

**BUTLER
ROWLAND
MAYS**

**ARCHITECTS,
LLP**

Addendum No. 1

PROJECT:	Addition & Interior Renovations for the Marlboro Free Library
ARCHITECT PROJECT N°:	23•46•06
DATE:	6 June 2025

NOTE: THIS ADDENDUM CONTAINS IMPORTANT INFORMATION REGARDING CHANGES OR CLARIFICATIONS TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. SUCH MODIFICATIONS ARE TO BE INCORPORATED INTO THE CONSTRUCTION DOCUMENTS AND SHALL APPLY TO THE WORK WITH THE SAME MEANING AND FORCE AS IF THEY HAD BEEN INCLUDED IN THE ORIGINAL DOCUMENT. WHEREVER THIS ADDENDUM MODIFIES A PORTION OF A PARAGRAPH OF THE PROJECT MANUAL OR A PORTION OF ANY DRAWING, THE REMAINDER OF THE PARAGRAPH OR DRAWING SHALL REMAIN IN FORCE.

RECEIPT OF THIS ADDENDUM SHALL BE ACKNOWLEDGED ON THE BID FORM. ATTACH THIS ADDENDUM TO THE INSIDE OF THE FRONT COVER OF THE PROJECT MANUAL.

CHANGES TO THE SPECIFICATIONS:

1. Section 00 11 16 Invitation to Bid

Revise first sentence to read:

"Contractors are invited to submit a prime contract offer to the Owner located at the above address before 1:00PM on June 18, 2025 for the following project: ..."

Revise second sentence to read:

"Bids will be opened and publicly read aloud at 1:00PM on June 18, 2025 at the Marlboro Free Library."

2. Section 09 51 00 Acoustical Ceilings

Eliminate Paragraph A.2. from Section 2.2 Components.

3. Section 31 20 01 Building Structure Earthwork

Add attached specification section.

CHANGES TO THE DRAWINGS:

4. C101 Site Plan

Revise Note at new east sidewalk "Proposed Split Rail Fence" to read: "Proposed Retaining Wall."

Add Note between new east sidewalk and line for new Proposed Retaining Wall: "Proposed Landscaped Area."

5. C102 Grading & Drainage Plan

Add attached sketch SK2-C102-1 for proposed retaining wall elevations.

6. C103 Landscape Plan

Add attached C103 Drawing.

7. C301 Details

Add attached sketch SK2-C301-1 for Typical Keystone Retaining Wall detail.

8. AR100 Existing Conditions & Removals Plan

Add to Note at new door opening #22 location: "Remove existing masonry wall construction for...."

9. A100 Overall Floor Plan

Add Door #27 with RHR swing to Room #117.

10. A100 Overall Floor Plan

Add to Note "Surface Materials Sanfoot..." at South Wall of Room #103: "...Species Cherry FC."

11. A101 Reflected Ceiling Plan – Reflected Ceiling Plan Legend

Add to Note "GWB soffit w/ Surface Materials Sanfoot..." "...Species Cherry FC; installed on all soffit faces."

12. A301 Window & Door Details – Door & Frame Types

Revise Elevations "3" and "4" to include 2 inch frame at sill.

13. A301 Window & Door Details – Door Schedule

Revise Door #4 Frame Type to be "D."

Revise Door #6R Frame Type to be "1."

14. P101 Sanitary, Vent and Storm Installation Plan

Revise Note "Extend Below Grade Storm Piping..." at NW corner of addition to read: "...by GC Contract."

15. ER101 Power and Data Removals Plan

Add attached SK2-ER101-1 for Note Tag 6 added to Room #111; New General Note #3, and revisions to Keyed Note 6.

