

**COUNTY OF WESTCHESTER
NEW YORK**

DIVISION OF ENGINEERING

ADDENDUM NO. 3

CONTRACT NO. 20-502

**LOW RISE BUILDING RENOVATIONS AND
HVAC IMPROVEMENTS - PHASE II
110 DR. MARTIN LUTHER KING, JR. BOULEVARD
WHITE PLAINS, NEW YORK**

The attention of the bidder is directed to the following changes, additions, and/or substitutions affecting the above referenced contract.

I. RE: THE SPECIFICATIONS:

Item A: PROPOSAL PAGE 6

Delete: Proposal Page 6 (1 of 1 in its entirety)

Insert: **Revised Proposal Page 6 (3 of 3 in its entirety) Including Alternate #1**
The revised Proposal Pages must be used for bid.

Item B: Summary of modifications to Elevator Modernization Specification Section 142150

110 Martin Luther King Blvd.

1. General Comment: The latest applicable version during contract award of all Codes and Ordinances including but not limited to NY State and White Plains Building Code and applicable elevator Code (ANSI A17.1), Electrical and Plumbing Codes by reference will govern for all work.
2. Warranty: Section 1.5 A will be deleted and modified to state as follows: Warranty period will be 1 year including all labor and materials and 24/7/365 callback. Warranty period to start once elevator has passed all inspections and is signed off by County's Code Enforcement. Contractor shall perform a Category 1 Test 1 month prior to the end of the warranty period and make any required repairs. The test shall be witnessed by County's elevator Inspector. At the conclusion of the test contractor shall also inspect and adjust the ropes as necessary. The elevator Contractor shall also be present for the Biannual inspection during the warranty period.
3. Maintenance: Section 1.6 will be modified to state as follows: Maintenance by County's elevator vendor will begin when warranty expires.
4. Card Reader: Appendix II is deleted from the scope of work
5. Car Lantern: Section 2.08C is deleted from the scope.

6. Emergency Communications Section 2.08 E will be amended to add: Emergency communication shall meet the requirements of the latest applicable code. Elevator emergency communication must include: Two-way (text-based) messaging capability and video capability. A display message to indicate call has been received and help is on the way and/or onsite. All required wiring shall be included in the traveling cable and controller. Emergency communications need to be actively monitored at all times.
7. Governors: Section 2.04 M shall be modified to read as follows:

Safety and Governor

1. GAL /Hollister Whitney
2. Approved Equal

All safety devices shall be replaced with new. All safeties shall be completely tested before any elevator is restored to service. All missing or worn parts/hardware shall be replaced. Car safety shall be mounted on the bottom members of the car frame and be operated by a centrifugal speed governor and tension sheave assembly. Governor rope shall be 3/8" iron. The governor shall be designed to cut off power to the motor and apply the brake whenever the governor indicates the car has excessive speed. The governor shall function when the car over speeds in either the up or down direction. The governor will be mounted in the pit with remote solenoids or similar switches which will be operated controlled by switches in the controller. Provide proper signage and operating procedure for remote control operation in the pit and the controller. The proper tension in the governor rope shall be maintained by the weighted tension sheave located in the overhead. The governor shall be equipped with rope grip jaws designed to clamp the governor rope so as to actuate the car safety upon a predetermined overspeed in either direction. Overspeed setting >115% of specified rated car speed and < the maximum governor tripping speed specified in the applicable elevator Code for the specified rated car speed. When operated, no undue damage to the governor rope shall result from the stopping action. Adjust the governor and mark the tripping speed specified on the tag.

111 Martin Luther King Blvd.

1. General Comment: The latest applicable version during contract award of all Codes and Ordinances including but not limited to NY State and White Plains Building Code and applicable elevator Code (ANSI A17.1), Electrical and Plumbing Codes by reference will govern for all work.
2. Warranty: Section 1.5 A will be deleted and modified to state as follows: Warranty period will be 1 year including all labor and materials and 24/7/365 callback. Warranty period to start once elevator has passed all inspections and is signed off by County's Code Enforcement. Contractor shall perform a Category 1 Test 1 month prior to the end of the warranty period and make any required repairs. The test shall be witnessed by County's elevator Inspector. At the conclusion of the test contractor shall also inspect and adjust the ropes as necessary. The elevator Contractor shall also be present for the Biannual inspection during the warranty period.

3. Maintenance: Section 1.6 will be deleted and modified to state as follows: Maintenance by County's elevator vendor will begin when warranty expires.
4. Car Lantern: 2.08C is deleted from the scope.
5. Emergency Communications Section 2.08 E will be amended to add: Emergency communication shall meet the requirements of the latest applicable code. Elevator emergency communication must include: Two-way (text-based) messaging capability and video capability. A display message to indicate call has been received and help is on the way and/or onsite. All required wiring shall be included in the traveling cable and controller. Emergency communications need to be actively monitored at all times.

143 Grand Street.

1. General Comment: The latest applicable version during contract award of all Codes and Ordinances including but not limited to NY State and White Plains Building Code and applicable elevator Code (ANSI A17.1), Electrical and Plumbing Codes by reference will govern for all work.
2. Section 1.2 shall be deleted and modified to state as follows:

Warranty: Warranty period will be 1 year including all labor and materials and 24/7/365 callback. Warranty period to start once elevator has passed all inspections and is signed off by County's Code Enforcement. Contractor shall perform a Category 1 Test 1 month prior to the end of the warranty period and make any required repairs. The test shall be witnessed by County's elevator Inspector. At the conclusion of the test contractor shall also inspect and adjust the ropes as necessary. The elevator Contractor shall also be present for the Biannual inspection during the warranty period.
Maintenance: Maintenance by County's elevator vendor will begin when warranty expires.
3. Card Reader: Appendix II is deleted from the scope.
4. Car Lantern: Section 2.07 B is deleted from the scope of work.
5. Emergency Communications Section 2.07D will be amended to add: Emergency communication shall meet the requirements of the latest applicable code. Elevator emergency communication must include: Two-way (text-based) messaging capability and video capability. A display message to indicate call has been received and help is on the way and/or onsite. All required wiring shall be included in the traveling cable and controller. Emergency communications need to be actively monitored at all times.

II. RE: Drawings:

Item A:

Drawings A-109, A-111, A-112, A-113, A-114, A-303

Delete: Drawings A-109, A-111, A-112, A-113, A-114, A-303 dated 01-19-24

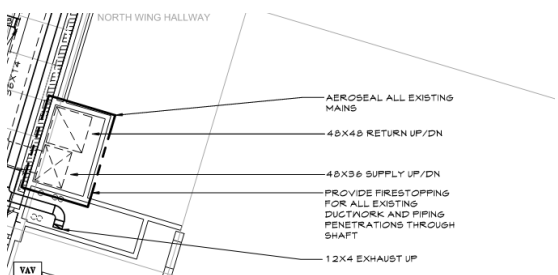
Insert: Drawings A-109, A-111, A-112, A-113, A-114, A-303 with revision date of 02-21-24

III. RE: CLARIFICATIONS:

| • General Questions | | |
|----------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| No. | Contractor Question | Answer |
| Q1 | Please provide contact information to BMS Controls Vendor | Walter E. Greenwood “Chip” Building Automation Specialists Partner of Schneider Electric Phone: 914-747-1007 Mobile: 914-403-4702 Email: greenwoodw@emfcontrols.com Site: www.emfcontrols.com Address: 581 N State Rd, STE 6, Briarcliff Manor, NY 10510-1556, USA |
| Q2 | Please provide contact information to Fire Alarm Vendor | Melissa DeGiglio Fire Service Manager Johnson Controls +1 845 774 4120 office melissa.degiglio@jci.com |
| Q3 | Does attending the mandatory prebid apply to the named subcontractors? | No |
| Q4 | Is there a Roof warranty? | Yes |
| Q5 | Please provide contact information to roof warranty holder | John’s Manville |
| Q6 | Please clarify what works is to be figured on overtime (i.e. noisy work, building shutdowns, etc.) | Asbestos abatement, fumes, noisy work, any work affecting employee or public access |
| Q7 | Please clarify what hours are working hours | 7:00 – 4:00 |
| Q8 | Please clarify what is defined as noisy work | Jack hammering, Shooting anchors, Metal cutting, Heavy demolition |
| Q9 | Please clarify are the allowances indicated on the bid proposal forms for work above and beyond what is indicated on the bid documents | Miscellaneous Additional Work is funds to be used in the project at the discretion of the County beyond the base bid contract requirements, Testing of Materials to be used for material testing beyond what is included as part of the base work. |
| Q10 | Please confirm where trades/subcontractors and GC personnel can park to access these projects | No Parking shall be provided, contractor and his personnel to park in adjacent municipal parking lot at their own expense |
| Q11 | What is the schedule duration for this project, start and completion | 540 workdays from the Notice to Proceed |
| Q12 | The Mechanical Drawings contain notes referencing Alternate work; however, the bid form does not include a section for Alternate pricing. Is this work to be included in Base Bid or will the Bid form be revised? | Alternate #1 has been included in the revised bid form. See answer to Q30 for additional information. |
| Q13 | What is the total timeline to be done – Can we provide multiple teams to complete project if necessary | Project timeline is 540 workdays the contractor can provide multiple crews. |

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| Q14 | Please provide existing roof system specifications. | Roof warranty attachment provided |
| <ul style="list-style-type: none"> Architectural Questions | | |
| No. | Contractor Question | Answer |
| Q15 | Who is responsible for furniture removal and relocation, specifically furniture for the tax accessor | <p>Per G-003, furniture in TAX assessor's office to be relocated from 2nd floor to temporary TAX office on 1st floor.</p> <p>After 2nd floor work is completed, furniture is to be reinstalled in its original location.</p> <p>All other existing furniture is to remain. GC is responsible for protecting all existing furniture.</p> |
| Q16 | How many signs of each type are we to include Ref. DWG. A-303, signage schedule Please provide a signage schedule. | <p>Refer to drawings issued as part of Addendum #3 Please find revised finish plans, A-111 through 114 and signage details on A-303. Signage symbol S-# has been added on finish plans. Signage type, details, note, etc. have been modified on A-303.</p> |
| Q17 | Will the architect accept Melamine Plastic, Class A Fire retardant, ADA Compliant, Sand blasted signs instead of aluminum? With Aluminum, the letters and Braille are glued on because you can't etch those on to an aluminum sign. Sand blasted is when the entire sign has braille and text etched out of one piece. Also, they can choose the manufacturer's standard colors for the sign. I can't offer that in aluminum. They are also fire retardant. See attached specs and color chart. | No, it is not acceptable. The signage has been designed as per Westchester Building Standard. |
| Q18 | Please clarify the difference phases | <p>Phasing to be per drawing G-003.</p> <p>Mechanical, Electrical, Plumbing, & Fire Protection work to be coordinated with the phases on G-003.</p> |
| Q19 | Can we work on the 1 st floor & 2 nd floor at the same time? | It is not acceptable. |
| Q20 | Is the relocation of the tax accessors office a separate phase? | <p>Per DWG G-003, Temporary TAX office is part of Phase I and shall be completed before phase 1 demolition occurs.</p> <p>Temp. TAX office demolition and reinstall furniture and equipment at 2nd floor is part of Phase II.</p> |
| Q21 | What is the deck-to-deck heights for the 1 st floor and 2 nd floor (bottom of floor slab to bottom of ceiling slab) | <p>1st floor top of slab to 2nd floor bottom of slab is approx. 14 feet.</p> <p>2nd floor top of slab to 3rd floor bottom of slab is approx. 12 feet.</p> |

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| Q22 | General Note #1 on A-101 through A-104 indicates to "Patch & Repair Existing Wall/Partition as required. Prepare existing walls to accept new finish." Please confirm this note addresses wall within the corridors that are to receive new paint finishes indicated on the finish plans | General Note #1 shall apply to walls receiving new finishes per finish plans. Walls/partitions which are damaged during work, shall be repaired and refinished to match existing. GC shall photo document existing damages prior to start of work. |
| Q23 | Keynote #1 on A-101 and A-103 indicates to apply skim coat level 4 finishes over existing surfaces. Please confirm this note is directed for use at the Lobby Vestibule L1 and 2 nd floor Elevator Lobby L-212 only. | Yes. |
| Q24 | Please confirm all other existing partitions to remain (except for two RFIs above) within the construction areas are existing to remain and no new finishes/paint is required unless affected by MEP trades. | At all existing wall/partition to remain. GC should patch & repair damage on the existing wall/partition affected by MEP work. Provide new finishes/paint as indicated on construction documents. |
| Q25 | DWG A109 indicates Open Cell Spray Foam. Spec section 072100 indicates Closed Cell Type Insulation. Please confirmed material is closed cell at the Garage Level B2. | The note on A-109 has been revised. GC to provide closed cell spray foam. |
| Q26 | The Mechanical drawings include notes to provide new fin tube covers to match existing. DWG A300 provides a detail that does not include enough information to quote. Please review and provide manufacturer and model numbers. | The manufacturer is Vulcan Radiator, and the enclosure model number is V4-ARPM/PM2 Pedestal Mounted. Finish to be determined. |
| Q27 | Please confirm slab-to-slab heights from top of floor slab to bottom of ceiling slab for the 1 st and 2 nd floors at 110 / 111 M. King Blvd. | See Q23 response for 110 MLK. |
| Q28 | DWG 135 Elevator at 111 MLK indicates the added steel required and references details for the roof slab removal. The note in detail 3 indicates Ceiling Removal & Replacement. It appears from the section the existing ceiling is approximately 15 feet below the roof slab where the new steel is required to be installed. Are there other existing mechanicals in this area that would impede access to the work or that would need to be temporarily relocated in order to complete the work? What is the existing ceiling? Is it an occupied office? | The area indicated in detail #3 on A135 is elevator lobby and the existing finish ceiling is acoustical ceiling tile. GC to verify the existing condition above the existing finish ceiling. |
| Q29 | DWG 131 Elevator at 110 MLK indicates the added steel required which appears to span through the top of the elevator shaft and into what may or may not be an elevator lobby. What are the existing conditions in this area such as ceiling, lighting and/or mechanicals that may need to be relocated or removed to complete this work? | Additional steel is within the shaft at the top. See photos of the elevator shaft likely area. There is a new gypsum board ceiling in the elevator lobby on 3rd floor. |
| <ul style="list-style-type: none"> MEP Questions | | |

