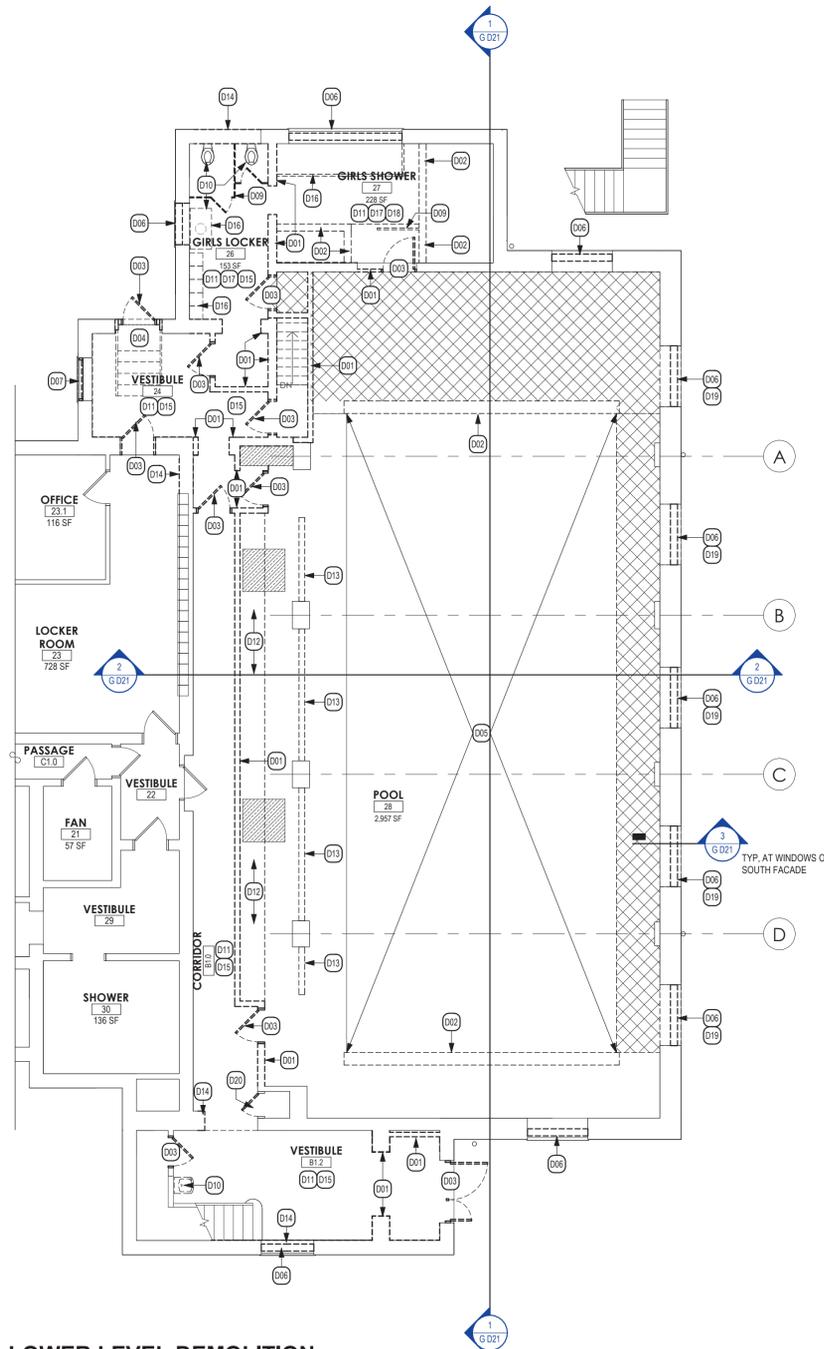


2 **BASEMENT DEMOLITION PLAN**
SCALE: 1/8" = 1'-0"



1 **LOWER LEVEL DEMOLITION PLAN**
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION PLAN NOTES

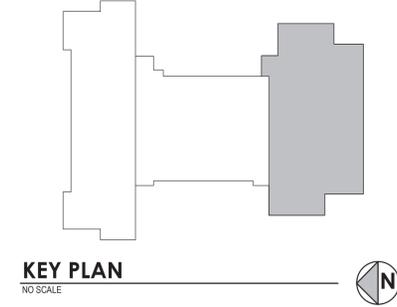
- REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND ASBESTOS DRAWINGS AND HAZMAT REPORT FOR ADDITIONAL INFORMATION. COORDINATE REMOVALS WITH ALL OTHER CONTRACTORS
- MAINTAIN INTEGRITY OF ITEMS THAT ARE EXISTING TO REMAIN. PATCH ALL REMAINING SURFACES DISTURBED BY DEMOLITION AND/OR NEW CONSTRUCTION TO MATCH EXISTING ADJACENT SURFACES
- COORDINATE EXTENT OF SELECTIVE DEMOLITION WITH NEW WORK
- PROVIDE TEMPORARY SHORING AND BRACING AS REQUIRED PRIOR TO COMMENCING DEMOLITION. DO NOT DAMAGE OR DISTURB EXISTING STRUCTURAL ELEMENTS THAT ARE TO REMAIN, WHERE WALLS ARE TO BE REMOVED, DO NOT DAMAGE EXISTING COLUMNS, UNLESS NOTED OTHERWISE.
- PRIOR TO START OF PROJECT, OWNER SHALL REMOVE LOOSE EQUIPMENT SUCH AS FURNITURE, DESKS, CHAIRS, SHELVING, KITCHEN EQUIPMENT, ETC, UNLESS NOTED OTHERWISE
- REMOVE CEILING SYSTEM AND SOFFITS IN ALL SPACES SCHEDULED TO RECEIVE NEW CEILING OR WHERE EXPOSED STRUCTURE IS CALLED FOR, UNLESS NOTED OTHERWISE. SEE ROOM FINISH SCHEDULE AND CEILING PLANS
- DEMOLITION TO INCLUDE COMPLETE REMOVAL OF ALL FASTENERS, ADHESIVES AND RELATED ITEMS COMPLETELY DOWN TO SUBSTRATE. PATCH SUBSTRATE AS REQUIRED FOR NEW FINISHES. PATCH ALL REMAINING SURFACES DISTURBED BY DEMOLITION AND/OR NEW CONSTRUCTION TO BLEND WITH AND MATCH EXISTING ADJACENT SURFACES, OR TO PROVIDE NEW CONSTRUCTION AS SHOWN
- REMOVE EXISTING LINTELS AT ALL OPENINGS TO BE INFILLED AND/OR OPENINGS TO RECEIVE NEW LINTELS. PROVIDE TEMPORARY BRACING AS REQUIRED
- ALL ELECTRICAL CONNECTIONS SHALL BE DISCONNECTED BY THE EC PRIOR TO ANY REMOVALS. EC WILL REMOVE ALL ELECTRICAL ITEMS. GC AND EC SHALL COORDINATE WORK.
- EXACT EXTENT OF EXISTING PIPE TUNNELS/CRAWL SPACES IS UNKNOWN. PROCEED CAUTIOUSLY WITH ALL SLAB REMOVALS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DEMOLITION LEGEND

- REMOVE EXISTING ELEVATED STRUCTURAL FLOOR SLAB COMPLETE AS REQUIRED TO PERFORM NEW WORK. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- REMOVE EXISTING STRUCTURAL FLOOR SLAB-ON-GRADE COMPLETE AS REQUIRED TO PERFORM NEW WORK. PROVIDE NEW SLAB-ON-GRADE PER STRUCTURAL DETAILS. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION

DEMOLITION KEYNOTES

- D01 REMOVE EXISTING MASONRY WALL ASSEMBLIES OR PORTIONS OF WALL ASSEMBLIES AS REQUIRED FOR INSTALLATION OF NEW WORK. GC SHALL BRACE EXISTING BUILDING AS REQUIRED TO MAINTAIN STABILITY.
- D02 REMOVE EXISTING CONCRETE CURB ASSEMBLIES IN THEIR ENTIRETY
- D03 REMOVE EXISTING DOOR, DOOR FRAME, DOOR HARDWARE, (IF) SIDELIGHTS AND/OR TRANSOMS, AND (IF) THRESHOLD COMPLETELY. INFILL OR WIDEN OPENING AS REQUIRED.
- D04 REMOVE EXISTING ASSEMBLED METAL STAIR SYSTEM COMPLETE
- D05 PREP POOL FOR INFILL. PRIOR TO PERFORMING OTHER DEMOLITION WORK, PROTECT EXISTING TILE BY INSTALLING GEOTEXTILE. SEE STRUCTURAL DRAWINGS
- D06 REMOVE EXISTING WINDOW AND CMU WALL INFILL AS REQUIRED FOR NEW WORK. REPLACE LINTEL PER STRUCTURAL DRAWINGS. GC SHALL BRACE EXISTING BUILDING AS REQUIRED TO MAINTAIN STABILITY.
- D07 REMOVE EXISTING GLASS BLOCK WINDOW SYSTEM COMPLETE AS REQUIRED FOR INSTALLATION OF NEW WORK. REPLACE LINTEL PER STRUCTURAL DRAWINGS
- D09 REMOVE EXISTING TOILET COMPARTMENT SYSTEM COMPLETE
- D10 FUTURE REMOVAL PER PLUMBING DRAWINGS. PATCH AND MATCH EXISTING CMU WALL
- D11 REMOVE EXISTING WALL TILE COMPLETE TO SUBSTRATE. TYPICAL THROUGHOUT ROOM. PREP WALLS TO RECEIVE NEW FINISHES AS SCHEDULED
- D12 REMOVE EXISTING CAST IN PLACE BENCH COMPLETE
- D13 REMOVE EXISTING PARTIAL HEIGHT WALL COMPLETE
- D14 REMOVE PORTION OF WALL AS REQUIRED FOR INSTALLATION OF NEW OPENING. PATCH TO MATCH ADJACENT WALL FINISH.
- D15 REMOVE EXISTING SUSPENDED CEILING SYSTEMS COMPLETE, TYPICAL THROUGHOUT ROOM
- D16 REMOVE EXISTING BUILT-IN CASEWORK OR EQUIPMENT COMPLETE
- D17 REMOVE ALL TOILET ACCESSORIES COMPLETE THROUGHOUT ROOM INCLUDING BUT NOT LIMITED TO, TOILET TISSUE DISPENSERS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, AND MIRRORS.
- D18 REMOVE EXISTING HARD (PLASTER OR GIB) CEILING SYSTEM COMPLETE THROUGHOUT ROOM
- D19 REMOVE PORTION OF MASONRY WALL BELOW EXISTING OPENING FOR ENLARGED WINDOW. SEE DEMO WALL SECTION FOR ADDITIONAL INFORMATION. PATCH TO MATCH EXISTING ADJACENT MATERIALS.
- D20 REMOVE EXISTING DOOR, DOOR HARDWARE, AND (IF) THRESHOLD COMPLETELY. FRAME EXR.



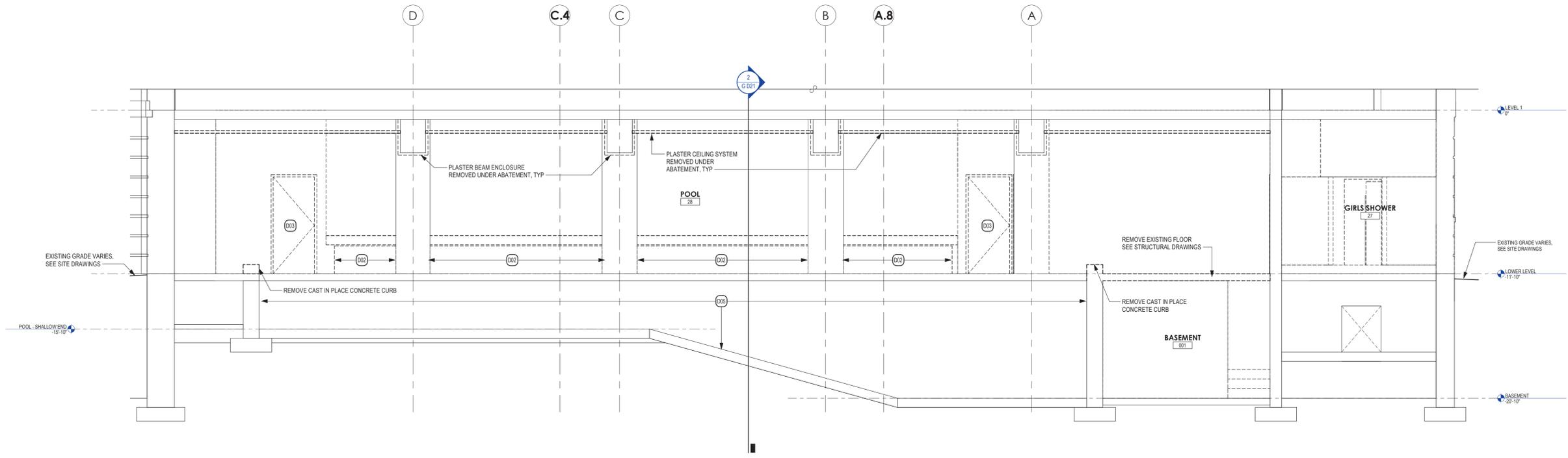
SED NUMBERS: BEFORE WORK IS STARTED, CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS AT THE SITE, AND IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES. ALTERATION OF THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED REGISTERED ARCHITECT IS ILLEGAL AND A VIOLATION OF SECTION 2307 OF THE NEW YORK STATE EDUCATION LAW.