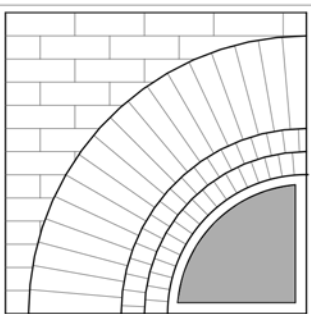
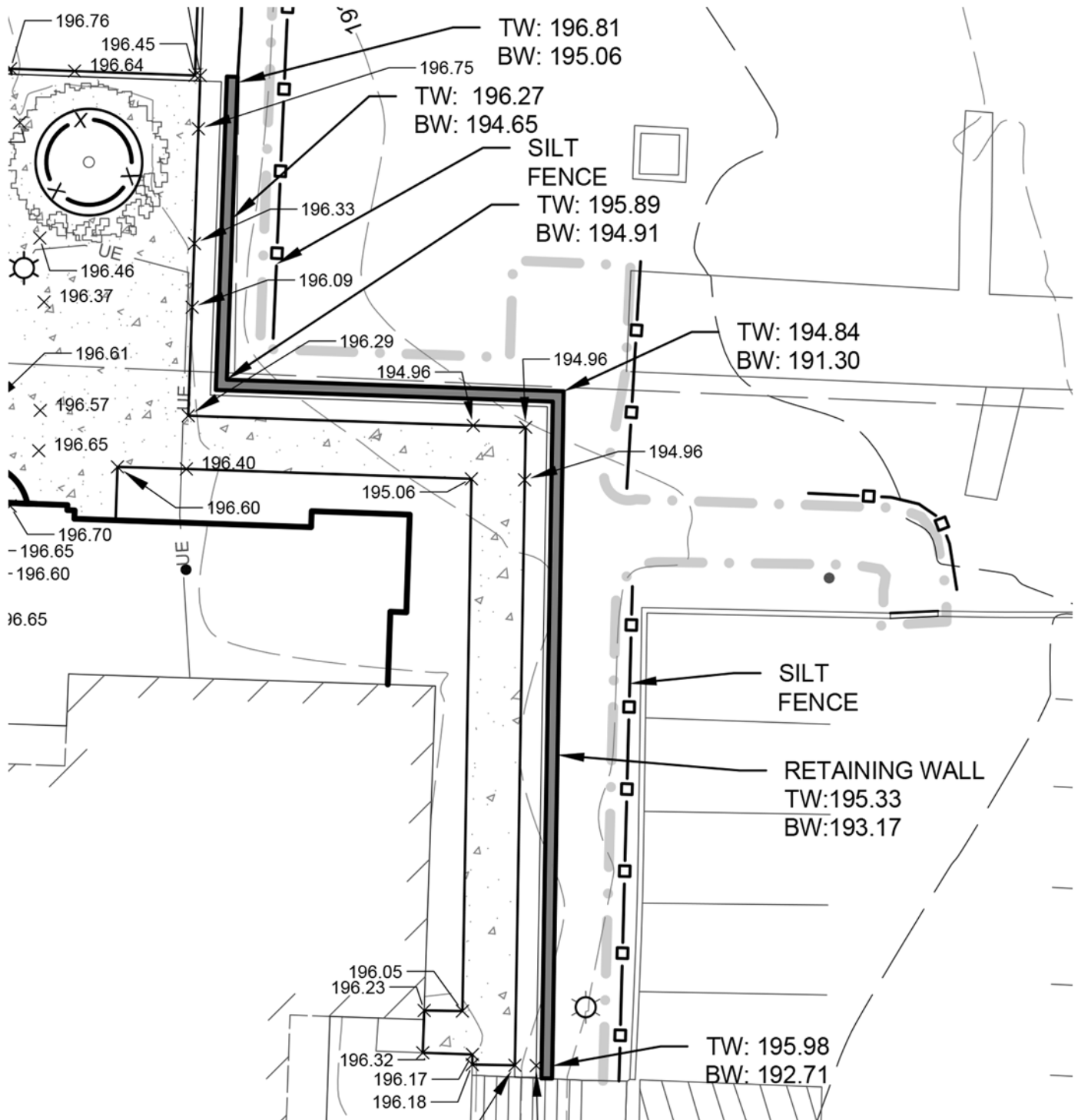
CLARIFICATIONS:

16. Phasing of Work:

Phase 1 Construction of the Addition and associated renovations to the Meeting Room shall be completed while the Library staff and patrons have access to the collection areas, circulation desk, staff work areas, restrooms and east vestibule. The east vestibule will be the primary entry/exit for patrons and staff. When Phase 1 work is completed, the Library will relocate to the newly completed Meeting Room and utilize the new Lobby as the primary entry / exit for the duration of the Phase 2 work. The Library will be responsible for removing all collections, stacks, equipment, furniture, etc. from each of the two phased work areas, prior to work commencement.