| No. | Contractor Question | Answer |
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| Q30 | <p>Mechanical Ductworks plans M101 thru M105 indicate and add alternate toe replace all existing duct mains with new, please clarify the following:</p> <p>a. What duct mains are we to include (risers, vertical mains, horizontal mains, etc.)</p> <p>b. Is this for the entire building or only within our areas of work?</p> | <p>The Alternate #1 refers to the duct risers and horizontal mains from the mechanical room to the shaft which are boxed out on each floor and called to be provided with AeroSeal. The alternate is for replacement of the mains in lieu of the AeroSeal which is base scope.</p>  <p>The drawing shows a plan view of a hallway with a mechanical room. Ductwork is shown with labels: 'AEROSEAL ALL EXISTING MAINS', '48X48 RETURN UP/DN', '48X36 SUPPLY UP/DN', 'PROVIDE FIRESTOPPING FOR ALL EXISTING DUCTWORK AND PIPING PENETRATIONS THROUGH SHAFT', and '12X4 EXHAUST UP'. A 'NORTH WING HALLWAY' label is at the top.</p> |
| Q31 | <p>Mechanical Ductwork plans M102 & M104 indicate to AeroSeal all existing mains, please clarify the following:</p> <p>a. What duct mains are we to include (different systems, risers, vertical mains, horizontal mains, etc.)</p> <p>b. Is this scope for the entire building or only within our areas of work</p> | <p>All existing risers and horizontal mains as boxed out on plan. See response to Q30 above.</p> |
| Q32 | <p>The Electrical Drawing E-204 shows light fixture "F4" in the bathroom next to the elevator shaft. However, the light fixture schedule on Dwg A-304 does not include "F4". Please, provide manufacture information for "F4" light fixture.</p> | <p>Refer to drawings issued as part of Addendum #3</p> |
| Q33 | <p>The specified Vulcan baseboard element is only capable of producing and output of 580 BTU/ft. at the specified AWT. However, the schedule calls for an output of 1,060 BTU/ft. Please clarify.</p> | <p>Capacity shown is for 2 tier element</p> |
| Q34 | <p>The following and attached specifications list basis of design manufactures and a list of system components basis of design. The basis of design manufacturer is in the specification s is EST or Edwards Fire Safety. Drawing FA-010 contains a contradicting note that the basis of design is Johnson Controls.</p> <p>Specification Section 263111 2. 1 A Manufacturers List Basis of Design (See Attached)</p> <p>Specification Section 263111 2. 5 System Components-Addressable Device Basis of Design Components (See Attached)</p> <p>Drawing FA-010 Fire Alarm Symbols Abbreviations Schedules & Notes (See Attached)</p> | <p>The base building fire alarm vendor is Johnson Controls.</p> <p>See Q2 response for additional information.</p> |
| <p>• Elevator Questions</p> | | |

| No. | Contractor Question | Answer |
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| Q35 | Please advise who hold the current elevator maintenance contract with this property | Willie Seiz Modernization Manager Slade Industries, Inc. Mountainside, NJ 07972 347.582.6366 wseiz@slade-elevator.com |
| Q36 | Please advise make and model of current elevator | 110 & 111 MLK- Westinghouse, 143 Grand-Dover |
| Q37 | The specifications for the elevators indicate we can only use an approved equal manufacturer for the elevator control systems. Please confirm if any OEM controller (TK Elevator, Otis, KONE, Schindler) is acceptable. | Non-OEM controller is required. OEM controller is not acceptable. |
| Q38 | Will the elevators be on emergency power or will battery lowering need to be provided? (110 MLK, 111 MLK) | 111 MLK Emergency Power is available with ATS. For 110MLK traction elevators since emergency power is not currently available, battery lowering is required. Elevator must be wired ready for future emergency power hookup and controllers must have the required module for it. |
| Q39 | Warranty Period – 1 year or 2 years? (110MLK, 111 MLK, 143 Grand) | Warranty period will be 1 year including all labor and materials and 24/7/365 callback. Warranty period to start once elevator has passed all inspections and is signed off by County's Code Enforcement. Contractor shall perform a Category 1 Test 1 month prior to the end of the warranty period and make any required repairs. The test shall be witnessed by County's elevator Inspector. At the conclusion of the test contractor shall also inspect and adjust the ropes as necessary. The elevator Contractor shall also be present for the Biannual inspection during the warranty period. |
| Q40 | When does maintenance on these elevator begin? (110MLK, 111 MLK, 143 Grand) | Maintenance by County's elevator vendor will begin when warranty expires. |
| Q41 | Does Cab platform and sling need to be replaced? If yes, what is the new platform rating? In addition, do the car safety and underslung sheaves need to be replaced as well? (110 MLK, 111 MLK, 143 Grand) | New platforms and slings have been specified but the capacity rating will be the same. Car safety and underslung sheaves will be replaced as specified. |
| Q42 | There are currently Hall Lanterns for the existing elevators – Specification indicates to provide car lantern. Is the intent to remove Hall Lanterns and Provide Car Lanterns? If it is to keep existing Hall Lanterns, will Hall Position Indicators be integrated with Hall Lanterns? (110 MLK, 111 MLK) | Replace hall lanterns with new hall lanterns. Integrate position indicators with hall button stations. Car lanterns are not required. Section 142150 2.08 C (110 ,111 143) has been deleted. |

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| Q43 | Is Rath an approved communication device? (110 MLK, 111 MLK, 143 Grand) | Alternates to specified manufactures shall be reviewed after bid award. Bids should be based upon specifications. |
| Q44 | Is Elevator Controls – Pixel and approved Control System? (110 MLK, 111 MLK, 143 Grand) | Alternates to specified manufactures shall be reviewed after bid award. Bids should be based upon specifications. |
| Q45 | Can we start elevator work earlier than 7:30 am? (110 MLK, 111 MLK, 143 Grand) | Working hours: 7:00 – 4:00 (Q7 response) |
| Q46 | Is Remote Elevator Monitoring Required for these elevators? (110 MLK, 111 MLK, 143 Grand) | Yes, as required by current Elevator Code. Emergency Communications Section 2.08 E will be amended to include the requirement of the latest applicable code. Elevator emergency communication must include: Two-way (text-based) messaging capability. Video capability. A display message to indicate call has been received and help is on the way and/or onsite. |
| Q47 | Will storage be required to be provided for Elevator Company? (110 MLK, 111 MLK, 143 Grand) | WC will provide a location for material storage. GC is responsible to secure materials on site and to provide secure fencing etc. |
| Q48 | Will parking be available for Elevator Installation Crew? (110 MLK, 111 MLK, 143 Grand) | No Parking shall be provided, contractor and his personnel to park in adjacent municipal parking lot at their own expense |
| Q49 | Is a new lobby panel required? If so, where would the new location be? If not, is there a tie in required? (110 MLK, 111 MLK, 143 Grand) | Yes. Location to be determined. |
| Q50 | Spec Section 142150 – Elevator Modernization This spec section refers to Security card readers, cab cameras and wiring and security contractors. Please clarify the scope of this work, who the security contractor is, and if this work is part of the GC's scope. This work will not be performed by the elevator contractors. | 111 MLK only-All work and material (except cameras and housing but including power, all wiring and connectors) needed from the elevator controller to the tops of cars and the location of the server will be included in the scope of work. For 110MLK and 143 Grand the security option is removed from the scope. Appendix II will not apply to these addresses. |
| • Elevator Questions (110 MLK) | | |
| No. | Contractor Question | Answer |
| Q54 | Is the intent to replace the overhead sheaves? | Yes |
| Q55 | Please confirm that these elevators stop at B3, B2, G, 2 & 3 | Correct. |
| Q56 | Is the intent to move the governors from the overhead to the pit? – If not, will overhead access to the governor be provided? | Governors to be located in pits with properly labeled remote switches that will be located and operated from the controllers. Proper signage shall be provided in the pit on or near the governor. |
| • Elevator Questions (111 MLK) | | |
| No. | Contractor Question | Answer |

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|-----------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Q57 | Can a new machine room door be provided from the side in lieu of current location to get direct access to machine room floor? If not, can the machine room floor be raised to maintain the same height as the current machine room door? | The floor will not be raised. No additional doors will be allowed. |
| Q58 | Is the intent to replace the deflector sheave? | Yes |
| Q59 | Please verify if Key Switches will be required with Corridor Pushbuttons or will card reader be sufficient | For any work pertaining to additional security the County will hire a spate security vendor that will work with the elevator company. The decision on whether the key switches will be replaced with card readers has not been made. For bid purposes the Contractor is to reconnect all existing equipment. |
| Q60 | Please verify that this elevator will operate as a simplex | The current operation will be maintained. |
| Q61 | Please verify if speed of elevator is 200 fpm or 500 fpm | 200 fpm. |
| Q62 | Please confirm that this elevator stops at B2, B, G, 2 nd floor to 19 th floor | Correct. |
| <ul style="list-style-type: none"> Elevator Questions (143 Grand) | | |
| No. | Contractor Question | Answer |
| Q63 | Please confirm that this elevator is a 4 stop | Confirmed. |
| Q64 | Please confirm the speed for this elevator is 150 fpm | 200 fpm. |
| Q65 | Is only the entrance frame to be cladded at the floor 1 only? | Yes |
| Q66 | Current railing is Omega? – do the existing car sliding guides need to be replaced with new Roller Guide Shoes or can the inserts be replaced? | New Roller Guides shall be provided. |
| Q67 | Is the intent to provide Hall Position Indicators separately or to be integrated with Hall Pushbutton Stations? | Provide Hall Position Indicators integrated with Hall stations. |
| Q68 | Dwg M-098 indicates the replacement of 4 existing VFDs but there is no information provided regarding the manufacturer or model number. Please provide the specifications for the VFDs required or provide the model number of the existing pumps. | PCE 2/21/24: Refer to specification 230513.1 for VFD specifications and requirements. |

ALL PROVISIONS OF THE CONTRACT NOT AFFECTED BY THE FOREGOING SHALL
REMAIN IN FULL FORCE AND EFFECT.

COUNTY OF WESTCHESTER
DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION

By: Hugh J. Greechan, Jr., PE
Commissioner

Dated: 02-21-24
WHITE PLAINS, NEW YORK

LUMP SUM PROPOSAL

CONTRACT NO. 20-502

BASE BID ITEMS

| ITEM | DESCRIPTION | BID PRICE IN FIGURES | |
|---------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|--------------|
| | | DOLLARS | CENTS |
| A | For providing all labor, material and equipment necessary to complete all work as shown on the contract drawings and in accordance with the specifications for the Low Rise Building Renovations and HVAC Improvements – Phase II, 110 Dr. Martin Luther King, JR. Boulevard, White Plains, New York | | |
| B | Contract Bonds and Insurance (Must not exceed 3.00% of Item A above) | | |
| C | Necessary for miscellaneous additional work per Article “Miscellaneous Additional Work (Item W-800)” of the Information for Bidders, as directed. | \$ 900,000 | 00 |
| D | Testing of Materials and Field Testing Equipment (Item W-851) | \$ 100,000 | 00 |
| TOTAL SUM OF AMOUNT BID FOR BASE BID ITEMS A, B, C & D (WRITTEN IN FIGURES | | DOLLARS | CENTS |
| | | | |

COMPLETE THIS FORM USING BLACK INK ONLY

LUMP SUM PROPOSAL - ALTERNATES

CONTRACT NO. 20-502

ALTERNATE LUMP SUM ITEMS

| ITEM | DESCRIPTION | BID PRICE IN FIGURES | |
|------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|-------|
| | | DOLLARS | CENTS |
| 1 | For providing all labor, material and equipment to replace the duct risers and horizontal mains from the mechanical room to the shaft which are boxed out on each floor including all associated construction work in lieu of Aeroseal installation as described in the contract documents and the addendum #3. | | |
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COMPLETE THIS FORM USING BLACK INK ONLY

PROPOSAL PAGE 6A

CONTRACT NO. 20-502

GROSS SUM OF TOTAL BID AMOUNT

| TOTAL BID FOR "BASE BID + ALTERNATE 1" (Written in Figures) | DOLLARS | CENTS |
|-------------------------------------------------------------|---------|-------|
| | | |

| TOTAL BID FOR "BASE BID (Written in Figures) | DOLLARS | CENTS |
|----------------------------------------------|---------|-------|
| | | |

COMPLETE THIS FORM USING BLACK INK ONLY

CONTRACTOR: _____

ADDRESS: _____

BY: _____

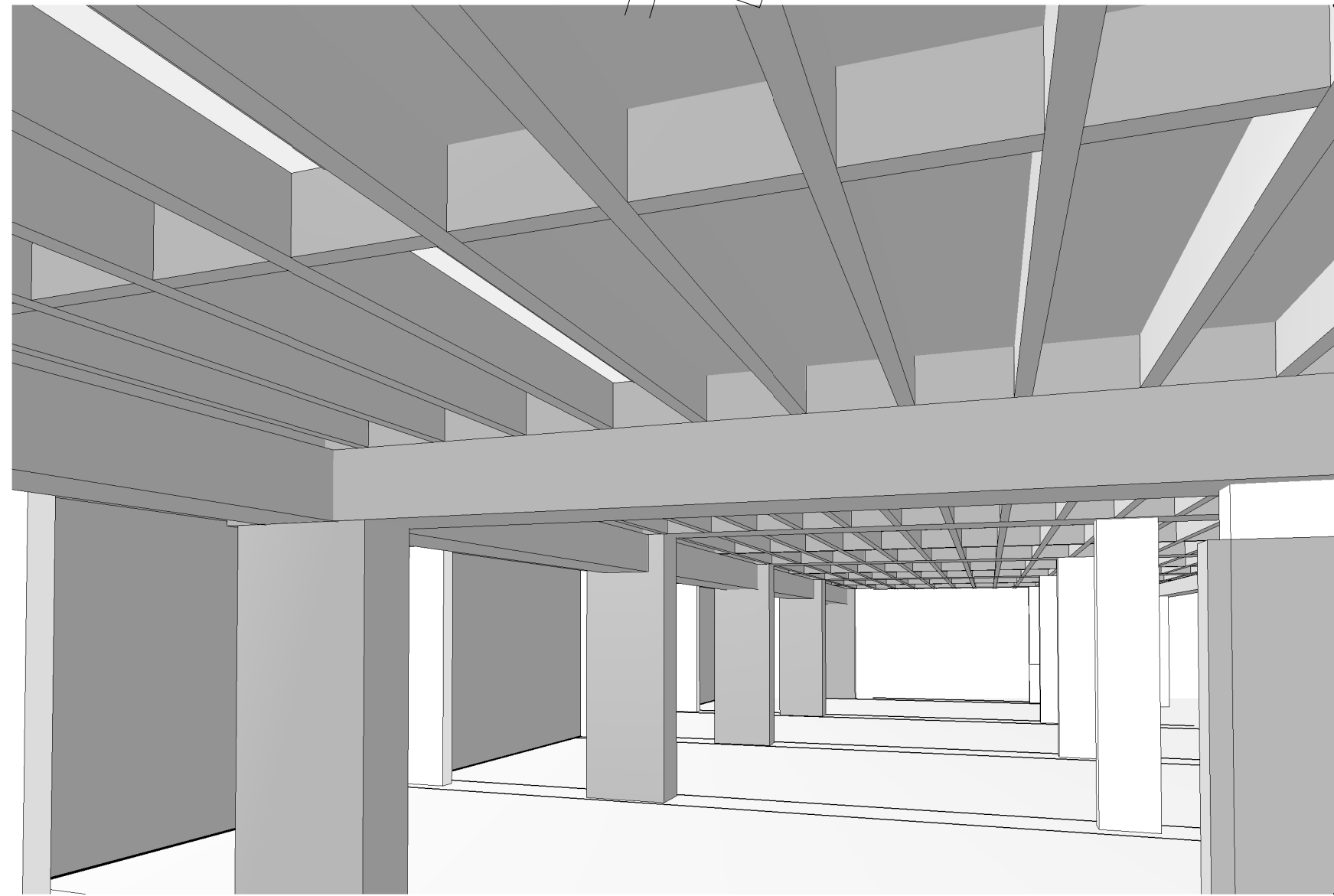
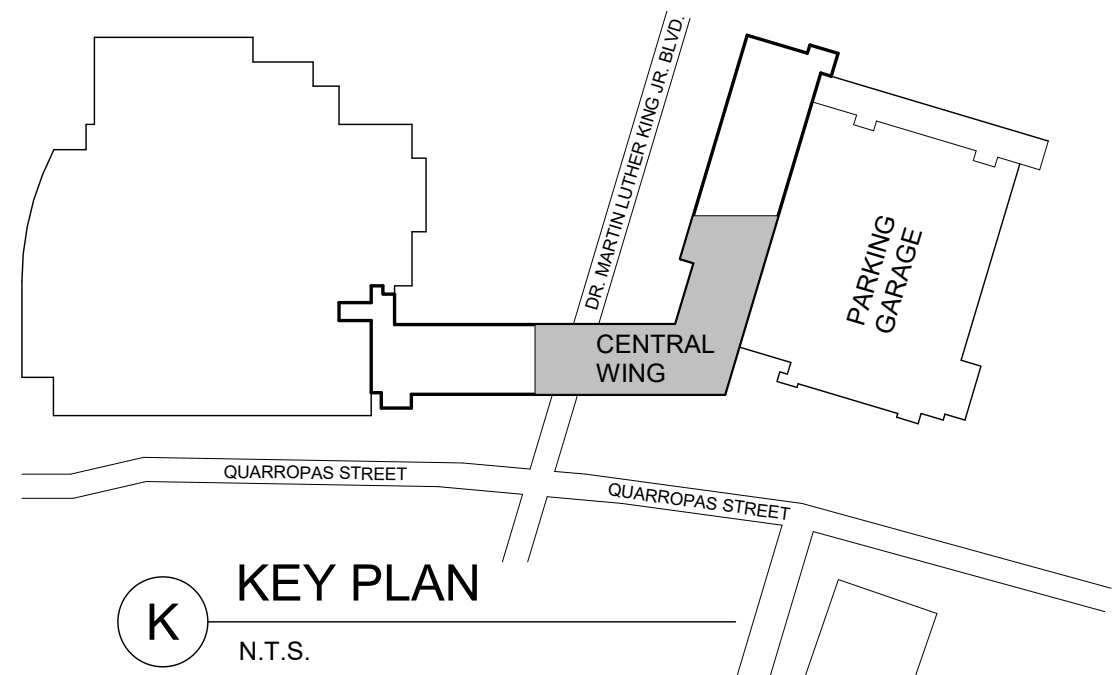
Signature/Title

