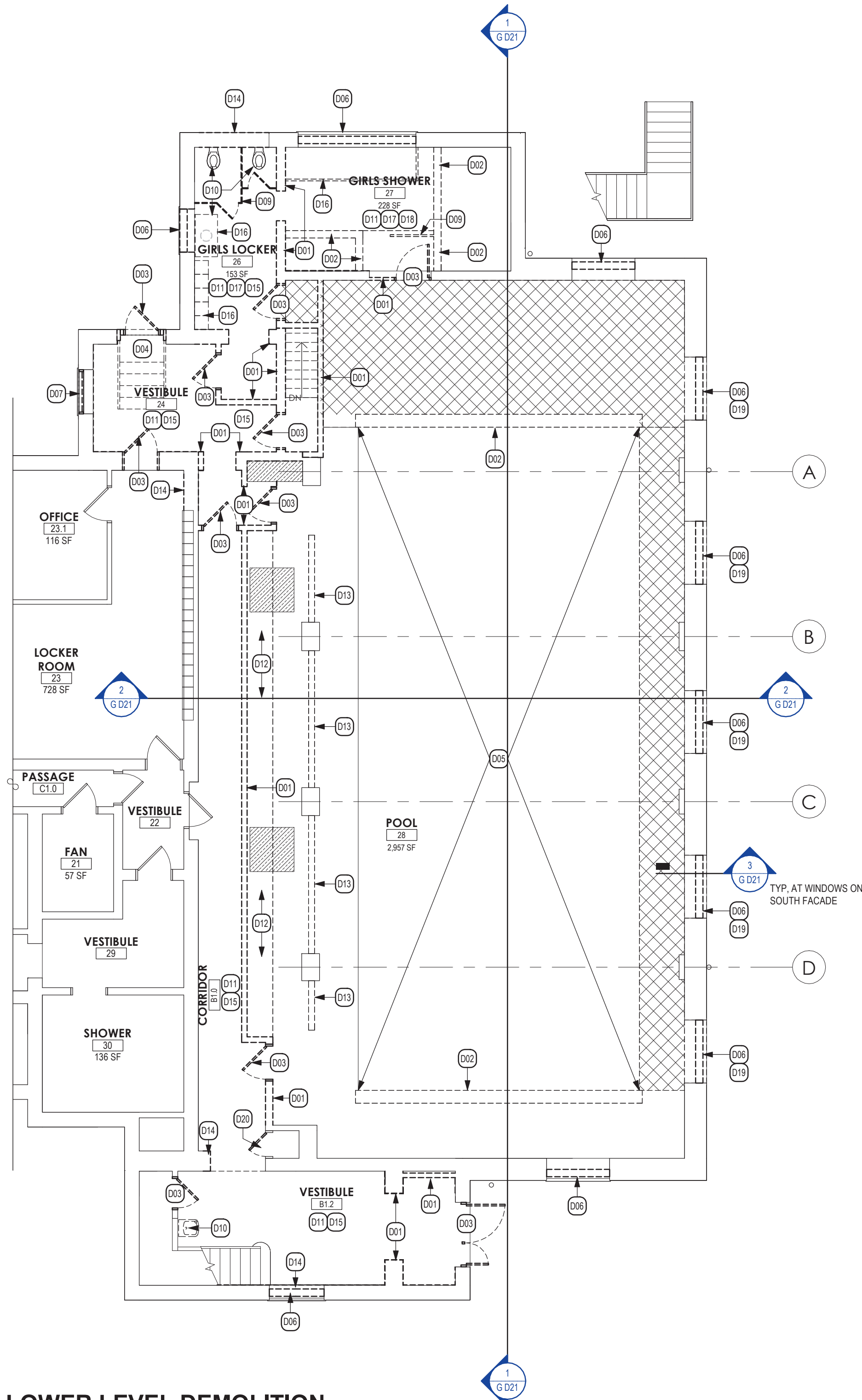


BASEMENT DEMOLITION PLAN
2
SCALE: 1/8" = 1'-0"



LOWER LEVEL DEMOLITION PLAN
1
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION PLAN NOTES

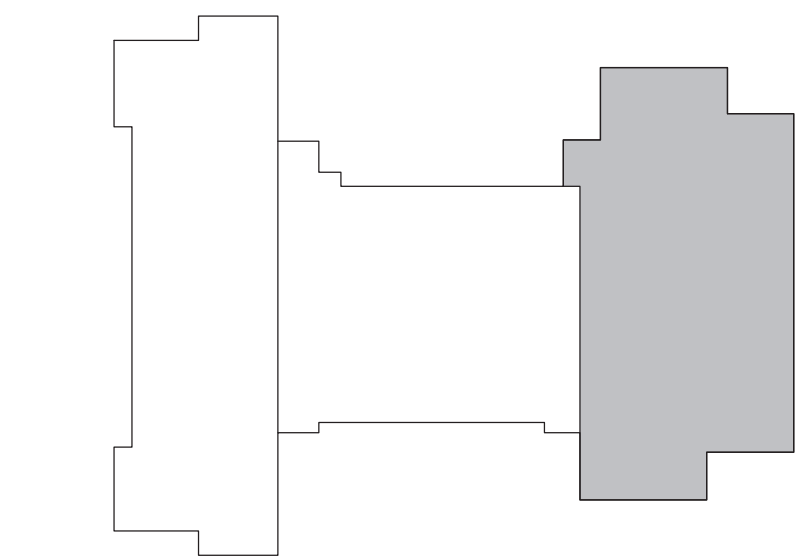
- REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND ASBESTOS DRAWINGS AND HAZMAT REPORT FOR ADDITIONAL INFORMATION. COORDINATE REMOVALS WITH ALL OTHER CONTRACTORS
- MAINTAIN INTEGRITY OF ITEMS THAT ARE EXISTING TO REMAIN. PATCH ALL REMAINING SURFACES DISTURBED BY DEMOLITION AND/OR NEW CONSTRUCTION TO MATCH EXISTING ADJACENT SURFACES
- COORDINATE EXTENT OF SELECTIVE DEMOLITION WITH NEW WORK
- PROVIDE TEMPORARY SHORING AND BRACING AS REQUIRED PRIOR TO COMMENCING DEMOLITION. DO NOT DAMAGE OR DISTURB EXISTING STRUCTURAL ELEMENTS THAT ARE TO REMAIN. WHERE WALLS ARE TO BE REMOVED, DO NOT DAMAGE EXISTING COLUMNS, UNLESS NOTED OTHERWISE.
- PRIOR TO START OF PROJECT, OWNER SHALL REMOVE LOOSE EQUIPMENT SUCH AS FURNITURE, DESKS, CHAIRS, SHELVING, KITCHEN EQUIPMENT, ETC, UNLESS NOTED OTHERWISE
- REMOVE CEILING SYSTEM AND SOFFITS IN ALL SPACES SCHEDULED TO RECEIVE NEW CEILING OR WHERE EXPOSED STRUCTURE IS CALLED FOR, UNLESS NOTED OTHERWISE. SEE ROOM FINISH SCHEDULE AND CEILING PLANS
- DEMOLITION TO INCLUDE COMPLETE REMOVAL OF ALL FASTENERS, ADHESIVES AND RELATED ITEMS COMPLETELY DOWN TO SUBSTRATE. PATCH SUBSTRATE AS REQUIRED FOR NEW FINISHES. PATCH ALL REMAINING SURFACES DISTURBED BY DEMOLITION AND/OR NEW CONSTRUCTION TO BLEND WITH AND MATCH EXISTING ADJACENT SURFACES, OR TO PROVIDE NEW CONSTRUCTION AS SHOWN
- REMOVE EXISTING LINTELS AT ALL OPENINGS TO BE INFILLED AND/OR OPENINGS TO RECEIVE NEW LINTELS. PROVIDE TEMPORARY BRACING AS REQUIRED
- ALL ELECTRICAL CONNECTIONS SHALL BE DISCONNECTED BY THE EC PRIOR TO ANY REMOVALS. EC WILL REMOVE ALL ELECTRICAL ITEMS. GC AND EC SHALL COORDINATE WORK.
- EXACT EXTENT OF EXISTING PIPE TUNNELS/CRAWL SPACES IS UNKNOWN. PROCEED CAUTIOUSLY WITH ALL SLAB REMOVALS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DEMOLITION LEGEND

- REMOVE EXISTING ELEVATED STRUCTURAL FLOOR SLAB COMPLETE AS REQUIRED TO PERFORM NEW WORK. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- REMOVE EXISTING STRUCTURAL FLOOR SLAB-ON-GRADE COMPLETE AS REQUIRED TO PERFORM NEW WORK. PROVIDE NEW SLAB-ON-GRADE PER STRUCTURAL DETAILS. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION

DEMOLITION KEYNOTES

- D01 REMOVE EXISTING MASONRY WALL ASSEMBLIES OR PORTIONS OF WALL ASSEMBLIES AS REQUIRED FOR INSTALLATION OF NEW WORK. GC SHALL BRACE EXISTING BUILDING AS REQUIRED TO MAINTAIN STABILITY.
- D02 REMOVE EXISTING CONCRETE CURB ASSEMBLIES IN THEIR ENTIRETY.
- D03 REMOVE EXISTING DOOR, DOOR FRAME, DOOR HARDWARE, (IF) SIDELIGHTS AND/OR TRANSOMS, AND (IF) THRESHOLD COMPLETELY. INFILL OR WIDEN OPENING AS REQUIRED.
- D04 REMOVE EXISTING ASSEMBLED METAL STAIR SYSTEM COMPLETE
- D05 PREP POOL FOR INFILL. PRIOR TO PERFORMING OTHER DEMOLITION WORK, PROTECT EXISTING TILE BY INSTALLING GEOTEXTILE. SEE STRUCTURAL DRAWINGS
- D06 REMOVE EXISTING WINDOW AND CMU WALL INFILL AS REQUIRED FOR NEW WORK. REPLACE LINTEL PER STRUCTURAL DRAWINGS. GC SHALL BRACE EXISTING BUILDING AS REQUIRED TO MAINTAIN STABILITY.
- D07 REMOVE EXISTING GLASS BLOCK WINDOW SYSTEM COMPLETE AS REQUIRED FOR INSTALLATION OF NEW WORK. REPLACE LINTEL PER STRUCTURAL DRAWINGS
- D09 REMOVE EXISTING TOILET COMPARTMENT SYSTEM COMPLETE
- D10 FUTURE REMOVAL PER PLUMBING DRAWINGS. PATCH AND MATCH EXISTING CMU WALL.
- D11 REMOVE EXISTING WALL TILE COMPLETE TO SUBSTRATE. TYPICAL THROUGHOUT ROOM. PREP WALLS TO RECEIVE NEW FINISHES AS SCHEDULED
- D12 REMOVE EXISTING CAST IN PLACE BENCH COMPLETE
- D13 REMOVE EXISTING PARTIAL HEIGHT WALL COMPLETE
- D14 REMOVE PORTION OF WALL AS REQUIRED FOR INSTALLATION OF NEW OPENING. PATCH TO MATCH ADJACENT WALL FINISH.
- D15 REMOVE EXISTING SUSPENDED CEILING SYSTEMS COMPLETE, TYPICAL THROUGHOUT ROOM
- D16 REMOVE EXISTING BUILT-IN CASEWORK OR EQUIPMENT COMPLETE
- D17 REMOVE ALL TOILET ACCESSORIES COMPLETE THROUGHOUT ROOM INCLUDING BUT NOT LIMITED TO, TOILET TISSUE DISPENSERS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, AND MIRRORS.
- D18 REMOVE EXISTING HARD (PLASTER OR GWB) CEILING SYSTEM COMPLETE THROUGHOUT ROOM.
- D19 REMOVE PORTION OF MASONRY WALL BELOW EXISTING OPENING FOR ENLARGED WINDOW. SEE DEMO WALL SECTION FOR ADDITIONAL INFORMATION. PATCH TO MATCH EXISTING ADJACENT MATERIALS.
- D20 REMOVE EXISTING DOOR, DOOR HARDWARE, AND (IF) THRESHOLD COMPLETELY. FRAME EXR.



KEY PLAN
NO SCALE

SED NUMBERS: BEFORE WORK IS STARTED, CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS AT THE SITE AND IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES. ALTERATION OF THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED REGISTERED ARCHITECT IS ILLEGAL AND A VIOLATION OF SECTION 2307 OF THE NEW YORK STATE EDUCATION LAW.