Administration Building: 66-15-001-0-09-013
Revision: 05/21/2025
Drawing Title: PARTIAL DEMOLITION PLANS
Drawing Number: G D01
APN: 2226.2A Date: October 11, 2024 Drawn by: RHW/SJL

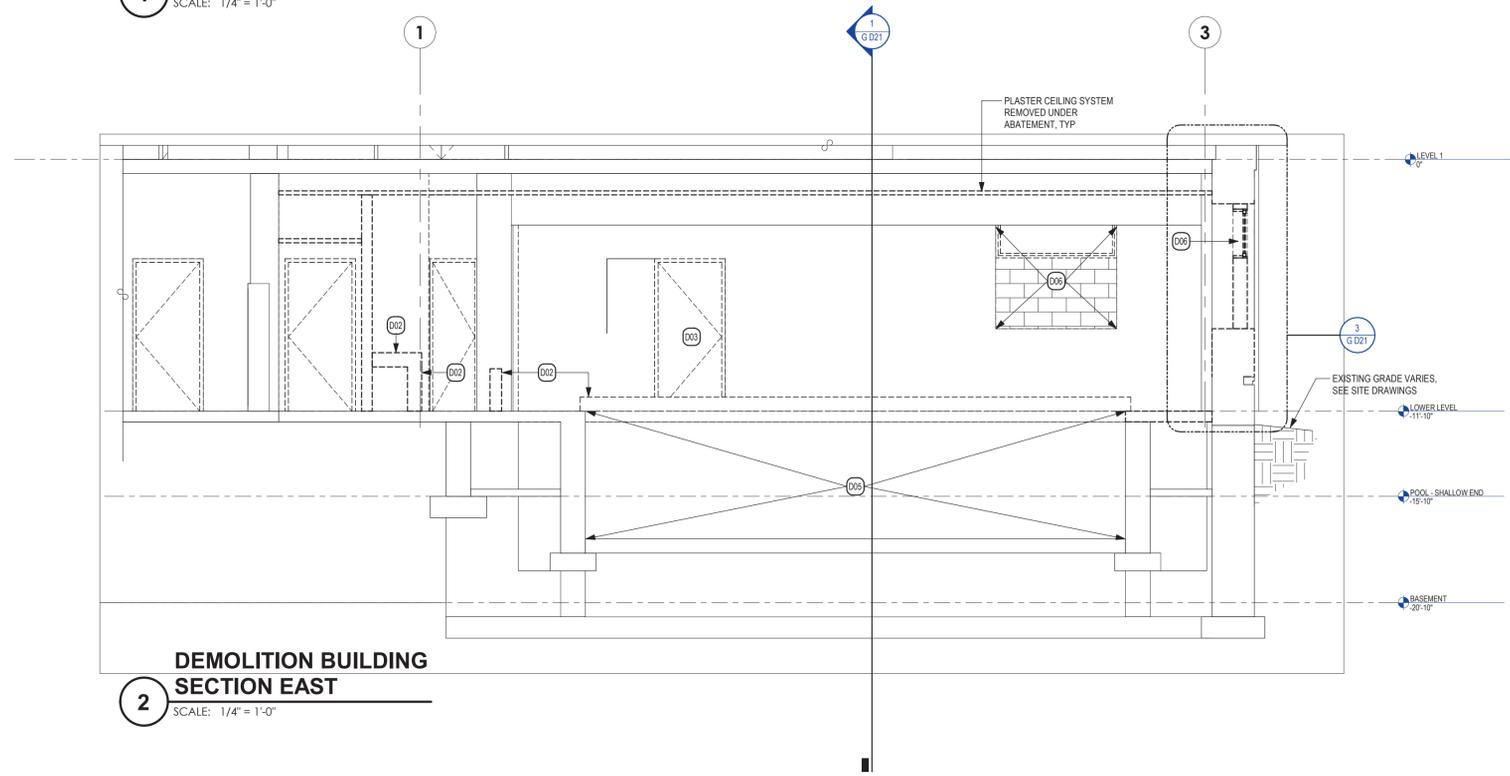
Alterations to Administration Building

Peekskill City School District
Peekskill, New York

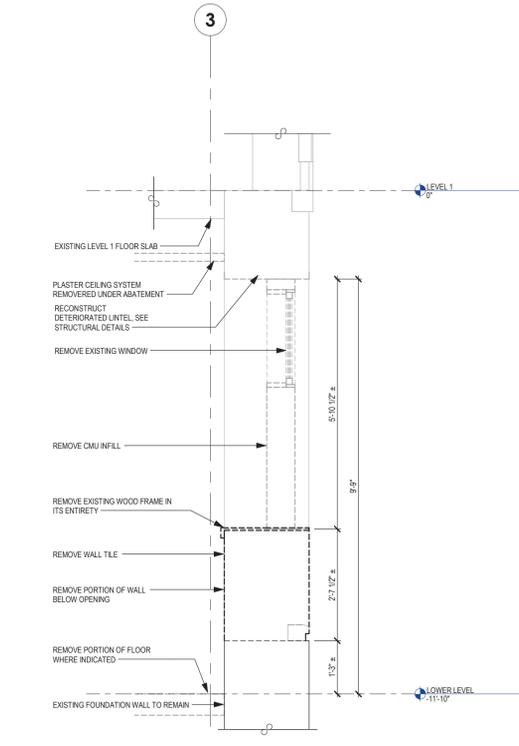




1 DEMOLITION BUILDING SECTION NORTH
SCALE: 1/4" = 1'-0"



2 DEMOLITION BUILDING SECTION EAST
SCALE: 1/4" = 1'-0"



3 DEMOLITION WALL SECTION
SCALE: 1/2" = 1'-0"

DEMOLITION KEYNOTES

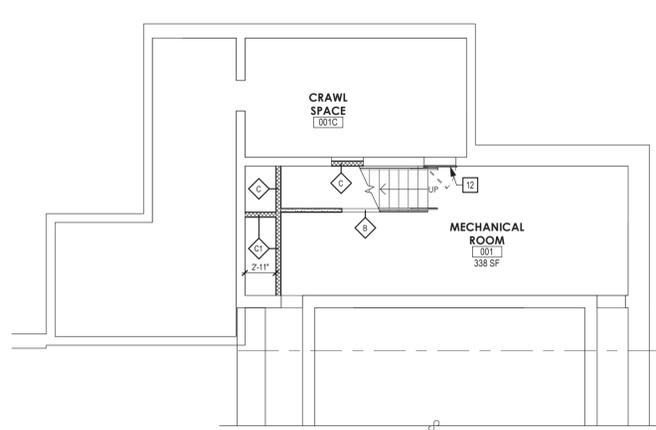
- D01 REMOVE EXISTING MASONRY WALL ASSEMBLIES OR PORTIONS OF WALL ASSEMBLIES AS REQUIRED FOR INSTALLATION OF NEW WORK. GC SHALL BRACE EXISTING BUILDING AS REQUIRED TO MAINTAIN STABILITY.
- D02 REMOVE EXISTING CONCRETE CURB ASSEMBLIES IN THEIR ENTIRETY.
- D03 REMOVE EXISTING DOOR, DOOR FRAME, DOOR HARDWARE, (IF) SIDELIGHTS AND/OR TRANSOMS, AND (IF) THRESHOLD COMPLETELY. INFILL OR WIDEN OPENING AS REQUIRED.
- D04 REMOVE EXISTING ASSEMBLED METAL STAIR SYSTEM COMPLETE
- D05 PREP POOL FOR INFILL. PRIOR TO PERFORMING OTHER DEMOLITION WORK, PROTECT EXISTING TILE BY INSTALLING GEOTEXTILE. SEE STRUCTURAL DRAWINGS
- D06 REMOVE EXISTING WINDOW AND CMU WALL INFILL AS REQUIRED FOR NEW WORK. REPLACE LINTEL PER STRUCTURAL DRAWINGS. GC SHALL BRACE EXISTING BUILDING AS REQUIRED TO MAINTAIN STABILITY.
- D07 REMOVE EXISTING GLASS BLOCK WINDOW SYSTEM COMPLETE AS REQUIRED FOR INSTALLATION OF NEW WORK. REPLACE LINTEL PER STRUCTURAL DRAWINGS
- D08 REMOVE EXISTING TOILET COMPARTMENT SYSTEM COMPLETE
- D09 FIXTURE REMOVAL PER PLUMBING DRAWINGS. PATCH AND MATCH EXISTING CMU WALL. PREP WALLS TO RECEIVE NEW FINISHES AS SCHEDULED
- D10 REMOVE EXISTING WALL TILE COMPLETE TO SUBSTRATE, TYPICAL THROUGHOUT ROOM. PREP WALLS TO RECEIVE NEW FINISHES AS SCHEDULED
- D11 REMOVE EXISTING CAST IN PLACE BENCH COMPLETE
- D12 REMOVE EXISTING PARTIAL HEIGHT WALL COMPLETE
- D13 REMOVE PORTION OF WALL AS REQUIRED FOR INSTALLATION OF NEW OPENING. PATCH TO MATCH ADJACENT WALL FINISH.
- D14 REMOVE EXISTING SUSPENDED CEILING SYSTEMS COMPLETE, TYPICAL THROUGHOUT ROOM
- D15 REMOVE EXISTING BUILT-IN CASEWORK OR EQUIPMENT COMPLETE
- D16 REMOVE ALL TOILET ACCESSORIES COMPLETE THROUGHOUT ROOM INCLUDING BUT NOT LIMITED TO, TOILET TISSUE DISPENSERS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, AND MIRRORS.
- D17 REMOVE EXISTING HARD (PLASTER OR GWB) CEILING SYSTEM COMPLETE THROUGHOUT ROOM.
- D18 REMOVE PORTION OF MASONRY WALL BELOW EXISTING OPENING FOR ENLARGED WINDOW. SEE DEMO WALL SECTION FOR ADDITIONAL INFORMATION. PATCH TO MATCH EXISTING ADJACENT MATERIALS.
- D19 REMOVE EXISTING DOOR, DOOR HARDWARE, AND (IF) THRESHOLD COMPLETELY. FRAME EXR.

SED NUMBERS: Administration Building: 66-15-00-01-0-09-013
 BEFORE WORK IS STARTED, CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS AT THE SITE, AND IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES.
 ALTERATION OF THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED REGISTERED ARCHITECT IS ILLEGAL AND A VIOLATION OF SECTION 2307 OF THE NEW YORK STATE EDUCATION LAW.

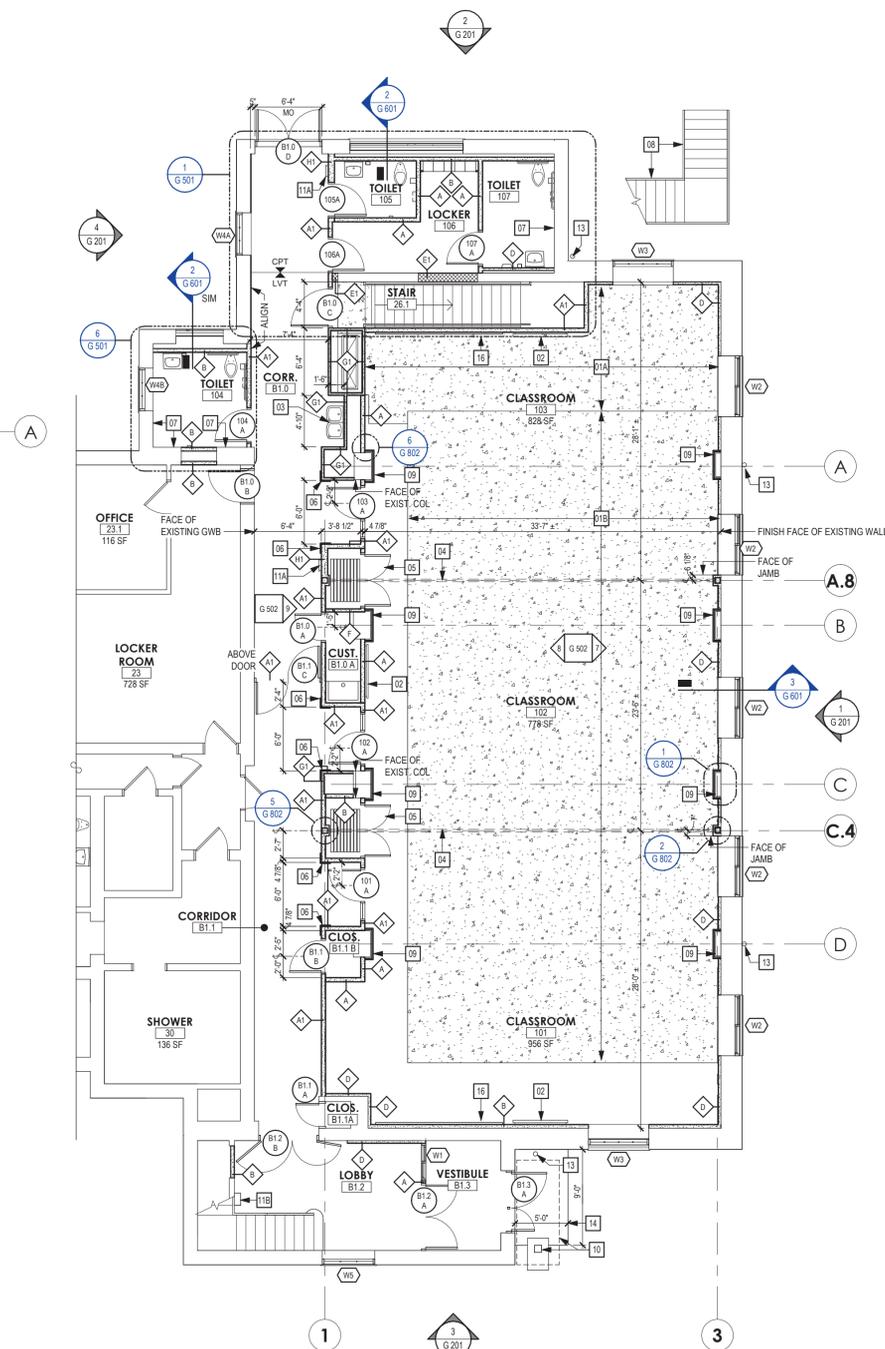
Drawing Title: DEMOLITION SECTIONS
 Drawing Number: G D21
 Date: October 11, 2024
 Drawn by: HWK

Alterations to Administration Building
 Peekskill City School District
 Peekskill, New York

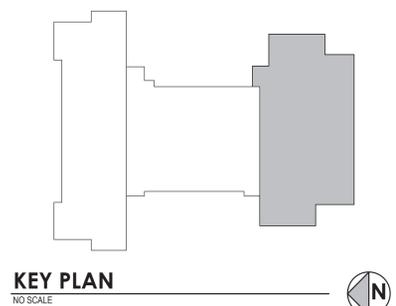
MOSAIC ASSOCIATES
 Mosaic Associates Architects, PC
 The Fear Building, 2 Third Street, Suite 440, Troy, NY 12180



2
BASEMENT RECONSTRUCTION PLAN
 SCALE: 1/8" = 1'-0"



1
LOWER LEVEL RECONSTRUCTION PLAN
 SCALE: 1/8" = 1'-0"



KEY PLAN
 NO SCALE

GENERAL FLOOR PLAN NOTES

- FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO PROCEEDING WITH WORK. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCY. ADJUST DIMENSIONS OF NEW WORK AS REQUIRED BY THE ARCHITECT
- DIMENSIONS SHOWN ON PLANS ARE TO FACE OF NOMINAL MASONRY WALLS, THE CENTER LINES OF COLUMNS OR THE FINISHED FACE OF GWB ASSEMBLIES UNLESS INDICATED OTHERWISE.
- SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE
- GC SHALL COORDINATE ALL MECHANICAL CHASES AND WALL OPENINGS WITH EC, MC, AND PG. GC SHALL PROVIDE ALL OPENINGS AND LINTELS AS REQUIRED. COORDINATE MASONRY OPENING SIZES AND DETAILS FOR LOUVERS WITH MC
- AT MASONRY INFILL, TOOTH-IN AND PATCH WALL AREA, RESTORE EXPOSED FINISHES OF ADJACENT AREAS AND EXTEND FINISHES INTO ADJOINING CONSTRUCTION TO REMAIN IN THE MANNER THAT ELIMINATES EVIDENCE OF PATCHING AND REFINISHING