BASIS OF AWARD

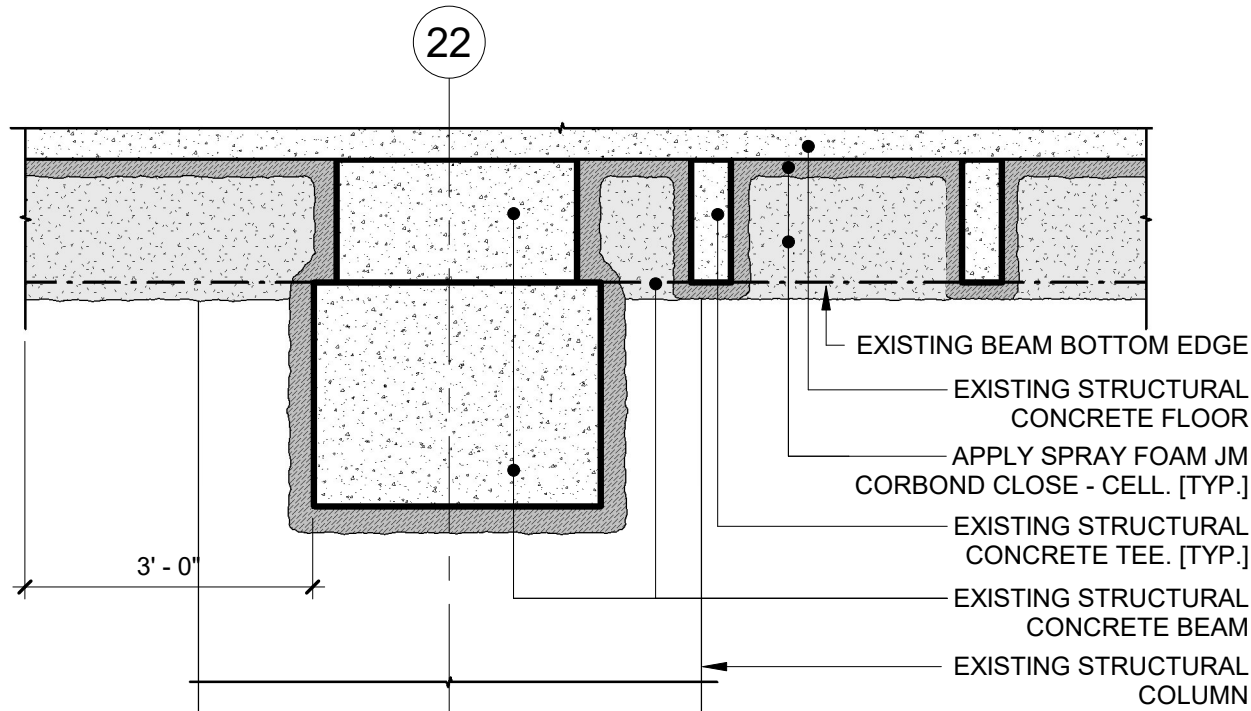
This contract consists of the Base Bid and ONE (1) Add Alternate, Alternate 1 as defined in the Specifications and on the Drawings.

It is the goal of the County to award the Base Bid and Alternate 1 if the low bid for all items are within the amount budgeted for this project. If the Base Bid and Alternate 1 exceed the amount budgeted for this project, the contract will be awarded to the bidder submitting the lowest Base Bid.

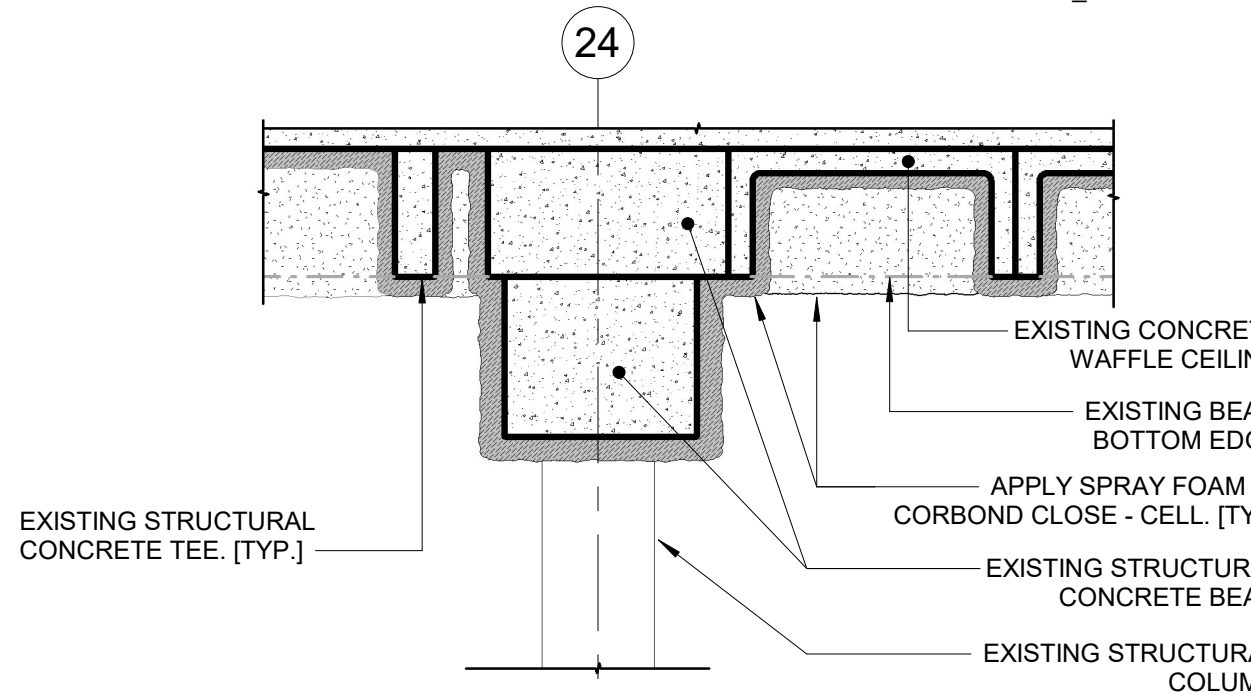
PROPOSAL PAGE 6B



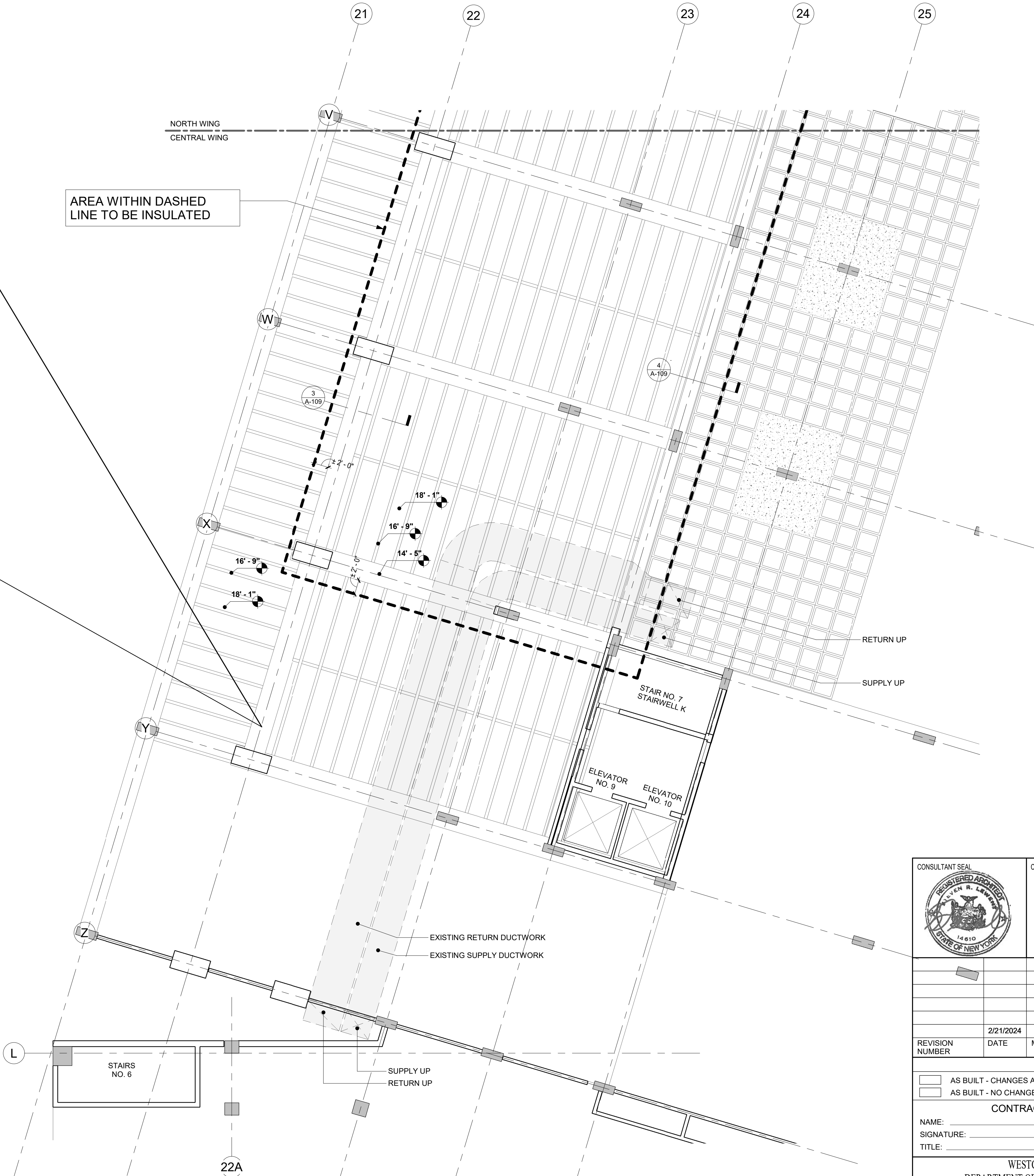
2 GARAGE LEVEL B2 - PERSPECTIVE STRUCTURAL CEILING VIEW
VIEW LOOKING NORTH



3 SPRAY FOAM OPEN-CELL JM CORBOND IV
1/2" = 1'-0"



4 SPRAY FOAM OPEN-CELL JM CORBOND IV NORTH WING
1/2" = 1'-0"



1 REFLECTED CEILING PLAN - GARAGE LEVEL B2 - CENTRAL WING
1/8" = 1'-0"

| REFLECTIVE CEILING PLAN LEGEND GARAGE LEVEL B2 | |
|---------------------------------------------------|---------------------------------------------|
| SYMBOL | DESCRIPTION |
| | EXISTING BEAM |
| | EXISTING COLUMN |
| | EXISTING BEAM |
| | EXISTING COLUMN |
| | EXISTING CONCRETE FILL |
| | EXISTING STRUCTURAL CONCRETE TEE |
| | EXISTING STRUCTURAL CONCRETE WAFFLE CEILING |
| | RETURN |
| | SUPPLY |

NOTES:

- WITHIN AREA TO BE INSULATED, APPLY MANVILLE CORBOND IV IN THICKNESS REQUIRED TO PROVIDE R=14.6. APPLY MANVILLE FIRE SAFETY INTUMESCENT NO BURN OVER SPRAYED INSULATION. MAKE ACCOMMODATIONS FOR APPLICATION ABOVE AND AROUND EXISTING DUCTS, PIPES, ETC.
- COORDINATE ALL WORK WITH PARKING GARAGE REHABILITATION PROJECT WHICH INCLUDES CONCRETE PATCHING & SPRINKLER REPLACEMENT. PROTECT ALL EXISTING HVAC, SPRINKLERS, LIGHT FIXTURES, ETC.
- PRIOR TO INSULATION INSTALLATION, ENSURE THAT ALL COMPONENTS OF NEW SYSTEMS REQUIRED TO BE INSTALLED PRIOR TO INSULATION SPRAY ON ARE IN PLACE.