Consultant:

Seal

Alterations to Administration Building

Revision:
05/21/2025

PARTIAL DEMOLITION PLANS

Drawing Number:

**G
D01**

Peekskill City School District
Peekskill, New York

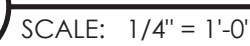
APN: 2226.2A Date: October 11, 2024 Drawn by: RHW/KSL

**G
D01**

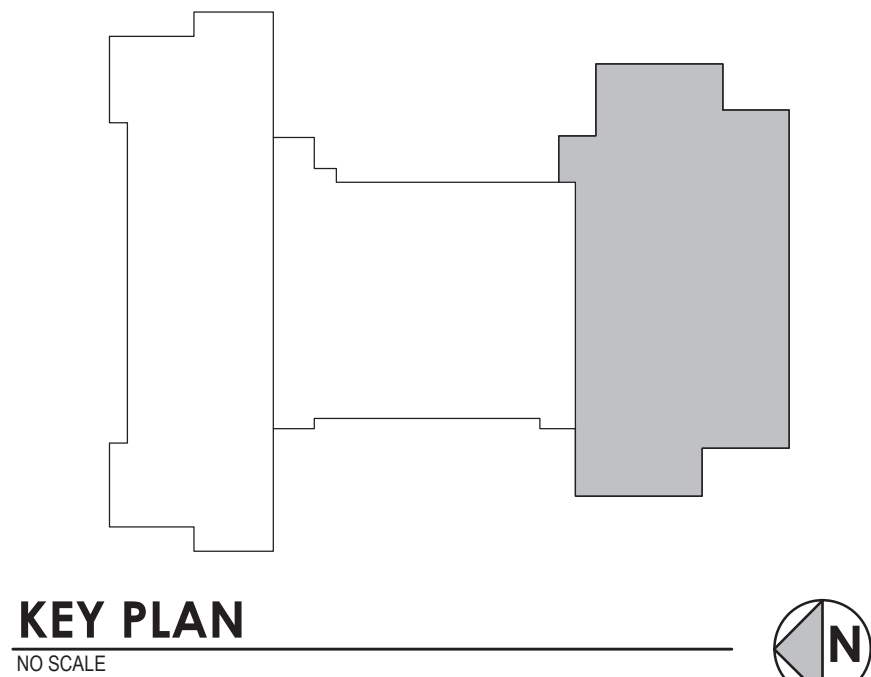
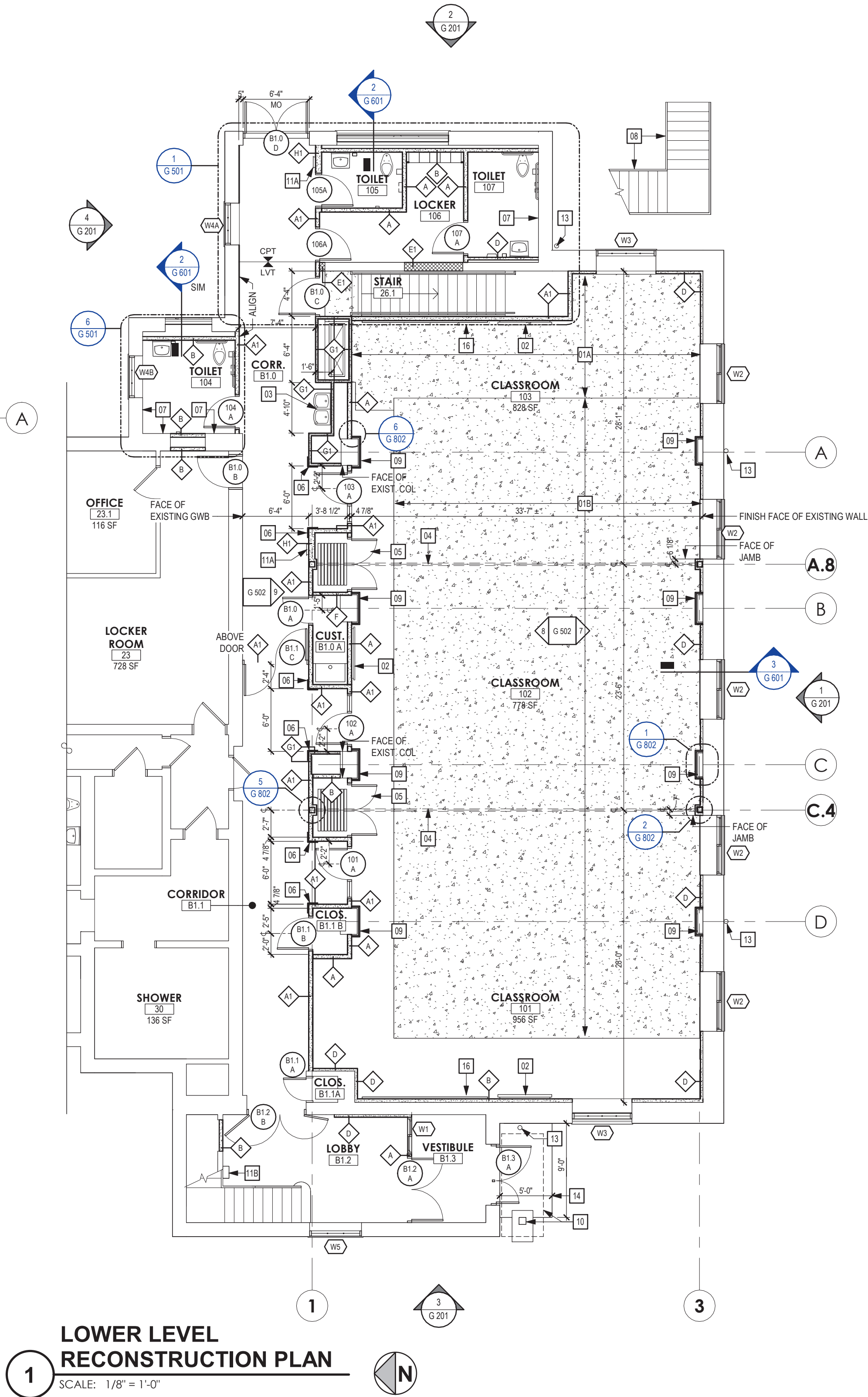
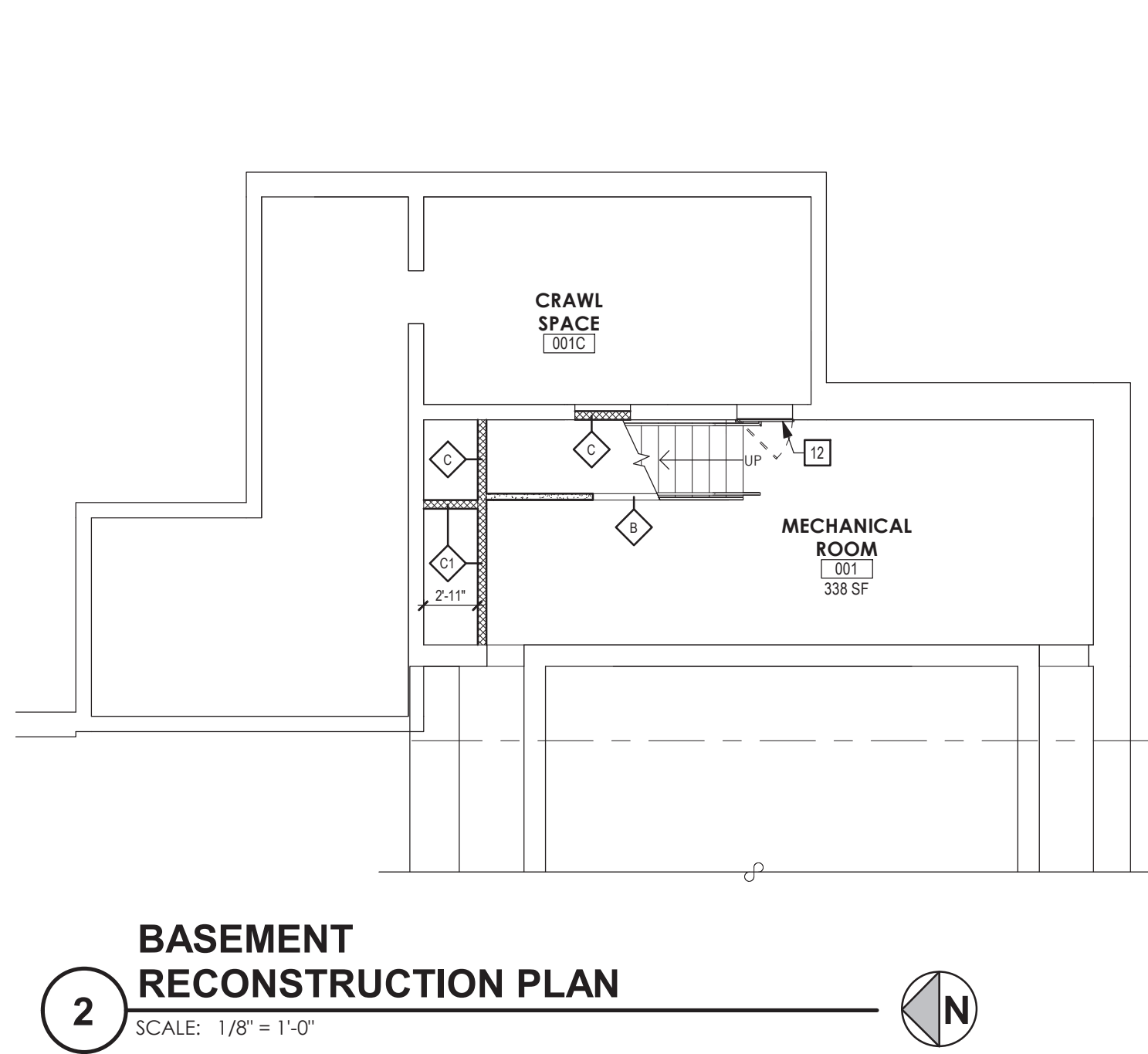
SEAL

MOSAIC ASSOCIATES

Mosaic Associates Architects, DPC
The Fleet Building, 2 Third Street, Suite 440, Troy, NY 12180



- | | |
|-----|--|
| D01 | REMOVE EXISTING MASONRY WALL ASSEMBLIES OR PORTIONS OF WALL ASSEMBLIES AS REQUIRED FOR INSTALLATION OF NEW WORK. GC SHALL BRACE EXISTING BUILDING AS REQUIRED TO MAINTAIN STABILITY. |
| D02 | REMOVE EXISTING CONCRETE CURB ASSEMBLIES IN THEIR ENTIRETY. |
| D03 | REMOVE EXISTING DOOR, DOOR FRAME, DOOR HARDWARE, (IF) SLOPES/AND/OR TRANSOMS, AND (IF) THRESHOLD COMPLETELY. INFLU OR WIDEN OPENING AS REQUIRED. |
| D04 | REMOVE EXISTING ASSEMBLED METAL STAIR SYSTEM COMPLETE. |
| D05 | PREP FLOOR BY INFLU PRIOR TO PERFORMING OTHER DEMOLITION WORK. PROTECT EXISTING TILE BY INSTALLING GEOTEXTILE. SEE STRUCTURAL DRAWINGS. |
| D06 | REMOVE EXISTING WINDOW AND CMU WALL INFLU AS REQUIRED FOR NEW WORK. REPLACE INTEL PER STRUCTURAL DRAWINGS. GC SHALL BRACE EXISTING BUILDING AS REQUIRED TO MAINTAIN STABILITY. |
| D07 | REMOVE EXISTING GLASS BLOCK WINDOW SYSTEM COMPLETE AS REQUIRED FOR INSTALLATION OF NEW WORK. REPLACE INTEL PER STRUCTURAL DRAWINGS. |
| D09 | REMOVE EXISTING TOILET COMPARTMENT SYSTEM COMPLETE. |
| D10 | FIXTURE REMOVE, PER PLUMBING DRAWINGS. PATCH AND MATCH EXISTING CMU WALL. |
| D11 | REMOVE EXISTING WALL TILE COMPLETE TO SUBSTRATE, TOTAL THROUGHOUT ROOM. PREP WALLS TO RECEIVE NEW FINISHES AS SCHEDULED. |
| D12 | REMOVE EXISTING CAST-IN-PLACE CONCRETE BEAMS COMPLETE. |
| D13 | REMOVE EXISTING PARTIAL HEIGHT WALL COMPLETE. |
| D14 | REMOVE PORTION OF WALL AS REQUIRED FOR INSTALLATION OF NEW OPENING. PATCH TO MATCH ADJACENT WALL FINISH. |
| D15 | REMOVE EXISTING SUSPENDED CEILING SYSTEMS COMPLETE. TYPE, THROUGHOUT ROOM. |
| D16 | REMOVE EXISTING BUILT-IN CASEWORK OR EQUIPMENT COMPLETE. |
| D17 | REMOVE ALL TOILET ACCESSORIES COMPLETE THROUGHOUT ROOM INCLUDING BUT NOT LIMITED TO, TOILET TISSUE DISPENSERS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, AND MIRRORS. |
| D18 | REMOVE EXISTING HARD (PLASTER OR GWB) CEILING SYSTEM COMPLETE THROUGHOUT ROOM. |
| D19 | REPAIR PORTION OF MASONRY WALL BELOW EXISTING OPENING FOR ENLARGED WINDOW. SEE DEMO WALL SECTION FOR ADDITIONAL INFORMATION. PATCH TO MATCH EXISTING ADJACENT MATERIALS. |
| D20 | REMOVE EXISTING DOOR, DOOR HARDWARE, AND (IF) THRESHOLD COMPLETELY. FRAME EXR. |



GENERAL FLOOR PLAN NOTES

1. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO PROCEEDING WITH WORK. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCY. ADJUST DIMENSIONS OF NEW WORK AS REQUIRED BY THE ARCHITECT
2. DIMENSIONS SHOWN ON PLANS ARE TO FACE OF NOMINAL MASONRY WALLS. THE CENTER LINES OF COLUMNS OR THE FINISHED FACE OF GWB ASSEMBLIES UNLESS INDICATED OTHERWISE.
3. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE
4. GC SHALL COORDINATE ALL MECHANICAL CHASES AND WALL OPENINGS WITH EC, MC, AND PG GC SHALL PROVIDE ALL OPENINGS AND LINTELS AS REQUIRED. COORDINATE MASONRY OPENING SIZES AND DETAILS FOR LOUVERS WITH MC
5. AT MASONRY INFILL, TOOTH-IN AND PATCH WALL AREA, RESTORE EXPOSED FINISHES OF ADJACENT AREAS AND EXTEND FINISHES INTO ADJOINING CONSTRUCTION TO REMAIN IN THE MANNER THAT ELIMINATES EVIDENCE OF PATCHING AND REFINISHING

