

BUTLER ROWLAND MAYS

ARCHITECTS,

Addendum No. 1

PROJECT: Addition & Interior Renovations for the

Marlboro Free Library

ARCHITECT

PROJECT Nº: 23 • 46 • 06

DATE: 6 June 2025

NOTE: THIS ADDENDUM CONTAINS IMPORTANT INFORMATION REGARDING CHANGES OR CLARIFICATIONS TO THE REQUIRMENTS OF THE CONTRACT DOCUMENTS. SUCH MODIFICATIONS ARE TO BE INCORPORATED INTO THE CONSTRUCTION DOCUMENTS AND SHALL APPLY TO THE WORK WITH THE SAME MEANING AND FORCE AS IF THEY HAD BEEN INCLUDED IN THE ORIGINAL DOCUMENT. WHEREVER THIS ADDENDUM MODIFIES A PORTION OF A PARAGRAPH OF THE PROJECT MANUAL OR A PORTION OF ANY DRAWING, THE REMAINDER OF THE PARAGRAPH OR DRAWING SHALL REMAIN IN FORCE.

RECEIPT OF THIS ADDENDUM SHALL BE ACKNOWLEDGED ON THE BID FORM. ATTACH THIS ADDENDUM TO THE INSIDE OF THE FRONT COVER OF THE PROJECT MANUAL.

CHANGES TO THE SPECIFICATIONS:

1. Section 00 11 16 Invitation to Bid

Revise first sentence to read:

"Contractors are invited to submit a prime contract offer to the Owner located at the above address before 1:00PM on June 18, 2025 for the following project: ..."

Revise second sentence to read:

"Bids will be opened and publicly read aloud at 1:00PM on June 18, 2025 at the Marlboro Free Library."

2. Section 09 51 00 Acoustical Ceilings

Eliminate Paragraph A.2.from Section 2.2 Components.

3. Section 31 20 01 Building Structure Earthwork

Add attached specification section.

CHANGES TO THE DRAWINGS:

4. C101 Site Plan

Revise Note at new east sidewalk "Proposed Split Rail Fence" to read: "Proposed Retaining Wall."

Add Note between new east sidewalk and line for new Proposed Retaining Wall: "Proposed Landscaped Area."

5. C102 Grading & Drainage Plan

Add attached sketch SK2-C102-1 for proposed retaining wall elevations.

6. C103 Landscape Plan

Add attached C103 Drawing.

7. C301 Details

Add attached sketch SK2-C301-1 for Typical Keystone Retaining Wall detail.

8. AR100 Existing Conditions & Removals Plan

Add to Note at new door opening #22 location: "Remove existing masonry wall construction for...."

9. A100 Overall Floor Plan

Add Door #27 with RHR swing to Room #117.

PH.: 518.885.1255

10. A100 Overall Floor Plan

Add to Note "Surface Materials Sanfoot..." at South Wall of Room #103: "...Species Cherry FC."

11. A101 Reflected Ceiling Plan - Reflected Ceiling Plan Legend

Add to Note "GWB soffit w/ Surface Materials Sanfoot...." "...Species Cherry FC; installed on all soffit faces."

12. A301 Window & Door Details - Door & Frame Types

Revise Elevations "3" and "4" to include 2 inch frame at sill.

13. A301 Window & Door Details - Door Schedule

Revise Door #4 Frame Type to be "D." Revise Door #6R Frame Type to be "1."

14. P101 Sanitary, Vent and Storm Installation Plan

Revise Note "Extend Below Grade Storm Piping..." at NW corner of addition to read: "...by GC Contract."

15. ER101 Power and Data Removals Plan

Add attached SK2-ER101-1 for Note Tag 6 added to Room #111; New General Note #3, and revisions to Keyed Note 6.