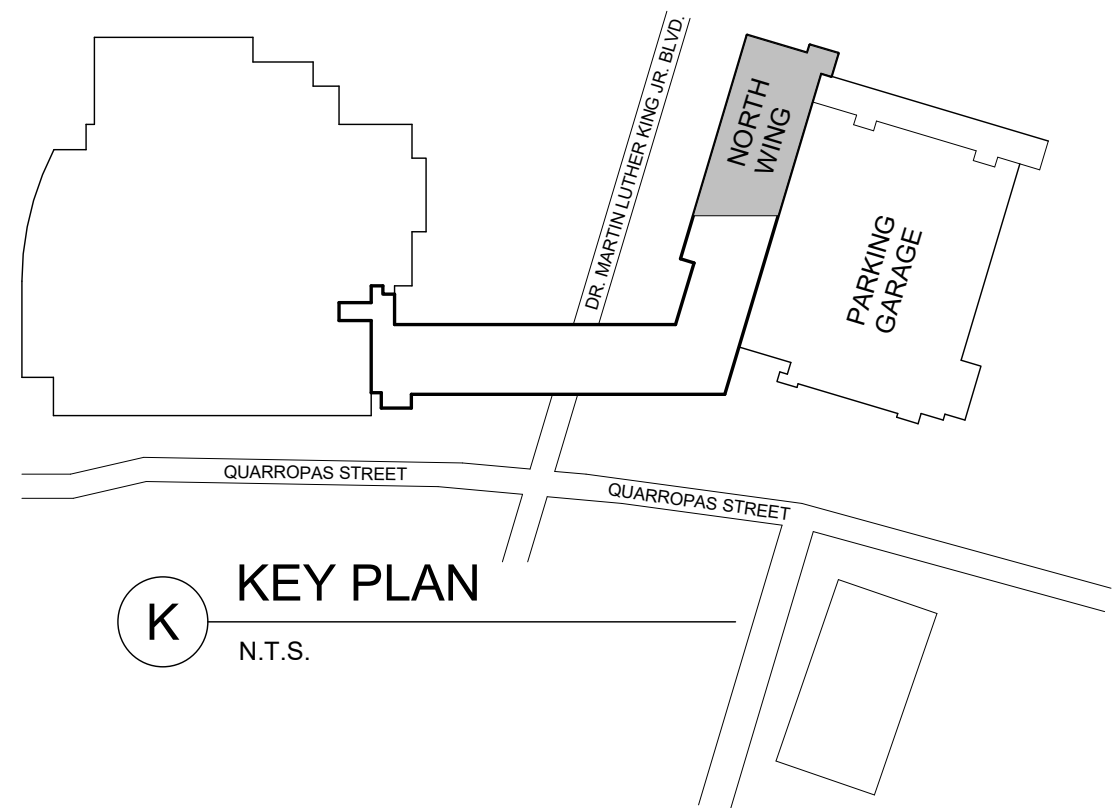
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|---------------------------------------------------------------------------------------------------------------------------------------|-----------|------------------------------------------------|-----------------------|
| | | CONSULTANT INFORMATION | |
| Graf & Lewent Architects LLP | | | |
| 90-30 161st Street, Jamaica, NY 11432 P: 718-651-6200 F: 718-251-6989 | | | |
| REVISION NUMBER | 2/21/2024 | DATE | MADE BY |
| REVISION | | | |
| RECORD DRAWING CERTIFICATION | | | |
| <input type="checkbox"/> AS BUILT - CHANGES AS NOTED | | <input type="checkbox"/> AS BUILT - NO CHANGES | |
| CONTRACTOR | | CONTRACTOR | |
| NAME: _____ | | NAME: _____ | |
| SIGNATURE: _____ | | SIGNATURE: _____ | |
| TITLE: _____ | | TITLE: _____ | |
| DATE: _____ | | DATE: _____ | |
| WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION | | CONTRACT NUMBER 20-502 | SHEET NUMBER A-109 |
| DIVISION OF ENGINEERING | | SHEET NO. 24 | OF 133 |
| LOW RISE BUILDING RENOVATIONS AND HVAC IMPROVEMENTS - PHASE II 110 DR. MARTIN LUTHER KING, JR. BOULEVARD WHITE PLAINS, NEW YORK | | SCALE: As indicated | DATE: 01-19-2024 |
| REFLECTED CEILING PLAN - GARAGE LEVEL B2 - CENTRAL WING | | DPW FILE NO. | 52-11-A-1836-0 |



NOTES:

1. SEE A-304 FOR SCHEDULE OF FINISHES.
2. BASE **VB-1** IS TYPICAL TO ALL WALLS AND PARTITIONS, EXISTING AND NEW UNLESS OTHERWISE NOTED.
3. SEE REFLECTED CEILING PLANS AND ELEVATIONS FOR ADDITIONAL FINISH INFORMATION.
4. EXISTING FLOORING IN WORK AREAS TO BE REMOVED AND SUBSTRATE PREPARED FOR NEW FLOOR FINISH.
5. EXISTING DOOR & FRAME PAINT MATCH TO ADJACENT WALL PAINT.
6. REPAIR & REFINISH EXISTING WOOD DOOR.

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| CONSULTANT SEAL  | CONSULTANT INFORMATION <div style="text-align: center; font-size: 2em; font-weight: bold; margin-top: 20px;"> Graf & Lewent Architects LLP </div> <div style="text-align: center; margin-top: 10px;"> 90-30 161st Street, Jamaica, NY 11432 P: 718-651-6200 F: 718-251-6989 </div> | | | | | | | | |
| | | | | | | | | | |
| 2/21/2024 | | | | | | | | | |
| REVISION NUMBER | REVISION | | | | | | | | |
| RECORD DRAWING CERTIFICATION | | | | | | | | | |
| <input type="checkbox"/> AS BUILT - CHANGES AS NOTED <input type="checkbox"/> AS BUILT - NO CHANGES | | | | | | | | | |
| CONTRACTOR NAME: _____ SIGNATURE: _____ TITLE: _____ DATE: _____ | CONTRACTOR NAME: _____ SIGNATURE: _____ TITLE: _____ DATE: _____ | | | | | | | | |
| WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING | | | | | | | | | |
| LOW RISE ARCHITECTURAL RENOVATIONS AND HVAC IMPROVEMENTS - PHASE II 110 DR. MARTIN LUTHER KING, JR. BOULEVARD WHITE PLAINS, NEW YORK FINISH PLAN - 1ST FLOOR - CENTRAL WING | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;"> CONTRACT NUMBER 20-502 </td> <td style="width: 70%;"> SHEET NUMBER <div style="font-size: 2em; font-weight: bold; text-align: center;">A-111</div> </td> </tr> <tr> <td colspan="2"> SHEET NO. 26 OF 133 </td> </tr> <tr> <td colspan="2"> SCALE: 1/8" = 1'-0" DATE: 01-19-2024 DPW FILE NO. 52-11-A-1838-0 </td> </tr> <tr> <td colspan="2"> Issue Date REV. NO. </td> </tr> </table> | CONTRACT NUMBER 20-502 | SHEET NUMBER <div style="font-size: 2em; font-weight: bold; text-align: center;">A-111</div> | SHEET NO. 26 OF 133 | | SCALE: 1/8" = 1'-0" DATE: 01-19-2024 DPW FILE NO. 52-11-A-1838-0 | | Issue Date REV. NO. | |
| CONTRACT NUMBER 20-502 | SHEET NUMBER <div style="font-size: 2em; font-weight: bold; text-align: center;">A-111</div> | | | | | | | | |
| SHEET NO. 26 OF 133 | | | | | | | | | |
| SCALE: 1/8" = 1'-0" DATE: 01-19-2024 DPW FILE NO. 52-11-A-1838-0 | | | | | | | | | |
| Issue Date REV. NO. | | | | | | | | | |



1 FINISH PLAN - 1ST FLOOR NORTH WING
1/8" = 1'-0"

2 FINISH PLAN - 1ST FLOOR - MEN'S & WOMEN'S RESTROOMS
1/4" = 1'-0"

| FINISH PLAN LEGEND | |
|--------------------|---------------------------------------|
| SYMBOL | DESCRIPTION |
| P- | PAINT FINISH |
| SS- | SOLID SURFACE PANELS |
| CT- | CERAMIC WALL TILES |
| SB- | STAINLESS STEEL WALL BASE |
| CB- | COVE BASE |
| VB- | VINYL BASE |
| C- | CARPET FLOOR |
| CT- | CERAMIC FLOOR TILE |
| VT- | RESILIENT FLOOR TILES |
| CR | CRASH RAIL |
| CG | CORNER GUARD |
| S# | SIGNAGE SEE SIGNAGE DETAIL ON A303 |

- NOTES:
- SEE A-304 FOR SCHEDULE OF FINISHES.
 - BASE VB-1 IS TYPICAL TO ALL WALLS AND PARTITIONS, EXISTING AND NEW UNLESS OTHERWISE NOTED.
 - SEE REFLECTED CEILING PLANS AND ELEVATIONS FOR ADDITIONAL FINISH INFORMATION.
 - EXISTING FLOORING IN WORK AREAS TO BE REMOVED AND SUBSTRATE PREPARED FOR NEW FLOOR FINISH.
 - EXISTING DOOR & FRAME PAINT MATCH TO ADJACENT WALL PAINT.
 - REPAIR & REFINISH EXISTING WOOD DOOR.