NEW CONSTRUCTION KEYNOTES

- | | |
|-----|--|
| 01A | PROVIDE NEW STRUCTURAL SLAB ON DECK AND FLOOR FRAMING. SEE STRUCTURAL DRAWINGS. |
| 01B | INFILL POOL AND ADJACENT PIPE TUNNEL. PROVIDE STRUCTURAL SLAB ON GRADE. SEE STRUCTURAL DRAWINGS. PRIOR TO INSTALLING STRUCTURAL FILL, INSTALL GEOTEXTILE FABRIC (WINFAB 450 OR EQUAL) AS BARRIER BETWEEN POOL TILE AND FILL. |
| 02 | FLAT PANEL DISPLAY BY OWNER. INSTALL (2) ROWS X 48" LONG FIRE-TREATED WOOD BACKING PLATE. COORDINATE EXACT LOCATION IN FIELD. |
| 03 | PG TO PROVIDE ADA-COMPLIANT, DUAL-STATION DRINKING FOUNTAIN. |
| 04 | PROVIDE OPERABLE PARTITION. |
| 05 | PROVIDE OPERABLE PARTITION POCKET DOOR FOR OPERABLE MARKERBOARD PARTITION. |
| 06 | PROVIDE HARDWOOD VENEER PLYWOOD CORNER GUARD. SEE INTERIOR DETAILS. |
| 07 | LAMINATE EXISTING WALL WITH 5/8" GWB. |
| 08 | PREP, PRIME, AND PAINT ALL SURFACES OF EXISTING EXTERIOR STEEL. STAIR. MODIFY FOOTING AT FOUR POSTS. SEE STRUCTURAL DRAWINGS. |
| 09 | PROVIDE METAL COMPOSITE WALL PANEL COLUMN WRAP. SEE INTERIOR ELEVATIONS AND INTERIOR DETAILS. |
| 10 | FABRICATED ENGINEERED CANOPY AND FOOTING. |
| 11A | RECESSED FIRE EXTINGUISHER CABINET |
| 11B | SURFACE-MOUNTED FIRE EXTINGUISHER CABINET |
| 12 | 3' X 3' ACCESS DOOR. PROVIDE LINTEL FOR NEW OPENING |
| 12 | PAINT EXISTING SOFFIT INCLUDING VERTICAL FACE OF WALL |
| 13 | REMOVE EXISTING SOFFIT INCLUDING VERTICAL FACE OF WALL |
| 14 | FROST-PROTECTED ENTRANCE SLAB. SEE STRUCTURAL DETAILS. PROVIDE SLEEVE IN WALL FOR STORM LINE. |
| 15 | PAINT UNDER-SIDE OF EXISTING EXPOSED STAIR STRUCTURE |
| 16 | 12' X 4' MARKER BOARD WITH WOOD TRIM. SEE INTERIOR DETAILS |

SED NUMBERS: ■ Administration Building: 66-15-001-0-009-013
BEFORE WORK IS STARTED, CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS AT THE SITE AND IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES. ALTERATION OF THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED REGISTERED ARCHITECT IS ILLEGAL AND A VIOLATION OF SECTION 2307 OF THE NEW YORK STATE EDUCATION LAW.

PARTIAL RECONSTRUCTION
PLANS

**G
101**

Alterations to Administration Building

Peekskill City School District
Peekskill, New York

Consultant:

Seal

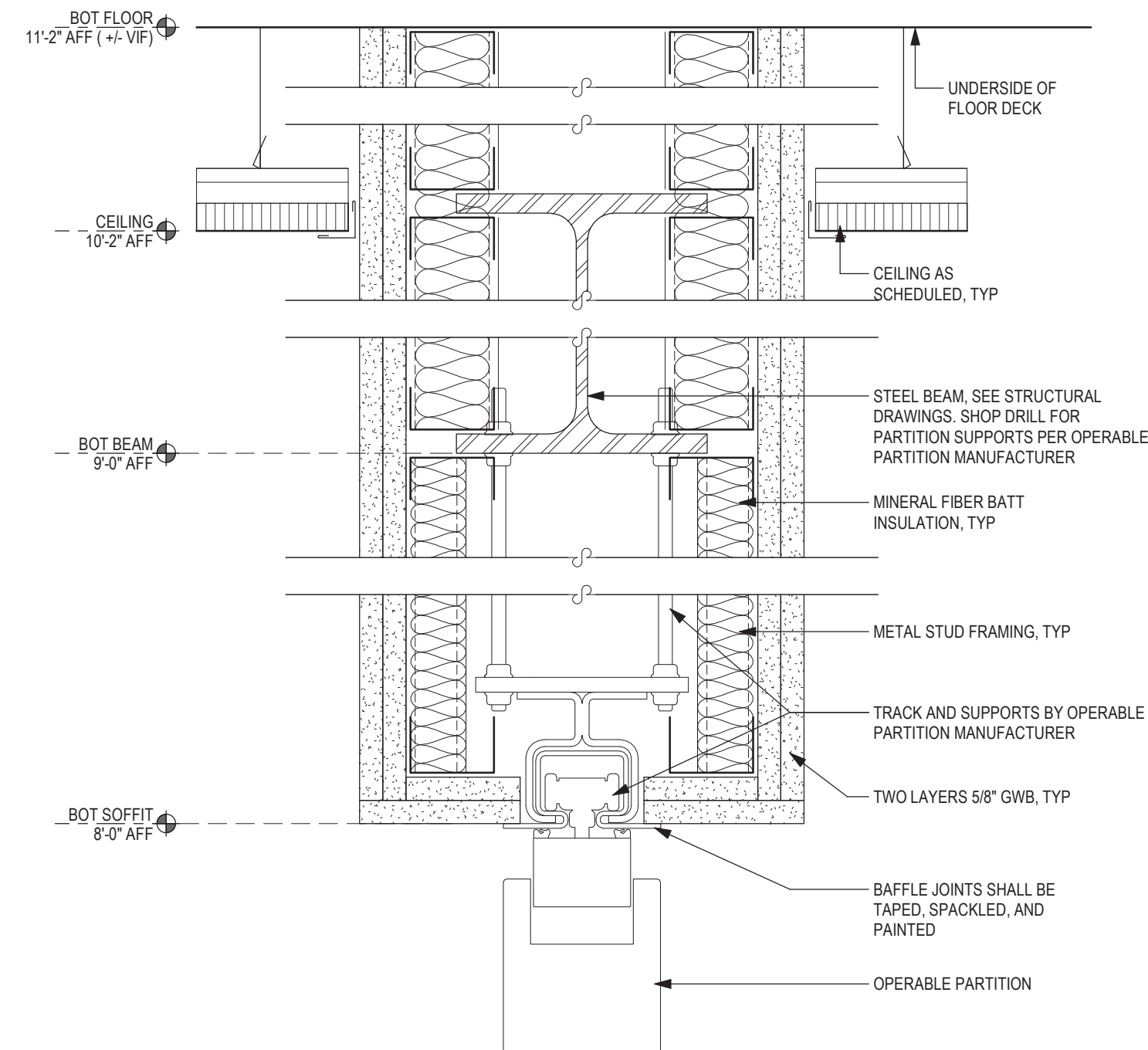
Drawing Title:
Drawing Number:

APN: 2226.2A Date: October 11, 2024 Drawn by: RWC

- 01A PROVIDE NEW STRUCTURAL SLAB ON DECK AND FLOOR FRAMING. SEE STRUCTURAL DRAWINGS.
- 01B INFILL POOL AND ADJACENT PIPE TUNNEL. PROVIDE STRUCTURAL SLAB ON GRADE. SEE STRUCTURAL DRAWINGS. PRIOR TO INSTALLING STRUCTURAL FILL, INSTALL GEOTEXTILE FABRIC (WYNFAS 450 OR EQUAL) AS BARRIER BETWEEN POOL TILE AND FILL.
- 02 FLAT PANEL DISPLAY BY OWNER. INSTALL (2) ROWS X 48" LONG FINE-TREATED WOOD CLADDING PER COORDINATE EXACT LOCATION IN FIELD.
- 03 PC TO PROVIDE ADA-COMPLANT, DUAL-STATION DRINKING FOUNTAIN.
- 04 PROVIDE OPERABLE PARTITION.
- 05 PROVIDE OPERABLE PARTITION POCKET DOOR FOR OPERABLE MARKERBOARD PARTITION.
- 06 PROVIDE HARDWOOD VENEER R.YWOOD CORNER GUARD. SEE INTERIOR DETAILS.
- 07 LAMINATE EXISTING WALL WITH 5/8" GBR.
- 08 PREP, PRIME, AND PAINT ALL SURFACES OF EXISTING EXTERIOR STEEL STAIRS. FLOOR COATING TO BE DONE. SEE STRUCTURAL DRAWINGS.
- 09 PROVIDE METAL POSITIVE WALL PANEL COLUMN WRAP. SEE INTERIOR ELEVATIONS AND INTERIOR DETAILS.
- 10 FABRICATED ENGINEERED CANOPY AND FOOTING.
- 11A RECESSED FIRE EXTINGUISHER CABINET
- 11B SURFACE-MOUNTED FIRE EXTINGUISHER CABINET
- 12 3' X 3' ACCESS DOOR. PROVIDE LINTEL FOR NEW OPENING.
- 12A PAINT EXISTING SOFFIT INCLUDING VERTICAL FACE OF WALL.
- 13 REMOVE EXISTING AND PROVIDE NEW DOWNSPOUT. CONNECT TO EXISTING COLLECTOR BOX. TIE IN TO NEW STORM LINE PER SITE DRAWINGS.
- 14 FROST-PROTECTED ENTRANCE SLAB. SEE STRUCTURAL DETAILS. PROVIDE SLEEPER WALL FOR STAIRS.
- 15 PAINT UNDER-SIDE OF EXISTING EXPOSED STAIR STRUCTURE.
- 16 12' X 4' MARKER BOARD WITH WOOD TRIM. SEE INTERIOR DETAILS.



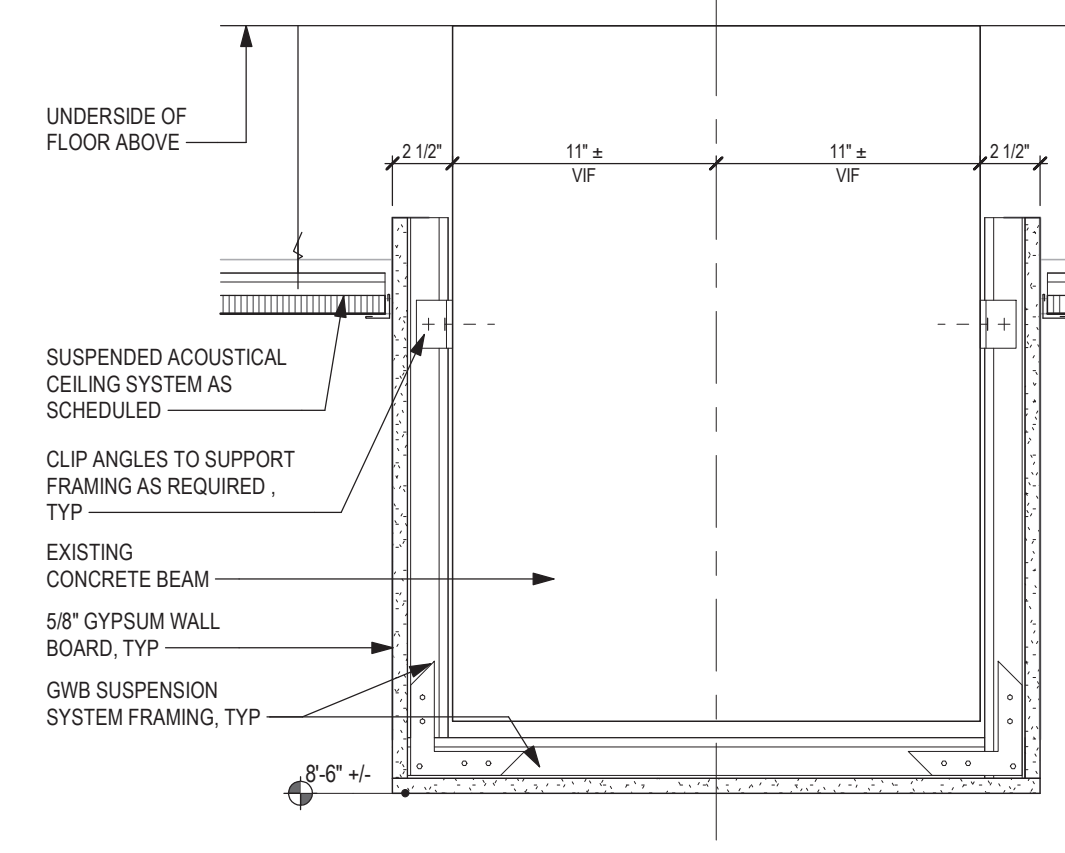
1 SOFFIT DETAIL
SCALE: 3" = 1'-0"



4 OPERABLE WALL TRACK DETAIL

SCALE: 3" = 1'-0"

2 SOFFIT DETAIL @ BEAM
SCALE: 3" = 1'-0"



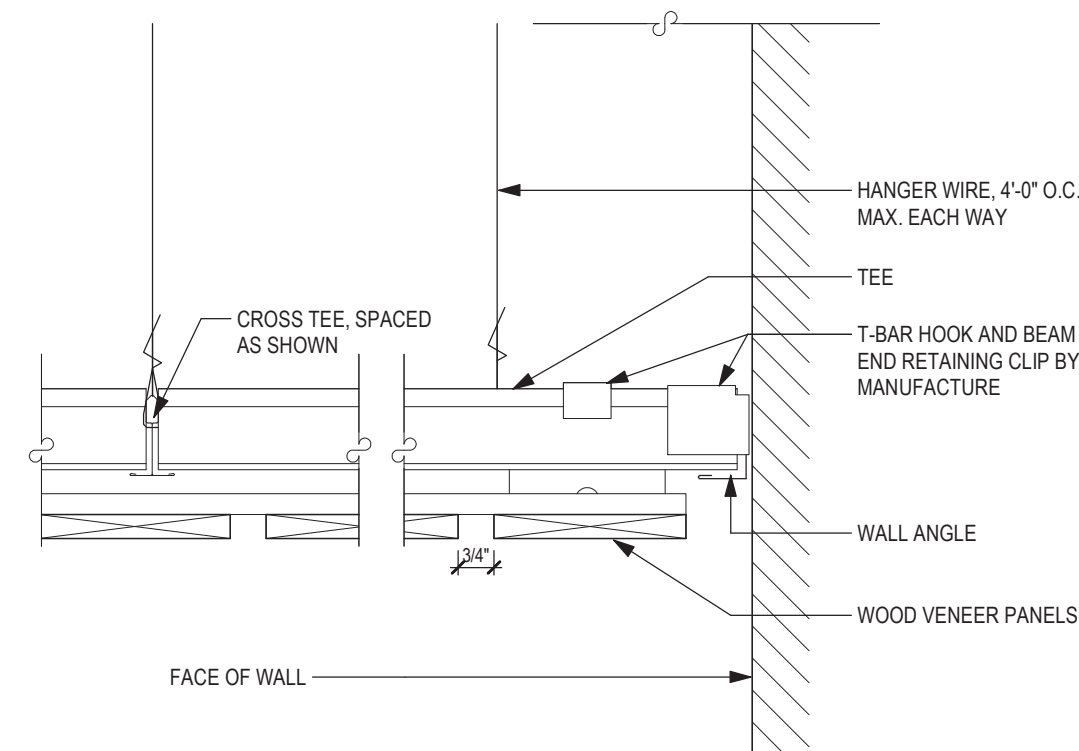
5 **CEILING DETAIL AT BEAM ENCLOSURE**
SCALE: 1 1/2" = 1'-0"