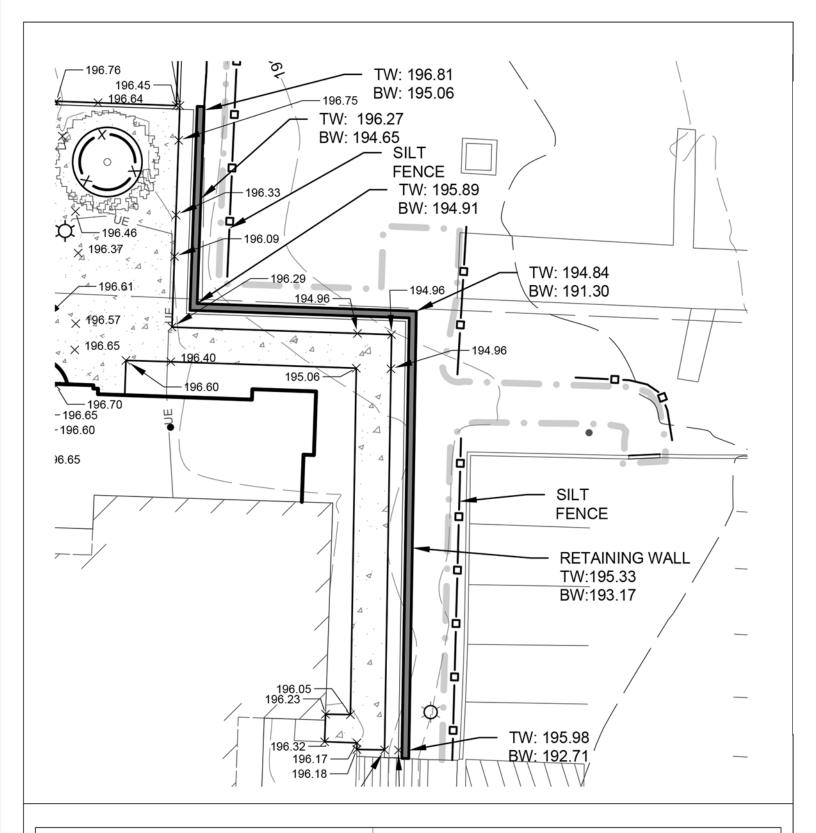
CLARFICATIONS:

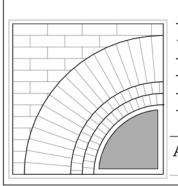
16. Phasing of Work:

Phase 1 Construction of the Addition and associated renovations to the Meeting Room shall be completed while the Library staff and patrons have access to the collection areas, circulation desk, staff work areas, restrooms and east vestibule. The east vestibule will be the primary entry/exit for patrons and staff. When Phase 1 work is completed, the Library will relocate to the newly completed Meeting Room and utilize the new Lobby as the primary entry / exit for the duration of the Phase 2 work. The Library will be responsible for removing all collections, stacks, equipment, furniture, etc. from each of the two phased work areas, prior to work commencement.

