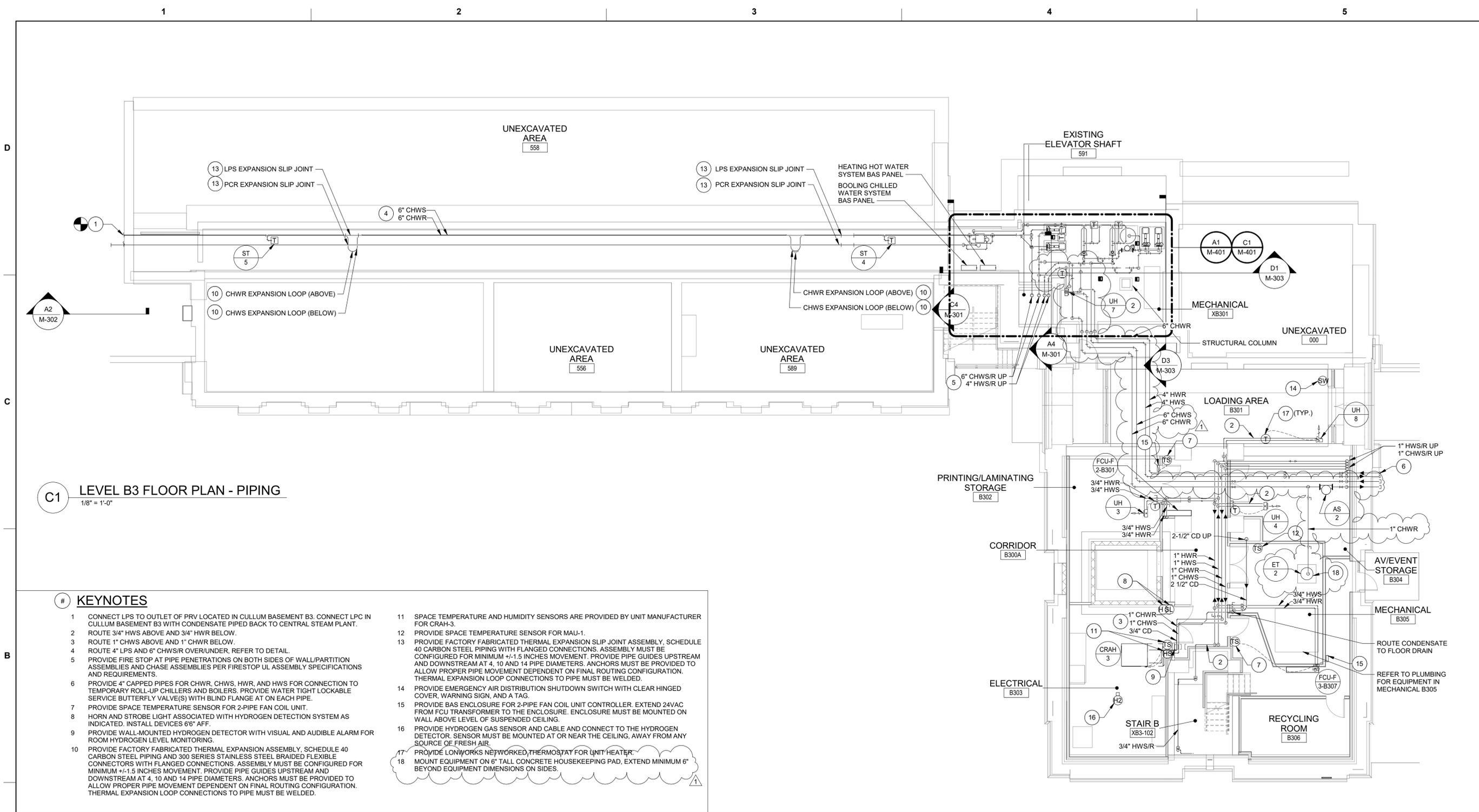
SHEET ID
EL106

06/16/2023	DATE
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1	MARK

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CHECKED BY: D. GORDON	FILE NUMBER: W91ZDS-19-C-0031-L
SUBMITTED BY: FILE NAME: ANSI'D	

BUILDINGS 605/607 RENOVATION - LINCOLN HALL
 LEVEL B3 FLOOR PLAN - PIPING

SHEET ID
MP101



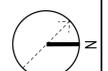
C1 LEVEL B3 FLOOR PLAN - PIPING
 1/8" = 1'-0"