3 WALL DETAIL

SCALE: 3" = 1'-0"

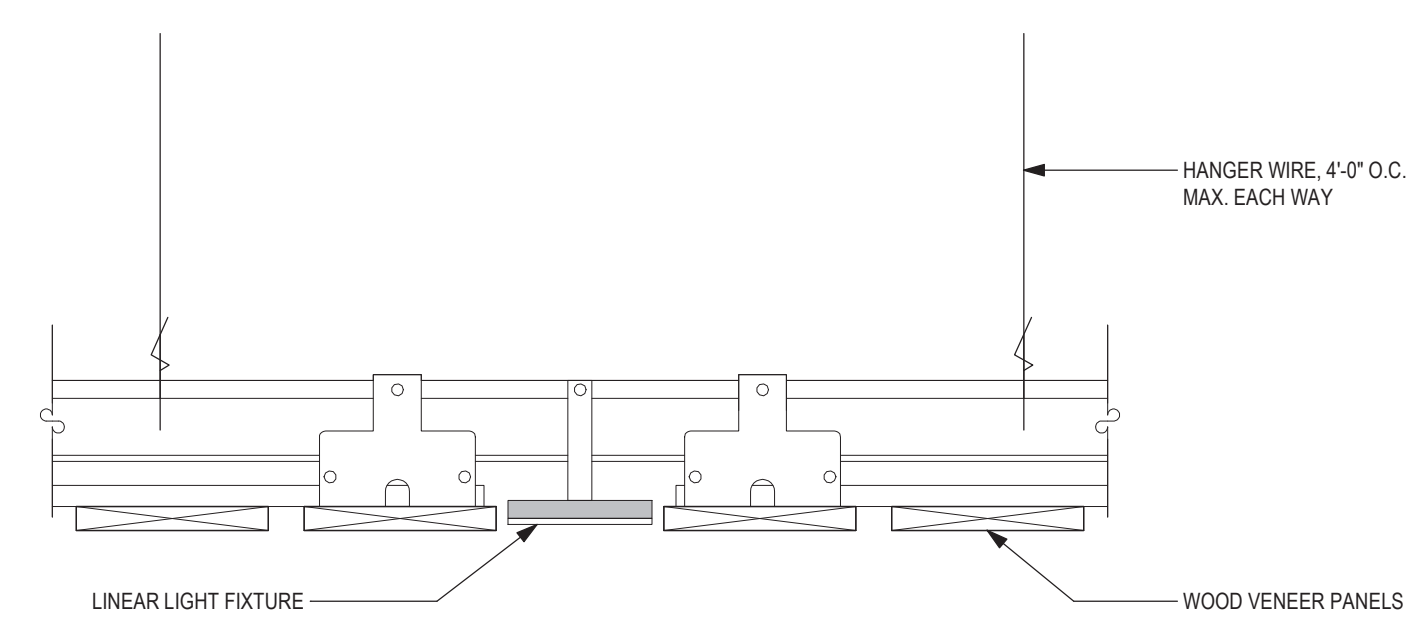
6 WOOD VANEERE CEILING WALL DETAIL

SCALE: 3" = 1'-0"



**WOOD VANEERE CEILING
LIGHT DETAIL**

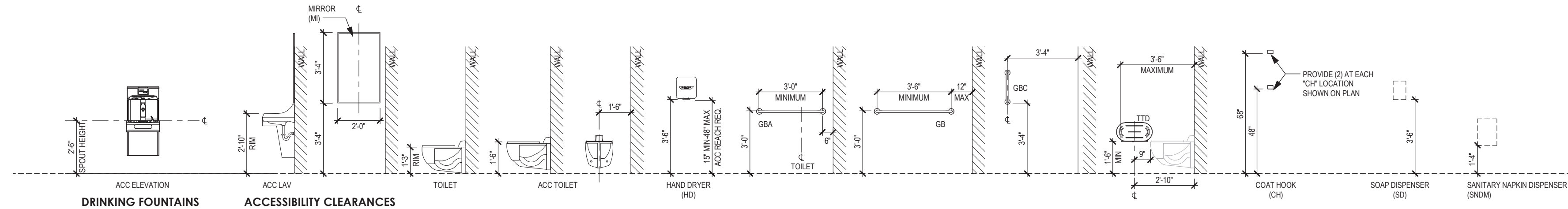
7 SCALE: 3" = 1'-0"





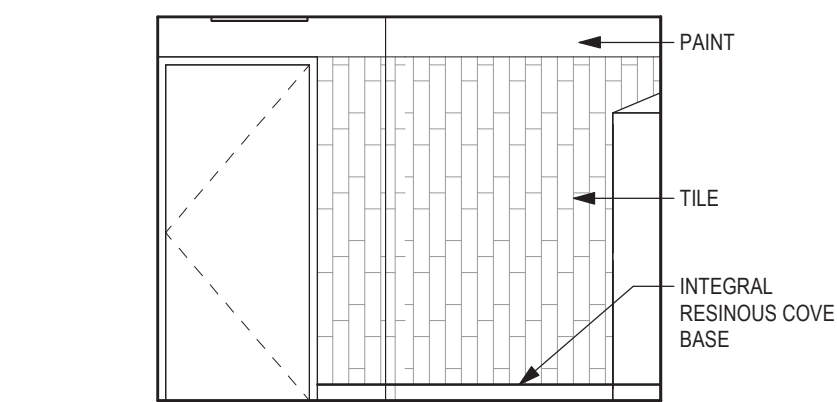
TYPICAL MOUNTING HEIGHTS

SCALE: 1/4" = 1'-0"



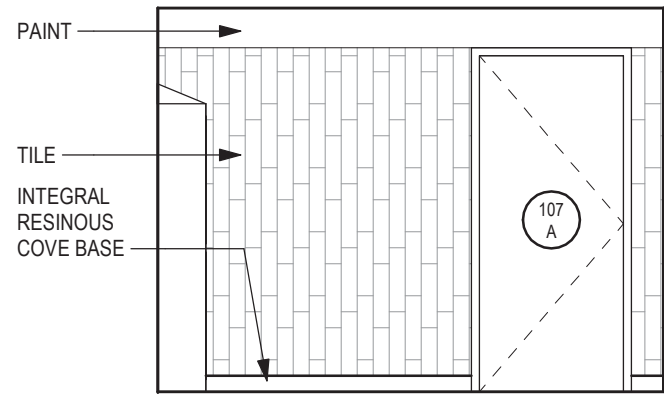
1 ENLARGED FLOOR PLAN - TLT. / STAIR / LOCKER

SCALE: 1/4" = 1'-0"



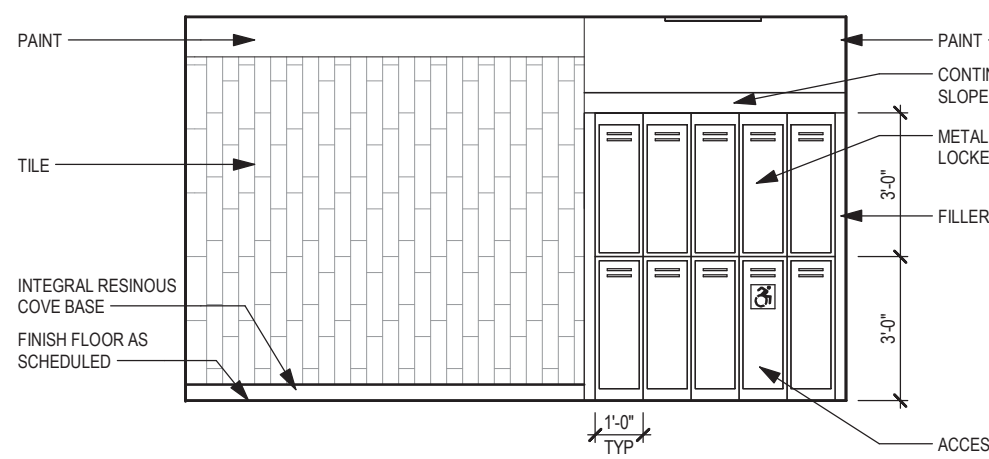
2 106 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



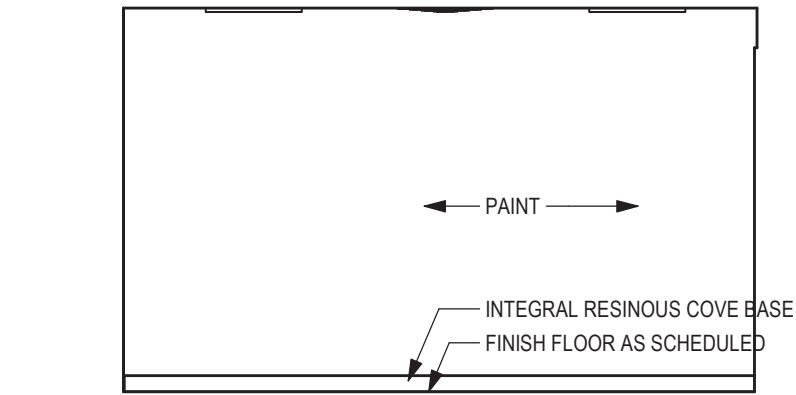
4 106 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



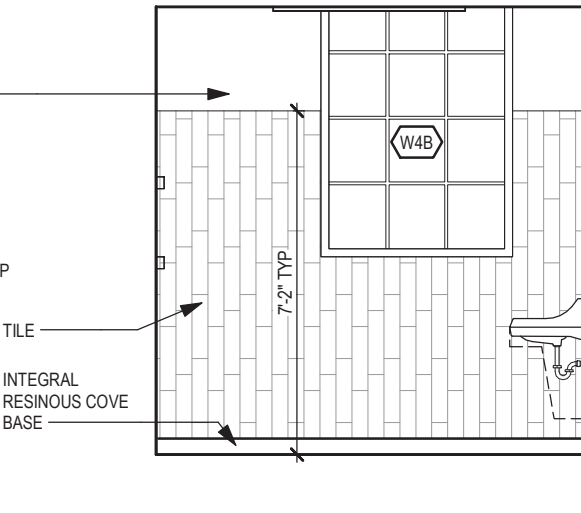
3 106 EAST ELEVATION

SCALE: 1/4" = 1'-0"



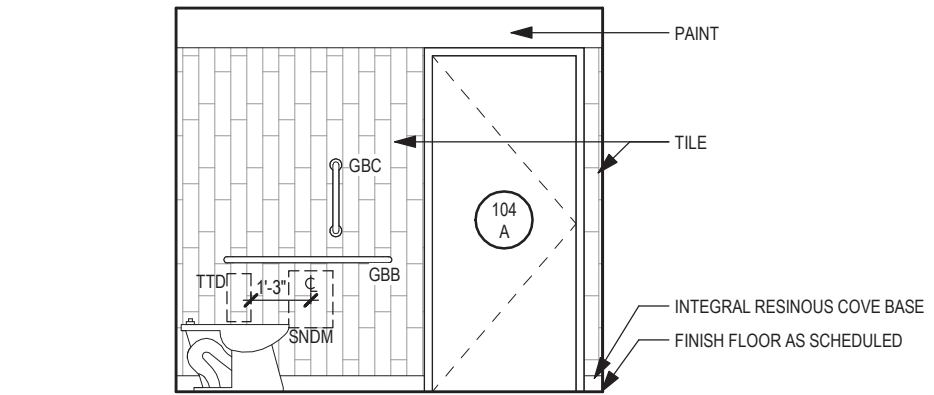
5 106 WEST ELEVATION

SCALE: 1/4" = 1'-0"



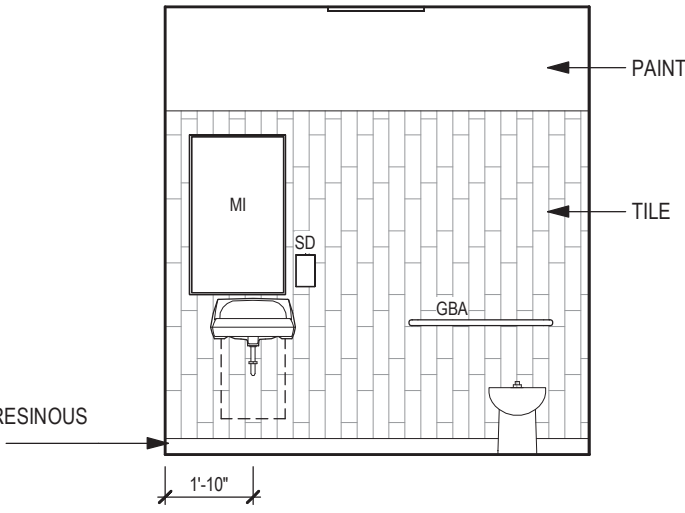
7 104 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