17. See attached Drawing and Sketches.

END OF ADDENDUM #2





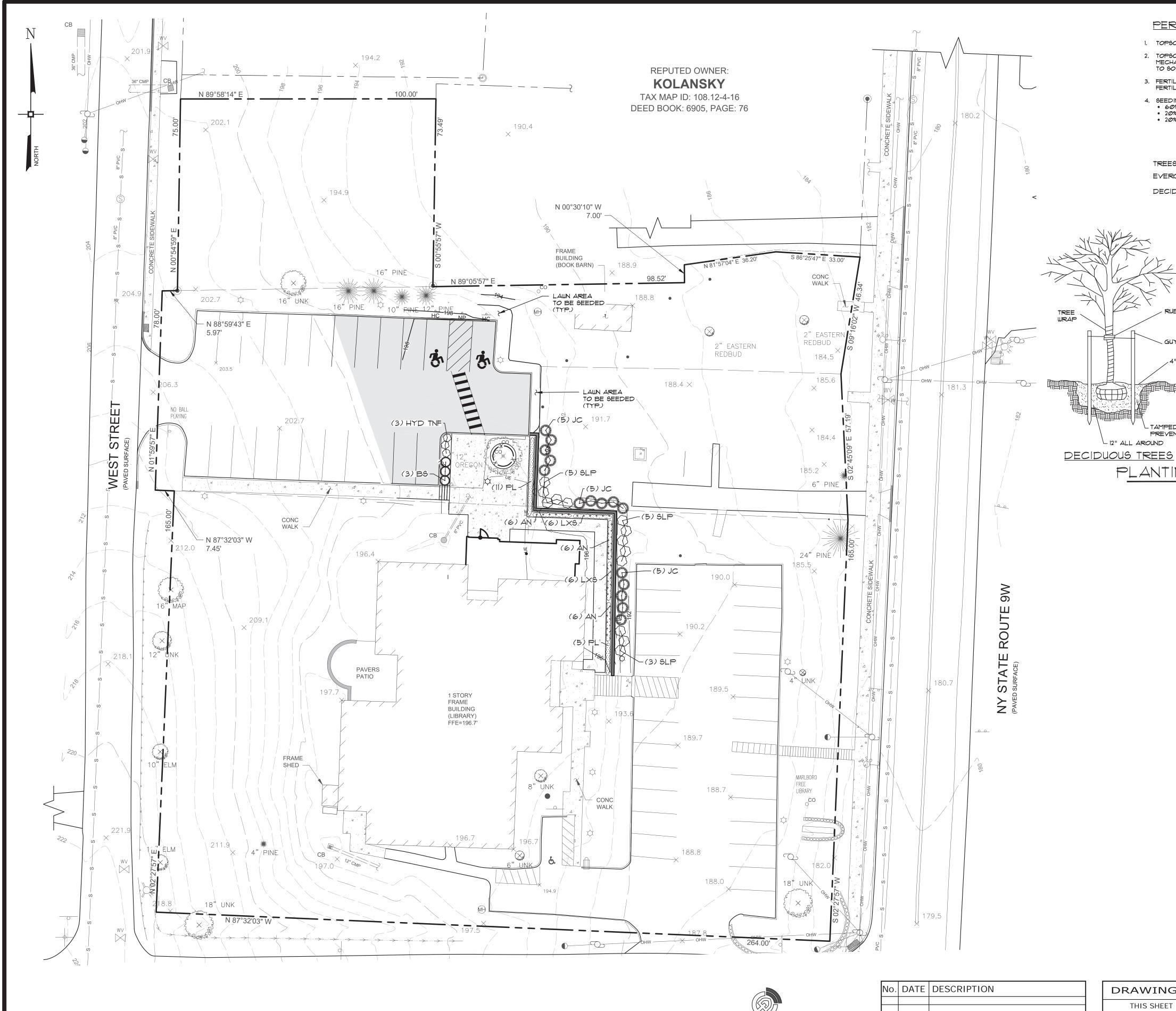
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Addition & Interior Renovations for the MARLBORO FREE LIBRARY

1251 Rte 9W Marlboro, NY 12542

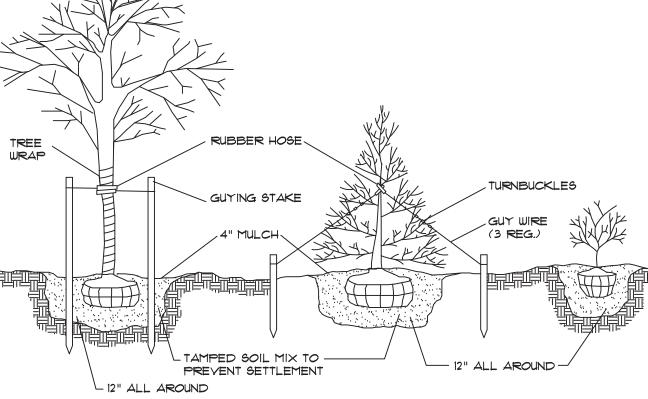
Project number	23-46-06		
Date	6/6/2025	SK2-C102-1	
Drawn by	MB		
Addendum #:	2	Scale	