KEYNOTES

- CONNECT LPS TO OUTLET OF PRV LOCATED IN CULLUM BASEMENT B3. CONNECT LPC IN CULLUM BASEMENT B3 WITH CONDENSATE PIPED BACK TO CENTRAL STEAM PLANT.
- ROUTE 3/4" HWS ABOVE AND 3/4" HWR BELOW.
- ROUTE 1" CHWS ABOVE AND 1" CHWR BELOW.
- ROUTE 4" LPS AND 6" CHWS/R OVER/UNDER. REFER TO DETAIL.
- PROVIDE FIRE STOP AT PIPE PENETRATIONS ON BOTH SIDES OF WALL/PARTITION ASSEMBLIES AND CHASE ASSEMBLIES PER FIRESTOP UL ASSEMBLY SPECIFICATIONS AND REQUIREMENTS.
- PROVIDE 4" CAPPED PIPES FOR CHWR, CHWS, HWR, AND HWS FOR CONNECTION TO TEMPORARY ROLL-UP CHILLERS AND BOILERS. PROVIDE WATER TIGHT LOCKABLE SERVICE BUTTERFLY VALVE(S) WITH BLIND FLANGE AT ON EACH PIPE.
- PROVIDE SPACE TEMPERATURE SENSOR FOR 2-PIPE FAN COIL UNIT.
- HORN AND STROBE LIGHT ASSOCIATED WITH HYDROGEN DETECTION SYSTEM AS INDICATED. INSTALL DEVICES 66" AFF.
- PROVIDE WALL-MOUNTED HYDROGEN DETECTOR WITH VISUAL AND AUDIBLE ALARM FOR ROOM HYDROGEN LEVEL MONITORING.
- PROVIDE FACTORY FABRICATED THERMAL EXPANSION ASSEMBLY, SCHEDULE 40 CARBON STEEL PIPING AND 300 SERIES STAINLESS STEEL BRAIDED FLEXIBLE CONNECTORS WITH FLANGED CONNECTIONS. ASSEMBLY MUST BE CONFIGURED FOR MINIMUM +/-1.5 INCHES MOVEMENT. PROVIDE PIPE GUIDES UPSTREAM AND DOWNSTREAM AT 4, 10 AND 14 PIPE DIAMETERS. ANCHORS MUST BE PROVIDED TO ALLOW PROPER PIPE MOVEMENT DEPENDENT ON FINAL ROUTING CONFIGURATION. THERMAL EXPANSION LOOP CONNECTIONS TO PIPE MUST BE WELDED.
- SPACE TEMPERATURE AND HUMIDITY SENSORS ARE PROVIDED BY UNIT MANUFACTURER FOR CRAH-3.
- PROVIDE SPACE TEMPERATURE SENSOR FOR MAU-1.
- PROVIDE FACTORY FABRICATED THERMAL EXPANSION SLIP JOINT ASSEMBLY, SCHEDULE 40 CARBON STEEL PIPING WITH FLANGED CONNECTIONS. ASSEMBLY MUST BE CONFIGURED FOR MINIMUM +/-1.5 INCHES MOVEMENT. PROVIDE PIPE GUIDES UPSTREAM AND DOWNSTREAM AT 4, 10 AND 14 PIPE DIAMETERS. ANCHORS MUST BE PROVIDED TO ALLOW PROPER PIPE MOVEMENT DEPENDENT ON FINAL ROUTING CONFIGURATION. THERMAL EXPANSION LOOP CONNECTIONS TO PIPE MUST BE WELDED.
- PROVIDE EMERGENCY AIR DISTRIBUTION SHUTDOWN SWITCH WITH CLEAR HINGED COVER, WARNING SIGN, AND A TAG.
- PROVIDE BAS ENCLOSURE FOR 2-PIPE FAN COIL UNIT CONTROLLER. EXTEND 24VAC FROM FCU TRANSFORMER TO THE ENCLOSURE. ENCLOSURE MUST BE MOUNTED ON WALL ABOVE LEVEL OF SUSPENDED CEILING.
- PROVIDE HYDROGEN GAS SENSOR AND CABLE AND CONNECT TO THE HYDROGEN DETECTOR. SENSOR MUST BE MOUNTED AT OR NEAR THE CEILING, AWAY FROM ANY SOURCE OF FRESH AIR.
- PROVIDE LONWORKS NETWORKED THERMOSTAT FOR UNIT HEATER.
- MOUNT EQUIPMENT ON 6" TALL CONCRETE HOUSEKEEPING PAD, EXTEND MINIMUM 6" BEYOND EQUIPMENT DIMENSIONS ON SIDES.

