

Addition & Interior Renovations

for the

Marlboro Free Library

1251 Route 9W, Marlboro, NY 12542

Abbreviations

AFF	ABOVE FINISH FLOOR	HM	HOLLOW METAL
AFG	ABOVE FINISH GRADE	HR	HOUR
ALUM	ALUMINUM	INSUL	INSULATION
APPROX	APPROXIMATE	LG	LIGHT GAUGE METAL FRAMING
BM	BEAM	MAX	MAXIMUM
CL	CENTERLINE	MIN	MINIMUM
CJ	CONTROL JOINT	MO	MASONRY OPENING
CMU	CONCRETE MASONRY UNIT	NIC	NOT IN CONTRACT
COL	COLUMN	OPN'G	OPENING
CONC	CONCRETE	OPP	OPPOSITE
CONT	CONTINUOUS	PT	PRESSURE TREATED
COORD	COORDINATE	REQ	REQUIREMENTS
ELEV	ELEVATION	RO	ROUGH OPENING
EP	ELECTRICAL PANEL	SIM	SIMILAR
EXIST	EXISTING	STL	STEEL
ETR	EXISTING TO REMAIN	TYP	TYPICAL
FND	FOUNDATION	UCON	UNLESS OTHERWISE NOTED
FTG	FOOTING	VIF	VERIFY IN FIELD
GWB	GYPSUM WALL BOARD	W	WITH
		W/O	WITHOUT
		WD	WOOD

Library Director:

Lindsay Jankovitz

Library Board of Trustees:

Denise Garofalo, President
Kelli Kavanaugh, Vice President
Cheryl Werba, Secretary
Anita Jean McMonigle
Benjamin Kolansky

Architect:

Butler Rowland Mays Architects, LLP
57 West High Street
Ballston Spa, New York 12020
ph: (518) 885-1255
www.brmaarchitects.com

Site Engineer:

Engineering & Surveying Properties, PC
71 Clinton Street
Montgomery, NY 12549
ph: (845) 457-7727

Structural Engineer:

Preston Engineering, PLLC
1 Avian Drive
East Greenbush, NY 12061
ph: (518) 396-9680

Mechanical, Electrical, Plumbing Engineers:

Sage Engineering Associates, LLP
9 Columbia Circle
Albany, NY 12203
ph: (518) 453-6091

THE ARCHITECT CERTIFIES THAT THIS PROJECT HAS BEEN DESIGNED BY ME, OR UNDER MY SUPERVISION, IN ACCORDANCE WITH THE BUILDING CODE OF NEW YORK STATE / NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, LATEST VERSION, THE 2002 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE (OR LATEST VERSION), AND APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES, AND REGULATIONS, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DOCUMENTS ARE IN CONFORMANCE THEREWITH.

Steven G. Rowland
STEVEN G. ROWLAND, RA
024705
NYS REGISTRATION No.
5/20/2025
DATE

THIS BUILDING MEETS OR EXCEEDS THE SEISMIC STRUCTURAL REQUIREMENTS OF THE BUILDING CODE OF NEW YORK STATE AND THEREFORE SATISFIES THE REQUIREMENTS AS ESTABLISHED UNDER THE NATIONAL EARTHQUAKE HAZARD REDUCTION PROTECTION ACT (NEHRPA).

Schedule of Drawings

G1 COVER

SITE

C100 EXISTING CONDITIONS & DEMOLITION PLAN
C101 SITE PLAN
C102 GRADING & DRAINAGE PLAN
C301 DETAILS

STRUCTURAL

S100 GENERAL NOTES AND SPECIFICATIONS
S101 FOUNDATION PLAN
S102 ROOF FRAMING PLAN
S200 TYPICAL FOUNDATION SECTIONS + DETAILS
S201 FOUNDATION SECTIONS
S300 FRAMING SECTIONS + DETAILS
S301 ROOF FRAMING SECTIONS AND DETAILS
S400 LINTEL DETAILS
S500 TYPICAL COLD FORMED METAL FRAMING DETAILS

ARCHITECTURAL

AR100 EXIST. CONDITIONS & REMOVALS PLAN
AR101 EXIST. REFLECTED CEILING PLAN & REMOVALS
A100 OVERALL FLOOR PLAN
A101 REFLECTED CEILING PLAN
A102 ROOF PLAN & DETAILS
A103 FLOOR FINISH PLAN
A200 ELEVATIONS
A201 SECTIONS
A300 WALL SECTIONS
A301 WINDOW & DOOR DETAILS
A302 DETAILS
A400 RESTROOM PLANS & ELEVATIONS
A600 MILLWORK
F100 FURNITURE FLOOR PLAN

PLUMBING

P001 LEGEND, SYMBOLS AND DETAILS
P002 DETAILS
PR101 SANITARY, VENT & STORM REMOVAL PLAN
PR102 DOMESTIC WATER REMOVAL PLAN
P101 SANITARY, VENT & STORM INSTALLATION PLAN
P102 DOMESTIC WATER INSTALLATION PLAN