PERMANENT SEEDING SCHEDULE

- 1. TOPSOIL SHALL BE SPREAD TO A UNIFORM MINIMUM THICKNESS OF 4".
- 2. TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENED BY MECHANICAL OR HAND RAKE TO ENSURE SEED ACCEPTANCE AND SEED
- TO SOIL CONTACT. 3. FERTILIZER SHALL BE APPLIED AT 6 LBS. OF 5-10-10 COMMERCIAL FERTILIZER/1000 SQ. FT.
- 4. SEEDING SHALL BE INSTALLED AT 5 LBS./1000 SQ. FT. OF:
- 60% KENTUCKY BLUE GRASS
- · 20% CHEWINGS FESCUE 20% PERENNIAL RYE

PLANTING SCHEDULE



PLANTING & GUYING DETAIL

TREES & SHRUBS SPRING PLANTING FALL PLANTING APRIL 1 - JUNE 30 SEPT. 1 - OCT. 15 EVERGREEN DECIDUOUS MARCH I - JUNE 30 OCT. I - DEC. I

CONSTRUCTION AND PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT GROWING SEASON. 6. CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING

GENERAL PLANTING NOTES:

AT NO ADDITIONAL COST TO THE OWNER.

AND SEEDED UPON COMPLETION OF WORK.

THE PLANT.

CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (1) CALENDAR DAYS OF NOTICE TO

ALL SCREENING FEATURES AND LANDSCAPE PLANTINGS PROVIDED ON THE APPROVED PLAN

SHALL BE REQUIRED TO BE MAINTAINED FOR THE LIFE OF THE USE AND SHALL BE REPLACED AND/OR RESTORED AS NECESSARY IN ORDER TO MAINTAIN THEIR EFFECTIVENESS. ANY LOSSES

DUE TO STORM DAMAGE, DISEASE OR OTHER FACTORS SHALL BE REPLACED IN KIND WITHIN A PERIOD NOT MORE THAN SIX MONTHS AND THIS REQUIREMENT SHALL BE CONDITION OF ALL

PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE OF PROJECT PLANTING. DEAD, DYING, UNHEALTHY AND/OR PLANTS IN POOR CONDITION SHALL BE REPLACED

IN THE SAME PLANTING SEASON THAT THE LANDSCAPE ARCHITECT HAS DEEMED THE PLANT

UNACCEPTABLE. PLANTINGS THAT REQUIRE REPLACEMENT SHALL BE REMOVED AND REPLACED

3. EXISTING VEGETATION AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE TOPSOILED

4. NEW PLANTING ROOT BALLS REMOVED FROM CANS SHALL BE SCARIFIED PRIOR TO BACKFILLING

5. ALL PLANTINGS SHOWN ON APPROVED SITE DEVELOPMENT PLAN OR SPECIAL PERMIT PLAN

SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF

COMMERCIAL SITE PLAN APPROVALS AND ALL RELATED CERTIFICATES OF OCCUPANCY.

7. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND OBTAIN AS-BUILT INFORMATION. DRAWINGS WERE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7)

CALENDAR DAYS OF NOTICE TO PROCEED OF ANY DISCREPANCIES. 8. CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES AND OTHER OBSTRUCTIONS AND

9. TYPICALLY, SHRUB AND GROUNDCOVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION (STAGGERED SPACING).

COORDINATE WITH OWNER'S REPRESENTATIVE IN WRITING PRIOR TO INITIATING OPERATIONS.

PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE LISTED ON THE PLANT LIST. 10. CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE AND/OR

LANDSCAPE ARCHITECT. II. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS.

ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE

12. ALL TREES PLANTED IN LAWN AREA SHALL RECEIVE A 4' DIAMETER MULCH RING AT A DEPTH OF 4". PROVIDE A 4" CUT EDGE AROUND TREE RING TO MAINTAIN THE MULCH WITHIN THE BED.

13. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.

14. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER AND COMPLETE INSTRUCTIONS.

SITE PLANTING SCHEDULE

EVERGREEN TREES

SYMBOL CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING	QTY
DECIDUOUS SHRUBS					
HYD THE	Hydrangea serrata 'MAK2Ø' / Tuff Stuff™ Hydrangea	24"-3Ø"	CONT.	36" o.c.	3
SLP	Spiraea x bumalda 'Little Princess' / Little Princess Spirea	24"-3Ø"	B #B	48" o.c.	13
EVERGREEN SHRUBS					
MANAMANANA BS	Buxus sempervirens / Common Boxwood	30"-34"	B\$B	48" o.c.	3
· JC	Juniperus chinensis 'Gold Coast' / Gold Coast® Juniper	30"-34"	CONT.	54" o.c.	15
GRASSES PL	Pennisetum alopecuroides 'Little Bunny' / Little Bunny Fountain Grass	2 gal.		24" o.c.	16
PERENNIALS					
**************************************	Aster novi-belgii / New York Aster	1 gal.		24" o.c.	18
L×5	Leucanthemum x superbum / Shasta Daisy	1 gal.		24" o.c.	12



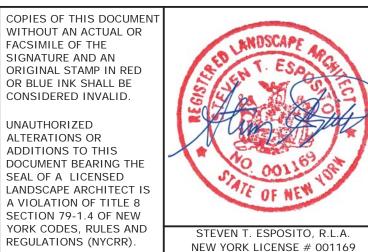
Dial: 811

www.udigny.org

No.	DATE	DESCRIPTION

DRAWING STATUS		ISSUE DATE:		
DRAWING STATUS	06/03/2025			
THIS SHEET IS PART OF	SHEET			
THE PLAN SET ISSUED FOR	NUMBER			
CONCEPT APPROVAL	N/A	OF	N/A	
☐ PLANNING BOARD APPROVAL	N/A	OF	N/A	
OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A	
OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A	
NYSDEC APPROVAL	N/A	OF	N/A	
NYSDOT APPROVAL	N/A	OF	N/A	
OTHER:	N/A	OF	N/A	
☑ FOR BID / CONSTRUCTION	4	OF	5	
THIS PLAN AND ALL THE INFORMATION CONTAINED HEREIN IS				

AUTHORIZED FOR USE BY WHOM THE SERVICES WERE CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED DISCLOSED, DISTRIBUTED OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF ENGINEERING & SURVEYING PROPERTIES, PC. THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).



1 inch = 20 ft.

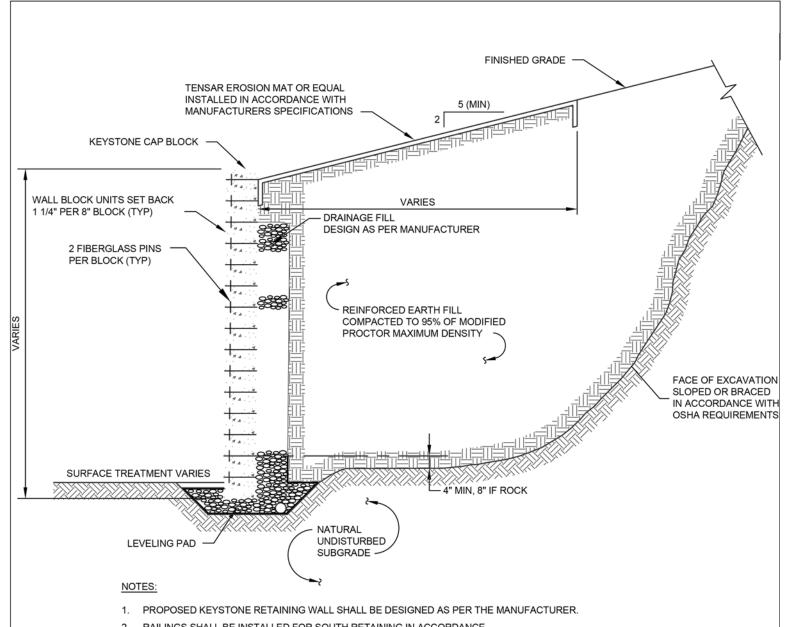
NGINEERING & SURVEYING	MONTGOMERY OFFICE 71 CLINTON STREET
PROPERTIES Achieving Successful Results with Innovative Designs	MONTGOMERY, NY 12549 — Ph: (845) 457-7727 WWW.EP-PC.COM
LANDSCAPE	: PLAN