GENERAL NOTES

- REFER TO M-001 AND M-002 FOR GENERAL NOTES, LEGEND, ABBREVIATIONS, AND SYMBOLS.
- PROVIDE FIRE-STOPPING AT FIRE-RATED PENETRATIONS.
- PROVIDE DRIP PAN FOR PIPING RUNNING IN ELECTRICAL AND TELECOM ROOMS WITH WATER LEAK DETECTOR AND CABLE. INSTALL CABLE IN TRAY IN SERPENTINE PATTERN.
- LOCATE PIPING IN OR AT CEILING UNLESS OTHERWISE INDICATED. BRANCH RUNOUTS TO TERMINAL EQUIPMENT MUST BE MINIMUM 3/4 INCH UNLESS NOTED OTHERWISE.
- PROVIDE PIPING ISOLATION VALVES IN ACCESSIBLE LOCATIONS, AS CLOSE TO MAIN RISERS AND BRANCH TAKE-OFFS AS POSSIBLE.
- CONNECTED PIPING SYSTEMS MUST NOT IMPART ANY WEIGHT TO EQUIPMENT ITSELF, AND VICE VERSA.
- MAINTAIN EQUIPMENT ACCESS CLEARANCES FOR ELECTRICAL, MAINTENANCE, REPAIRS, MOTOR REPLACEMENT, ETC. ON SIDES.
- PROVIDE DUCTED FCUs WITH BOTTOM ACCESS FOR FILTER CHANGES AND MAINTENANCE ACCESS. COORDINATED REQUIRED LEFT HAND/RIGHT HAND SIDE FCU PIPING CONNECTIONS TO MAINTAIN ACCESS.
- PROVIDE FIRE STOP AT PIPE PENETRATIONS ON BOTH SIDES OF WALL/PARTITION ASSEMBLIES AND CHASE ASSEMBLIES PER FIRESTOP UL ASSEMBLY SPECIFICATIONS AND REQUIREMENTS.



DEDICATED OUTDOOR AIR SYSTEM WITH ENERGY RECOVERY SCHEDULE

Table with columns: TAG, MODEL, LOCATION, SERVICE, SUPPLY FAN, EXHAUST FAN, COOLING COIL, HEATING COIL. Includes data for DOAS-1 and DOAS-2.

DEDICATED OUTDOOR AIR SYSTEM WITH ENERGY RECOVERY SCHEDULE CONTINUED

Table with columns: TAG, ENERGY RECOVERY TYPE, ENERGY RECOVERY - SUMMER, ENERGY RECOVERY - WINTER, FILTRATION, ELECTRICAL DATA, MAXIMUM HEIGHT, OPERATING WEIGHT, NOTES. Includes data for DOAS-1 and DOAS-2.

NOTES:

- 1. PROVIDE PACKAGED DEDICATED OUTSIDE AIR HANDLING UNIT, WITH CHILLED WATER COOLING COIL, HOT WATER HEATING COIL.
2. PROVIDE LOW LEAKAGE DAMPERS, EACH WITH A DEDICATED/INDEPENDENT MOTORIZED DAMPER ACTUATOR(S).
3. PROVIDE 4-INCH DOUBLE-WALL CONSTRUCTION.
4. PROVIDE "NO THRU METAL" THERMAL BREAK CONSTRUCTION IN WALLS CEILING & BASE. GASKETED THERMAL BREAK NOT ACCEPTABLE.
5. PROVIDE TUBULAR STEEL BASE, C-CHANNEL BASE NOT ACCEPTABLE.
6. PROVIDE 0.025" TUBE THICKNESS WITH BRAZED RETURN BENDS. HAIRPIN RETURN BENDS NOT ACCEPTABLE.
7. PROVIDE MINIMUM TYPE 304 STAINLESS STEEL COIL CASINGS AND STAINLESS STEEL DRAIN PAN.
8. PROVIDE AMCA CERTIFIED FAN ARRAY SIZED FOR N+1 REDUNDANCY WITH INTEGRAL DEDICATED AIR FLOW MEASURING STATION AND DEDICATED VFD FOR EACH FAN.
9. PROVIDE R-I-S FAN ISOLATION. FANS MUST BE DYNAMICALLY BALANCED TO BV-5 SPEC.
10. PROVIDE INTEGRAL SILENCERS IN FAN SECTION.
11. PROVIDE INDIVIDUAL FANS WITH AUTOMATIC BACKDRAFT DAMPERS IN THE EVENT OF FAN FAILURE.
12. PROVIDE CERAMIC BEARING MOTORS. STEEL BEARING MOTORS WITH SHAFT GROUNDING NOT ACCEPTABLE.
13. PROVIDE INTEGRAL PIPING VESTIBULE.
14. PROVIDE OA DAMPER WITH INTEGRAL AFMS. AFMS MUST HAVE MERV 8 FILTRATION UPSTREAM.
15. COORDINATE DUCT ROUTING AND CONNECTIONS WITH FIELD CONDITIONS.
16. PROVIDE SINGLE POINT POWER CONNECTION WITH FACTORY MOUNTED AND WIRED NON-FUSED DISCONNECT SWITCH.
17. PROVIDE FACTORY MOUNTED LOW VOLTAGE CONTROL TRANSFORMER.
18. PROVIDE KNOCKDOWN CONSTRUCTION FOR BUILDING INGRESS.
19. DOAS ROOF MUST SLOPE A MINIMUM OF 1/4 IN PER FT AND OVERHANG WALL PANELS BY A MINIMUM OF 2 INCHES.
20. FANS MUST BE SIZED BASED ON A MINIMUM FILTER LOADING OF TWO TIMES THE INITIAL (CLEAN) CONDITION AND THEN ROUNDED UP TO THE NEAREST .05 IN WC PER FILTER BANK.
21. OA CFM SCHEDULED INCLUDES A 10% ALLOWANCE FOR LEAKAGE AND FUTURE GROWTH. TAB CONTRACTOR MUST BALANCE SYSTEM TO CFMS SHOWN ON FLOOR PLANS.
22. PROVIDE NAS VENTROL AIR HANDLING EQUIPMENT PER EXISTING WEST POINT JUSTIFICATION AND AUTHORIZATION (J&A).
23. PROVIDE MANUFACTURER'S FACTORY APPLIED COATING SUITABLE FOR A CORROSIVE BRACKISH ENVIRONMENT ON EQUIPMENT CASING AND COILS.

MAKEUP AIR UNIT SCHEDULE

Table with columns: TAG, LOCATION, SERVICE, SUPPLY FAN, COOLING COIL, HEATING COIL, ELECTRICAL DATA, OPERATING WEIGHT, NOTES. Includes data for MAU-1.

NOTES:

- 1. PROVIDE KNOCKDOWN CONSTRUCTION (FOR BUILDING INGRESS), VARIABLE VOLUME DEDICATED MAKEUP AIR HANDLING UNIT, WITH CHILLED WATER COOLING, HOT WATER HEATING AND ECONOMIZER CONTROL.
2. PROVIDE MANUFACTURER'S FACTORY APPLIED COATING SUITABLE FOR A CORROSIVE BRACKISH ENVIRONMENT ON EQUIPMENT CASING AND COILS.
3. PROVIDE LOW LEAKAGE DAMPERS IN AIR MIXING SECTIONS, EACH WITH A DEDICATED/INDEPENDENT MOTORIZED DAMPER ACTUATOR(S).
4. COORDINATE DUCT ROUTING AND CONNECTIONS WITH FIELD CONDITIONS.
5. PROVIDE SINGLE POINT POWER CONNECTION WITH FACTORY MOUNTED AND WIRED NON-FUSED DISCONNECT SWITCH NEMA 4x RATED SUITABLE FOR OUTSIDE USE.
6. PROVIDE FACTORY MOUNTED LOW VOLTAGE CONTROL TRANSFORMER AND FACTORY CONFIGURED VFD FOR FIELD INSTALLATION ONTO DOAS CASING; DOAS EQUIPMENT MUST BE FACTORY WIRED.
7. PROVIDE PREMIUM EFFICIENCY, INVERTER DUTY RATED MOTORS SUITABLE FOR USE WITH VFDs. EACH FAN MOTOR MUST HAVE A DEDICATED VFD.
8. WHERE THERE ARE MULTIPLE FANS BEING USED IN A FAN ARRAY, A DEDICATED DISCHARGE DAMPER MUST BE PROVIDED AT EACH FAN TO PREVENT RECIRCULATION OF AIR.
9. PROVIDE ACCESSORIES AND APPURTENANCES FOR INSTALLING DOAS AIR HANDLING UNIT.
10. PROVIDE AIR FLOW MEASURING STATION AT OUTDOOR AIR. AIR FLOW MEASURING STATION MUST BE PROTECTED UPSTREAM BY MERV 8 FILTER.
11. DOAS ROOF MUST SLOPE A MINIMUM OF 1/4 IN PER FT AND OVERHANG WALL PANELS BY A MINIMUM OF 2 INCHES.
12. FANS MUST BE SIZED BASED ON A MINIMUM FILTER LOADING OF TWO TIMES THE INITIAL (CLEAN) CONDITION AND THEN ROUNDED UP TO THE NEAREST .05 IN WC PER FILTER BANK.
13. OUTDOOR AIR DAMPERS MUST BE LOW LEAKAGE DAMPERS WITH A 3 CFM/SF LEAKAGE RATE OR LESS.
14. OA CFM SCHEDULED INCLUDES A 10% ALLOWANCE FOR LEAKAGE AND FUTURE GROWTH. TAB CONTRACTOR MUST BALANCE SYSTEM TO CFMS SHOWN ON FLOOR PLANS.