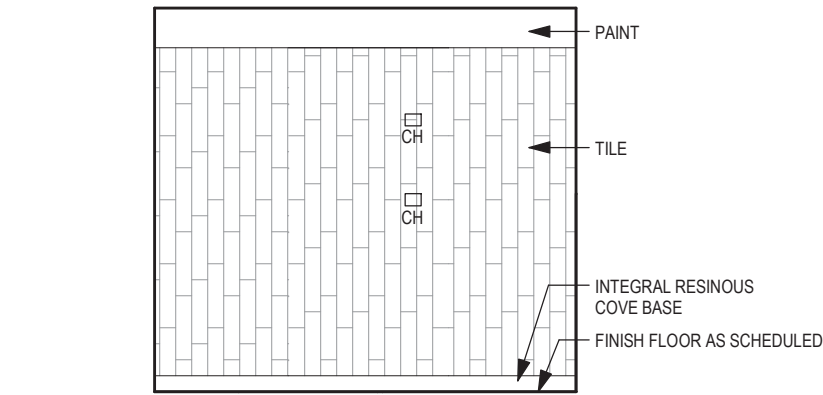
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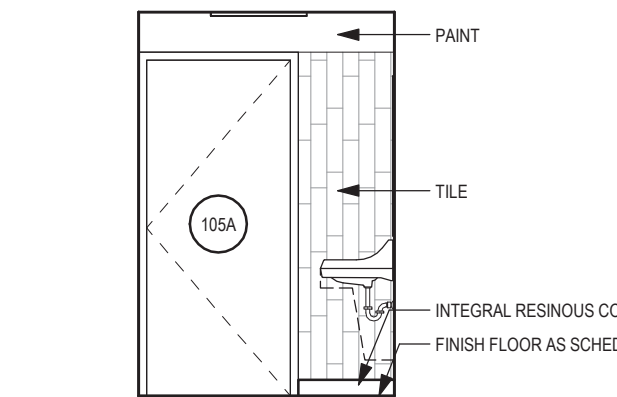
8 104 EAST ELEVATION

SCALE: 1/4" = 1'-0"



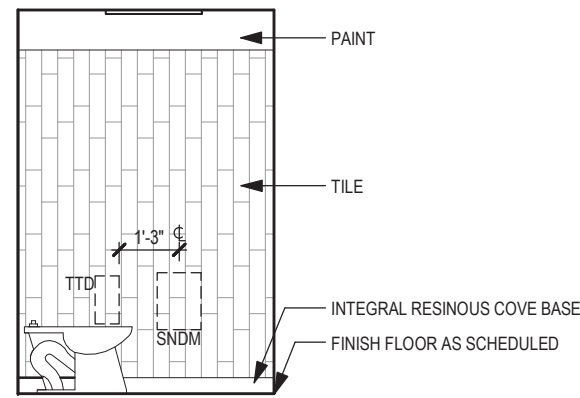
10 104 WEST ELEVATION

SCALE: 1/4" = 1'-0"



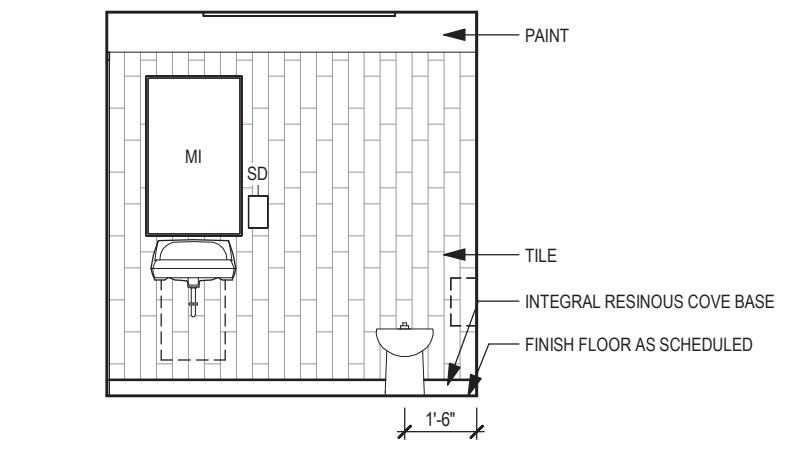
11 105 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



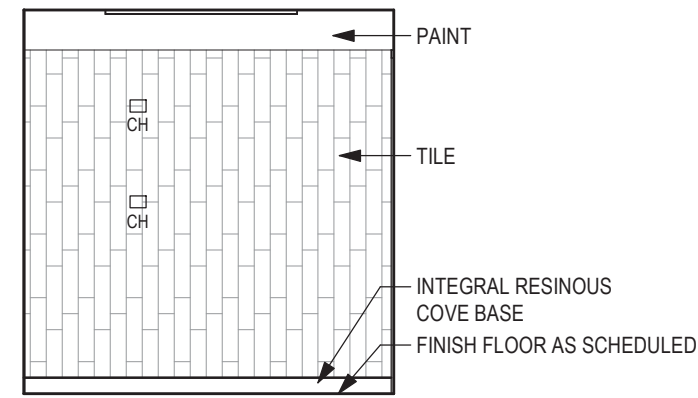
13 105 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



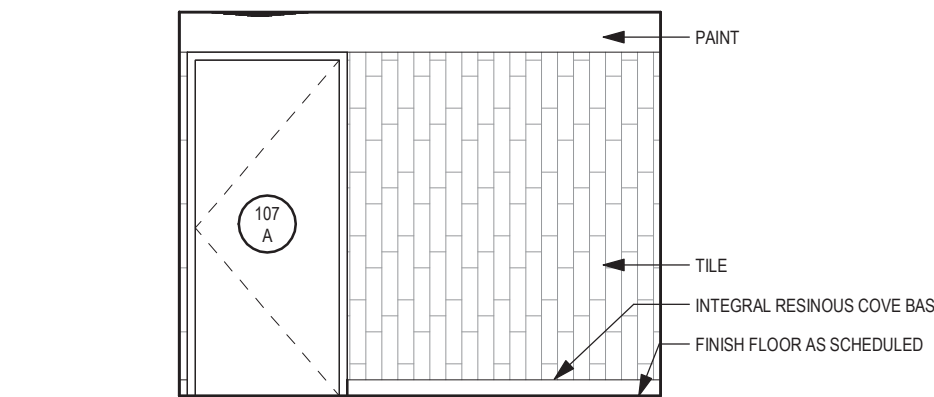
12 105 EAST ELEVATION

SCALE: 1/4" = 1'-0"



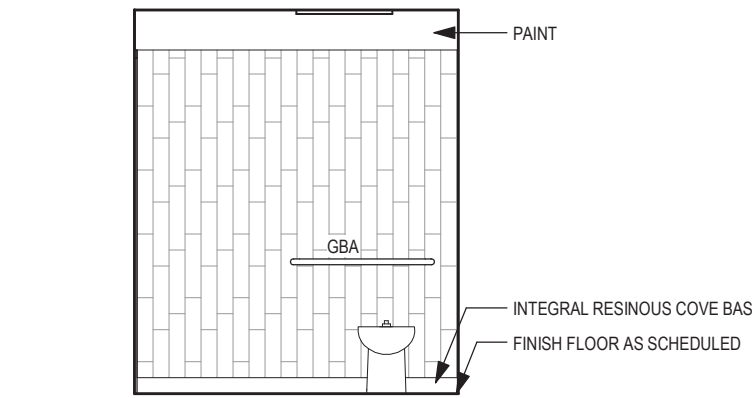
14 105 WEST ELEVATION

SCALE: 1/4" = 1'-0"



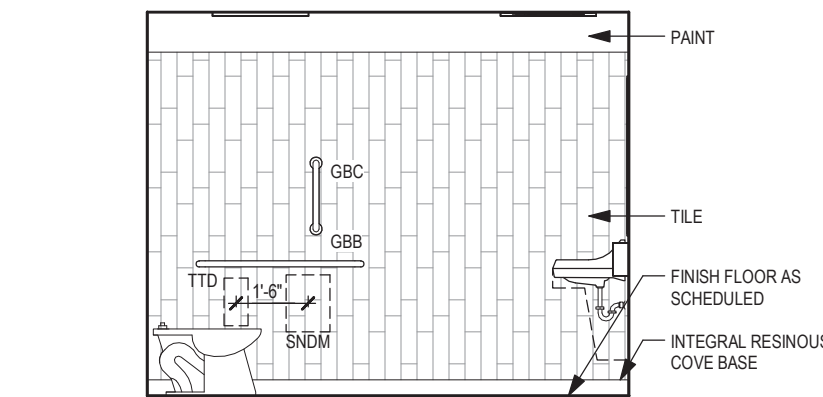
15 107 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



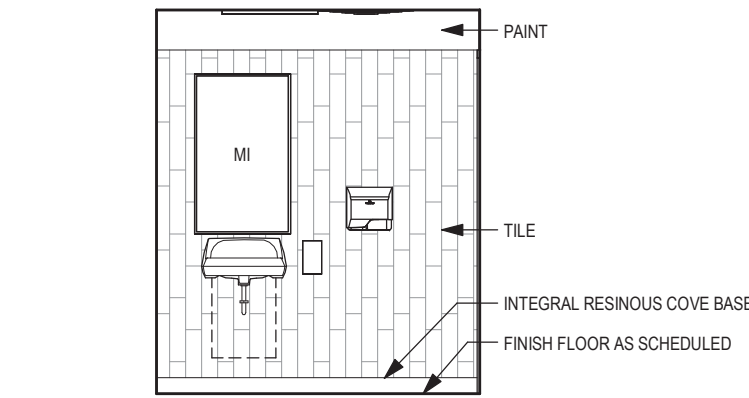
16 107 EAST ELEVATION

SCALE: 1/4" = 1'-0"



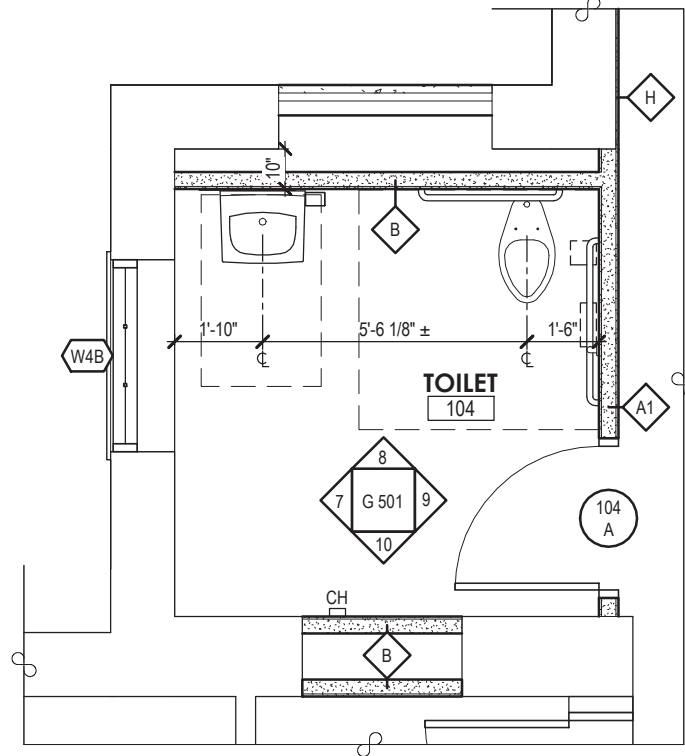
17 107 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



18 107 WEST ELEVATION

SCALE: 1/4" = 1'-0"