NEW CONSTRUCTION KEYNOTES

- PROVIDE NEW STRUCTURAL SLAB ON DECK AND FLOOR FRAMING. SEE STRUCTURAL DRAWINGS.
- INFILL POOL AND ADJACENT PIPE TUNNEL. PROVIDE STRUCTURAL SLAB ON GRADE. SEE STRUCTURAL DRAWINGS. PRIOR TO INSTALLING STRUCTURAL FILL, INSTALL GEOTEXTILE FABRIC (WINFAB 450 OR EQUAL) AS BARRIER BETWEEN POOL TILE AND FILL.
- FLAT PANEL DISPLAY BY OWNER. INSTALL (2) ROWS X 48" LONG FIRE-TREATED WOOD BACKING PLATE. COORDINATE EXACT LOCATION IN FIELD.
- PG TO PROVIDE ADA-COMPLIANT, DUAL-STATION DRINKING FOUNTAIN.
- PROVIDE OPERABLE PARTITION.
- PROVIDE OPERABLE PARTITION POCKET DOOR FOR OPERABLE MARKERBOARD PARTITION.
- PROVIDE HARDWOOD VENEER PLYWOOD CORNER GUARD. SEE INTERIOR DETAILS.
- LAMINATE EXISTING WALL WITH 5/8" GWB.
- PREP, PRIME, AND PAINT ALL SURFACES OF EXISTING EXTERIOR STEEL. STAIR. MODIFY FOOTING AT FOUR POSTS. SEE STRUCTURAL DRAWINGS.
- PROVIDE METAL COMPOSITE WALL PANEL COLUMN WRAP. SEE INTERIOR ELEVATIONS AND INTERIOR DETAILS.
- FABRICATED ENGINEERED CANOPY AND FOOTING.
- RECESSED FIRE EXTINGUISHER CABINET
- SURFACE-MOUNTED FIRE EXTINGUISHER CABINET
- 3' X 3' ACCESS DOOR. PROVIDE LINTEL FOR NEW OPENING
- PAINT EXISTING SOFFIT INCLUDING VERTICAL FACE OF WALL
- REMOVE EXISTING AND PROVIDE NEW DOWNSPOUT. CONNECT TO EXISTING COLLECTOR BOX. TIE IN TO NEW STORM LINE PER SITE DRAWINGS
- FROST-PROTECTED ENTRANCE SLAB. SEE STRUCTURAL DETAILS. PROVIDE SLEEVE IN WALL FOR STORM LINE
- PAINT UNDER-SIDE OF EXISTING EXPOSED STAIR STRUCTURE
- 12 X 4' MARKER BOARD WITH WOOD TRIM. SEE INTERIOR DETAILS

SED NUMBERS: 6-15-001-0-09-013
 BEFORE WORK IS STARTED, CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS AT THE SITE, AND IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES.
 ALLEGATION OF THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED REGISTERED ARCHITECT IS ILLEGAL AND A VIOLATION OF SECTION 2307 OF THE NEW YORK STATE EDUCATION LAW.

MOSAIC ASSOCIATES
 Mosaic Associates Architects, P.C.
 The Frear Building, 2 Third Street, Suite 440, Troy, NY 12180

Alterations to Administration Building

Peekskill City School District
 Peekskill, New York

PARTIAL RECONSTRUCTION PLANS

G 101

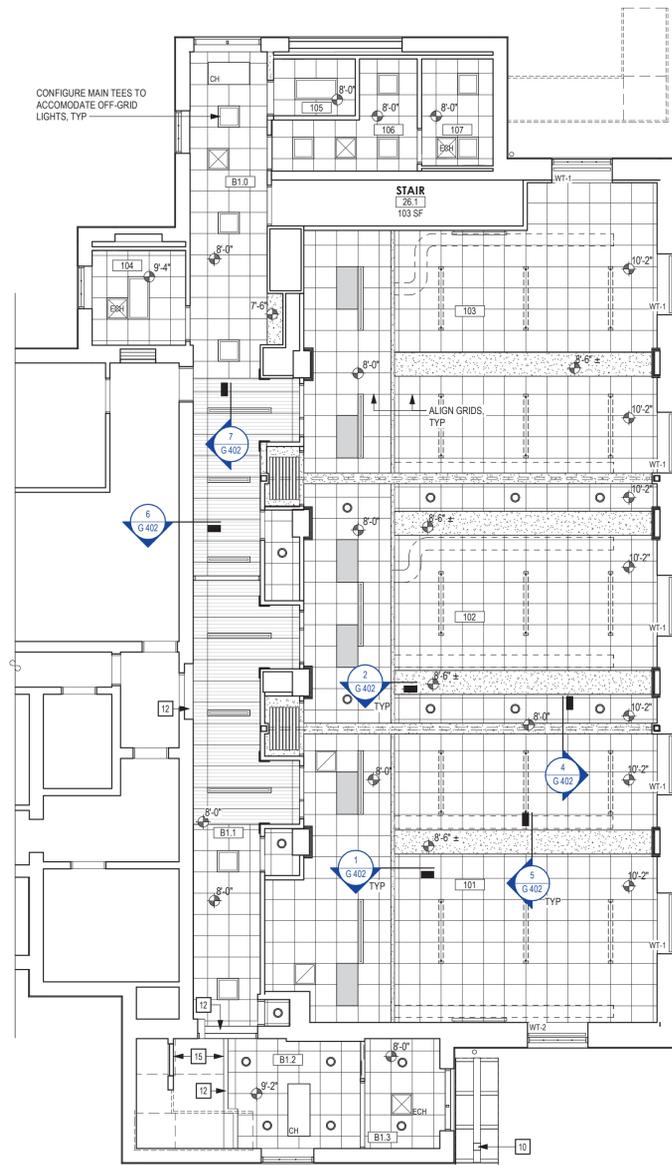
Revision: 05/21/2025
 Drawing Title:
 Drawing Number:
 Date: October 11, 2024
 Drawn by: RHW

GENERAL CEILING PLAN NOTES

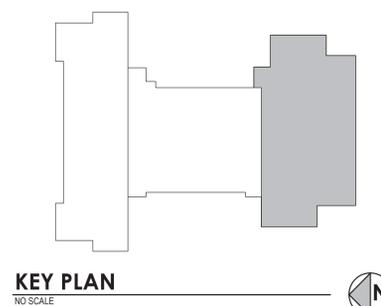
- CENTER GRIDS IN SPACE AND ON COLUMN LINES AS SHOWN, TYPICAL UNLESS NOTED OTHERWISE
- PROVIDE PAINTED GWB FASCIA AT ALL CEILING HEIGHT CHANGES, TYPICAL UNLESS NOTED OTHERWISE
- BRACE ALL SOFFITS/FASCIAS DIAGONALLY BACK TO BUILDING STRUCTURE WITH 3/8" METAL STUDS AT 4'-0" OC MAXIMUM, TYPICAL UNLESS NOTED OTHERWISE
- IN EXISTING CONSTRUCTION, REMOVE ALL EXISTING CEILING SYSTEMS AND SOFFITS IN AREAS OF NEW CEILINGS, TYPICAL UNLESS NOTED OTHERWISE
- COORDINATE ALL CEILING WORK WITH PLUMBING, MECHANICAL AND ELECTRICAL CONTRACT WORK. REPORT ANY DISCREPANCIES OR FIELD CONFLICTS BETWEEN CEILING PLANS AND P, M, AND E DRAWINGS TO ARCHITECT PRIOR TO CONSTRUCTION

CEILING PLAN LEGEND

-  GYPSUM BOARD SOFFIT SYSTEM-HEIGHT AS NOTED
-  24" x 24" ACOUSTICAL PANEL CEILING SYSTEM, CENTER IN SPACE UNLESS OTHERWISE NOTED OR INDICATED, HEIGHT AS NOTED.
-  LINEAR WOOD CEILING SYSTEM
-  SUPPLY DIFFUSER, REGISTER OR GRILLE
-  RETURN DIFFUSER, REGISTER OR GRILLE
-  ELECTRIC CABINET HEATER
-  CABINET HEATER
-  SURFACE MOUNTED OR RECESSED LIGHT FIXTURE, SIZES AND SHAPES VARY. SEE ELECTRICAL DRAWINGS
-  PENDENT LIGHT FIXTURE, SIZES AND SHAPES VARY. SEE ELECTRICAL DRAWINGS
-  24 X 48 CEILING PANEL FOR EQUIPMENT ACCESS. COORDINATE EXACT LOCATION WITH MC. RUN CEILING MAIN TEES TO ACCOMMODATE PANEL
-  BELOW CEILING DUCT WORK, SIZES AND CONFIGURATIONS VARY. SEE MECHANICAL DRAWINGS, PAINT
-  CEILING OR SOFFIT HEIGHT DESIGNATION INDICATES CEILING OR SOFFIT HEIGHT ABOVE FINISHED FLOOR
-  ROOM TAG INDICATES ROOM NUMBER



1 PARTIAL REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



KEY PLAN
NO SCALE

SED NUMBERS: Administration Building: 66-15-001-0-09-013 BEFORE WORK IS STARTED, CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS AT THE SITE, AND IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES. ALTERATION OF THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED REGISTERED ARCHITECT IS ILLEGAL AND A VIOLATION OF SECTION 2307 OF THE NEW YORK STATE EDUCATION LAW.

REFLECTED CEILING PLAN
Drawing Number: **G 401**

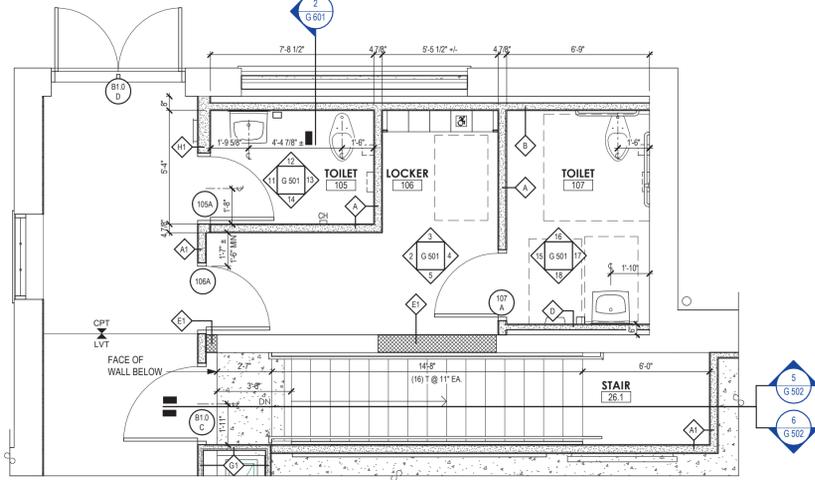
Revision:
05/21/2025

Alterations to Administration Building
Peekskill City School District
Peekskill, New York

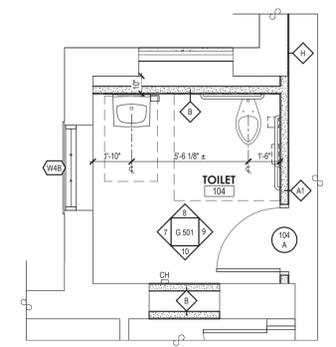
MOSAIC ASSOCIATES
Mosaic Associates Architects, P.C.
The Freor Building, 2 Third Street, Suite 440, Troy, NY 12180

Consultant:
Seal

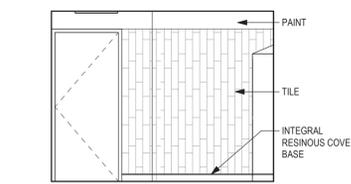
APN: 2226.2A Date: October 11, 2024 Drawn by: RWK



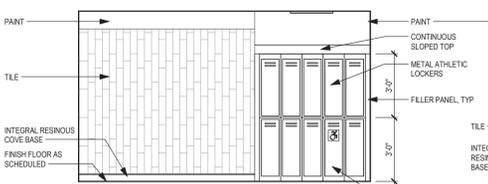
1 ENLARGED FLOOR PLAN - TLT. / STAIR / LOCKER
SCALE: 1/4" = 1'-0"



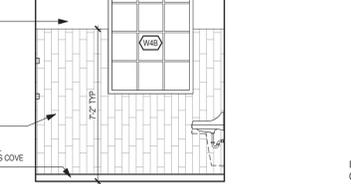
6 ENLARGED FLOOR PLAN - ADA TLT. 104
SCALE: 1/4" = 1'-0"



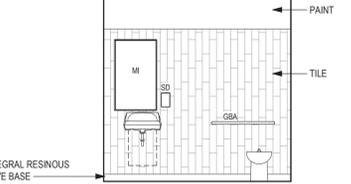
2 106 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



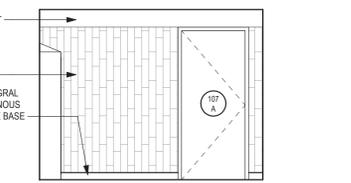
3 106 EAST ELEVATION
SCALE: 1/4" = 1'-0"



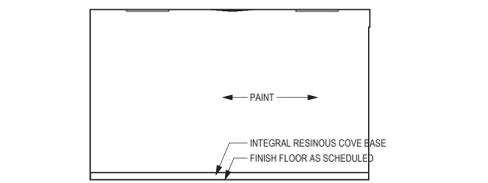
7 104 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



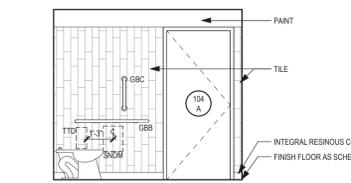
8 104 EAST ELEVATION
SCALE: 1/4" = 1'-0"



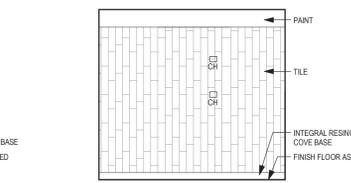
4 106 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



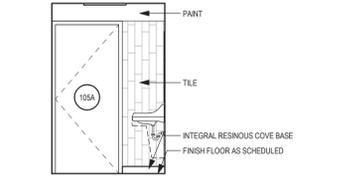
5 106 WEST ELEVATION
SCALE: 1/4" = 1'-0"



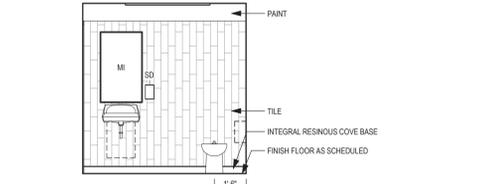
9 104 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



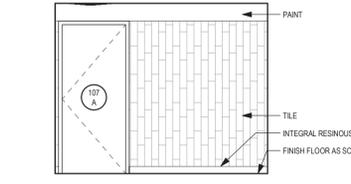
10 104 WEST ELEVATION
SCALE: 1/4" = 1'-0"



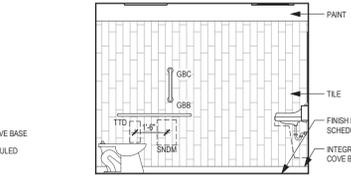
11 105 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