PUMP SCHEDULE

Table with columns: TAG, LOCATION, SERVICE, CONFIGURATION, FLUID TYPE, WATER TEMPERATURE, GPM, PUMP HEAD (FT WC), EFF (%), SUCTION SIZE (INCH), DISCHARGE SIZE (INCH), ELECTRICAL DATA, NOTES. Includes data for HHWP-1, HHWP-2, CHWP-1, CHWP-2, CBP-1, CBP-2, CP-1, CP-2, CP-3.

NOTES:

- 1. PROVIDE PREMIUM EFFICIENCY MOTORS WITH THERMAL OVERLOAD PROTECTION.
2. PROVIDE STANDARD EFFICIENCY MOTORS WITH THERMAL OVERLOAD PROTECTION.
3. MOTORS MUST BE NON-OVERLOADING THROUGHOUT ENTIRE PUMP CURVE.
4. PROVIDE VFD WITH INVERTER DUTY RATED MOTOR. VFDs AND MOTOR STARTERS MUST BE PROVIDED BY ELECTRICAL. PROVIDE VFDs IN LINE-OF-SIGHT TO CONNECTED PUMP.
5. PROVIDE SHAFT GROUNDING RINGS.
6. PROVIDE EC MOTORS WITH THERMAL OVERLOAD PROTECTION.

HORIZONTAL SHELL & TUBE STEAM TO HOT WATER HEAT EXCHANGER SCHEDULE

Table with columns: TAG, LOCATION, SERVICE, CAPACITY (MBH), SHELL SIDE, TUBE SIDE, NOTES. Includes data for HX-1 and HX-2.

NOTES:

- 1. PROVIDE SHELL AND TUBE HEAT EXCHANGER DESIGNED, CONSTRUCTED, TESTED, AND STAMPED IN ACCORDANCE WITH SECTION VIII, DIVISION 1 OF THE ASME PRESSURE CODE.
2. PROVIDE WITH FABRICATED CARBON STEEL SHELL; CAST IRON BONNET; STEEL TIE-RODS AND SPACERS; CAST IRON/CARBON STEEL FEET AND BOLTING; COPPER TUBE BUNDLE.
3. COPPER TUBE BUNDLE MUST BE REMOVABLE FOR CLEANING, MAINTENANCE AND REPLACEMENT.
4. PROVIDE ISOLATION BUTTERFLY VALVES ON ALL INLET AND OUTLET WATER CONNECTIONS AND STEAM CONNECTIONS.
5. PROVIDE GASKETS MADE FROM MATERIAL SUITABLE FOR OPERATING TEMPERATURES AND FLUIDS/STEAM USED.
6. FIELD INSULATION FOR ALL HEAT EXCHANGER SURFACES AND PIPING PER MANUFACTURER'S REQUIREMENTS AND SPECIFICATIONS.

CONDENSATE RETURN UNIT SCHEDULE

Table with columns: TAG, LOCATION, SERVICE, CONFIGURATION, GPM, DISCHARGE PRESSURE (PSIG), RATED TEMP, CONNECTIONS, ELECTRICAL DATA, CAPACITY, NOTES. Includes data for CRU-1.