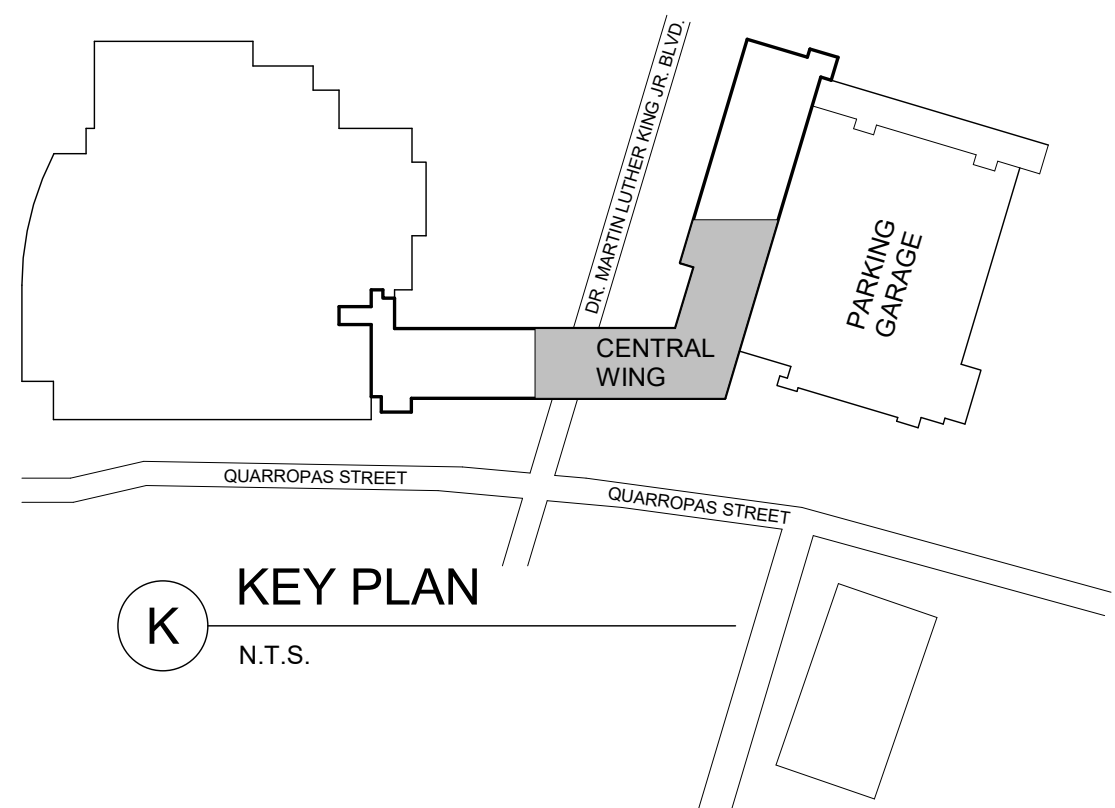


CONSULTANT INFORMATION

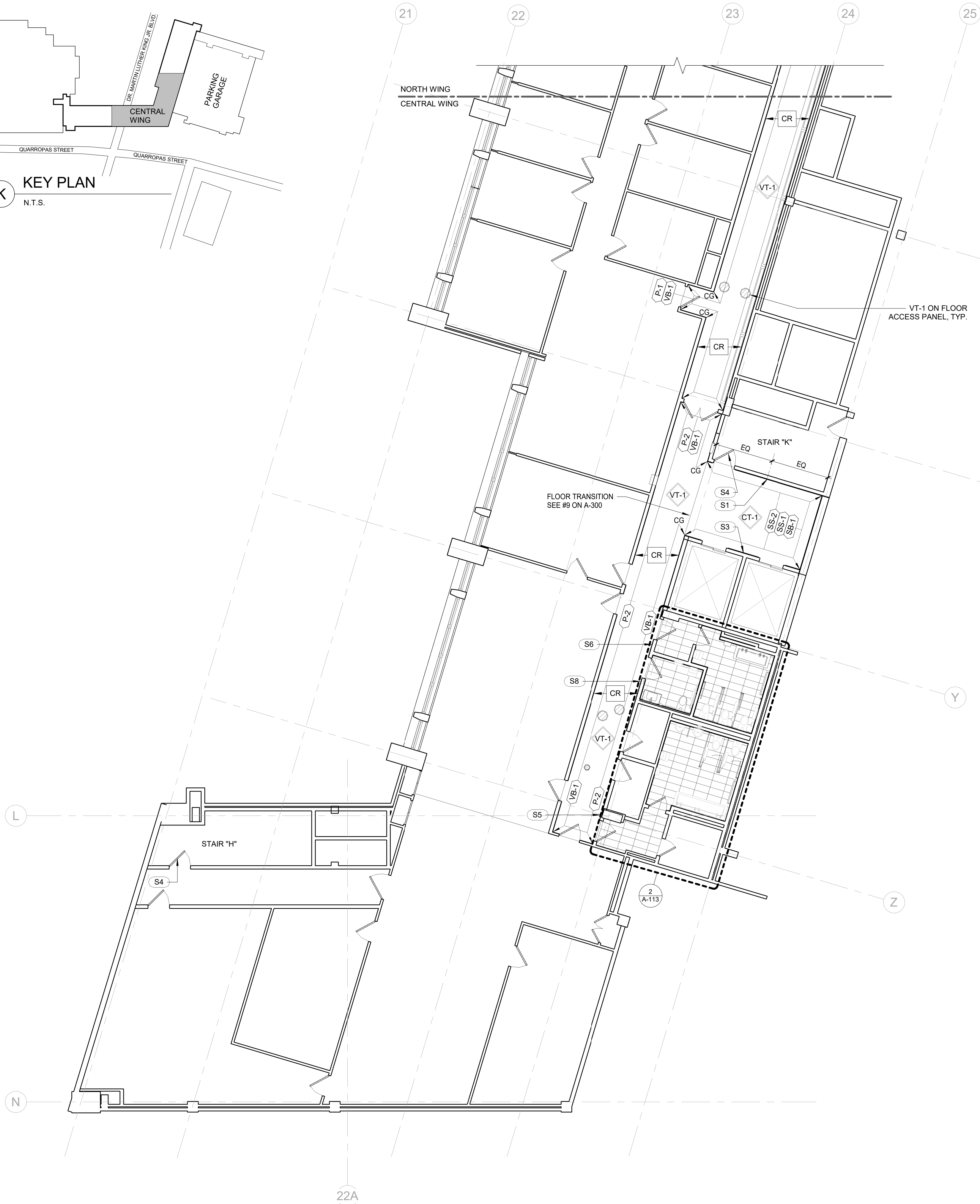
Graf & Lewent
Architects LLP

90-30 161st Street, Jamaica, NY 11432
P: 718-651-6200 F: 718-251-6989

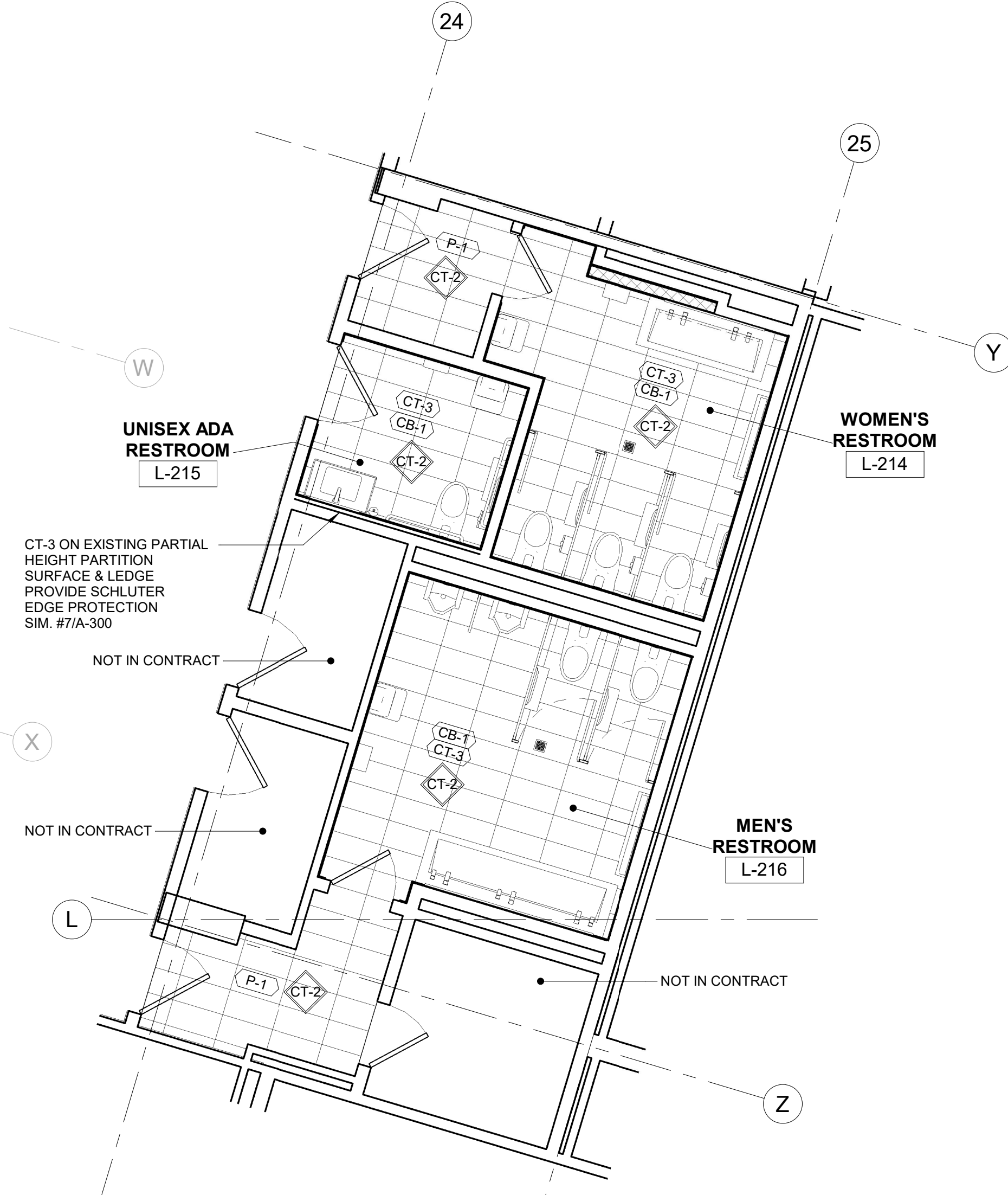
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K KEY PLAN
N.T.S.



1 FINISH PLAN - 2ND FLOOR CENTRAL WING
1/8" = 1'-0"



2 FINISH PLAN - 2ND FLOOR - RESTROOMS
1/4" = 1'-0"

| FINISH PLAN LEGEND | |
|--------------------|---------------------------------------|
| SYMBOL | DESCRIPTION |
| P- | PAINT FINISH |
| SS- | SOLID SURFACE PANELS |
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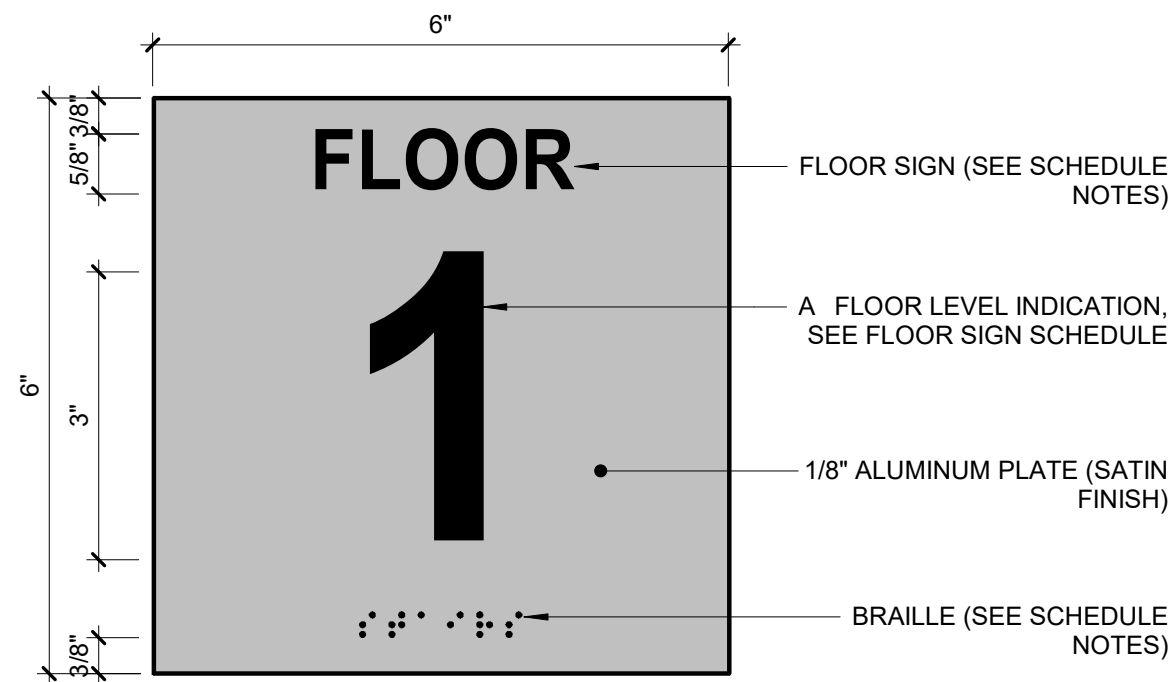
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|---------------------------------------------------------------------------------------------------------------------------------------|-----------|--------------------------------------------------------|---------------------------------------------|
| | | CONSULTANT INFORMATION | |
| Graf & Lewent Architects LLP | | | |
| 90-30 161st Street, Jamaica, NY 11432 P: 718-651-6200 F: 718-251-6989 | | | |
| REVISION NUMBER | DATE | MADE BY | APP'D BY |
| | 2/21/2024 | | |
| REVISION | | | |
| RECORD DRAWING CERTIFICATION | | | |
| <input type="checkbox"/> AS BUILT - CHANGES AS NOTED <input type="checkbox"/> AS BUILT - NO CHANGES | | | |
| CONTRACTOR | | CONTRACTOR | |
| NAME: _____ | | NAME: _____ | |
| SIGNATURE: _____ | | SIGNATURE: _____ | |
| TITLE: _____ DATE: _____ | | TITLE: _____ DATE: _____ | |
| WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION | | CONTRACT NUMBER 20-502 | SHEET NUMBER A-113 |
| DIVISION OF ENGINEERING | | SHEET NO. 28 | OF 133 |
| LOW RISE BUILDING RENOVATIONS AND HVAC IMPROVEMENTS - PHASE II 110 DR. MARTIN LUTHER KING, JR. BOULEVARD WHITE PLAINS, NEW YORK | | SCALE: _____ DATE: 01-19-2024 DPW FILE NO. _____ | As indicated Issue Date REV NO. _____ |
| FINISH PLAN - 2ND FLOOR - CENTRAL WING | | 52-11-A-1840-0 | |



NOTES:

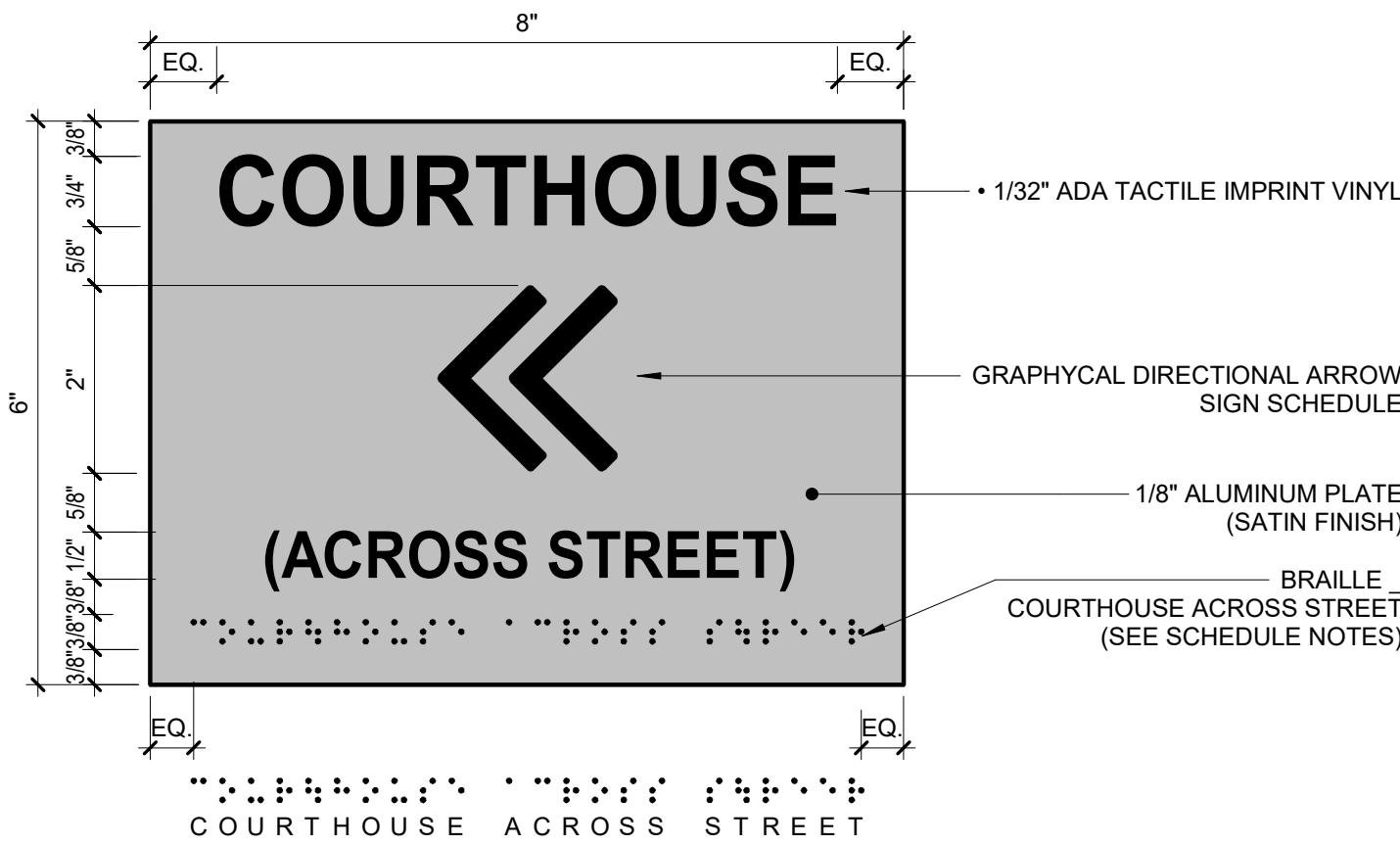
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| CONSULTANT SEAL  | CONSULTANT INFORMATION <h2 style="text-align: center; margin: 0;">Graf & Lewent</h2> <h3 style="text-align: center; margin: 0;">Architects LLP</h3> <p style="text-align: center; font-weight: bold; margin: 0;">90-30 161st Street, Jamaica, NY 11432 P: 718-651-6200 F: 718-251-6989</p> | | | |
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| REVISION NUMBER | DATE | MADE BY | APP'D BY | REVISION |
| RECORD DRAWING CERTIFICATION | | | | |
| <input type="checkbox"/> AS BUILT - CHANGES AS NOTED <input type="checkbox"/> AS BUILT - NO CHANGES | | | | |
| CONTRACTOR | | CONTRACTOR | | |
| NAME: _____ | | NAME: _____ | | |
| SIGNATURE: _____ | | SIGNATURE: _____ | | |
| TITLE: _____ DATE: _____ | | TITLE: _____ DATE: _____ | | |
| WESTCHESTER COUNTY, NEW YORK | | CONTRACT NUMBER | | SHEET NUMBER |
| DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION | | 20-502 | | A-114 |
| DIVISION OF ENGINEERING | | SHEET NO. 29 | | OF 133 |
| LOW RISE BUILDING RENOVATIONS AND HVAC IMPROVEMENTS - PHASE II 110 DR. MARTIN LUTHER KING, JR. BOULEVARD WHITE PLAINS, NEW YORK | | SCALE: As indicated DATE: 01-19-2024 DPW FILE NO. 52-11-A-1841-0 | | |
| FINISH PLAN - 2ND FLOOR - NORTH WING | | REV NO. | | |

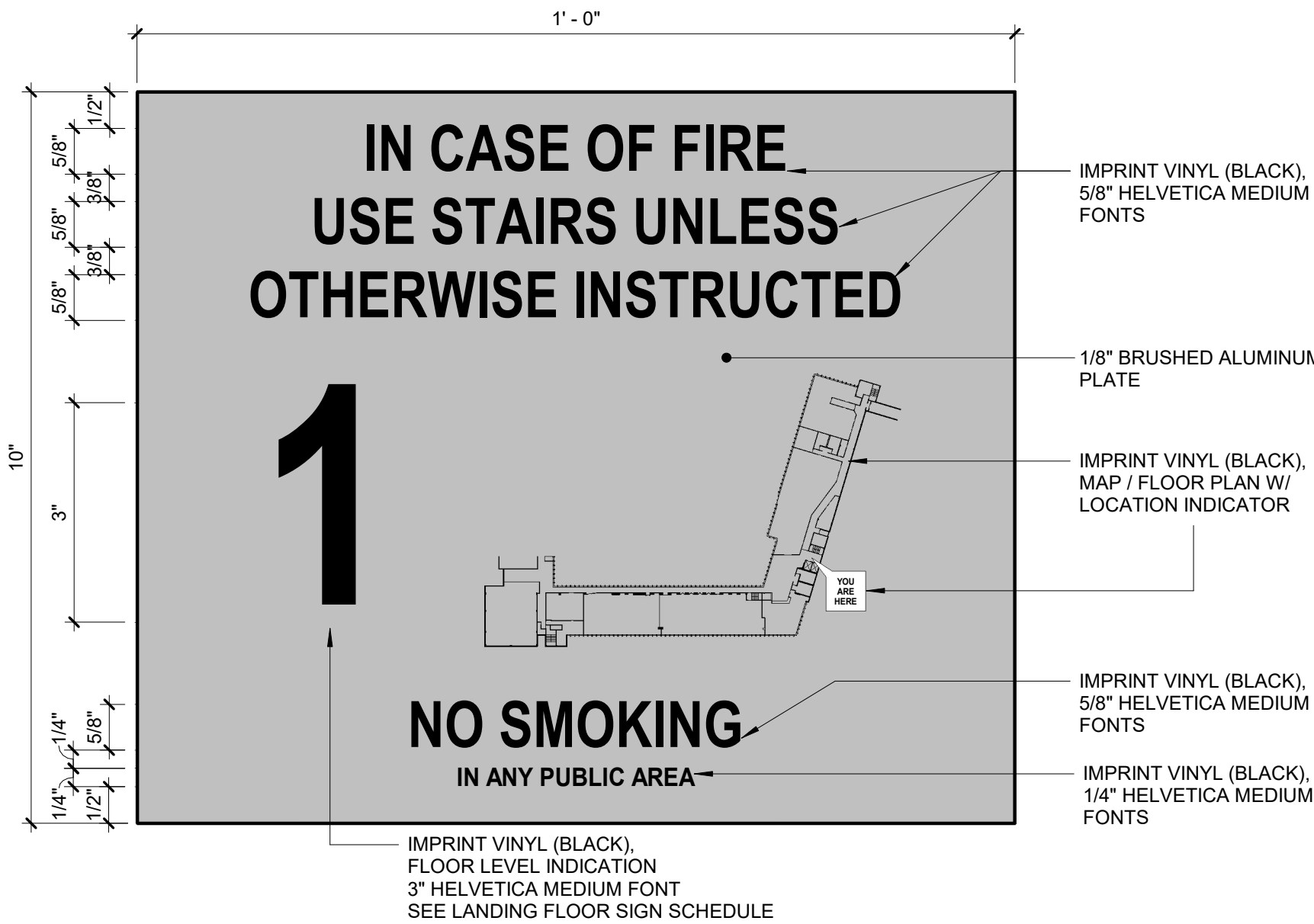


| FLOOR SIGN SCHEDULE | | |
|---------------------|--------------|-------------------------------------------|
| SYMBOL | FLOOR NUMBER | NOTES |
| FL- # | 1 | • 1/32" ADA TACTILE IMPRINT VINYL |
| FL- # | 2 | • HELVETICA MEDIUM TYPESTYLE |
| | | • COLOR: BLACK (TYPICAL) |
| | | • GRADE II BRAILLE |
| | | • SEE FINISH PLAN FOR LOCATION |
| | | • FLOOR NUMBER TO BE CONFIRMED WITH WCDPW |