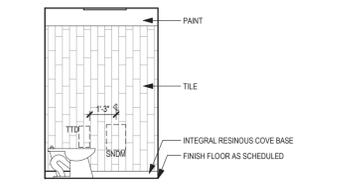
12 105 EAST ELEVATION
SCALE: 1/4" = 1'-0"



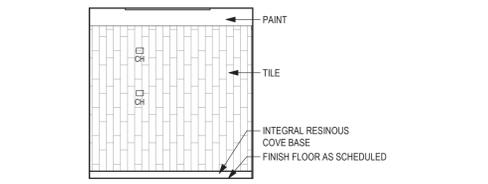
15 107 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



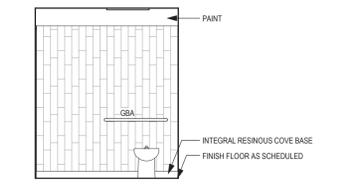
17 107 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



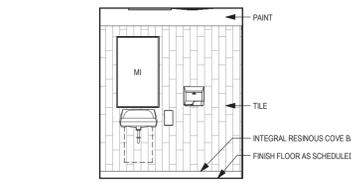
13 105 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



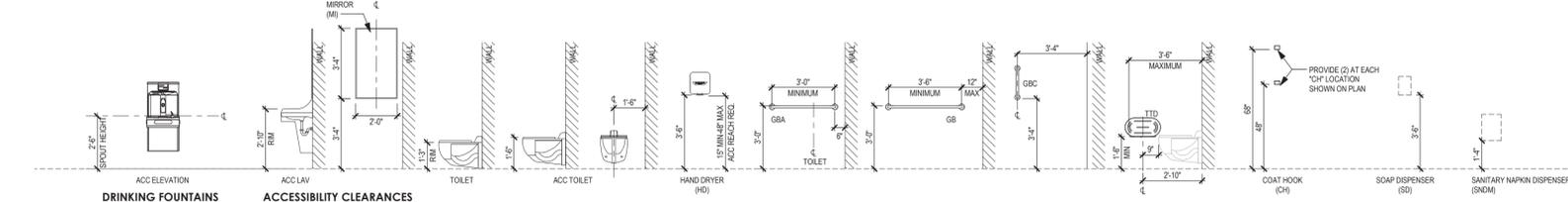
14 105 WEST ELEVATION
SCALE: 1/4" = 1'-0"



16 107 EAST ELEVATION
SCALE: 1/4" = 1'-0"



18 107 WEST ELEVATION
SCALE: 1/4" = 1'-0"



TYPICAL MOUNTING HEIGHTS
SCALE: 1/4" = 1'-0"

NEW CONSTRUCTION KEYNOTES

- 01A PROVIDE NEW STRUCTURAL SLAB ON DECK AND FLOOR FRAMING. SEE STRUCTURAL DRAWINGS.
- 01B INFILL POOL AND ADJACENT PIPE TUNNEL. PROVIDE STRUCTURAL SLAB ON GRADE. SEE STRUCTURAL DRAWINGS. PRIOR TO INSTALLING STRUCTURAL FILL, INSTALL GEOTEXTILE FABRIC (WINFAB 450 OR EQUAL) AS BARRIER BETWEEN POOL, TILE AND FILL.
- 02 FLAT PANEL DISPLAY BY OWNER. INSTALL (2) ROWS X 48" LONG FIRE-TREATED WOOD BACKING PLATE. COORDINATE EXACT LOCATION IN FIELD.
- 03 PC TO PROVIDE ADA-COMPLIANT, DUAL-STATION DRINKING FOUNTAIN.
- 04 PROVIDE OPERABLE PARTITION.
- 05 PROVIDE OPERABLE PARTITION POCKET DOOR FOR OPERABLE MARKERBOARD PARTITION.
- 06 PROVIDE HARDWOOD VENEER PLYWOOD CORNER GUARD. SEE INTERIOR DETAILS.
- 07 LAMINATE EXISTING WALL WITH 5/8" GWB.
- 08 PREP, PRIME, AND PAINT ALL SURFACES OF EXISTING EXTERIOR STEEL STAIR. MODIFY FOOTING AT FOUR POSTS. SEE STRUCTURAL DRAWINGS.
- 09 PROVIDE METAL COMPOSITE WALL PANEL COLUMN WRAP. SEE INTERIOR ELEVATIONS AND INTERIOR DETAILS.
- 10 FABRICATED ENGINEERED CANOPY AND FOOTING.
- 11A RECESSED FIRE EXTINGUISHER CABINET
- 11B SURFACE-MOUNTED FIRE EXTINGUISHER CABINET
- 12 3 X 3 ACCESS DOOR. PROVIDE LINTEL FOR NEW OPENING
- 12 PAINT EXISTING SOFFIT INCLUDING VERTICAL FACE OF WALL
- 13 REMOVE EXISTING AND PROVIDE NEW DOWNSPOUT. CONNECT TO EXISTING COLLECTOR BOX. TIE IN TO NEW STORM LINE PER SITE DRAWINGS
- 14 FROST-PROTECTED ENTRANCE SLAB. SEE STRUCTURAL DETAILS. PROVIDE SLEEVE IN WALL FOR STORM LINE
- 15 PAINT UNDER-SIDE OF EXISTING EXPOSED STAIR STRUCTURE
- 16 12 X 4 MARKER BOARD WITH WOOD TRIM. SEE INTERIOR DETAILS

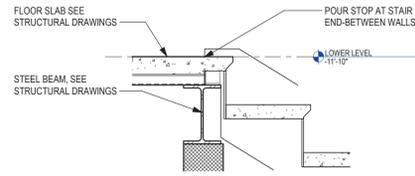
SED NUMBERS: Administration Building: 66-15-00-01-0-09-013
 BEFORE WORK IS STARTED, CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS AT THE SITE AND IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES.
 ALLEGATION OF THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED REGISTERED ARCHITECT IS ILLEGAL AND A VIOLATION OF SECTION 2307 OF THE NEW YORK STATE EDUCATION LAW.
 Revision: 05/21/2025
 Drawing Title: ENLARGED PLANS & ELEVATIONS
 Drawing Number: G 501
 Date: October 11, 2024
 Drawn by: HWK

Consultant:
Seal

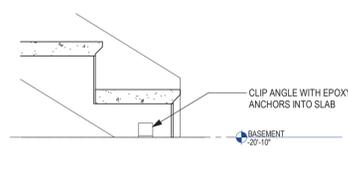
Alterations to Administration Building

Peekskill City School District
Peekskill, New York

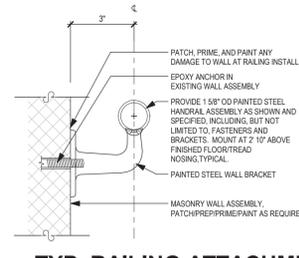
MOSAIC ASSOCIATES
Mosaic Associates Architects, PC
The Fire Building, 2 Third Street, Suite 440, Troy, NY 12180



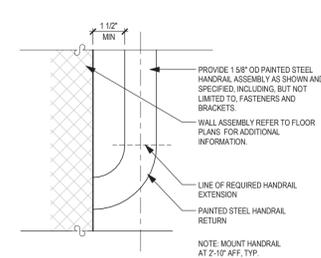
1 LOWER LEVEL STAIR DETAIL
SCALE: 1" = 1'-0"



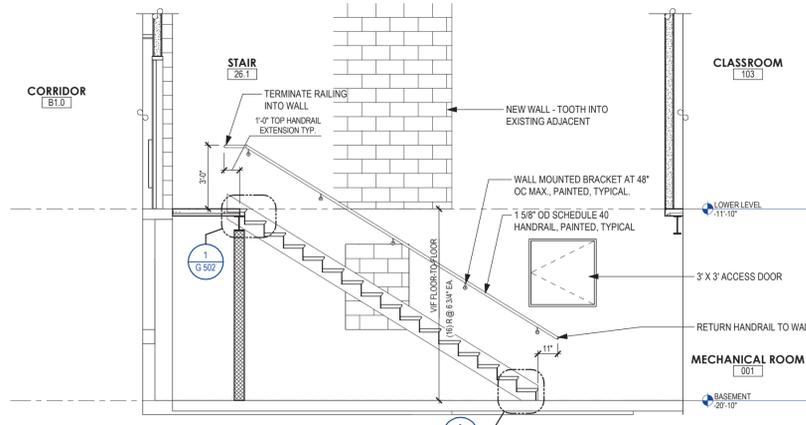
2 BASEMENT STAIR DETAIL
SCALE: 1" = 1'-0"



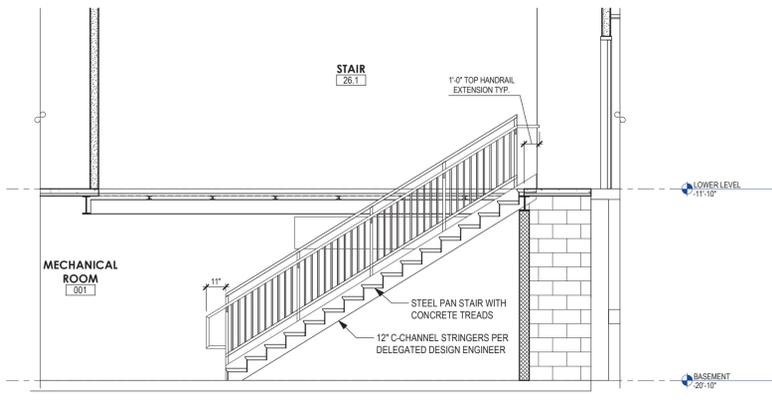
3 TYP. RAILING ATTACHMENT AT MAS. ASSEMBLY
SCALE: 3" = 1'-0"



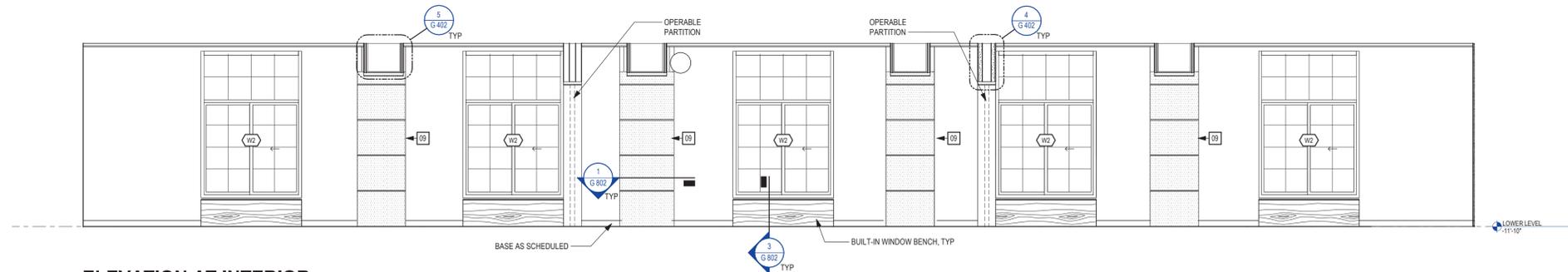
4 TYP. RAILING TERMINATION
SCALE: 3" = 1'-0"



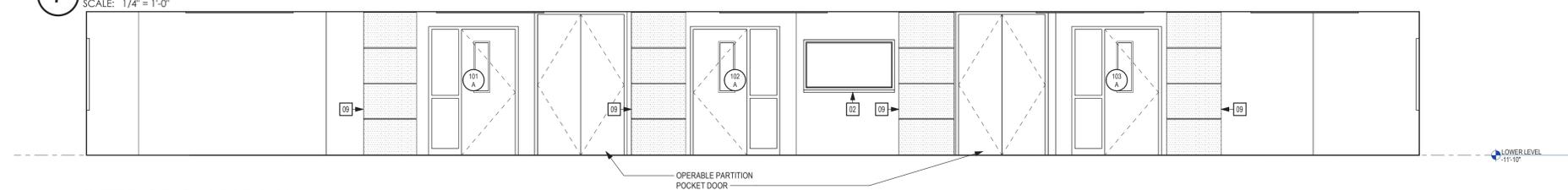
5 NEW STAIR SECTION EAST
SCALE: 1/4" = 1'-0"



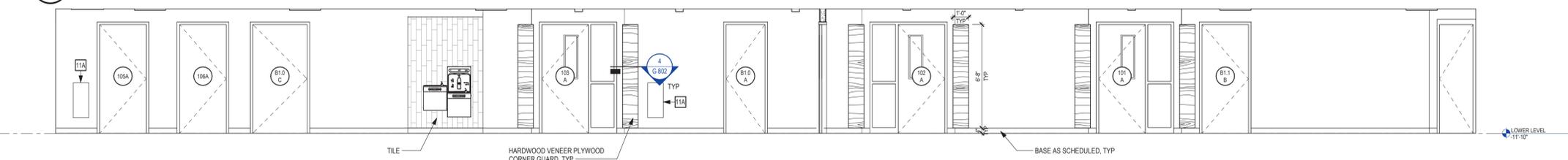
6 NEW STAIR SECTION WEST
SCALE: 1/4" = 1'-0"