NOTES:

- 1. PROVIDE DUPLEX STEAM RETURN PUMPING PACKAGED UNIT WITH INTEGRAL PUMPS, RECEIVER TANK AND MECHANICAL ALTERNATOR PANEL.
2. PROVIDE FABRICATED CAST IRON CONDENSATE RECEIVER TANK DESIGNED, CONSTRUCTION, TESTED, AND STAMPED IN ACCORDANCE WITH SECTION VIII, DIVISION 1 OF THE ASME PRESSURE CODE.
3. PROVIDE INTEGRAL CENTRIFUGAL PUMPS WITH OPEN DRIP PROOF MOTORS.
4. PROVIDE FACTORY MECHANICAL ALTERNATOR WITH NEMA 3 PANEL CAPABLE OF SEQUENCING OF DUPLEX PUMPS AND STAND-BY OF SECOND PUMP ON HIGH LEVEL CONTROLLER FULLY FACTORY WIRED AND CONFIGURED.
5. PROVIDE HEAVY DUTY MECHANICAL FLOAT SWITCHES THAT EXTERNALLY ADJUSTABLE.
6. PROVIDE INTEGRAL WATER LEVEL GAUGE, SHUTOFF VALVE, DIAL THERMOMETER, INLET BASKET STRAINER, DISCHARGE PRESSURE GAUGES AND ISOLATION BUTTERFLY VALVES ON ALL INLET AND OUTLET WATER CONNECTIONS AND STEAM CONNECTIONS.
7. PROVIDE GASKETS MADE FROM MATERIAL SUITABLE FOR OPERATING TEMPERATURES AND FLUID/STEAM USED.

EXHAUST FAN SCHEDULE

Table with columns: TAG, SERVICE, CONFIGURATION, AIRFLOW (CFM), ESP (IN WG), MOTOR RPM, BHP, HP, V, PH, HZ, WEIGHT (LBS), NOTES. Includes data for EF-1, EF-2A, EF-2B, EF-4, EF-5.

NOTES:

- 1. PROVIDE WITH FACTORY MOUNTED AND WIRED NON-FUSED DISCONNECT.
2. PROVIDE PREMIUM EFFICIENCY MOTOR, WITH THERMAL OVERLOAD PROTECTION.
3. PROVIDE FACTORY MOUNTED AND WIRED LOW-LEAKAGE MOTORIZED ISOLATION DAMPERS, 120 VAC WITH POSITION INDICATION.
4. PROVIDE HOUSED SPRING VIBRATION ISOLATORS TO SUPPORT FAN FROM BUILDING STRUCTURE.
5. PROVIDE MANUFACTURER'S 18" HIGH ROOF CURB WITH HINGED CURB CAP, CURB SEAL AND DAMPER TRAY.
6. PROVIDE BELT DRIVEN EXPLOSION PROOF MOTOR OUTSIDE OF AIRSTREAM WITH SPARK-PROOF FAN IMPELLER.
7. PROVIDE EC MOTOR WITH HAND-OFF-AUTO (HOA) CONTROLLER.
8. PROVIDE MANUFACTURER'S FACTORY APPLIED COATING SUITABLE FOR A CORROSIVE BRACKISH ENVIRONMENT ON EQUIPMENT CASING AND COILS.

AIR SEPARATOR SCHEDULE

Table with columns: TAG, SERVICE, LOCATION, DESIGN FLOW (GPM), MAX FLOW (GPM), CONNECTION SIZE (INCHES), PRESSURE DROP (FT WC), FLOODED WEIGHT (LBS), NOTES. Includes data for AS-1 and AS-2.

NOTES:

- 1. PROVIDE CENTRIFUGAL AIR SEPARATOR WITH CONNECTIONS TO MATCH PIPING SYSTEM.
2. PROVIDE WITHOUT STRAINER.
3. PROVIDE ISOLATION BUTTERFLY VALVES ON INLET AND OUTLET.
4. PROVIDE AUTOMATIC AIR VENT.
5. PROVIDE BLOW DOWN VALVE ON BOTTOM WITH CAP SECURED WITH CHAIN.
6. MAINTAIN MANUFACTURER'S CLEARANCES FOR MAINTENANCE ACCESS.

EXPANSION TANK SCHEDULE

Table with columns: TAG, SERVICE, TYPE, FLUID, ACCEPTANCE VOLUME (GAL), TANK VOLUME (GAL), FILL PRESSURE (PSIG), RELIEF VALVE SETTING (PSIG), DIAMETER (INCHES), HEIGHT (INCHES), NOTES. Includes data for ET-1 and ET-2.