1 FLOOR DESIGNATION SIGN- S1
6" = 1'-0"



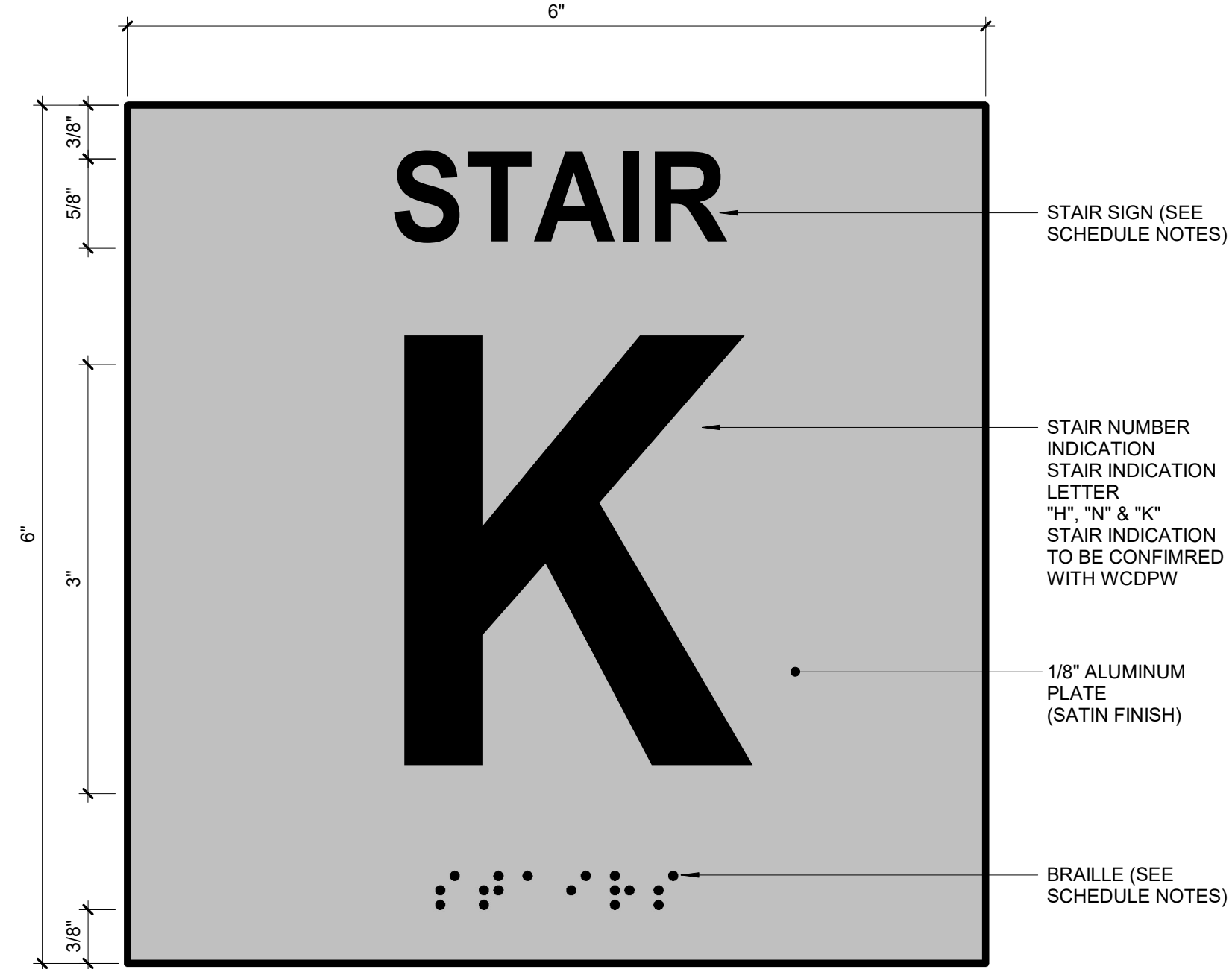
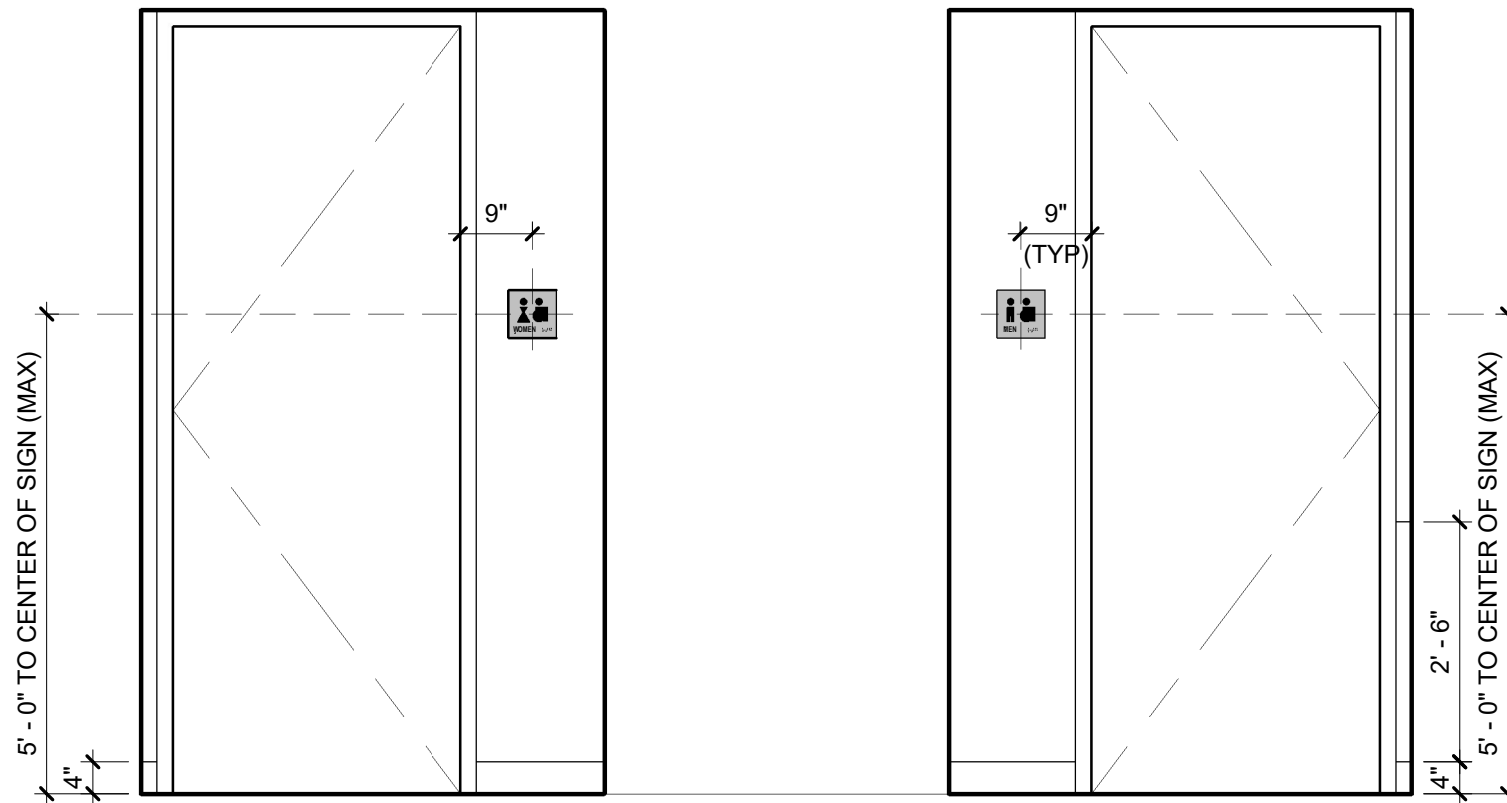
2 GRAPHICAL DIRECTIONAL ARROW - S2
6" = 1'-0"



| LANDING FLOOR SIGN SCHEDULE | |
|----------------------------------------------------|------------------|
| BLDG. | FLOOR INDICATION |
| LOW RISE 110 MLK | B3, B2, 1, 2 |
| BOARD OF ELECTION 143 GRAND | B, 1, 2, M |
| NOTE: • FLOOR NUMBER TO BE CONFIRMED WITH WCDPW | |

3 TYP. EMERGENCY EXIT SIGN - S3
6" = 1'-0"

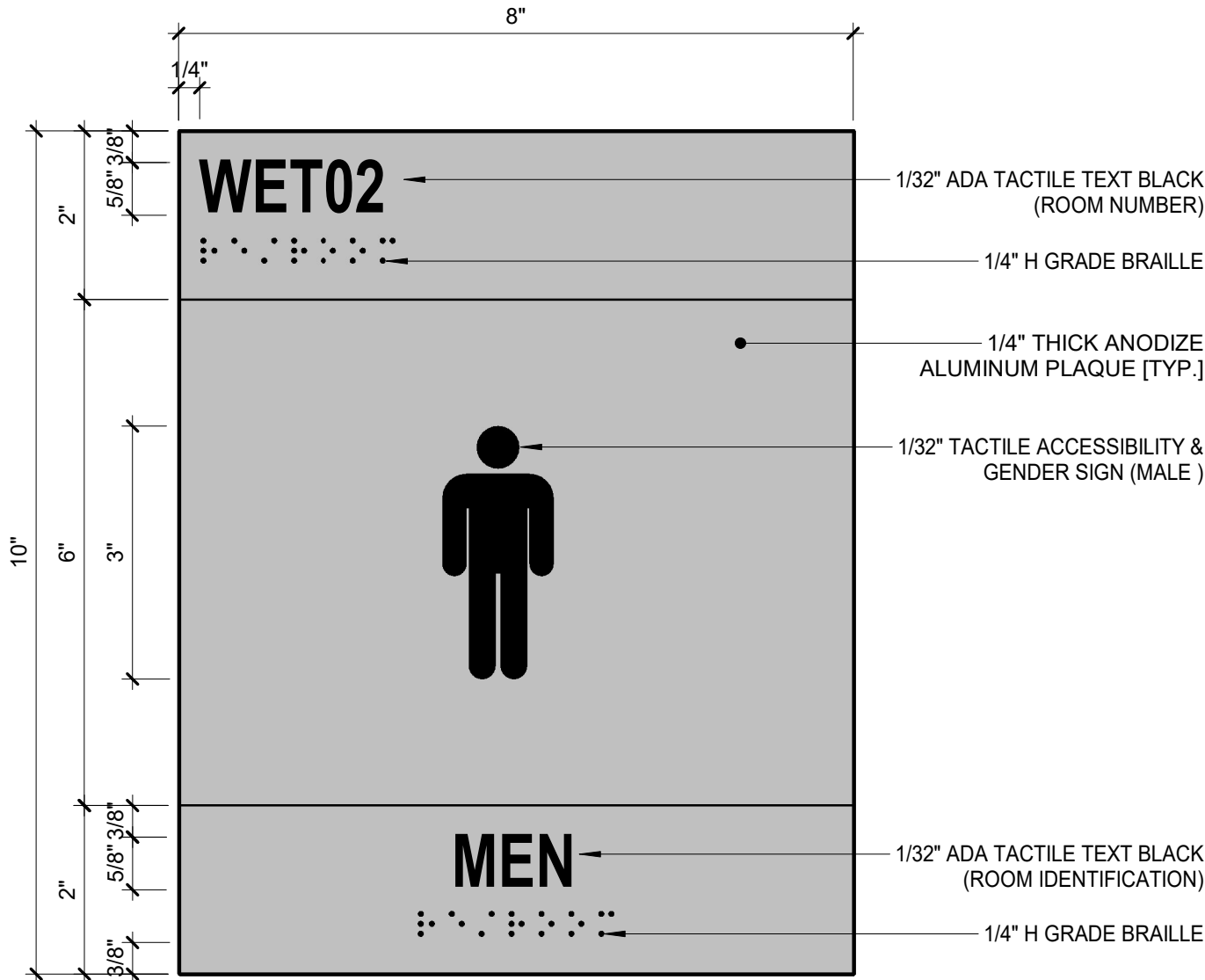
PROVIDE TO LOW RISE (110 MLK) & BOARD OF ELECTION (143 GRAND)
FOR ALL LANDING FLOORS INDICATED ON SCHEDULE
SIGN TO BE LOCATED ABOVE ELEVATOR CALL BUTTON
BUILDING MAP/FLOOR PLAN TO BE DETERMINED