7 ELEVATION AT INTERIOR CLASSROOM
SCALE: 1/4" = 1'-0"



8 INTERIOR CLASSROOM ELEVATION NORTH
SCALE: 1/4" = 1'-0"



9 INTERIOR ELEVATION AT CORRIDOR
SCALE: 1/4" = 1'-0"

NEW CONSTRUCTION KEYNOTES

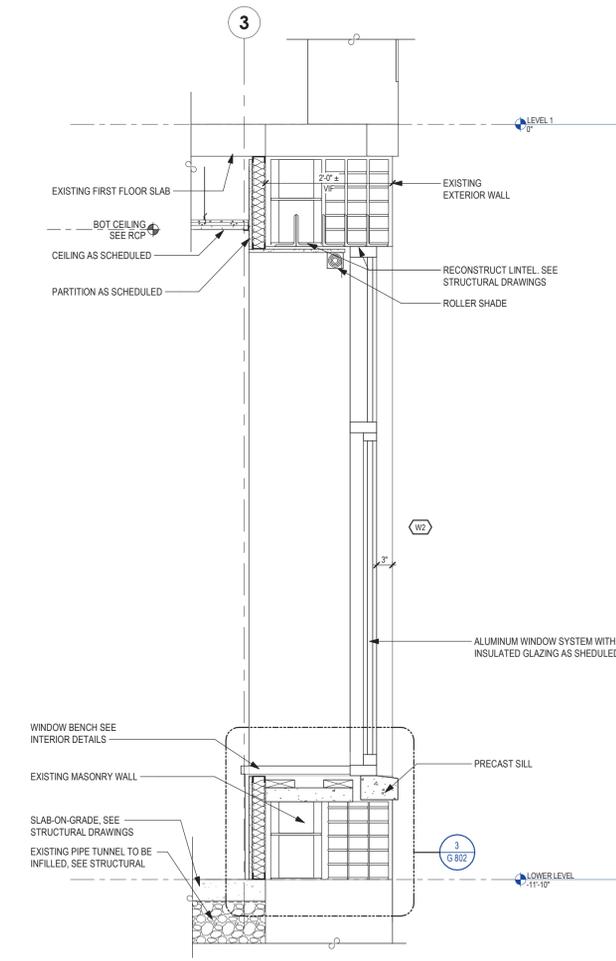
- 01A PROVIDE NEW STRUCTURAL SLAB ON DECK AND FLOOR FRAMING. SEE STRUCTURAL DRAWINGS.
- 01B INFILL POOL AND ADJACENT PIPE TUNNEL. PROVIDE STRUCTURAL SLAB ON GRADE. SEE STRUCTURAL DRAWINGS. PRIOR TO INSTALLING STRUCTURAL FILL, INSTALL GEOTEXTILE FABRIC (WINFAB 450 OR EQUAL) AS BARRIER BETWEEN POOL TILE AND FILL.
- 02 FLAT PANEL DISPLAY BY OWNER. INSTALL (2) ROWS X 48" LONG FIRE-TREATED WOOD BACKING PLATE. COORDINATE EXACT LOCATION IN FIELD.
- 03 FC TO PROVIDE ADA-COMPLIANT, DUAL-STATION DRINKING FOUNTAIN.
- 04 PROVIDE OPERABLE PARTITION.
- 05 PROVIDE OPERABLE PARTITION POCKET DOOR FOR OPERABLE MARKERBOARD PARTITION.
- 06 PROVIDE HARDWOOD VENEER PLYWOOD CORNER GUARD. SEE INTERIOR DETAILS.
- 07 LAMINATE EXISTING WALL WITH 5/8" GWB.
- 08 PREP, PRIME, AND PAINT ALL SURFACES OF EXISTING EXTERIOR STEEL STAIR. MODIFY FOOTING AT FOUR POSTS. SEE STRUCTURAL DRAWINGS.
- 09 PROVIDE METAL COMPOSITE WALL PANEL COLUMN WRAP. SEE INTERIOR ELEVATIONS AND INTERIOR DETAILS.
- 10 FABRICATED ENGINEERED CANOPY AND FOOTING.
- 11A RECESSED FIRE EXTINGUISHER CABINET
- 11B SURFACE MOUNTED FIRE EXTINGUISHER CABINET
- 12 3' X 3' ACCESS DOOR. PROVIDE LINTEL FOR NEW OPENING.
- 12 PAINT EXISTING SOFFIT INCLUDING VERTICAL FACE OF WALL.
- 13 REMOVE EXISTING AND PROVIDE NEW DOWNSPOUT. CONNECT TO EXISTING COLLECTOR BOX. TIE IN TO NEW STORM LINE PER SITE DRAWINGS.
- 14 FROST-PROTECTED ENTRANCE SLAB. SEE STRUCTURAL DETAILS. PROVIDE SLEEVE IN WALL FOR STORM LINE.
- 15 PAINT UNDER-SIDE OF EXISTING EXPOSED STAIR STRUCTURE.
- 16 12" X 4" MARKER BOARD WITH WOOD TRIM. SEE INTERIOR DETAILS.

SED NUMBERS: BEFORE WORK IS STARTED, CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS AT THE SITE, AND IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES. ALTERATION OF THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED REGISTERED ARCHITECT IS ILLEGAL AND A VIOLATION OF SECTION 2307 OF THE NEW YORK STATE EDUCATION LAW.
 Revision: 05/21/2024
 Drawing Title: CORRIDOR & STAIR ELEVATIONS
 Drawing Number: G 502
 Date: October 11, 2024
 Drawn by: RHW/SL
 Date: APRIL 22, 2024

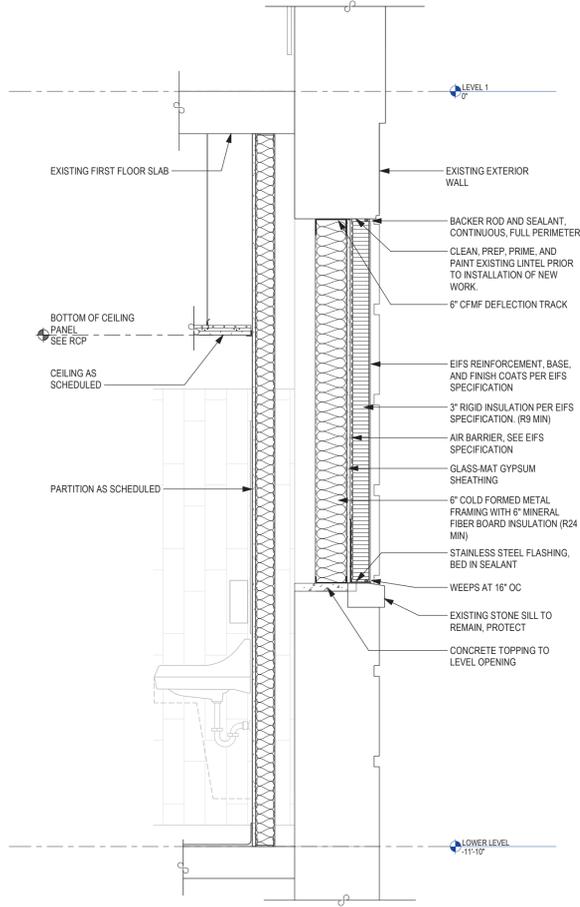
Alterations to Administration Building

Peekskill City School District
Peekskill, New York



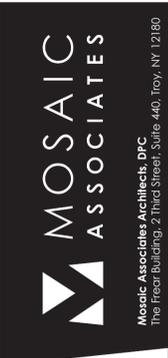


3
WALL SECTION AT NEW CLASSROOM WINDOW
 SCALE: 3/4" = 1'-0"



2
WALL SECTION AT WINDOW INFILL
 SCALE: 3/4" = 1'-0"

SED NUMBERS: Administration Building: 66-15-001-0-09-013
 BEFORE WORK IS STARTED, CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS AT THE SITE, AND IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES. ALTERATION OF THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED REGISTERED ARCHITECT IS ILLEGAL AND A VIOLATION OF SECTION 2307 OF THE NEW YORK STATE EDUCATION LAW.
 Drawing Title: WALL SECTIONS
 Drawing Number: G 601
 Date: October 11, 2024
 Drawn by: RWK
 APN: 2226.2A
 Consultant: Mosaic Associates Architects, DPC
 The Fear Building, 2 Third Street, Suite 440, Troy, NY 12180

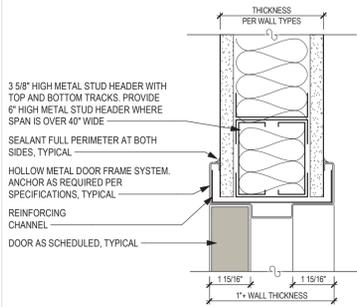


Alterations to Administration Building
 Peekskill City School District
 Peekskill, New York

G 601

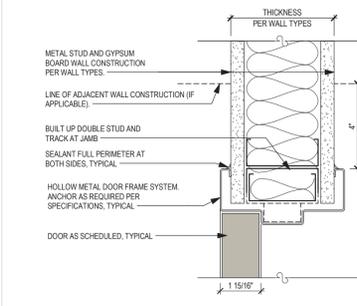
1 HEAD DETAIL

SCALE: 3" = 1'-0"



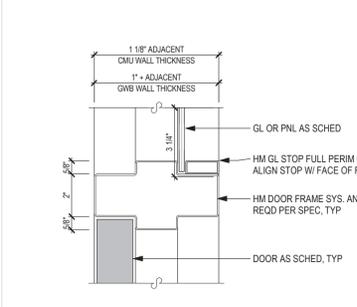
2 JAMB DETAIL

SCALE: 3" = 1'-0"



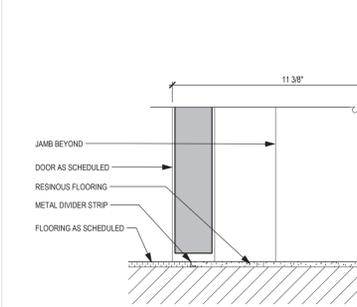
3 INTERMEDIATE DETAIL

SCALE: 3" = 1'-0"



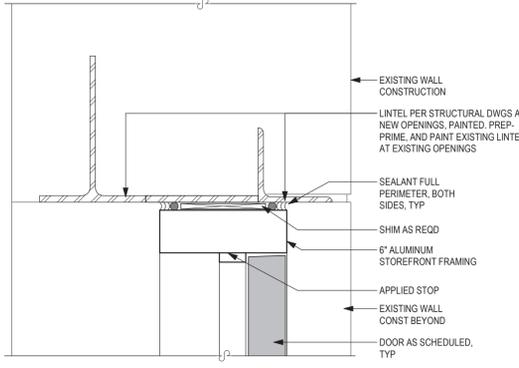
4 SILL DETAIL

SCALE: 3" = 1'-0"



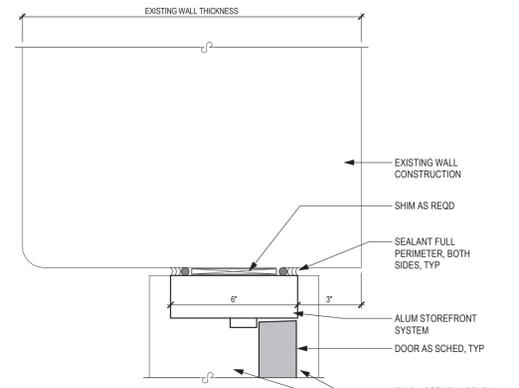
5 AL DOOR HEAD AT EXTERIOR MASONRY WALL

SCALE: 3" = 1'-0"



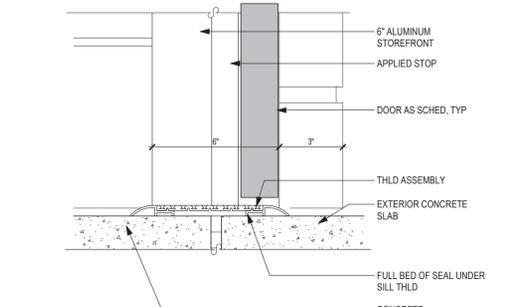
6 AL DOOR JAMB AT EXISTING MASONRY WALL

SCALE: 3" = 1'-0"



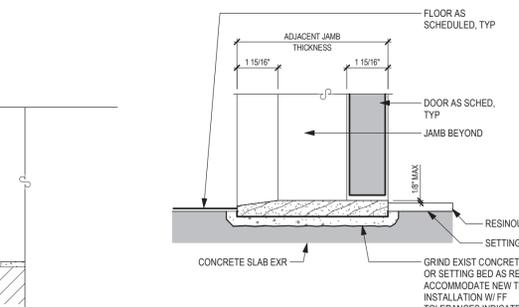
7 AL SILL AT EXISTING MASONRY WALL

SCALE: 3" = 1'-0"



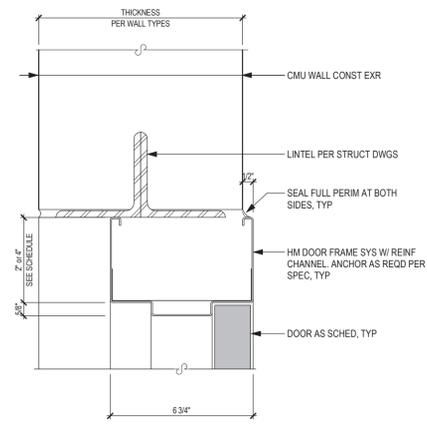
8 MARBLE SILL DETAIL

SCALE: 3" = 1'-0"



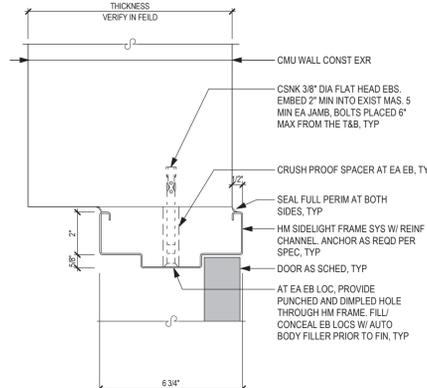
9 HM DOOR HEAD AT EXISTING MASONRY WALL

SCALE: 3" = 1'-0"



10 HM DOOR JAMB AT EXISTING MASONRY WALL

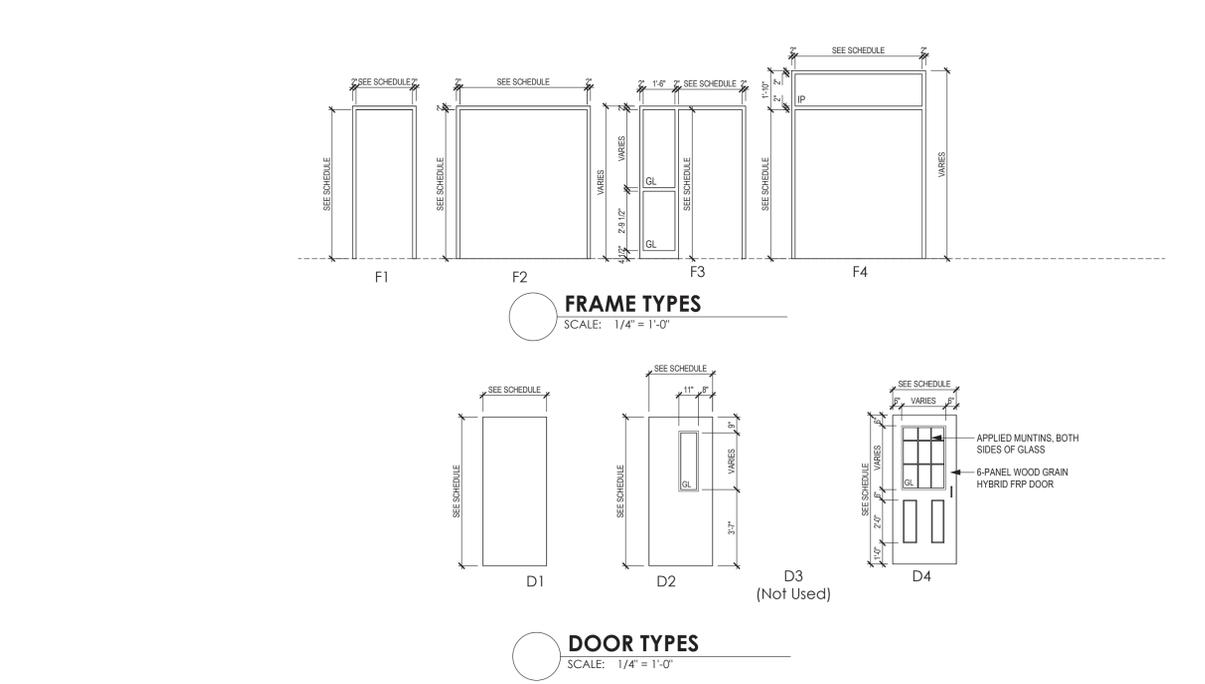
SCALE: 3" = 1'-0"