NOTES:

- 1. PROVIDE VERTICAL EXPANSION TANK, WITH HEAVY DUTY BUTYL/EPDM DIAPHRAGM/PRE-CHARGED BLADDER, STEEL CONSTRUCTION MEETING ASME STANDARDS.
2. PROVIDE LINE SIZE ISOLATION BALL VALVES ON CONNECTIONS.
3. PROVIDE AUTOMATIC AIR VENT.
4. PROVIDE SYSTEM PRESSURE RELIEF VALVE FOR INSTALLATION IN SYSTEM PIPING.
5. PROVIDE BLOW DOWN VALVE ON BOTTOM WITH CAP SECURED WITH CHAIN.
6. MAINTAIN MANUFACTURER'S CLEARANCES FOR MAINTENANCE ACCESS.
7. ADJUST FILL PRESSURE DURING STARTUP FOR FINAL PIPING SYSTEM CONFIGURATION.

STEAM TRAP SCHEDULE

Table with columns: MARK, LOCATION, SERVICE, TRAP TYPE, CAPACITY (MBH), STEAM PRESSURE (PSI), DESIGN FLOW (LBS/HR), RATED FLOW (LBS/HR), INLET SIZE (IN), NOTES. Includes data for ST-1, ST-2, ST-3, ST-4, ST-5.

NOTES:

- 1. PROVIDE NPT THREADED CONNECTIONS.
2. SELECT WITH A MINIMUM 2.0 SAFETY SIZING FACTORY. SELECT WITH LINE SIZE CONNECTION.
3. PROVIDE CAST IRON H-PATTERN FLOAT AND THERMOSTATIC STEAM TRAP WITH STAINLESS STEEL INTERNAL CONSTRUCTION.

STEAM SAFETY RELIEF VALVE SCHEDULE

Table with columns: MARK, LOCATION, SERVING, CAPACITY (LBS/HR), PRESSURE SETTING (PSIG), INLET SIZE (IN), OUTLET SIZE (IN), NOTES. Includes data for SRV-1.

NOTES:

- 1. PROVIDE NPT THREADED CONNECTIONS.
2. SELECT WITH A MINIMUM 2.0 SAFETY SIZING FACTORY. SELECT WITH LINE SIZE CONNECTION.
3. PROVIDE CAST IRON STEAM SAFETY RELIEF VALVE WITH STAINLESS STEEL INTERNAL CONSTRUCTION.



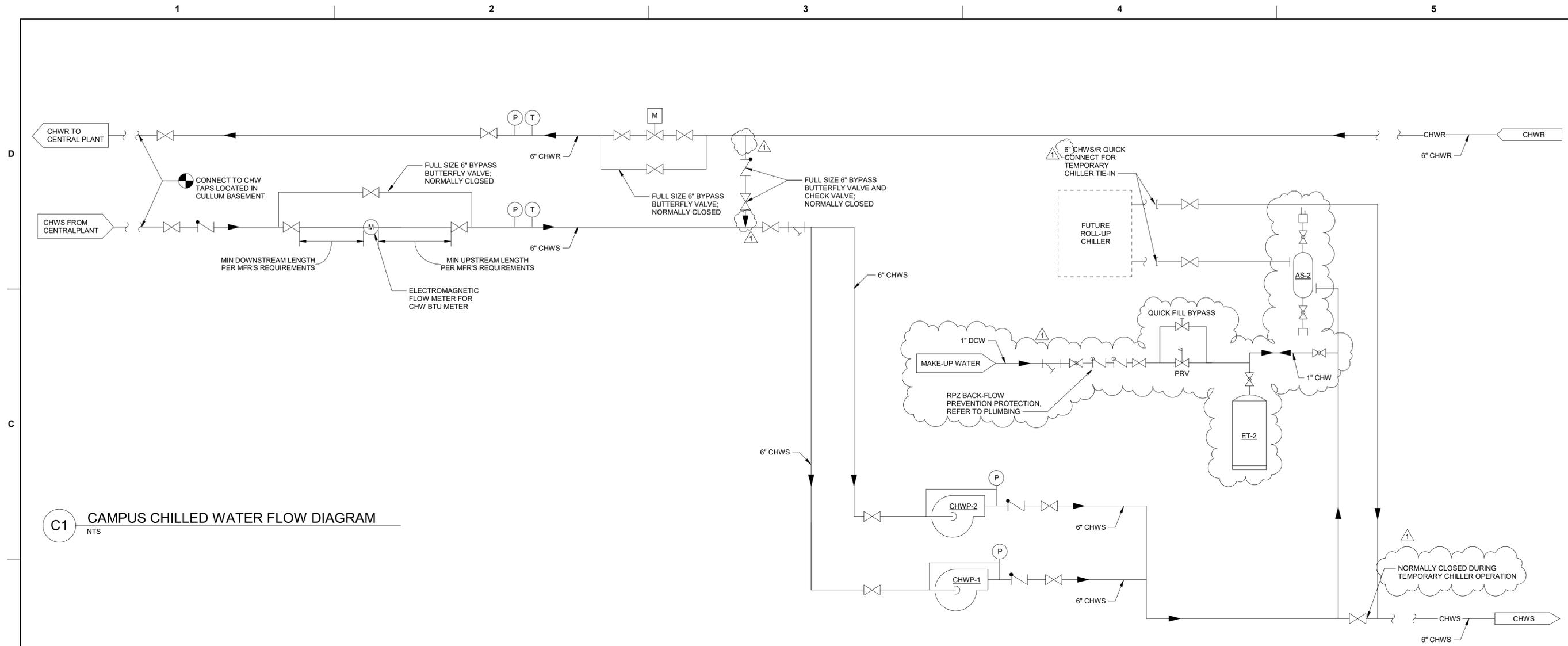
Table with columns: DATE, DESCRIPTION, MARK. Includes date 06/16/2023 and mark 1.