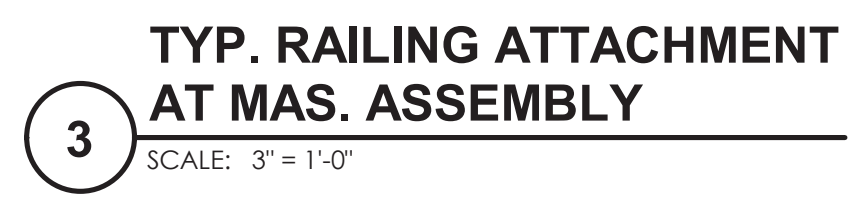


6 ENLARGED FLOOR PLAN - ADA TL. 104

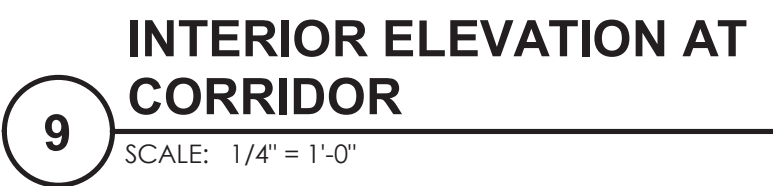
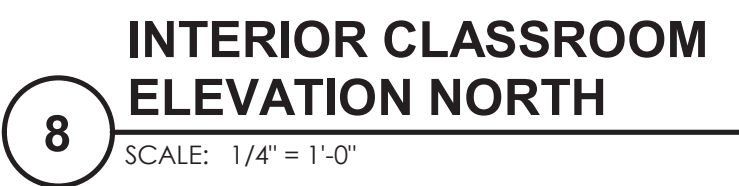
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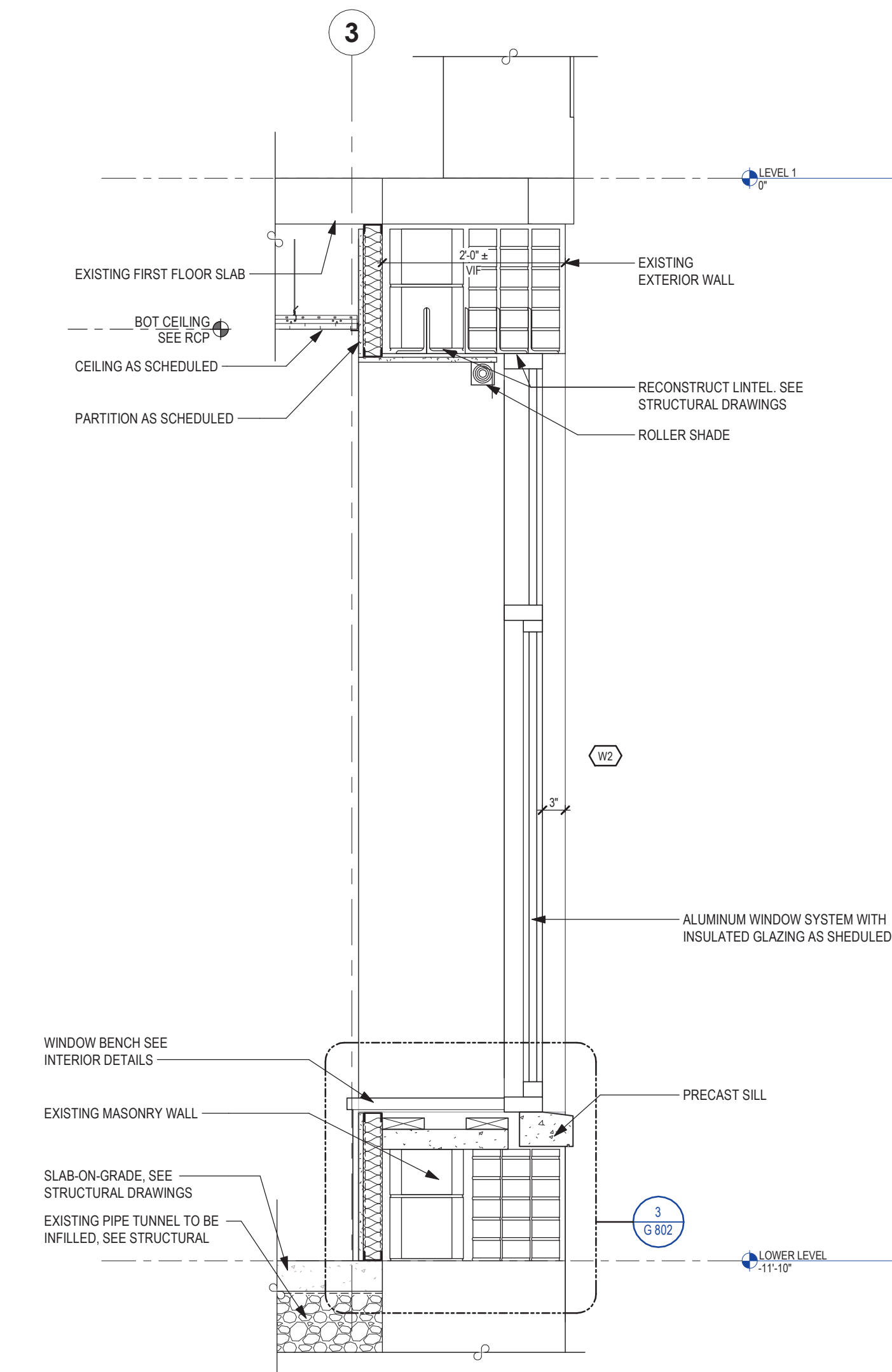
NEW CONSTRUCTION KEYNOTES

- 01A PROVIDE NEW STRUCTURAL SLAB ON DECK AND FLOOR FRAMING. SEE STRUCTURAL DRAWINGS.
- 01B INFILL POOL AND ADJACENT PIPE TUNNEL. PROVIDE STRUCTURAL SLAB ON GRADE. SEE STRUCTURAL DRAWINGS. PRIOR TO INSTALLING STRUCTURAL FILL, INSTALL GEOTEXTILE FABRIC (WINFAB 450 OR EQUAL) AS BARRIER BETWEEN POOL TILE AND FILL.
- 02 FLAT PANEL DISPLAY BY OWNER. INSTALL (2) ROWS X 48" LONG FIRE-TREATED WOOD BACKING PLATE. COORDINATE EXACT LOCATION IN FIELD.
- 03 PC TO PROVIDE ADA-COMPLIANT, DUAL-STATION DRINKING FOUNTAIN.
- 04 PROVIDE OPERABLE PARTITION.
- 05 PROVIDE OPERABLE PARTITION POCKET DOOR FOR OPERABLE MARKERBOARD PARTITION.
- 06 PROVIDE HARDWOOD VENEER PLYWOOD CORNER GUARD. SEE INTERIOR DETAILS.
- 07 LAMINATE EXISTING WALL WITH 5/8" GWB.
- 08 PREP, PRIME, AND PAINT ALL SURFACES OF EXISTING EXTERIOR STEEL STAIR. MODIFY FOOTING AT FOUR POSTS. SEE STRUCTURAL DRAWINGS.
- 09 PROVIDE METAL COMPOSITE WALL PANEL COLUMN WRAP. SEE INTERIOR ELEVATIONS AND INTERIOR DETAILS.
- 10 FABRICATED ENGINEERED CANOPY AND FOOTING.
- 11A RECESSED FIRE EXTINGUISHER CABINET
- 11B SURFACE-MOUNTED FIRE EXTINGUISHER CABINET
- 12 3' X 3' ACCESS DOOR. PROVIDE LINTEL FOR NEW OPENING
- 12 PAINT EXISTING SOFFIT INCLUDING VERTICAL FACE OF WALL
- 13 REMOVE EXISTING AND PROVIDE NEW DOWNSPOUT. CONNECT TO EXISTING COLLECTOR BOX. TIE IN TO NEW STORM LINE PER SITE DRAWINGS
- 14 FROST-PROTECTED ENTRANCE SLAB. SEE STRUCTURAL DETAILS. PROVIDE SLEEVE IN WALL FOR STORM LINE
- 15 PAINT UNDER-SIDE OF EXISTING EXPOSED STAIR STRUCTURE
- 16 12' X 4' MARKER BOARD WITH WOOD TRIM. SEE INTERIOR DETAILS

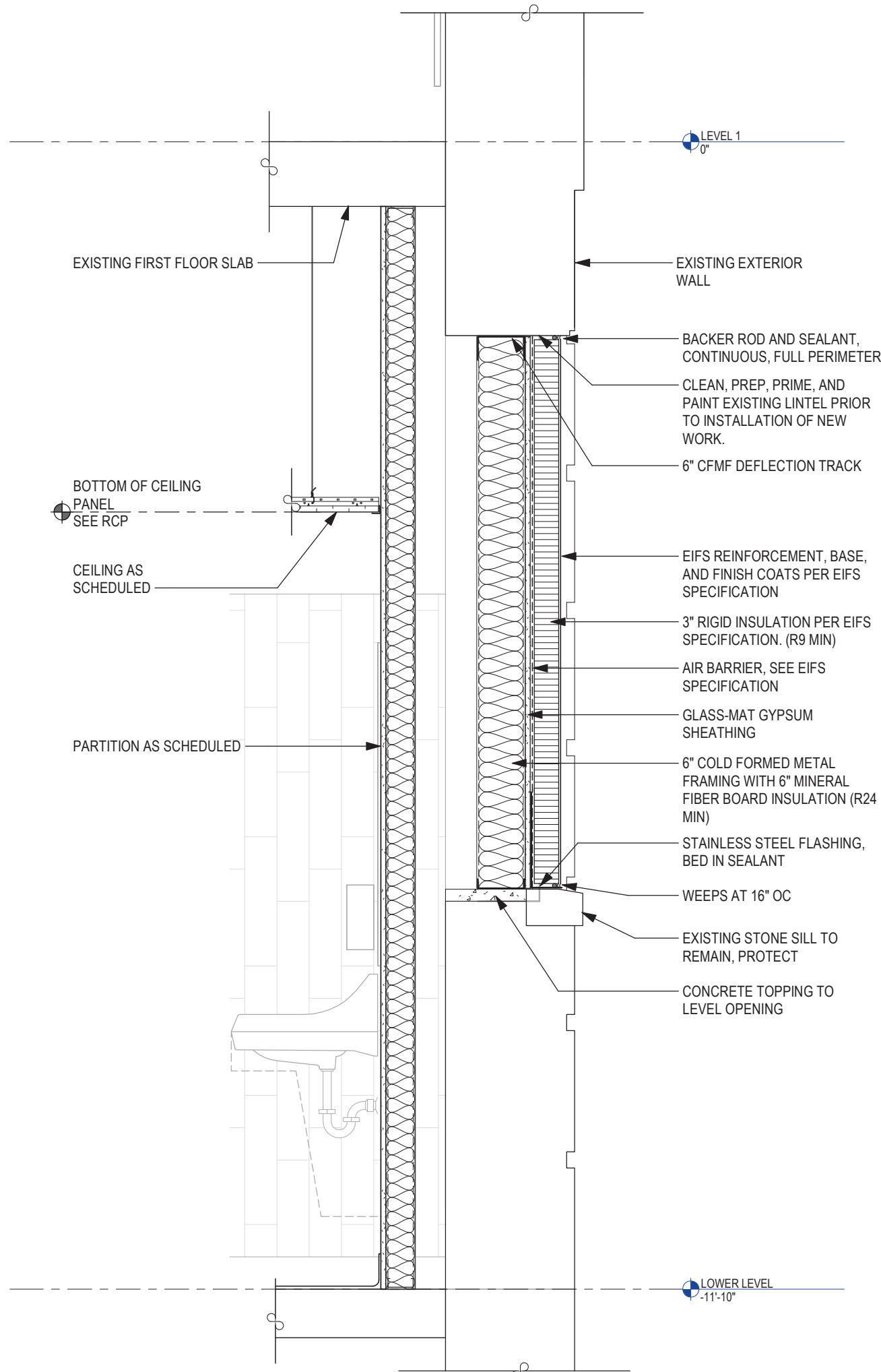


01A	PROVIDE NEW STRUCTURAL SLAB ON DECK AND FLOOR FRAMING. SEE STRUCTURAL DRAWINGS.
01B	INFILL POOL AND ADJACENT PIPE TUNNEL. PROVIDE STRUCTURAL SLAB ON GRADE. SEE STRUCTURAL DRAWINGS. PRIOR TO INSTALLING STRUCTURAL FILL, INSTALL GEOTEXTILE FABRIC (W8WF45 OR EQUAL) AS BARRIER BETWEEN POOL TILE AND FILL.
02	FLAT PANEL DISPLAY BY OWNER. INSTALL (2) ROWS X 48" LONG TREATED WOOD BACKING PLATE. COORDINATE EXIST. LOCATION IN FIELD.
03	PC TO PROVIDE ADA-COMPLIANT, DUAL-STATION DRINKING FOUNTAIN.
04	PROVIDE OPERABLE PARTITION.
05	PROVIDE OPERABLE PARTITION POCKET DOOR FOR OPERATING MARKERBOARD PARTITION.
06	PROVIDE HARDWOOD VENEER PLYWOOD CORNER GUARD. SEE INTERIOR DETAILS.
07	LAMINATE EXISTING WALL WITH 5/8" GWB.
08	PREP, PRIME, AND PAINT ALL SURFACES OF EXISTING EXTERIOR STEEL STAIR. MODIFY FOOTING AT FOUR POSTS. SEE STRUCTURAL DRAWINGS.
09	PROVIDE METAL COMPOSITE WALL PANEL COLUMN WRAP. SEE INTERIOR ELEVATIONS AND INTERIOR DETAIL.
10A	FABRICATED EXISTING CANOPIER AND FOOTING.
11A	RECESSED FIRE EXTINGUISHER CABINET
11B	SURFACE-MOUNTED FIRE EXTINGUISHER CABINET
12	3' X 3' ACCESS DOOR. PROVIDE LINTEL FOR NEW OPENING
13	PAINT EXISTING SOFFIT INCLUDING VERTICAL FACE OF WALL
13	REMOVE EXISTING AND PROVIDE NEW DOWNSPOUT. CONNECT TO EXISTING COLLECTOR BOX. TIE IN NEW STORM LINE PER SITE DRAWINGS
14	FROST-PROTECTED ENTRANCE SLAB. SEE STRUCTURAL DETAILS. PROVIDE SLEEVE IN WALL FOR STORM LINE.
15	PAINT UNDER-SIDE OF EXISTING EXPOSED STAIR STRUCTURE
16	12' X 4" MARKER BOARD WITH WOOD TRIM. SEE INTERIOR DETAILS





WALL SECTION AT NEW CLASSROOM WINDOW
SCALE: 3/4" = 1'-0"



WALL SECTION AT WINDOW INFILL
SCALE: 3/4" = 1'-0"

SED NUMBERS: ■ Administration Building: 66-15-00-01-G-009-013
BEFORE WORK IS STARTED, CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS AT THE SITE AND IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES. ALTERATION OF THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED REGISTERED ARCHITECT IS ILLEGAL AND A VIOLATION OF SECTION 2307 OF THE NEW YORK STATE EDUCATION LAW.