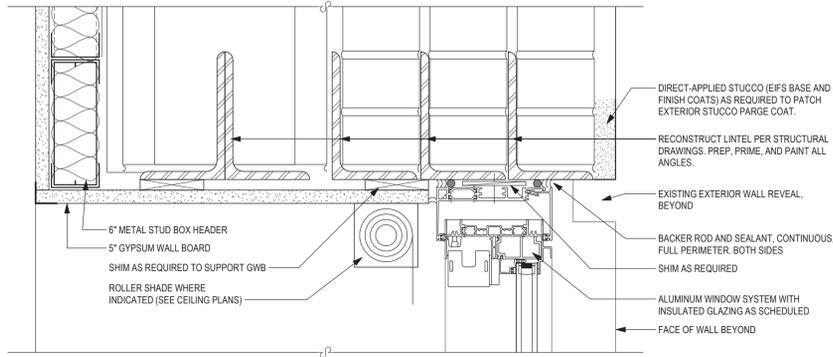


| DOOR AND DOOR FRAME SCHEDULE | | | | | | | | | | | | | | | | | | | | |
|------------------------------|-------------------|------------------|-------------------|-----------|---------------|---------------|--------|-----------|--------------------|------------------|--------------|------------|-------------|-------------|---------------------|-------------|--------------------|-------------|--------------|---|
| DOOR NUMBER | DOOR CONSTRUCTION | GLAZING MATERIAL | FACING AND FINISH | DOOR TYPE | PANEL 1 WIDTH | PANEL 2 WIDTH | HEIGHT | THICKNESS | DOOR | | | | FRAME | | | | THRESHOLD MATERIAL | FIRE RATING | HARDWARE SET | REMARKS |
| | | | | | | | | | FRAME CONSTRUCTION | GLAZING MATERIAL | FRAME FINISH | FRAME TYPE | HEAD DETAIL | JAMB DETAIL | INTERMEDIATE DETAIL | SILL DETAIL | | | | |
| 101 A | SC | FPSG-1 | WS | D2 | 3'-0" | | 7'-0" | 1 3/4" | HM | FPSG-2 | MP | F3 | 1/G701 | 2/G701 | 3/G701 | 4/G701 | - | 20-45 | 3 | |
| 102 A | SC | FPSG-1 | WS | D2 | 3'-0" | | 7'-0" | 1 3/4" | HM | FPSG-2 | MP | F3 | 1/G701 | 2/G701 | 3/G701 | 4/G701 | - | 20-45 | 3 | |
| 103 A | SC | FPSG-1 | WS | D2 | 3'-0" | | 7'-0" | 1 3/4" | HM | FPSG-2 | MP | F3 | 1/G701 | 2/G701 | 3/G701 | 4/G701 | - | 20-45 | 3 | |
| 104 A | SC | - | WS | D1 | 3'-0" | | 7'-0" | 1 3/4" | HM | - | MP | F1 | 1/G701 | 2/G701 | - | 8/G701 | MB | 45 | 8 | |
| 105A | SC | - | WS | D1 | 3'-0" | | 7'-0" | 1 3/4" | HM | - | MP | F1 | 1/G701 | 2/G701 | - | 8/G701 | MB | 45 | 8 | |
| 106A | SC | - | WS | D1 | 3'-0" | | 7'-0" | 1 3/4" | HM | - | MP | F1 | 1/G701 | 2/G701 | - | 8/G701 | MB | 45 | 10 | |
| 107 A | SC | - | WS | D1 | 3'-0" | | 7'-0" | 1 3/4" | HM | - | MP | F1 | 1/G701 | 2/G701 | - | 8/G701 | MB | - | 9 | |
| B1.0 A | SC | - | WS | D1 | 2'-6" | | 7'-0" | 1 3/4" | HM | - | MP | F1 | 1/G701 | 2/G701 | - | 4/G701 SIM | AL | 45 | 11 | |
| B1.0 B | SC | - | WS | D1 | 3'-0" | | 7'-0" | 1 3/4" | HM | - | MP | F1 | 9/G701 | 10/G701 | - | 4/G701 SIM | AL | 45 | 7 | |
| B1.0 C | SC | - | WS | D1 | 3'-6" | | 7'-0" | 1 3/4" | HM | - | MP | F1 | 1/G701 | 2/G701 | - | 4/G701 SIM | AL | 45 | 6 | |
| B1.0 D | FRP | INLG | FF | D4 | 3'-0" | 3'-0" | 7'-0" | 1 3/4" | AL | - | AN | F2 | 5/G701 | 6/G701 | - | 7/G701 | AL | - | 1 | DAC, KRM |
| B1.1 A | SC | - | WS | D1 | 2'-2" | | 7'-0" | 1 3/4" | EXR | - | MP | EXR | - | - | - | 4/G701 | - | 20 | 12 | PAINT EXISTING FRAME |
| B1.1 B | SC | - | WS | D1 | 3'-0" | | 7'-0" | 1 3/4" | HM | - | MP | F1 | 1/G701 | 2/G701 | - | 4/G701 | - | 45 | 12 | |
| B1.1 C | SC | FPSG-1 | WS | D2 | 3'-0" | 3'-0" | 7'-0" | 1 3/4" | HM | - | MP | F2 | 1/G701 | 2/G701 SIM | - | 4/G701 | - | 20 | 4 | DE, MHO |
| B1.2 A | SC | LG | WS | D2 | 3'-0" | 3'-0" | 7'-0" | 1 3/4" | HM | - | MP | F2 | 1/G701 | 2/G701 | - | 4/G701 | - | - | 2 | DAC |
| B1.2 B | SC | FRSG | WS | D2-D1 | 3'-0" | 2'-4" | 7'-0" | 1 3/4" | HM | - | MP | F2 | 8/G701 | 6/G701 | - | 4/G701 | - | 45 | 5 | ACTIVE LEAF: D2, INACTIVE LEAF: D1, MHO |
| B1.3 A | FRP | INLG | FF | D4 | 3'-4" | 2'-2" | 7'-0" | 1 3/4" | AL | IP | AN | F4 | 5/G701 | 6/G701 | - | 7/G701 | AL | - | 1 | DAC, KRM |

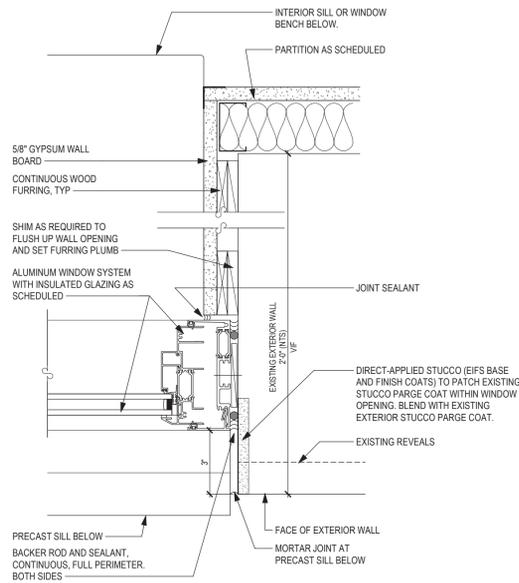
| DOOR and DOOR FRAME SCHEDULE NOTES | |
|--|---|
| ABBREVIATIONS : AL ALUMINIUM AN ALUMINIUM, ANODIZED DAC DOOR ACCESS CONTROL EX EXISTING EXMP EXISTING METAL PAINTED EXWP EXISTING WOOD PAINTED EXR EXISTING TO REMAIN FF PRE-APPLIED FACTORY FINISH FRP FIBERGLASS REINFORCED POLYESTER WITH PRE APPLIED FACTORY FINISH FPSG FIRE PROTECTION RATED SAFETY GLAZING | NOTES : 1. DOOR TYPE : DESIGNATION INDICATES DOOR TYPE NUMBER. 2. FRAME TYPE : DESIGNATION INDICATES FRAME TYPE NUMBER. 3. FRAME DETAILS : DESIGNATION INDICATES DETAIL NUMBER. 4. FIRE RATING : 20, 45, 60, 180 INDICATES REQUIRED MINUTES OF FIRE RATING. 20-45 INDICATES 20-MINUTE DOOR RATING AND 45-MINUTE SIDELIGHT GLASS RATING |

- ### DOOR AND DOOR FRAME NOTES
- ALL DIMENSIONS ARE NOMINAL UNLESS OTHERWISE NOTED
 - PLUS OR MINUS VERIFY IN FIELD (+/- VIF) NOTATIONS ARE USED IN DIMENSION STRINGS TO ACCOUNT FOR VARIATIONS IN EXISTING CONDITIONS. THE (SUB) CONTRACTOR SHALL VERIFY ALL +/- VIF DIMENSIONS PRIOR TO BIDS, TYPICAL
 - SEE DOOR AND FRAME SCHEDULE FOR ANY FIRE RATING, TYPICAL
 - SEE FRAME DETAILS AND WALL TYPE LEGEND FOR REQUIRED DEPTH OF DOOR FRAMES, TYPICAL
 - SHIM ALL DOOR FRAMES AS REQUIRED, TYPICAL
 - PROVIDE SEALANT FULL PERIMETER OF DOOR FRAMES AT EACH SIDE, TYPICAL
 - PROVIDE VERTICAL AND HORIZONTAL CHANNEL REINFORCING AS REQUIRED, TYPICAL
 - PROVIDE FRAME ANCHORS TO NEW CONSTRUCTION AS REQUIRED, TYPICAL. SEE SPECIFICATIONS
 - PROVIDE 4" DIAMETER SAFETY GLAZING DECAL AS REQUIRED PER NEW YORK STATE DEPARTMENT OF LABOR INDUSTRIAL CODE RULE NUMBER 47
 - STOPS NOT SHOWN FOR CLARITY
 - "GL" INDICATES GLAZING. REFER TO SCHEDULE FOR GLAZING TYPES

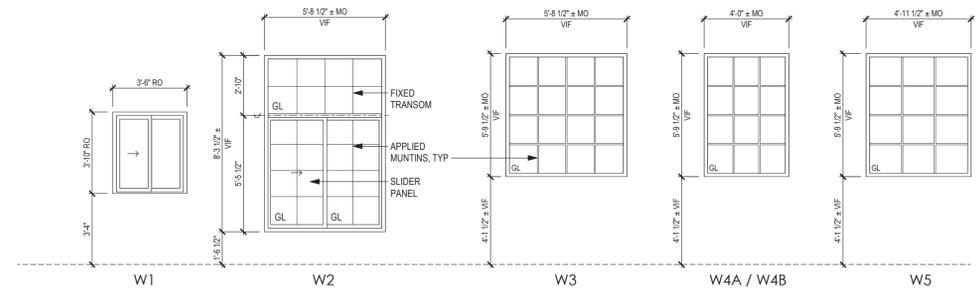




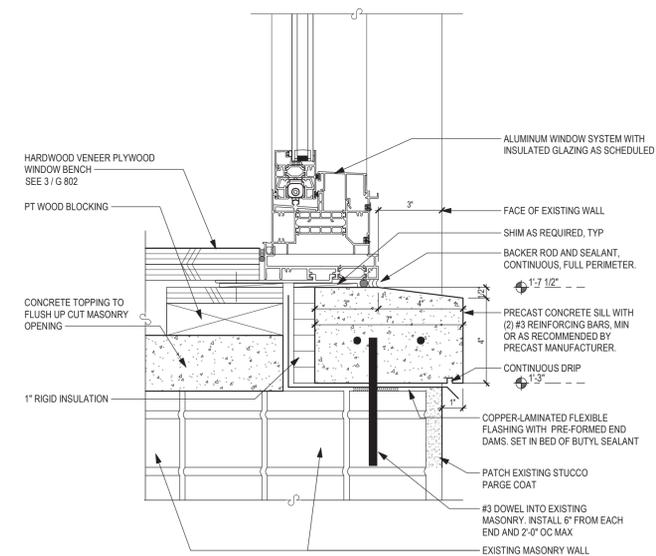
1 HEAD DETAIL
SCALE: 3" = 1'-0"



3 JAMB DETAIL
SCALE: 3" = 1'-0"



2 WINDOW TYPES
SCALE: 1/4" = 1'-0"



7 SILL DETAIL
SCALE: 3" = 1'-0"

| WINDOW SCHEDULE | | | | | | | | | |
|-----------------|--------------------|--------------|--------------|------------------|-------------|-------------|-------------|-------------|---------------------------------|
| WINDOW TYPE | FRAME CONSTRUCTION | GLAZING TYPE | FRAME FINISH | WINDOW OPERATION | HEAD DETAIL | JAMB DETAIL | SILL DETAIL | FIRE RATING | REMARKS |
| W1 | AL | LG | FF | SL | 2/G 702 | 4/G 702 | 6/G 702 | - | ALUMINUM SLIDING SERVICE WINDOW |
| W2 | AL | INSG-1 | AN | SL | 1/G 702 | 3/G 702 | 7/G 702 | - | |
| W3 | AL | INSG-1 | FF | FX | 1/G 702 | 3/G 702 | 5/G 702 | - | |
| W4A | AL | INSG-1 | FF | FX | 1/G 702 | 3/G 702 | 5/G 702 | - | |
| W4B | AL | INSG-2 | FF | FX | 1/G 702 | 3/G 702 | 5/G 702 | - | |
| W5 | AL | INSG-1 | FF | FX | 1/G 702 | 3/G 702 | 5/G 702 | - | |