Table with columns: DESIGNED BY, CHECKED BY, SUBMITTED BY, FILE NAME. Includes names N. SLEEM, D. GORDON, D. GORDON and file name JACOBS / EWING COLE.

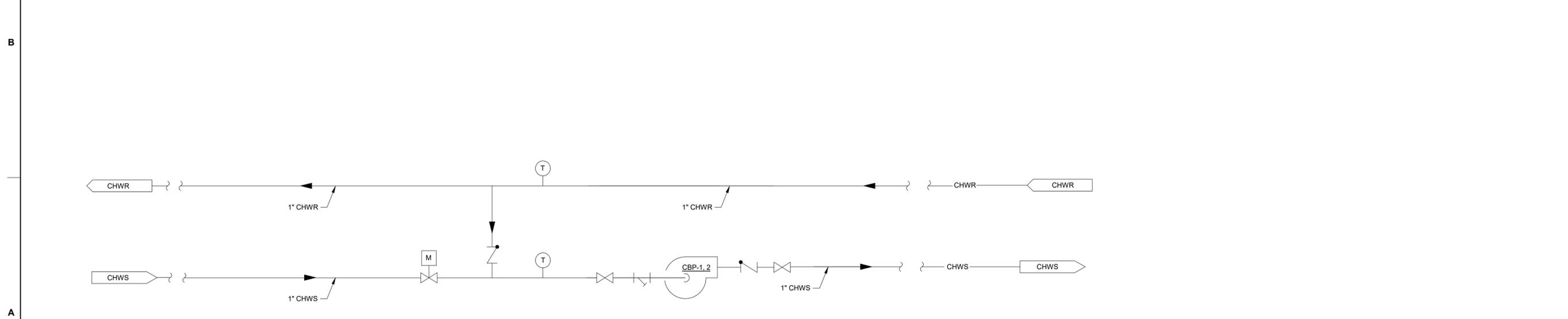
US ARMY CORPS OF ENGINEERS LINCOLN HALL WEST POINT, NEW YORK

BUILDINGS 605/607 RENOVATION - LINCOLN HALL

SHEET ID M-601



C1 CAMPUS CHILLED WATER FLOW DIAGRAM
NTS



A1 CHILLED BEAM CHILLED WATER FLOW DIAGRAM (CBP-1, 2)
NTS

NOTES:
1. PROVIDE CHILLED BEAM WITH CONDENSATION SENSOR. REFER TO CONTROLS.



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DATE	DESCRIPTION	MARK
06/16/2023	ISSUED VIA AMENDMENT	1

DESIGNED BY: N. SLEMI	ISSUE DATE: 07 MARCH 2023
DRAWN BY: D. GORDON	SOLICITATION NO.: W91ZDS19R0014
CHECKED BY: D. GORDON	FILE NUMBER: W91ZDS19-C-0031-L
SUBMITTED BY: ANSI'D	FILE NAME:

US ARMY CORPS OF ENGINEERS
LINCOLN HALL
WEST POINT, NEW YORK

JACOBS / EWING COLE A Joint Venture

BUILDINGS 605/607 RENOVATION - LINCOLN HALL
CHILLED WATER FLOW DIAGRAMS
CAMPUS CHW AND CHILLED BEAM LOOP

SHEET ID
M-702