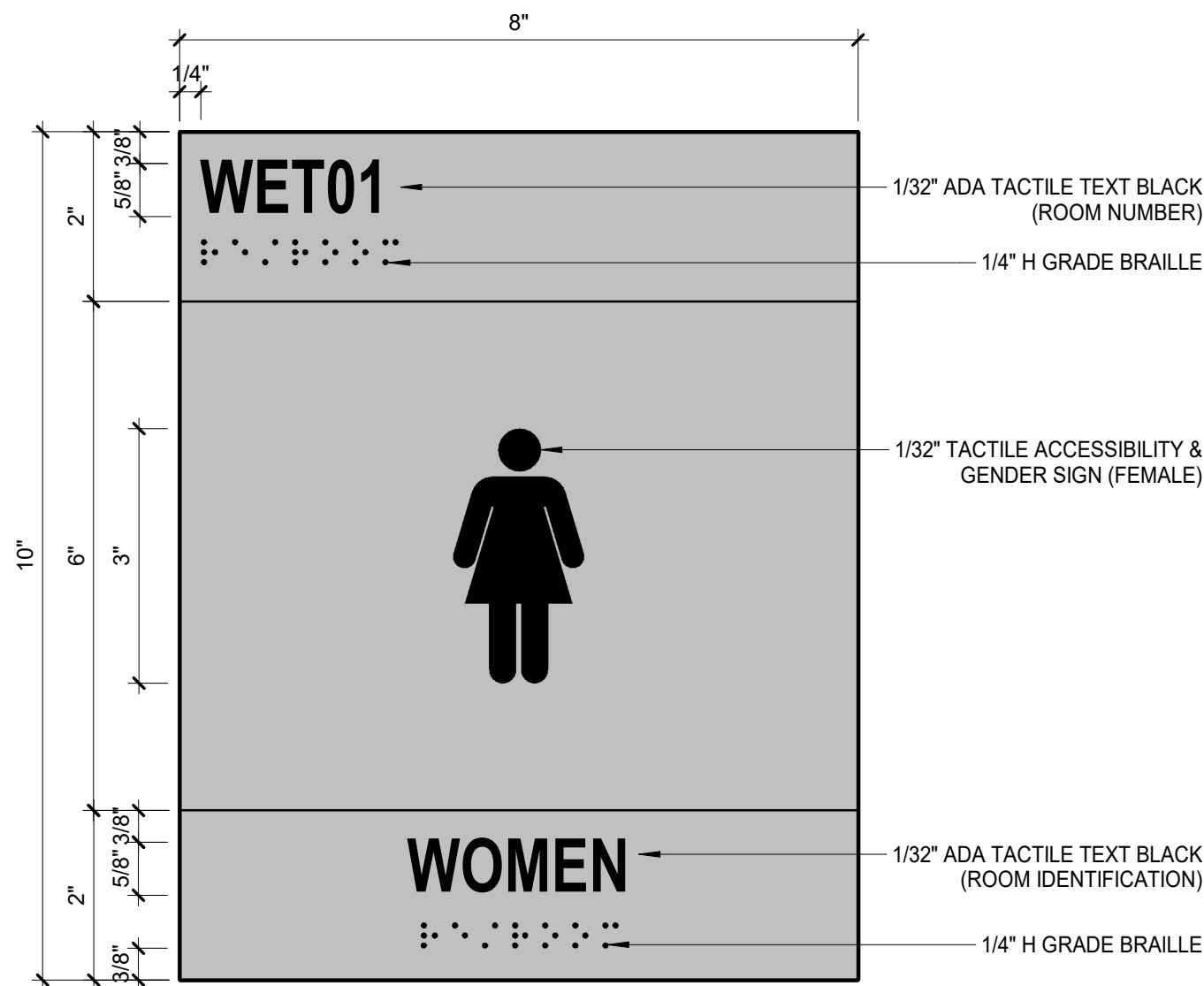
NOTES

- 1/32" ADA TACTILE IMPRINT VINYL
- HELVETICA MEDIUM TYPESTYLE
- COLOR: BLACK (TYPICAL)
- GRADE II BRAILLE

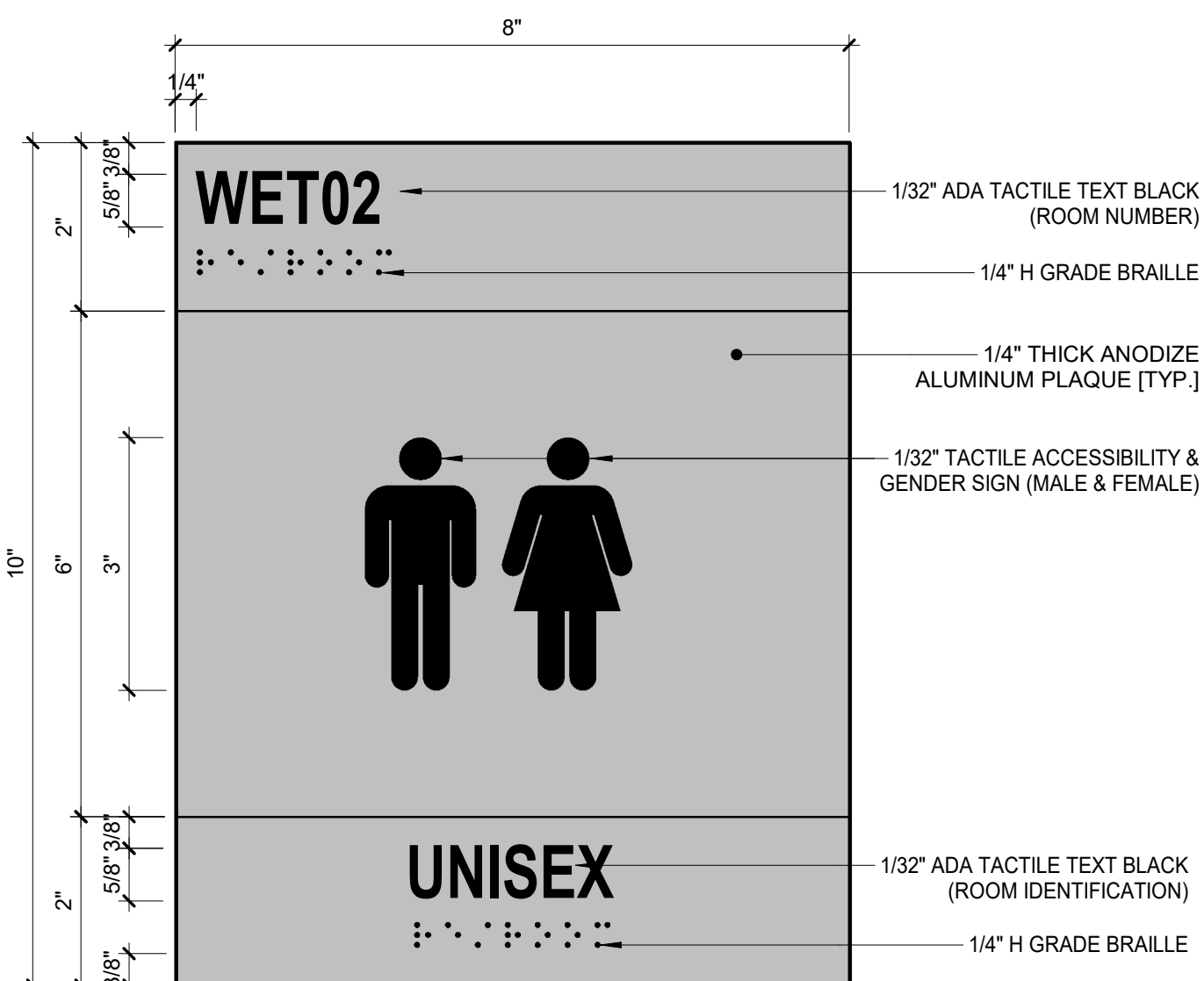
4 STAIR DESIGNATION SIGN - S4
12" = 1'-0"



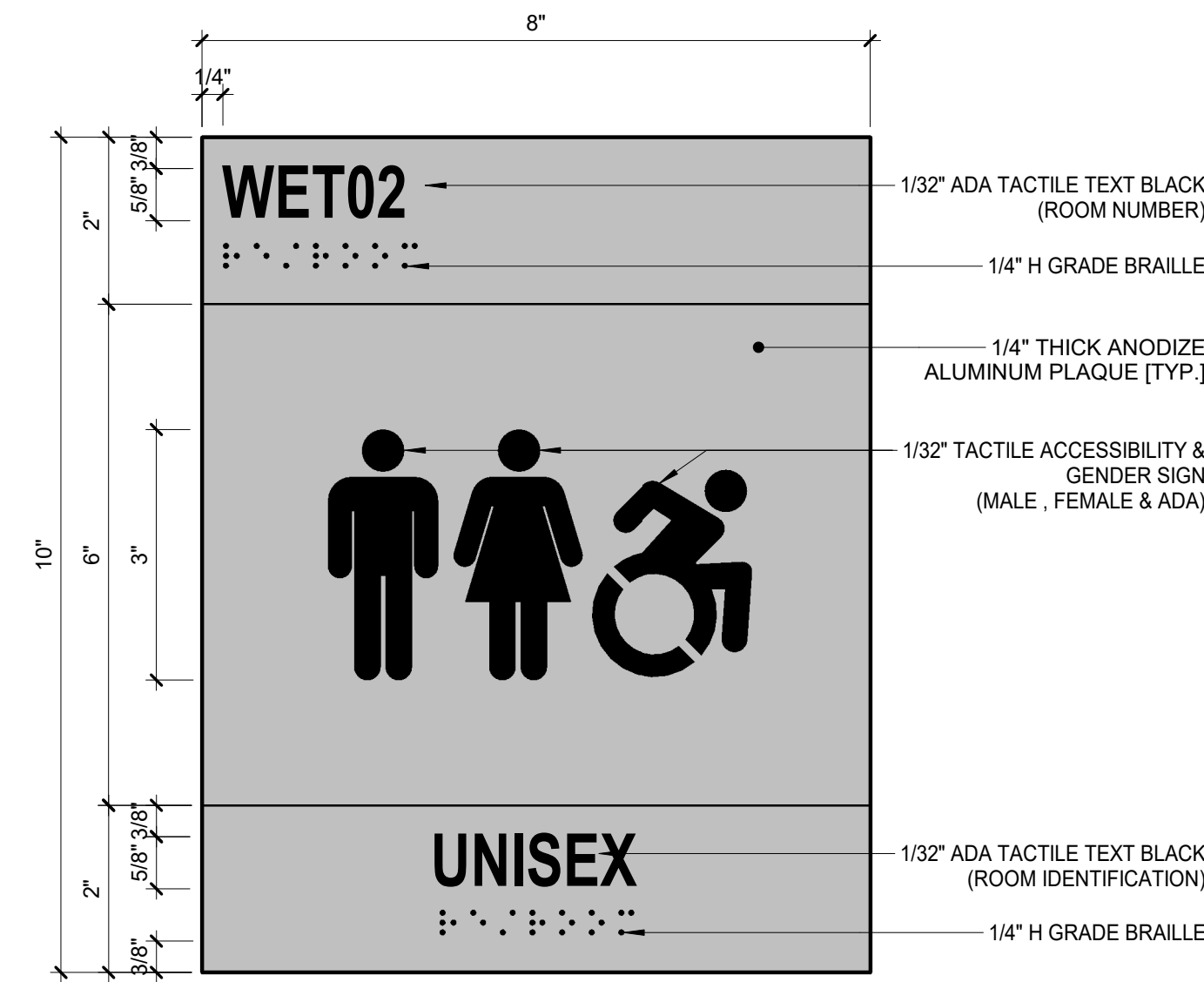
5 MEN'S RESTROOM SIGN - S5
6" = 1'-0"