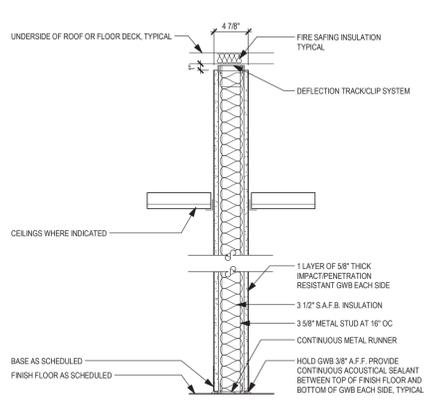
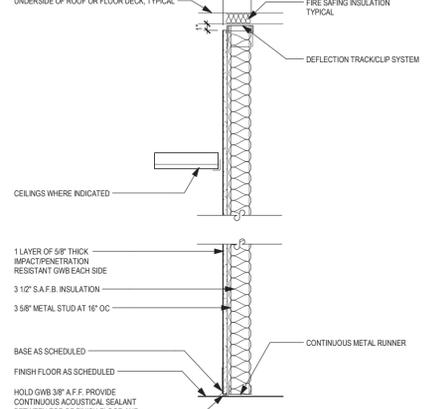
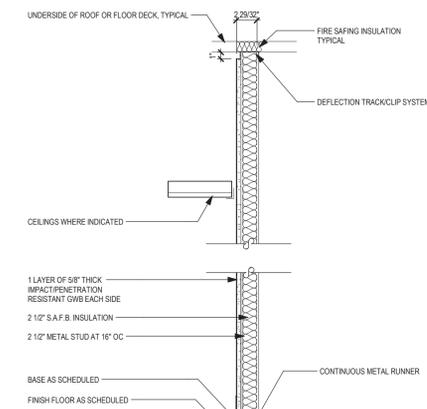
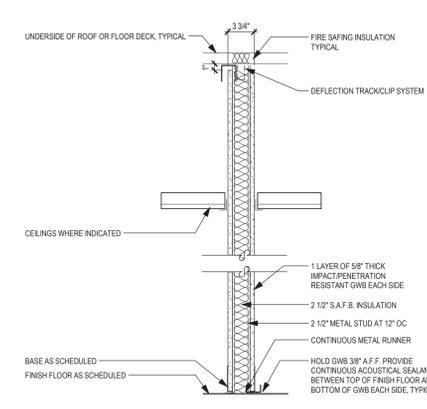
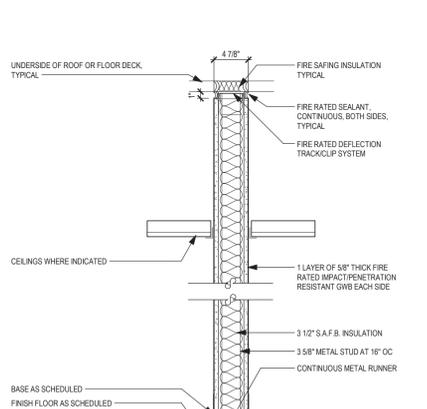
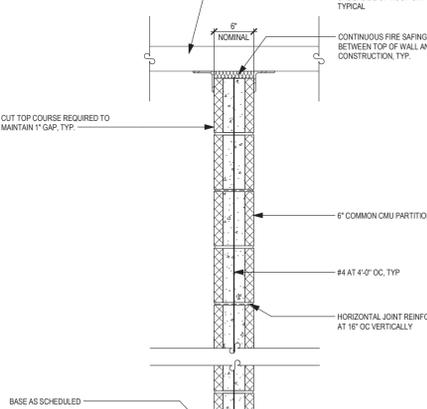
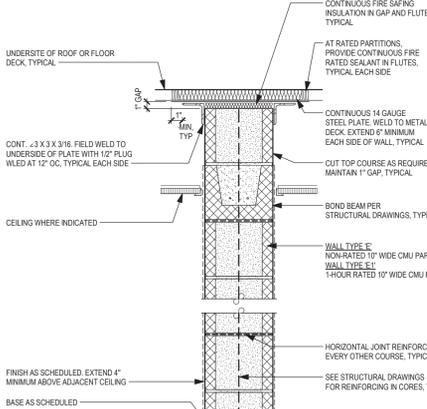
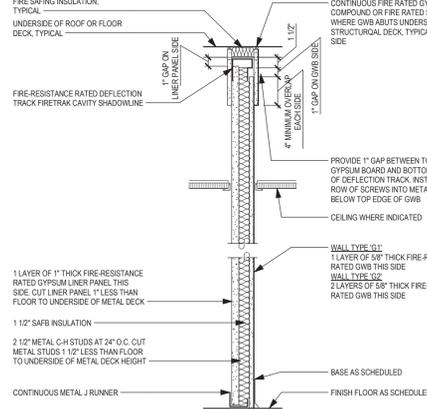
WINDOW SCHEDULE NOTES

- ABBREVIATIONS:
AL ALUMINUM
AN ALUMINUM ANODIZED
INSG INSULATED SAFETY GLAZING
- WINDOW SASH OPERATION:
FX FIXED
SL SLIDER
CS CASEMENT
- FRAME DETAILS: DESIGNATION INDICATES DETAIL NUMBER
- WINDOW TYPE: DESIGNATION INDICATES WINDOW TYPE NUMBER. SEE WINDOW TYPES FOR ADDITIONAL INFORMATION

GENERAL WINDOW NOTES

- SHIM ALL WINDOWS AS REQUIRED
- PROVIDE SEALANT AT FULL PERIMETER, BOTH SIDES OF WALL
- FILL ALL EXTERIOR FRAMES VIDS WITH BATT INSULATION
- COORDINATE WINDOW UNIT SIZES WITH MASONRY OPENING DIMENSIONS AND DETAILS
- FIELD VERIFY SIZES OF EXISTING ROUGH OPENINGS AND ADJUST UNIT SIZES ACCORDINGLY
- SEE ELEVATIONS FOR OPERATION DIRECTION OF EACH OPERABLE WINDOW
- SEE CODE COMPLIANCE FLOOR PLANS FOR EMERGENCY RESCUE WINDOW (RW) LOCATIONS. PROVIDE STICKER AT EACH. EVERY RESCUE WINDOW SHALL HAVE A MINIMUM CLEAR OPERING AREA OF 8 S.F. AND MINIMUM DIMENSION OF 24". WINDOW HARDWARE SHALL BE A MAXIMUM OF 54" A.F.F.

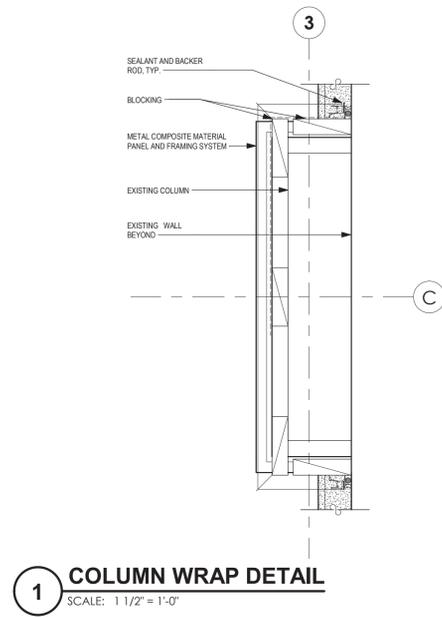
INTERIOR WALL TYPES

| A | | B | | D | | F | |
|--|--|---|--|---|--|--|--|
|  <p>UNDERSIDE OF ROOF OR FLOOR DECK, TYPICAL 4 7/8" FIRE SAFING INSULATION TYPICAL DEFLECTION TRACKCLIP SYSTEM CEILING WHERE INDICATED 1 LAYER OF 5/8" THICK IMPACT PENETRATION RESISTANT GWB EACH SIDE 3 1/2" S.A.F.B. INSULATION 3 5/8" METAL STUD AT 16" OC CONTINUOUS METAL RUNNER BASE AS SCHEDULED FINISH FLOOR AS SCHEDULED HOLD GWB 3/8" A.F.F. PROVIDE CONTINUOUS ACOUSTICAL SEALANT BETWEEN TOP OF FINISH FLOOR AND BOTTOM OF GWB EACH SIDE, TYPICAL</p> | |  <p>UNDERSIDE OF ROOF OR FLOOR DECK, TYPICAL 4" FIRE SAFING INSULATION TYPICAL DEFLECTION TRACKCLIP SYSTEM CEILING WHERE INDICATED 1 LAYER OF 5/8" THICK IMPACT PENETRATION RESISTANT GWB EACH SIDE 3 1/2" S.A.F.B. INSULATION 3 5/8" METAL STUD AT 16" OC CONTINUOUS METAL RUNNER BASE AS SCHEDULED FINISH FLOOR AS SCHEDULED HOLD GWB 3/8" A.F.F. PROVIDE CONTINUOUS ACOUSTICAL SEALANT BETWEEN TOP OF FINISH FLOOR AND BOTTOM OF GWB EACH SIDE, TYPICAL</p> | |  <p>UNDERSIDE OF ROOF OR FLOOR DECK, TYPICAL 2 29/32" FIRE SAFING INSULATION TYPICAL DEFLECTION TRACKCLIP SYSTEM CEILING WHERE INDICATED 1 LAYER OF 5/8" THICK IMPACT PENETRATION RESISTANT GWB EACH SIDE 2 1/2" S.A.F.B. INSULATION 2 1/2" METAL STUD AT 16" OC CONTINUOUS METAL RUNNER BASE AS SCHEDULED FINISH FLOOR AS SCHEDULED HOLD GWB 3/8" A.F.F. PROVIDE CONTINUOUS ACOUSTICAL SEALANT BETWEEN TOP OF FINISH FLOOR AND BOTTOM OF GWB EACH SIDE, TYPICAL</p> | |  <p>UNDERSIDE OF ROOF OR FLOOR DECK, TYPICAL 3 3/4" FIRE SAFING INSULATION TYPICAL DEFLECTION TRACKCLIP SYSTEM CEILING WHERE INDICATED 1 LAYER OF 5/8" THICK IMPACT PENETRATION RESISTANT GWB EACH SIDE 2 1/2" S.A.F.B. INSULATION 2 1/2" METAL STUD AT 12" OC CONTINUOUS METAL RUNNER BASE AS SCHEDULED FINISH FLOOR AS SCHEDULED HOLD GWB 3/8" A.F.F. PROVIDE CONTINUOUS ACOUSTICAL SEALANT BETWEEN TOP OF FINISH FLOOR AND BOTTOM OF GWB EACH SIDE, TYPICAL</p> | |
| NON-RATED 3 5/8" STUD PARTITION NONBEARING | | NON-RATED 3 5/8" STUD PARTITION, SINGLE SIDED | | NON-RATED 2 1/2" STUD PARTITION, ONE-SIDED NONBEARING | | NON-RATED 2 1/2" STUD PARTITION NONBEARING | |
|  <p>UNDERSIDE OF ROOF OR FLOOR DECK, TYPICAL 4 7/8" FIRE SAFING INSULATION TYPICAL FIRE RATED SEALANT, CONTINUOUS, BOTH SIDES, TYPICAL FIRE RATED DEFLECTION TRACKCLIP SYSTEM CEILING WHERE INDICATED 1 LAYER OF 5/8" THICK FIRE RATED IMPACT PENETRATION RESISTANT GWB EACH SIDE 3 1/2" S.A.F.B. INSULATION 3 5/8" METAL STUD AT 16" OC CONTINUOUS METAL RUNNER BASE AS SCHEDULED FINISH FLOOR AS SCHEDULED</p> | |  <p>UNDERSIDE OF ROOF OR FLOOR DECK, TYPICAL 6" NOMINAL CONTINUOUS FIRE SAFING INSULATION BETWEEN TOP OF WALL AND ROOF CONSTRUCTION, TYP. OUT TOP COURSE REQUIRED TO MAINTAIN 1" GAP, TYP. CONT. #3 X 3 X 3/16 FIELD WELD TO UNDERSIDE OF PLATE WITH 1/2" PLUG WELD AT 12" OC, TYPICAL EACH SIDE CEILING WHERE INDICATED 6" COMMON CMU PARTITION #4 AT 4'-0" O.C., TYP. HORIZONTAL JOINT REINFORCING AT 16" OC VERTICALLY FINISH FLOOR AS SCHEDULED</p> | |  <p>UNDERSIDE OF ROOF OR FLOOR DECK, TYPICAL CONTINUOUS FIRE SAFING INSULATION IN GAP AND FLUTES, TYPICAL AT RATED PARTITIONS, PROVIDE CONTINUOUS FIRE RATED SEALANT IN FLUTES, TYPICAL EACH SIDE CONTINUOUS 14 GAUGE STEEL PLATE WELD TO METAL DECK, EXTEND 6" MINIMUM EACH SIDE OF WALL, TYPICAL CUT TOP COURSE AS REQUIRED TO MAINTAIN 1" GAP, TYPICAL BOND BEAM PER STRUCTURAL DRAWINGS, TYPICAL WALL TYPE 'E' NON-RATED 10" WIDE CMU PARTITION WALL TYPE 'E1' 1 HOUR RATED 10" WIDE CMU PARTITION HORIZONTAL JOINT REINFORCING AT EVERY OTHER COURSE, TYPICAL SEE STRUCTURAL DRAWINGS FOR REINFORCING IN CORES, TYPICAL FINISH AS SCHEDULED, EXTEND 4" MINIMUM ABOVE ADJACENT CEILING BASE AS SCHEDULED FINISH FLOOR AS SCHEDULED</p> | |  <p>FIRE SAFING INSULATION, TYPICAL UNDERSIDE OF ROOF OR FLOOR DECK, TYPICAL FIRE-RESISTANCE RATED DEFLECTION TRACK FIRETRAK CAVITY SHADOWLINE 1" GAP ON UNDERSIDE OF PANEL SIZE CONTINUOUS FIRE RATED GYPSUM COMPOUND OR FIRE RATED SEALANT WHERE GWB ABUTS UNDERSIDE OF STRUCTURAL DECK, TYPICAL EACH SIDE 1.12" 4" MINIMUM OVERLAP EACH SIDE 1" GAP ON GWB SIDE PROVIDE 1" GAP BETWEEN TOP OF GYPSUM BOARD AND BOTTOM FLANGE OF DEFLECTION TRACK. INSTALL TOP ROW OF SCREWS INTO METAL STUDS 3" BELOW TOP EDGE OF GWB CEILING WHERE INDICATED WALL TYPE 'G1' 1 LAYER OF 5/8" THICK FIRE-RESISTANCE RATED GWB THIS SIDE WALL TYPE 'G2' 2 LAYERS OF 5/8" THICK FIRE-RESISTANCE RATED GWB THIS SIDE 1 LAYER OF 1" THICK FIRE-RESISTANCE RATED GYPSUM LINER PANEL THIS SIDE. CUT LINER PANEL 1" LESS THAN FLOOR TO UNDERSIDE OF METAL DECK 1 1/2" SAFB INSULATION 2 1/2" METAL C4 STUDS AT 24" O.C. CUT METAL STUDS 1 1/2" LESS THAN FLOOR TO UNDERSIDE OF METAL DECK HEIGHT CONTINUOUS METAL J RUNNER BASE AS SCHEDULED FINISH FLOOR AS SCHEDULED</p> | |
| 1 HOUR RATED 3 5/8" STUD PARTITION NONBEARING | | NON-RATED 6" CMU NONBEARING | | NON-RATED 10" CMU NONBEARING | | 1-HOUR RATED SHAFTWALL PARTITION UL DESIGN NO. U415 - NONBEARING | |
| A1 | | C | | E | | G1 | |
| | | C1 | | E1 | | G2 | |
| | | C2 | | | | H1 | |
| | | | | | | 1-HOUR RATED 6" STUD PARTITION NONBEARING | |