MARLBORO FREE LIBRARY

1251 NY STATE ROUTE 9W TOWN OF MARLBORO ULSTER COUNTY, NEW YORK

1120.05 1" = 20' C - 103 05/20/25 1 - 06/03/2025 108.12-4-17,18,19,20

Z: \1120.05 — Marlboro Free Library\1120.05 — Landscape Plan.dwg Date Printed: Jun 05, 2025, 11:42am



- RAILINGS SHALL BE INSTALLED FOR SOUTH RETAINING IN ACCORDANCE WITH MANUFACTURER'S RECCOMENDATIONS.
- CONTRACTOR SHALL SUBMITTED SIGNED AND SEALED SHOP DRAWINGS PRIOR TO CONSTRUCTION FOR ENGINEER'S REVIEW.

TYPICAL KEYSTONE RETAINING WALL

SCALE: NTS



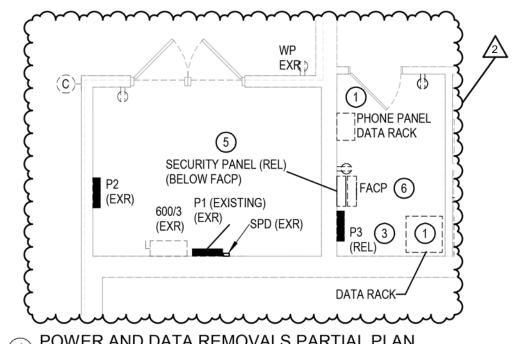
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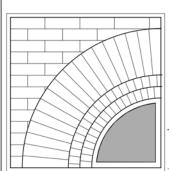
1) POWER AND DATA REMOVALS PARTIAL PLAN
3/16" = 1'-0"

GENERAL NOTES:

- 3. MANUFACTURERS OF EXISTING PANELS AND CIRCUIT BREAKERS:
 - A. P1: SQUARE D PANEL. SQUARE D CIRCUIT BREAKERS.
 - B. P2: GOULD INC. PANEL. SIEMENS AND ITE CIRCUIT BREAKERS.
 - C. P3: SIEMENS PANEL. SIEMENS CIRCUIT BREAKERS.
 - D. P4: SQUARE D PANEL. SQUARE D CIRCUIT BREAKERS.
 - E. P5: SQUARE D PANEL. SQUARE D CIRCUIT BREAKERS.

KEYED NOTES:

- 1 PRESERVE AND RELOCATE PHONE PANEL, SECURITY PANEL, DATA RACK, AND ASSOCIATED COMPONENTS.
- (3) RELOCATE PANELBOARD AND EXISTING CIRCUITS TO REMAIN FROM HERE TO NEW LOCATION OF PANEL.
- TELOCATE SECURITY SYSTEM AND EXTEND EXISTING WIRING TO NEW LOCATION. COORDINATE WITH OWNER'S VENDOR.
- 6 PRESERVE AND RELOCATE PHONE PANEL, SECURITY PANEL, PANEL P3, AND ASSOCIATED COMPONENTS.



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SK2-ER101-1

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Addendum #:	2	Scale 3/16" = 1'-0"