Drawing Title:

WALL SECTIONS

Revision:
05/21/2025

Revision:
05/21/2025

Alterations to Administration Building

Peekskill City School District
Peekskill, New York

Consultant:

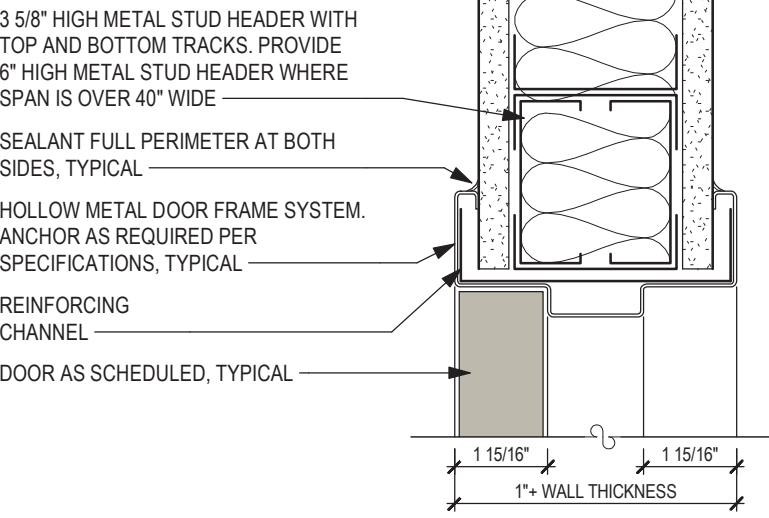
Seal

**G
601**

APN: 2226.2A Date: October 11, 2024 Drawn by: RWC

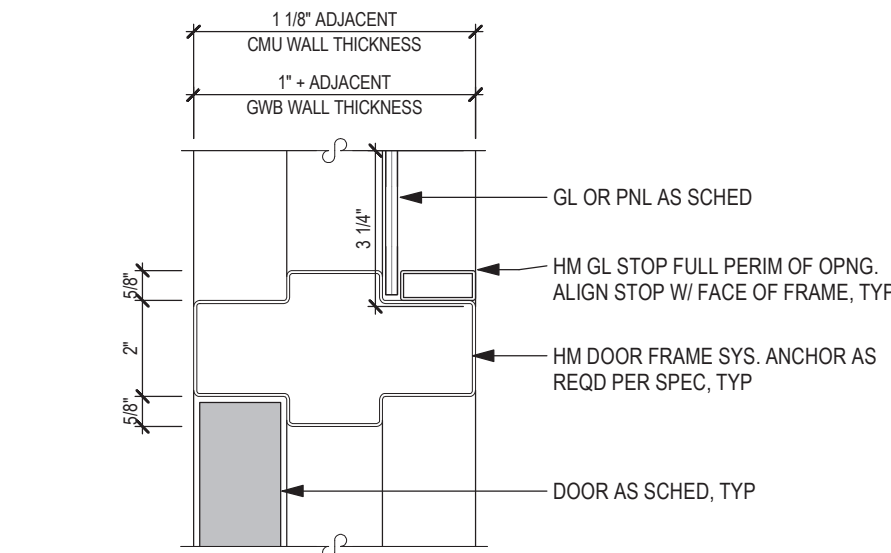
1 HEAD DETAIL

SCALE: 3" = 1'-0"



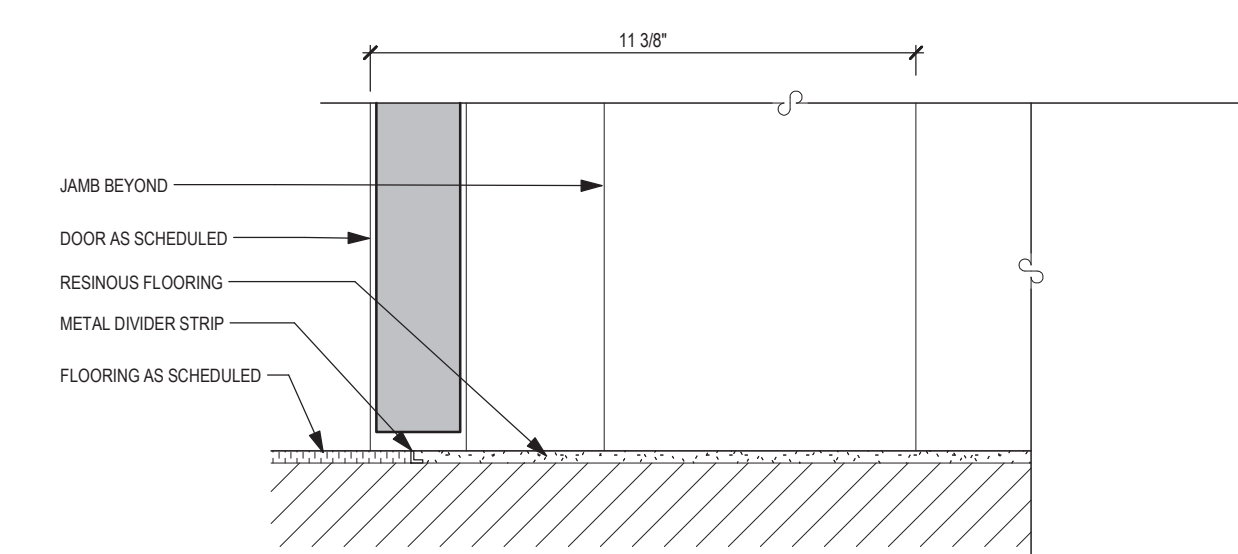
2 JAMB DETAIL

SCALE: 3" = 1'-0"



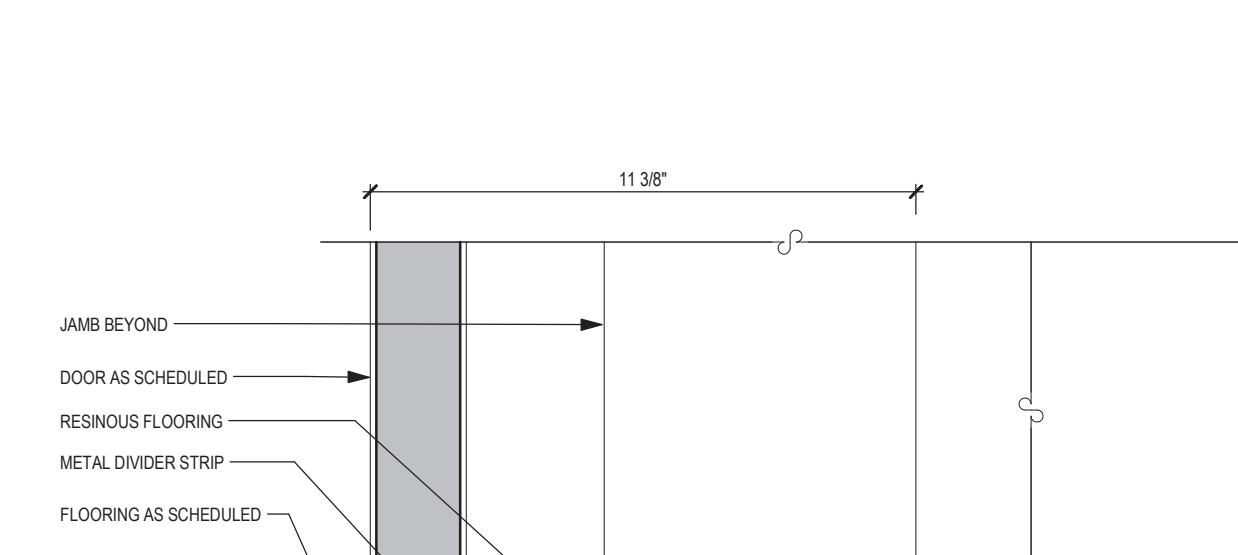
3 INTERMEDIATE DETAIL

SCALE: 3" = 1'-0"



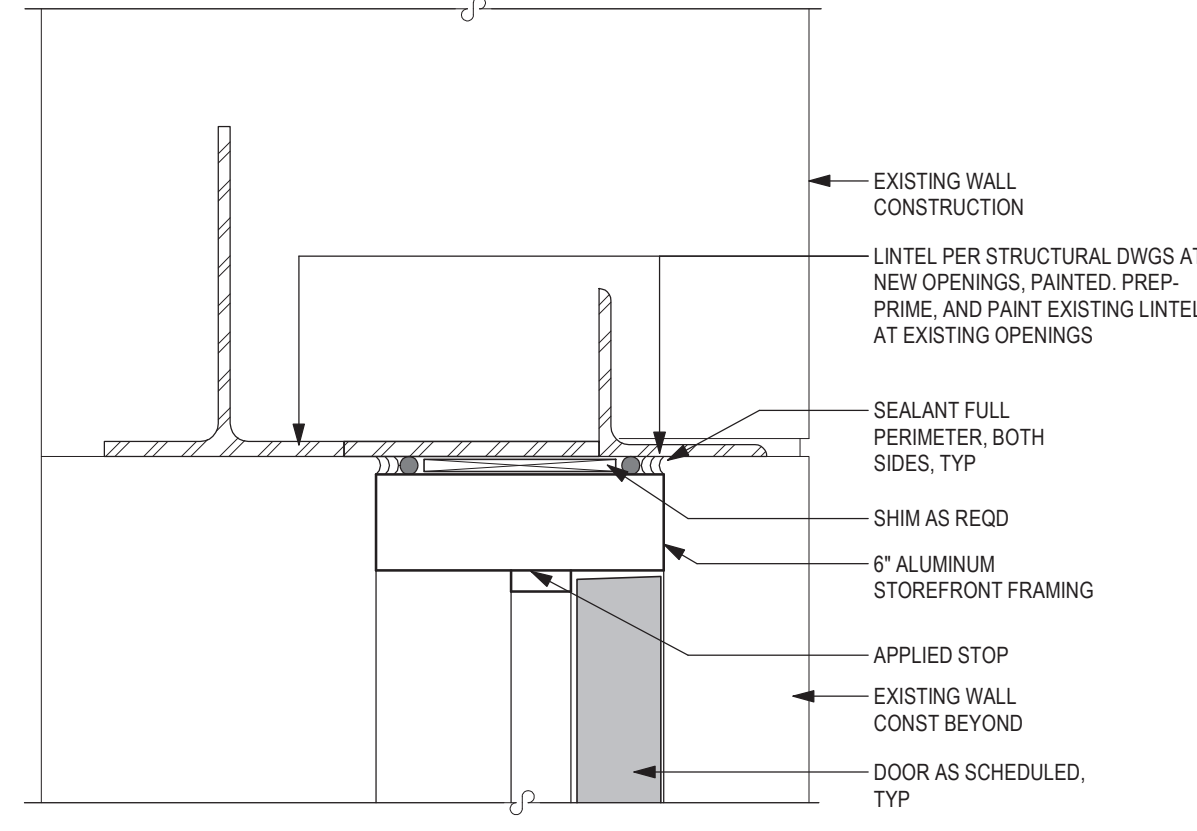
4 SILL DETAIL

SCALE: 3" = 1'-0"



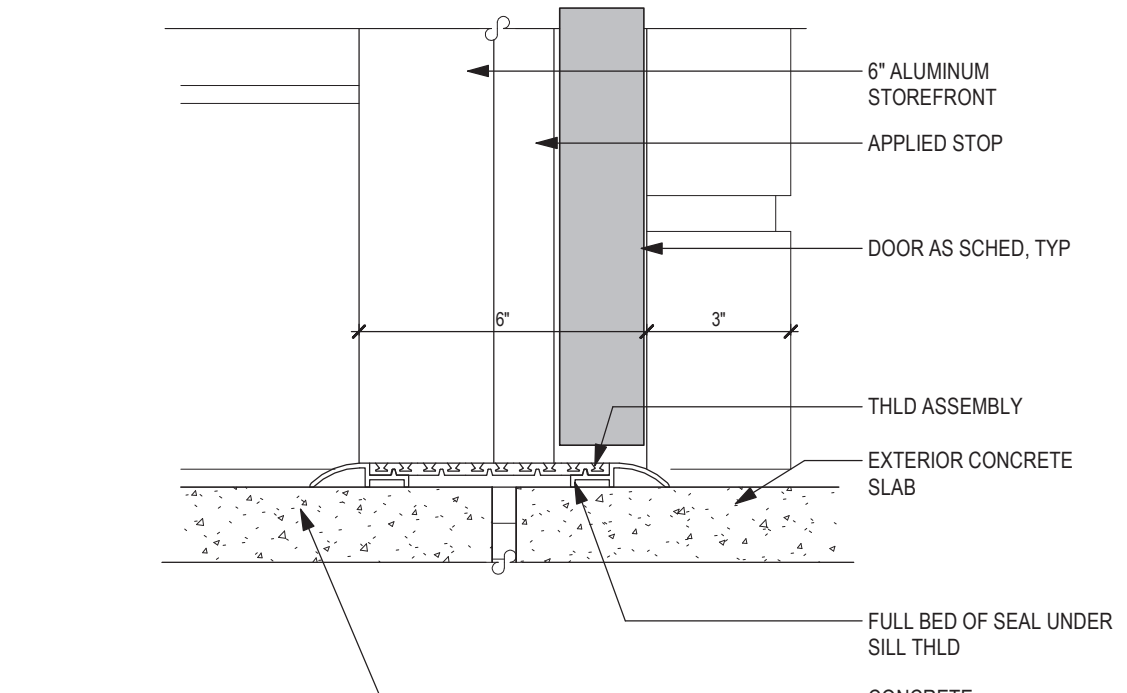
5 AL DOOR HEAD AT EXTERIOR MASONRY WALL

SCALE: 3" = 1'-0"



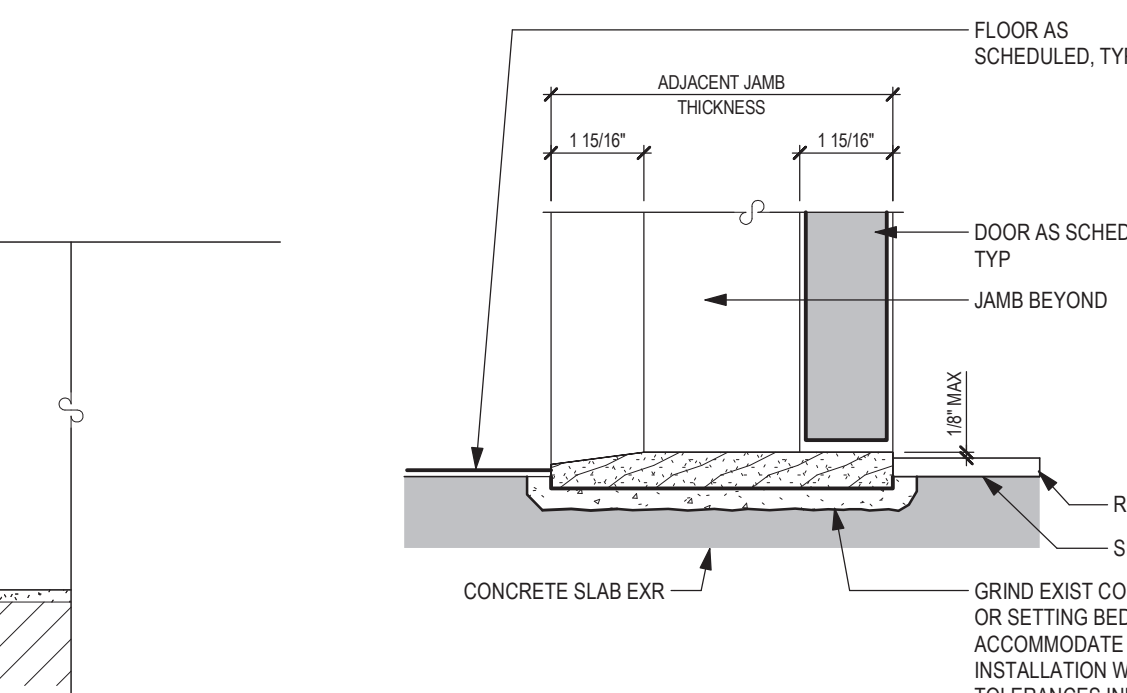
6 AL DOOR JAMB AT EXISTING MASONRY WALL

SCALE: 3" = 1'-0"