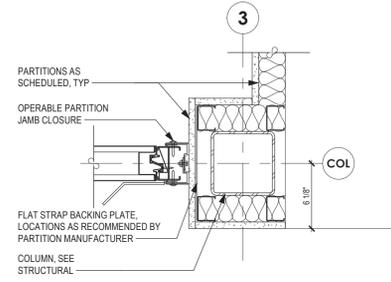
GENERAL WALL TYPE NOTES

- ALL PARTITIONS SHALL BE FROM STRUCTURE BELOW TO UNDERSIDE OF STRUCTURAL DECK ABOVE, TYPICAL UNLESS NOTED OTHERWISE.
- PROVIDE FIRE STOPPING, FIRE SAFING AND FIRE RATED SEALANT AT ALL VOIDS AND PENETRATIONS IN FIRE RATED ASSEMBLIES. ASSUME ALL EXISTING TO REMAIN WALLS ARE FIRE RATED.
- WHERE FIRE RATED PARTITIONS ARE LOCATED UNDER STEEL BEAMS OR JOISTS, EXTEND FIRE RATED CONSTRUCTION TO UNDERSIDE OF STRUCTURAL DECK ABOVE BY PROVIDING FIRE RATED CONSTRUCTION AROUND BEAM OR JOIST EQUAL TO FIRE RATING OF WALL BELOW.
- MAINTAIN CONTINUITY OF ALL FIRE RATED PARTITIONS THROUGH NON RATED PARTITIONS, WHERE NON RATED PARTITIONS ABUT OR BEHIND CASEWORK, FIRE EXTINGUISHERS, ELECTRICAL PANELS, ETC. TYPICAL.
- PROVIDE ALL CUT UNITS, ADDITIONAL FRAMING/BLOCKING, SEALANT, FIRE SAFING ETC. AS REQUIRED TO SEAL AROUND OR BETWEEN ALL CONSTRUCTION ELEMENTS AFFECTED BY NEW WALL CONSTRUCTION, TYPICAL UNLESS NOTED OTHERWISE.
- SEE ROOM FINISH SCHEDULE FOR WALL TILE, VINYL WALL COVERING AND PAINT LOCATIONS, TYPICAL.
- PROVIDE CONTINUOUS TAPEABLE EDGE BEAD AT ALL GYPSUM WALL BOARD LOCATIONS ABUTTING NEW OR EXISTING DISSIMILAR MATERIALS, TYPICAL UNLESS NOTED OTHERWISE.
- SEE STRUCTURAL DRAWINGS FOR BOND BEAMS, REINFORCING, GROUTING, BRACING AND LOAD BEARING ASSEMBLIES.
- INSTALL CONTINUOUS 6" WIDE 16 GA. GALVANIZED STEEL STRAP BLOCKING ACROSS FACE OF STUDS AT NEW METAL STUD WALLS TO RECEIVE NEW CASEWORK, SHELVING, TALL CASEWORK, TOILET PARTITIONS, TOILET ACCESSORIES, LOCKERS OR OTHER WALL MOUNTED/SECURED EQUIPMENT. COORDINATE IN FIELD EXACT LOCATIONS WITH PRIME CONTRACTOR AND SUBCONTRACTOR. PROVIDE TYPICAL STEEL STRAP BLOCKING AT NEW CASEWORK LOCATIONS AS FOLLOWS:
A. TOP AND BOTTOM OF BASE CABINETS
B. TOP AND BOTTOM OF WALL CABINETS
C. TOP, BOTTOM AND MIDPOINT OF TALL CABINETS
D. TOP, BOTTOM AND MIDPOINT OF COUNTERTOP SUPPORTS
E. TOP, BOTTOM AND MIDPOINT OF SHELF STANDARDS
- FIRE RATED WALL CONSTRUCTION SHALL BE PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING:
A. LOCATE AT ACCESSIBLE CONCEALED FLOOR, ATTIC OR FLOOR/CEILING SPACES
B. LOCATE WITHIN 15 FEET OF EACH WALL END AND AT 30 FEET OC BETWEEN WALL ENDS
C. LETTERING SHALL BE 3" HIGH WITH 3/8" WIDE STROKE MINIMUM IN CONTRASTING COLOR
D. INCORPORATE WORDING "FIRE AND/OR SMOKE BARRIER-PROTECT ALL OPENINGS"
- WHERE FINISH SCHEDULE AND/OR INTERIOR ELEVATIONS CALL FOR TILE, PROVIDE TILE BACKING PANEL IN LIEU OF GYPSUM WALL BOARD

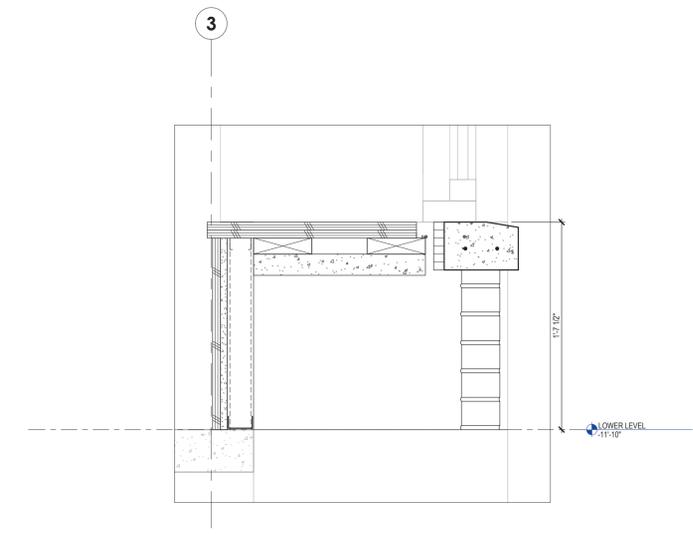
SED NUMBERS: Administration Building: 06-15-00-01-00-09-013
BEFORE WORK IS STARTED, CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS AT THE SITE AND IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES.
ALLEGATION OF THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED REGISTERED ARCHITECT IS ILLEGAL AND A VIOLATION OF SECTION 2307 OF THE NEW YORK STATE EDUCATION LAW.
Revision: 05/21/2025
Drawing Title: WALL TYPES
Drawing Number: G 801
Date: October 11, 2024
Drawn by: HWK
APN: 2226-2A



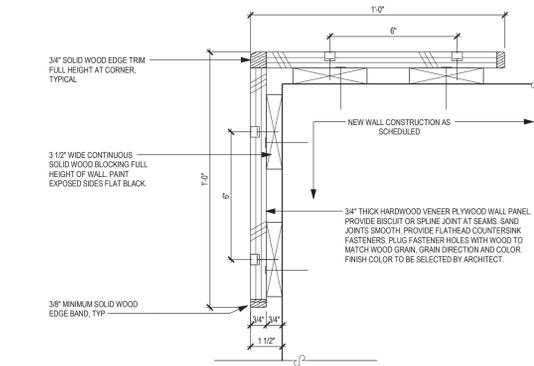
1 COLUMN WRAP DETAIL
SCALE: 1 1/2" = 1'-0"



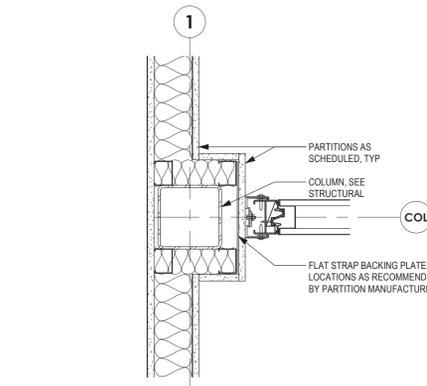
2 OPERABLE PARTITION JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



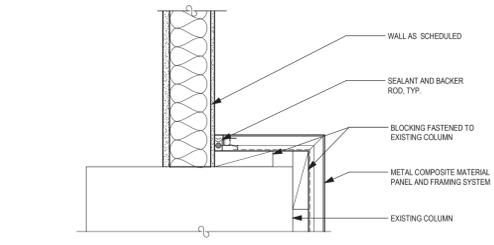
3 WINDOW BENCH DETAIL
SCALE: 1 1/2" = 1'-0"



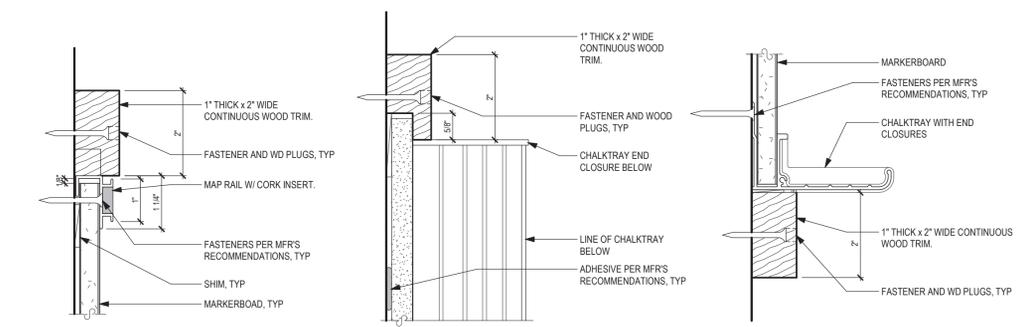
4 VENEER PLYWOOD CORNER GUARD DETAIL
SCALE: 3" = 1'-0"



5 COLUMN WRAP DETAIL 2
SCALE: 1 1/2" = 1'-0"



6 COLUMN WRAP DETAIL AT GYP.
SCALE: 1 1/2" = 1'-0"



7 MARKER BOARD DETAILS
SCALE: 6" = 1'-0"

SED NUMBERS: Administration Building: 66-15-00-01-0-09-013
BEFORE WORK IS STARTED, CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS AT THE SITE, AND IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES.
ALTERATION OF THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED REGISTERED ARCHITECT IS ILLEGAL AND A VIOLATION OF SECTION 2307 OF THE NEW YORK STATE EDUCATION LAW.
Revision: 05/21/2025
Drawing Title: INTERIOR DETAILS
Drawing Number: G 802
Date: October 11, 2024
Drawn by: FHW
AFN: 2226.2A

Consultant:
Seal

Alterations to Administration Building

Peekskill City School District
Peekskill, New York



G 802

| ROOM FINISH SCHEDULE | | | | | | |
|----------------------|-----------------|-----------|------|---------------|------------------|--|
| ROOM NUMBER | ROOM NAME | FLOOR | BASE | WALLS | CEILING | REMARKS |
| BASEMENT | | | | | | |
| 001 | MECHANICAL ROOM | PT CONC | -- | PT | -- | |
| LOWER LEVEL | | | | | | |
| 24.1 | STAIR | CONC SLR | -- | PT | -- | |
| 101 | CLASSROOM | LVT | RB | PT | APC / PT / PSMEP | NOTE 1 |
| 102 | CLASSROOM | LVT | RB | PT | APC / PT / PSMEP | NOTE 1 |
| 103 | CLASSROOM | LVT | RB | PT | APC / PT / PSMEP | NOTE 1 |
| 104 | TOILET | RES | RES | CT / PT / PWL | APC | NOTE 2, NOTE 3 |
| 105 | TOILET | RES | RES | CT / PT | APC | NOTE 2 |
| 106 | LOCKER | RES | RES | CT / PT / PWL | APC | NOTE 2, NOTE 3 |
| 107 | TOILET | RES | RES | CT / PT / PWL | APC | NOTE 2, NOTE 3 |
| B1.0 | CORRIDOR | RES / CPT | RB | PT / PWL / CT | APC / LWC | NOTE 1 (AT CPT), NOTE 2 (AT RES), NOTE 3 |
| B1.0 A | CUST. | PT CONC | RB | PT | APC | |
| B1.1 | CORRIDOR | RES | RB | EXR / PT | APC / LWC | NOTE 1 (AT CPT), NOTE 2 (AT RES), NOTE 3 |
| B1.1 B | CLOS. | LVT | RUB | PT | APC | NOTE 1 |
| B1.1A | CLOS. | LVT | RUB | PT | APC | NOTE 1 |
| B1.2 | LOBBY | RES | RUB | PT / PWL | APC | NOTE 2, NOTE 3 |
| B1.3 | VESTIBULE | CPT | RUB | PT / PWL | APC | NOTE 1, NOTE 3 |

ROOM FINISH ABBREVIATIONS

| | |
|-------|---|
| APC | ACOUSTICAL PANEL CEILING SYSTEM |
| CONC | CONCRETE |
| CPT | CARPET TILE |
| CT | CERAMIC TILE |
| EXR | EXISTING TO REMAIN |
| LVT | LUXURY VINYL TILE |
| LWC | LINEAR WOOD CEILING |
| PME | PATCH AND FINISH TO MATCH EXISTING ADJACENT |
| PT | PAINT |
| PSMEP | PAINT EXPOSED STRUCTURE AND MEP |
| PWL | PLASTER WALL LINER |
| RES | RESINOUS |
| RB | RUBBER WALL BASE |
| SLR | SEALER |

FINISH SCHEDULE REMARKS COLUMN NOTES

- NOTE 1: INSTALL SELF-LEVELING HYDRAULIC CEMENT UNDERLAYMENT SYSTEM THROUGHOUT
- NOTE 2: INSTALL SELF-LEVELING UNDERLAYMENT SYSTEM (AS PART OF RESINOUS FLOORING SYSTEM) THROUGHOUT
- NOTE 3: INSTALL PLASTER WALL LINER (SPECIFIED IN SECTION 092900) AT ALL EXISTING WALLS AND NEW CMU WALLS NOT CONCEALED BY NEW CONSTRUCTION

ROOM FINISH NOTES

- AT ALL AREAS DISTURBED BY CONSTRUCTION, PATCH AND REFINISH TO MATCH EXISTING ADJACENT FINISHES.
- CLEAN, PATCH AND PREPARE EXISTING SUBSTRATES TO RECEIVE NEW FINISHES. COMPLY WITH MANUFACTURER'S REQUIREMENTS FOR PREPARATION AND INSTALLATION OF ALL FINISHES. VERIFY PROPER ENVIRONMENTAL CONDITIONS AND SUBSTRATE CONDITIONS PRIOR TO INSTALLATION.
- PAINT ALL NEW WORK EXCEPT PRE FINISHED ITEMS, TYPICAL.
- AT CHANGE OF FLOOR MATERIALS, PROVIDE RUBBER OR METAL TRANSITION TRIM, UNLESS OTHERWISE NOTED
- AT DOOR OPENINGS, CENTER CHANGE IN FLOOR FINISH (EITHER IN TYPE OR COLOR) UNDER DOOR IN CLOSED POSITION.
- REFER TO FLOOR PLANS, REFLECTED CEILING PLANS, INTERIOR ELEVATIONS, AND BUILDING SECTIONS FOR ADDITIONAL INFORMATION.
- WALL FINISH SHALL EXTEND TO 6" MIN ABOVE CEILINGS, UNLESS NOTED OTHERWISE.

SED NUMBERS: Administration Building: 66-15-001-0-09-013
 BEFORE WORK IS STARTED, CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS AT THE SITE, AND IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES. ALTERATION OF THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED REGISTERED ARCHITECT IS ILLEGAL AND A VIOLATION OF SECTION 2307 OF THE NEW YORK STATE EDUCATION LAW.

Drawing Title:
 FINISH SCHEDULE

Drawing Number:

Revision:
 05/21/2025

APN: 2226.2A

Date: October 11, 2024

Drawn by: RK

Seal

Consultant:

Alterations to Administration Building

Peekskill City School District
 Peekskill, New York



Mosaic Associates Architects, P.C.
 The Fear Building, 2 Third Street, Suite 440, Troy, NY 12180

G
 1000