17. See attached Drawing and Sketches.

END OF ADDENDUM #2



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1251 Rte 9W
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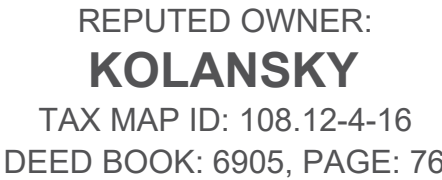
Date 6/6/2025

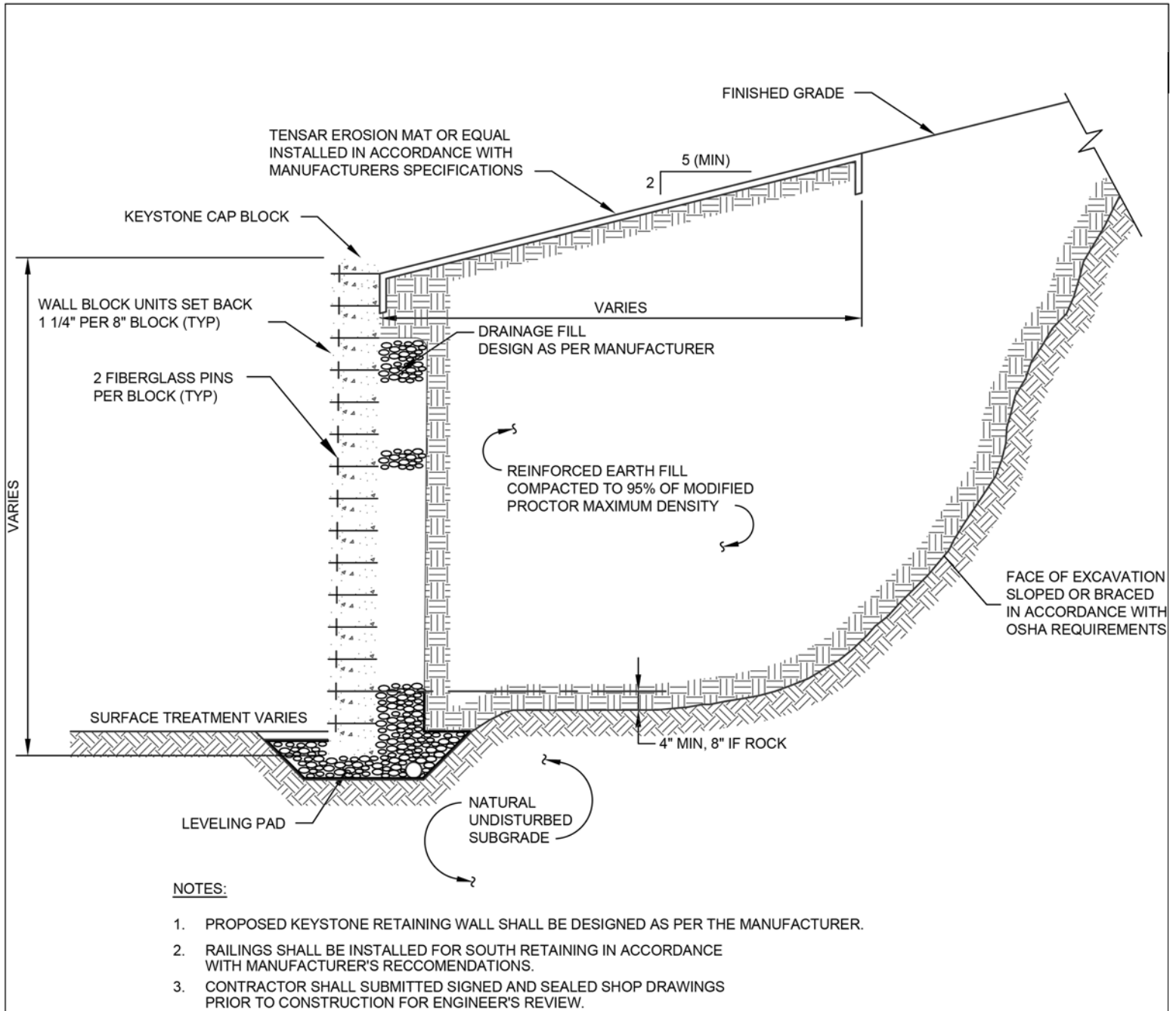
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Addendum #: 2