6 WOMEN'S RESTROOM SIGN - S6
6" = 1'-0"

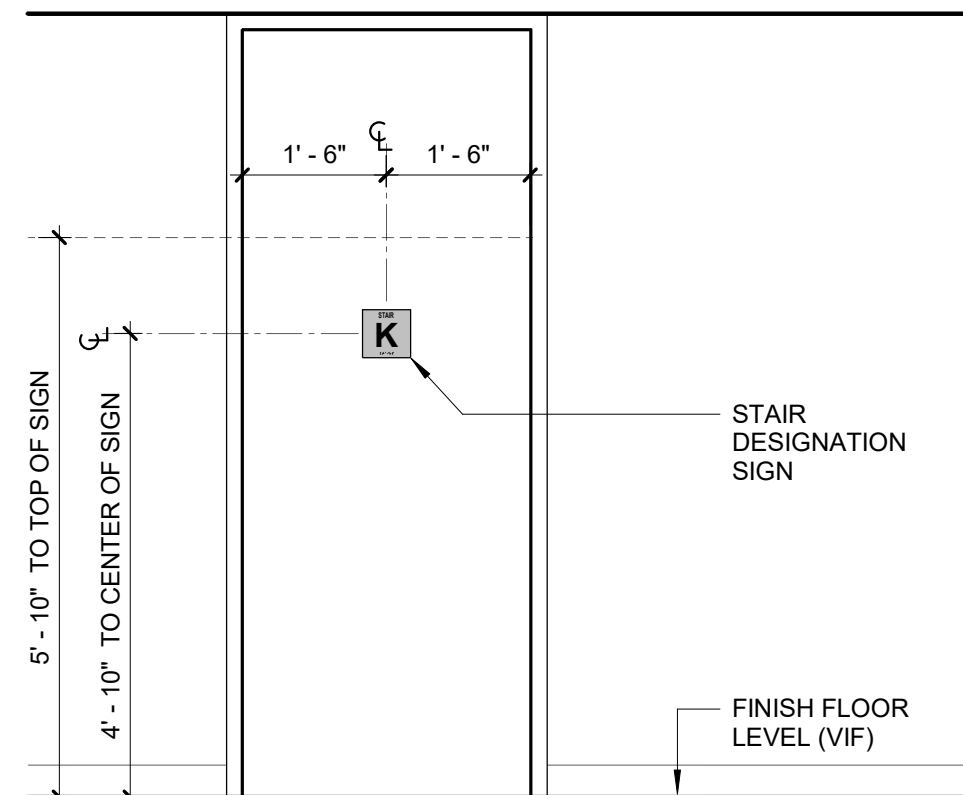


7 UNISEX RESTROOM SIGN - S7
6" = 1'-0"



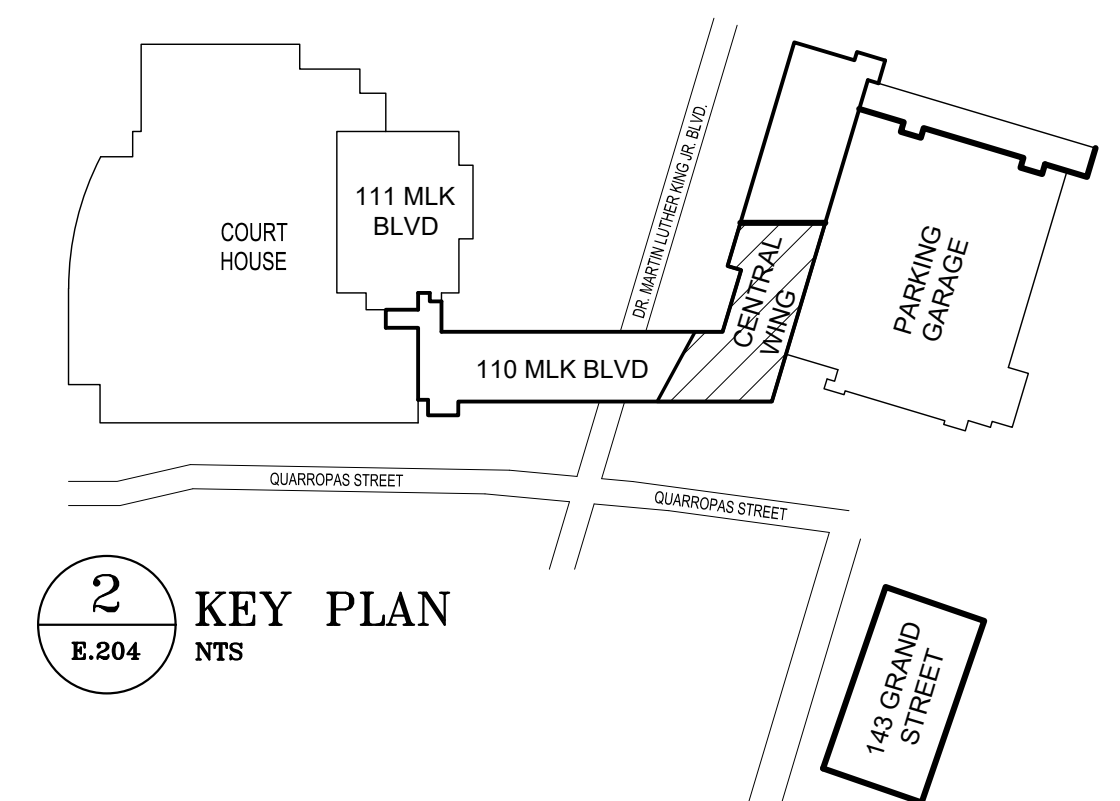
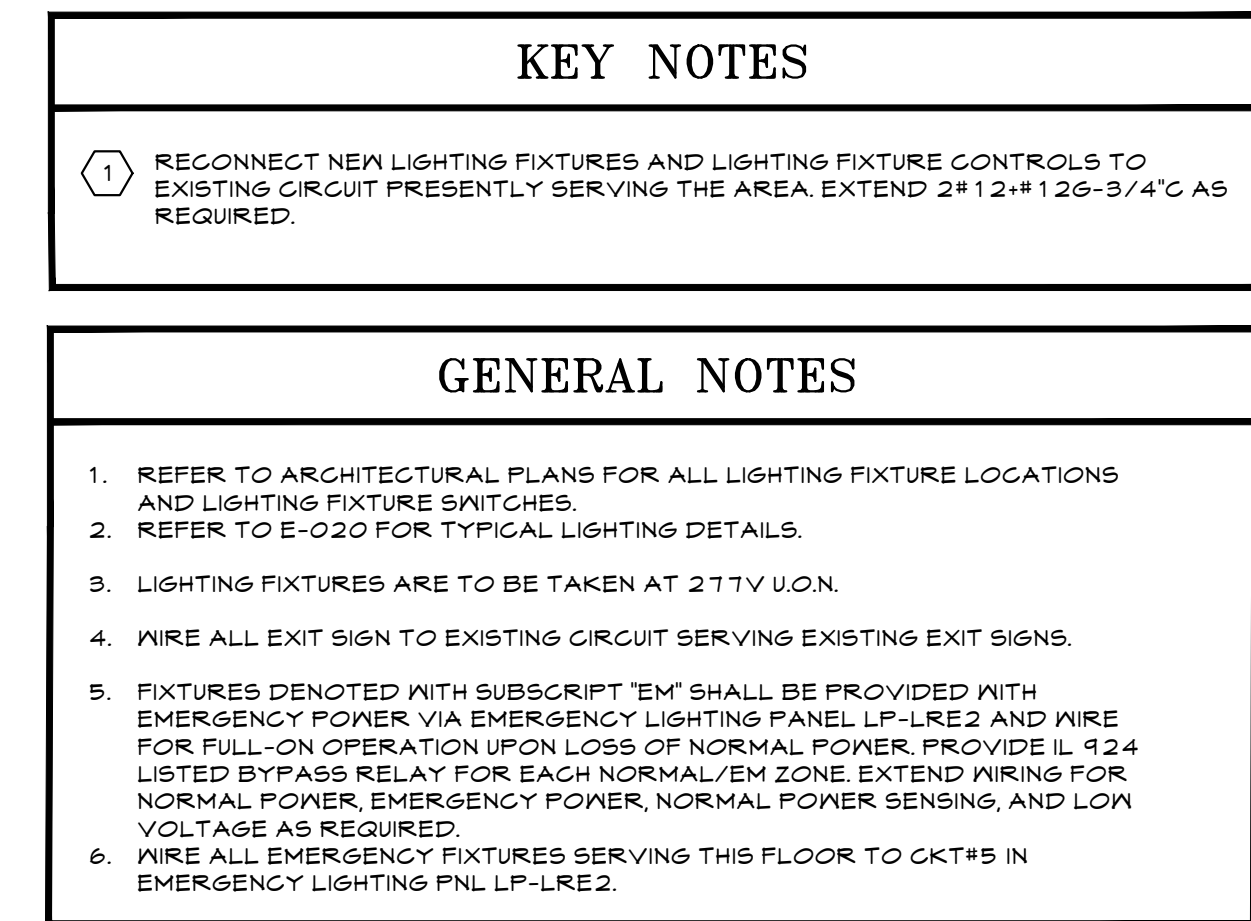
8 UNISEX ADA RESTROOM SIGN - S8
6" = 1'-0"

9 RESTROOM SIGN MOUNTING
1/2" = 1'-0"



10 STAIR SIGN MOUNTING
1/2" = 1'-0"

| | | | |
|----------------------------------------------------------------|------|--------------------------------------------------------------------------|----------|
| CONSULTANT SEAL | | CONSULTANT INFORMATION | |
| | | Graf & Lewent Architects LLP | |
| | | 90-30 161st Street, Jamaica, NY 11432 P: 718-651-6200 F: 718-251-6989 | |
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| REVISION NUMBER | DATE | MADE BY | APP'D BY |
| REVISION | | | |
| RECORD DRAWING CERTIFICATION | | | |
| <input type="checkbox"/> AS BUILT - CHANGES AS NOTED | | | |
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| CONTRACTOR | | CONTRACTOR | |
| NAME: _____ | | NAME: _____ | |
| SIGNATURE: _____ | | SIGNATURE: _____ | |
| TITLE: _____ | | TITLE: _____ | |
| DATE: _____ | | DATE: _____ | |
| WESTCHESTER COUNTY, NEW YORK | | CONTRACT NUMBER | |
| DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION | | 20-502 | |
| DIVISION OF ENGINEERING | | A-303 | |
| LOW RISE BUILDING RENOVATIONS AND HVAC IMPROVEMENTS - PHASE II | | SHEET NO. 52 OF 133 | |
| 110 DR. MARTIN LUTHER KING, JR. BOULEVARD | | SCALE: As indicated | |
| WHITE PLAINS, NEW YORK | | DATE: 01-19-2024 | |
| SIGN SCHEDULE & DETAILS | | Issue Date | |
| | | DPW FILE NO. | |
| | | 52-11-A-1864-0 | |
| | | REV NO. | |



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| CONSULTANT SEAL  | CONSULTANT INFORMATION <div style="text-align: center; margin-top: 20px;"> <h2 style="margin: 0;">Graf & Lewent</h2> <h3 style="margin: 0;">Architects LLP</h3> </div> <p style="text-align: center; margin-top: 10px;"> 90-30 161st Street, Jamaica, NY 11432 P: 718-651-6200 F: 718-251-6989 </p> |
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|--------------------|----------|---------|----------|-------------------------------------------|
| | 02/21/24 | | | |
| | 11/01/23 | | | RESPONSE OF WESTCHESTER COUNTY'S COMMENTS |
| | 08/04/23 | | | RESPONSE OF WESTCHESTER COUNTY'S COMMENTS |
| | 02/15/23 | | | RESPONSE OF WESTCHESTER COUNTY'S COMMENTS |
| | 08/31/22 | | | 100% SUBMISSION |
| | 11/19/21 | | | 90% CONSTRUCTION DOCUMENTS |
| REVISION NUMBER | DATE | MADE BY | APP'D BY | REVISION |

| | |
|--------------------------------------------------------------------------------------------------------|--|
| RECORD DRAWING CERTIFICATION | |
| <input type="checkbox"/> AS BUILT - CHANGES AS NOTED <input type="checkbox"/> AS BUILT - NO CHANGES | |

| | |
|-------------------------------------------------------------|-------------------------------------------------------------|
| CONTRACTOR | CONTRACTOR |
| NAME: _____ SIGNATURE: _____ TITLE: _____ DATE: _____ | NAME: _____ SIGNATURE: _____ TITLE: _____ DATE: _____ |

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| WESTCHESTER COUNTY, NEW YORK DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION DIVISION OF ENGINEERING LOW RISE BUILDING RENOVATIONS AND HVAC IMPROVEMENTS 110 DR. MARTIN LUTHER KING, JR. BOULEVARD WHITE PLAINS, NEW YORK 10601 ELECTRICAL LIGHTING PLAN - 2ND FLOOR CENTRAL WING | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 5px;"> CONTRACT NUMBER 20-502 </td> <td style="width: 50%; padding: 5px;"> SHEET NUMBER E-204 </td> </tr> <tr> <td colspan="2" style="padding: 5px;"> SHEET NO. 120 OF 133 </td> </tr> <tr> <td colspan="2" style="padding: 5px;"> SCALE: AS NOTED DATE: MAY 20, 2021 </td> </tr> <tr> <td style="padding: 5px;"> DPW FILE NO. </td> <td style="padding: 5px;"> 52-11-E-1932 </td> </tr> </table> | CONTRACT NUMBER 20-502 | SHEET NUMBER E-204 | SHEET NO. 120 OF 133 | | SCALE: AS NOTED DATE: MAY 20, 2021 | | DPW FILE NO. | 52-11-E-1932 |
| CONTRACT NUMBER 20-502 | SHEET NUMBER E-204 | | | | | | | | |
| SHEET NO. 120 OF 133 | | | | | | | | | |
| SCALE: AS NOTED DATE: MAY 20, 2021 | | | | | | | | | |
| DPW FILE NO. | 52-11-E-1932 | | | | | | | | |

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| | REV NO. 0 |
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THESE PLANS ARE APPROVED ONLY FOR THE WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

POLISE
CONSULTING ENGINEERS P.C.

133 WEST 19TH STREET
NEW YORK, NY 10011
TEL 212.645.1002
WWW.POLISECC.COM

Building Owner

Westchester County
White Plains, NY 10601

Building Name

White Plains Courthouse - Low Rise Bldg
110 Dr. Martin Luther King Jr. Blvd

White Plains, NY 10601

Approved Roofing Contractor

NUA Construction Corp.
38 White Deer Lane

West Harrison, NY 10604

Guarantee Number: GNM101075020

Date of Completion: 11/15/2009

Terms & Maximum Monetary Obligation to Maintain a Watertight Roofing System.

Years 25

\$
No Dollar Limit

Coverage

The components of the Roofing System covered by this Guarantee are:

Total Squares: 430
SBS

Membrane Spec. and Type : 3CID-CA
Insulation Type : NRG3 ,None ,DuraBoard
Accessories (Type and Quantity) :

These Johns Manville Guaranteed components are referred to below as the "Roofing System" and ALL OTHER COMPONENTS OF THE OWNER'S BUILDING ARE EXCLUDED FROM THE TERMS OF THIS GUARANTEE.

Johns Manville* guarantees to the original Building Owner that during the Term commencing with the Date of Completion, JM will pay for the materials and labor required to promptly repair the Roofing System to return it to a watertight condition if leaks occur due to: ordinary wear and tear, or deficiencies in any or all of the component materials of the Roofing System, or workmanship deficiencies in the application of the Roofing System.

WHAT TO DO IF YOUR ROOF LEAKS

If you should have a roof leak please refer to directions on the reverse side.

LIMITATIONS AND EXCLUSIONS

This Guarantee is not a maintenance agreement or an insurance policy; therefore, routine inspections and maintenance are the Building Owner's responsibility (see reverse side of this document). Failure to follow the Maintenance Program on the reverse side of this document will void the Guarantee. This Guarantee does not obligate JM to repair the Roofing System, or any part of the Roofing System, for leaks resulting from (a) natural disasters including but not limited to the direct or indirect effect of lightning, flood, hail storm, earthquake, tornados, hurricanes or other extraordinary natural occurrences and/or wind speeds in excess of 72 miles per hour, (b) misuse, abuse or negligence, (c) installation or material failures other than those involving the component materials expressly defined above as the Roofing System or exposure of the Roofing System components to damaging substances such as oil or solvents or to damaging conditions such as vermin, (d) changes to the Roofing System or the Building's usage that are not pre-approved in writing by JM, or (e) failure of the Building substrate (mechanical, structural, or otherwise and whether resulting from Building movement, design defects or other causes) or improper drainage. JM is not responsible for leaks and damage resulting from water entry from any portion of the Building structure not a part of the Roofing System.

This Guarantee becomes effective when (1) it is delivered to Owner; and (2) all bills for installation, materials, and services have been paid in full to the Approved Roofing contractor and to JM. Until that time, this Guarantee is not in force and has no effect.

The Parties agree that any controversy or claims relating to this Guarantee shall be first submitted to mediation under the Construction Industry Arbitration and Mediation Rules of the American Arbitration Association (Regular Track Procedures) or to such other mediation arrangement as the parties mutually agree. No court or other tribunal shall have jurisdiction until the mediation is completed.

TO THE FULLEST EXTENT PERMITTED BY LAW, JM DISCLAIMS ANY IMPLIED WARRANTY, INCLUDING THE WARRANTY OF MERCHANTABILITY AND THE WARRANTY OF FITNESS FOR A PARTICULAR PURPOSE, AND LIMITS SUCH WARRANTY TO THE DURATION AND TO THE EXTENT OF THE EXPRESS WARRANTY CONTAINED IN THIS GUARANTEE.

THE EXCLUSIVE RESPONSIBILITY AND LIABILITY OF JM UNDER THIS GUARANTEE IS TO MAKE REPAIRS NECESSARY TO MAINTAIN THE ROOFING SYSTEM IN A WATERTIGHT CONDITION IN ACCORDANCE WITH THE OBLIGATIONS OF JM UNDER THIS GUARANTEE.

JM AND ITS AFFILIATES WILL NOT BE LIABLE FOR ANY INCIDENTAL OR CONSEQUENTIAL DAMAGES TO THE BUILDING STRUCTURE (UPON WHICH THE ROOFING SYSTEM IS AFFIXED) OR IT'S CONTENTS, LOSS OF TIME OR PROFITS OR ANY INCONVENIENCE. JM AND ITS AFFILIATES SHALL NOT BE LIABLE FOR ANY DAMAGES WHICH ARE BASED UPON NEGLIGENCE, BREACH OF WARRANTY, STRICT LIABILITY OR ANY OTHER THEORY OF LIABILITY OTHER THAN THE EXCLUSIVE LIABILITY SET FORTH IN THIS GUARANTEE.


No one is authorized to change, alter, or modify the provision of this Guarantee other than the Manager, Guarantee Services Unit or authorized delegate. JM's delay or failure in enforcing the terms and conditions contained in this Guarantee shall not operate as a waiver of such terms and conditions. This Guarantee is solely for the benefit of the Building Owner identified above and Building Owner's rights hereunder are not assignable. Upon sale or other transfer of the Building, Building Owner may request transfer of this Guarantee to the new owner, and JM may transfer this Guarantee, in its sole discretion only after receiving satisfactory information and payment of a transfer fee, which must be paid no later than 30 days after the date of Building ownership transfer.

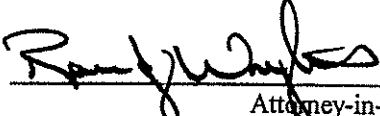
In the event JM pays for repairs which are required due to the acts or omissions of others, JM shall be subrogated to all rights of recovery of the Building Owner to the extent of the amount of the repairs.

Because JM does not practice Engineering or Architecture, neither the issuance of this Guarantee nor any review of the Building's construction or inspection of roof plans (or the Building's roof deck) by JM representatives shall constitute any warranty by JM of such plans, specifications, and construction or in any way constitute an extension of the terms and conditions of this Guarantee. Any roof inspections are solely for the benefit of JM.

JM does not supervise nor is it responsible for a roofing contractor's work except to the extent stated herein, and roofing contractors are not agents of JM.

*JOHNS MANVILLE ("JM") is a Delaware corporation with its principal mailing address at P.O. Box 5108, Denver, Colorado 80217-5108.


By : Fred Stephan
Title : Vice President & General Manager
Roofing Systems Group


Attorney-in-Fact