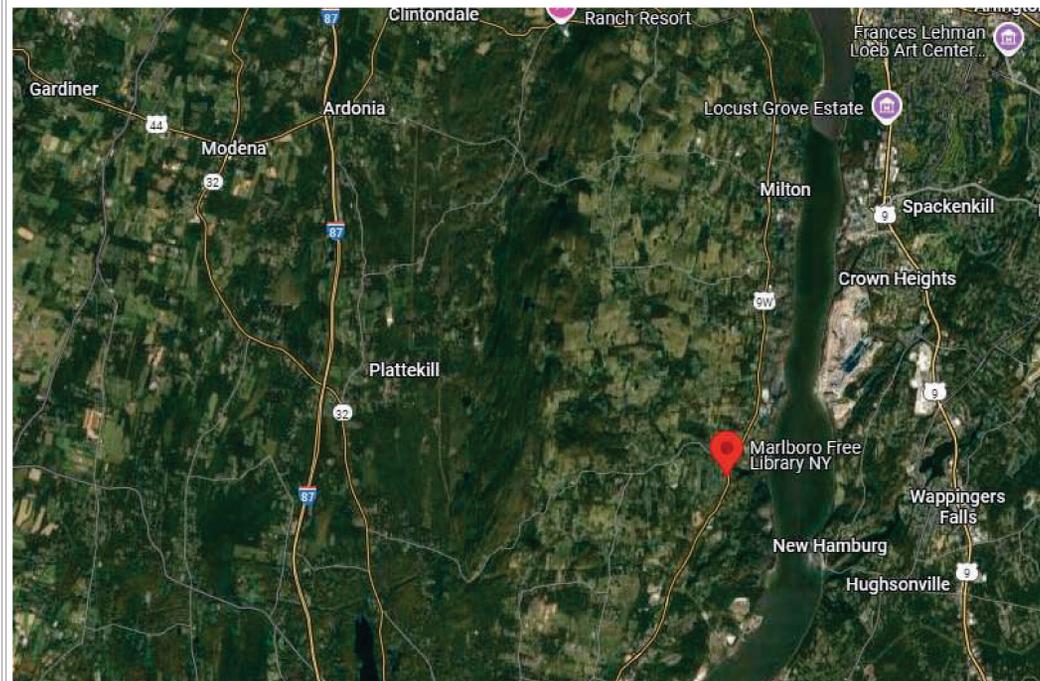
MECHANICAL

M001 LEGEND, SYMBOLS AND NOTES
M002 DETAILS
M003 DETAILS
MR101 REMOVALS PLAN
MR102 ROOF REMOVALS PLAN
M101 HVAC INSTALLATION PLAN
M102 HVAC ROOF INSTALLATION PLAN

ELECTRICAL

E001 ELECTRICAL LEGEND, NOTES & DETAILS
ER101 POWER AND DATA REMOVALS PLAN
ER201 LIGHTING REMOVALS PLAN
ER301 FIRE ALARM REMOVALS PLAN
E101 POWER AND DATA PLAN
E102 MECHANICAL POWER PLAN
E201 LIGHTING PLAN
E301 FIRE ALARM PLAN
E501 LIGHTING FIXTURE SCHEDULE
E601 PANEL SCHEDULES
E602 PANEL SCHEDULES

Overall Site Plan



General Notes

- G-1. DO NOT SCALE THE DRAWINGS.
- G-2. UNLESS NOTED OTHERWISE, ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF FRAMING, CENTERLINE OF STEEL, OR EDGE OF ROUGH OPENING.
- G-3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO COMMENCING ANY CONSTRUCTION WORK.
- G-4. UNAUTHORIZED ADDITIONS TO OR ALTERATIONS OF THESE DOCUMENTS WITHOUT CONSULTING THE ARCHITECT IS A VIOLATION OF NYS EDUCATION LAW.
- G-5. ALL MATERIALS, PRODUCTS AND FINISHES SHALL BE INSTALLED IN FULL COMPLIANCE WITH ALL MANUFACTURER'S INSTRUCTIONS.
- G-6. THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- G-7. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY DURING CONSTRUCTION IS THE CONTRACTOR'S RESPONSIBILITY.
- G-8. ALL WORK IS TO BE IN STRICT ACCORDANCE WITH THE BUILDING CODE OF NEW YORK STATE, THE MECHANICAL AND PLUMBING CODES OF NEW YORK STATE, THE ENERGY CONSERVATION CODE OF NEW YORK STATE, THE NATIONAL ELECTRIC CODE AND ANY LOCAL ORDINANCES.
- G-9. GENERAL CONTRACTOR SHALL INSTALL ALL MISCELLANEOUS BLOCKING IN PARTITIONS AS REQUIRED TO SUPPORT AND FRAME WALL MOUNTED ITEMS.

Symbols Legend

	ENLARGED PLAN or DETAIL NUMBER
	SHEET LOCATION
	BUILDING SECTION NUMBER
	SHEET LOCATION
	WALL SECTION NUMBER
	SHEET LOCATION
	NEW WALL CONSTRUCTION
	EXISTING WALL
	NEW DOOR
	EXISTING DOOR

ARCHITECTS JOB No: 23-46-06
ISSUE DATE:

DWG. No.
A001