SK2-C102-1

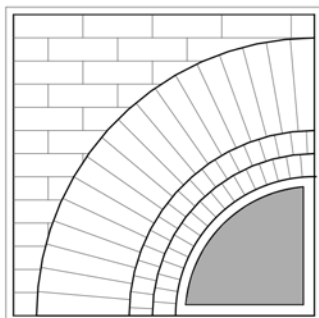
Scale





TYPICAL KEYSTONE RETAINING WALL

SCALE: NTS



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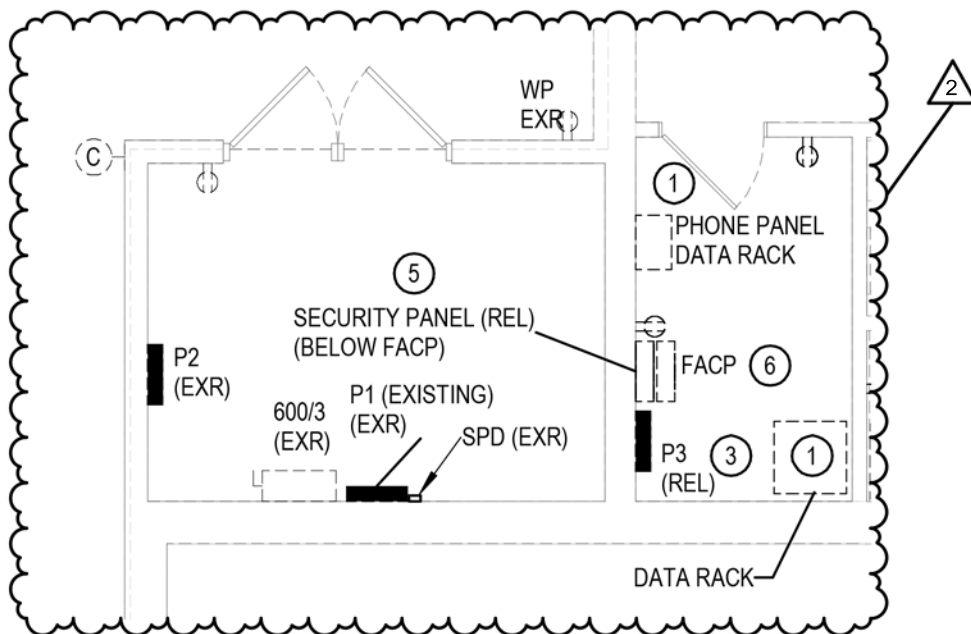
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Addendum #: 2

SK2-C301-1

Scale



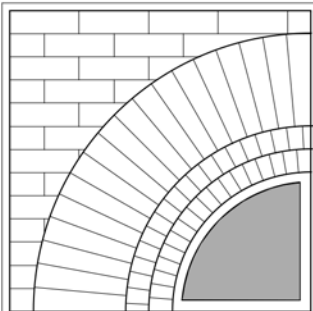
1 POWER AND DATA REMOVALS PARTIAL PLAN 3/16" = 1'-0"

GENERAL NOTES:

3. MANUFACTURERS OF EXISTING PANELS AND CIRCUIT BREAKERS:
 - A. P1: SQUARE D PANEL. SQUARE D CIRCUIT BREAKERS.
 - B. P2: GOULD INC. PANEL. SIEMENS AND ITE CIRCUIT BREAKERS.
 - C. P3: SIEMENS PANEL. SIEMENS CIRCUIT BREAKERS.
 - D. P4: SQUARE D PANEL. SQUARE D CIRCUIT BREAKERS.
 - E. P5: SQUARE D PANEL. SQUARE D CIRCUIT BREAKERS.

KEYED NOTES:

- 1 PRESERVE AND RELOCATE PHONE PANEL, SECURITY PANEL, DATA RACK, AND ASSOCIATED COMPONENTS.
- 3 RELOCATE PANELBOARD AND EXISTING CIRCUITS TO REMAIN FROM HERE TO NEW LOCATION OF PANEL.
- 5 RELOCATE SECURITY SYSTEM AND EXTEND EXISTING WIRING TO NEW LOCATION. COORDINATE WITH OWNER'S VENDOR.
- 6 PRESERVE AND RELOCATE PHONE PANEL, SECURITY PANEL, PANEL P3, AND ASSOCIATED COMPONENTS.



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Addendum #: 2

Scale 3/16" = 1'-0"