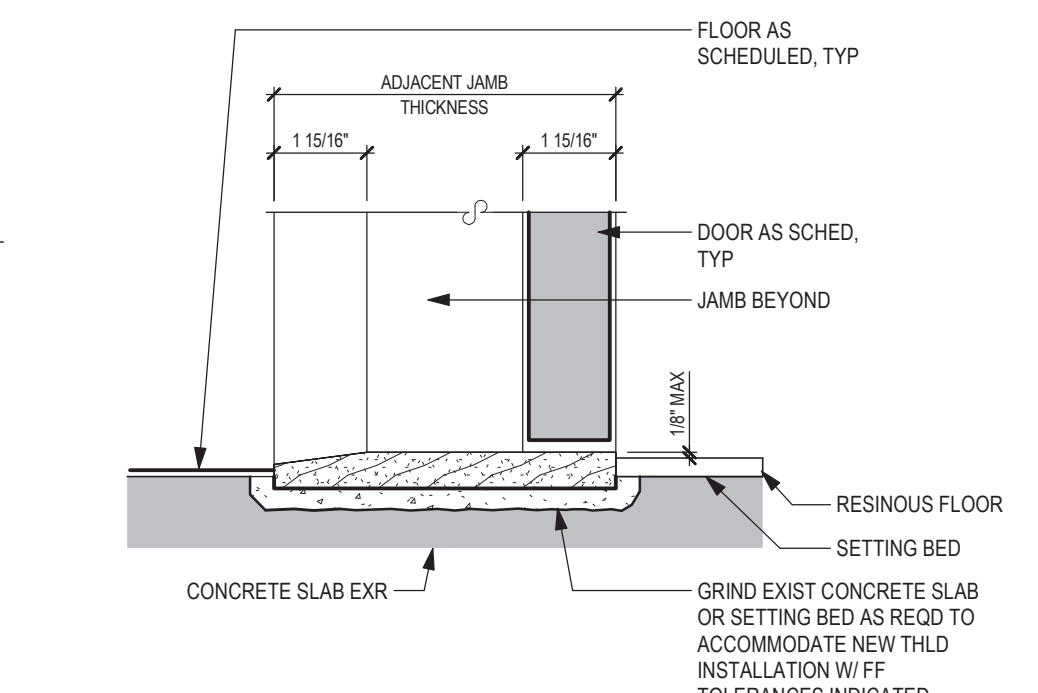
7 AL SILL AT EXISTING MASONRY WALL

SCALE: 3" = 1'-0"



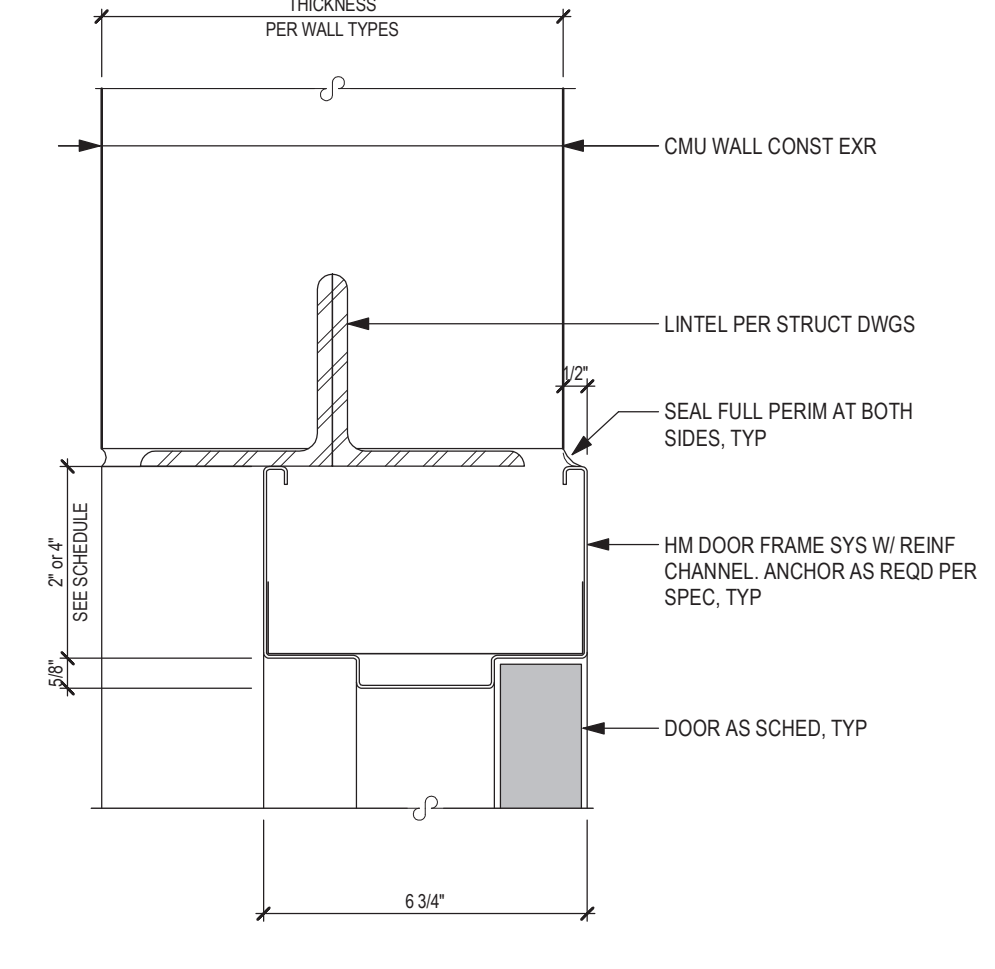
8 MARBLE SILL DETAIL

SCALE: 3" = 1'-0"



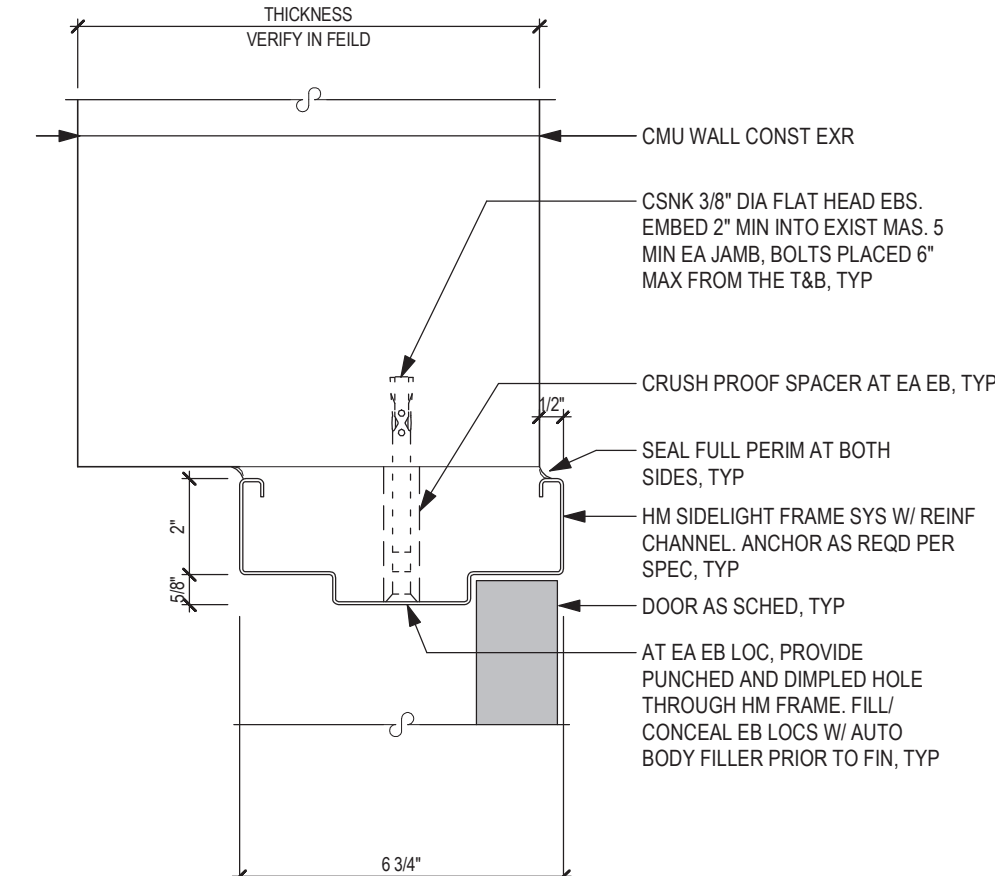
9 HM DOOR HEAD AT EXISTING MASONRY WALL

SCALE: 3" = 1'-0"



10 HM DOOR JAMB AT EXISTING MASONRY WALL

SCALE: 3" = 1'-0"

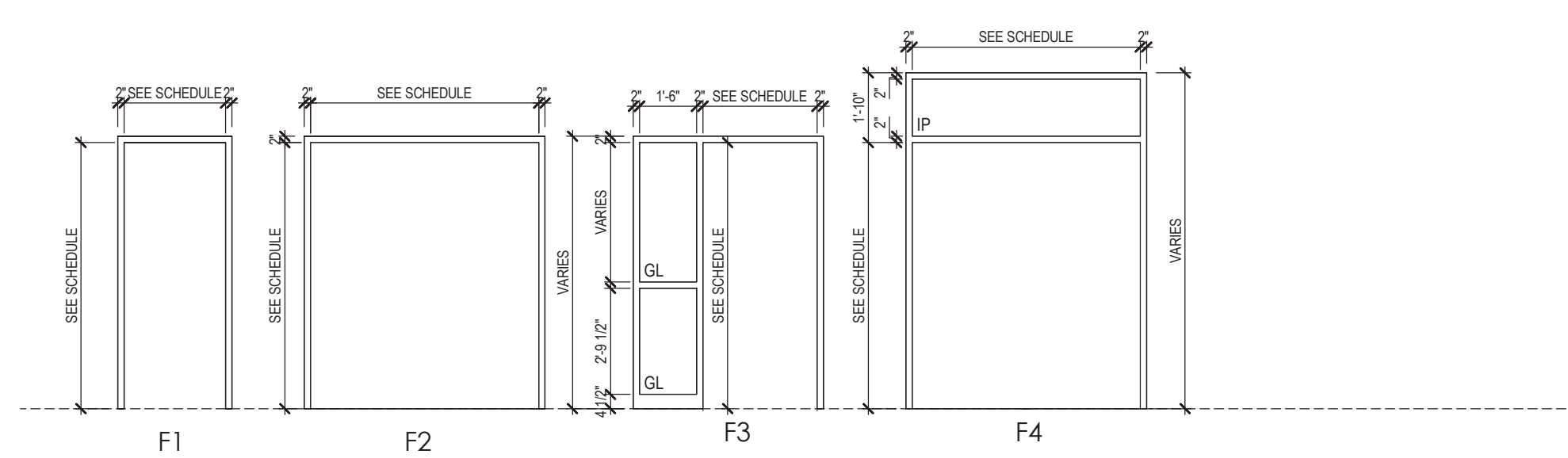


DOOR AND DOOR FRAME SCHEDULE																			
DOOR NUMBER	DOOR										FRAME								
	DOOR CONSTRUCTION	GLAZING MATERIAL	FACING AND FINISH	DOOR TYPE	PANEL 1 WIDTH	PANEL 2 WIDTH	HEIGHT	THICKNESS	FRAME CONSTRUCTION	GLAZING MATERIAL	FRAME FINISH	FRAME TYPE	HEAD DETAIL	JAMB DETAIL	INTERMEDIATE DETAIL	SILL DETAIL	THRESHOLD MATERIAL	FIRE RATING	HARDWARE SET
101 A	SC	FPSG-1	WS	D2	3'-0"		7'-0"	1 3/4"	HM	FPSG-2	MP	F3	1/G701	2/G701	3/G701	4/G701	-	20-45	3
102 A	SC	FPSG-1	WS	D2	3'-0"		7'-0"	1 3/4"	HM	FPSG-2	MP	F3	1/G701	2/G701	3/G701	4/G701	-	20-45	3
103 A	SC	FPSG-1	WS	D2	3'-0"		7'-0"	1 3/4"	HM	FPSG-2	MP	F3	1/G701	2/G701	3/G701	4/G701	-	20-45	3
104 A	SC	-	WS	D1	3'-0"		7'-0"	1 3/4"	HM	-	MP	F1	1/G701	2/G701	-	8/G701	MB	45	8
105A	SC	-	WS	D1	3'-0"		7'-0"	1 3/4"	HM	-	MP	F1	1/G701	2/G701	-	8/G701	MB	45	8
106A	SC	-	WS	D1	3'-0"		7'-0"	1 3/4"	HM	-	MP	F1	1/G701	2/G701	-	8/G701	MB	45	10
107 A	SC	-	WS	D1	3'-0"		7'-0"	1 3/4"	HM	-	MP	F1	1/G701	2/G701	-	8/G701	MB	-	9
B1.0 A	SC	-	WS	D1	2'-6"		7'-0"	1 3/4"	HM	-	MP	F1	1/G701	2/G701	-	4/G701 SIM	AL	45	11
B1.0 B	SC	-	WS	D1	3'-0"		7'-0"	1 3/4"	HM	-	MP	F1	9/G701	10/G701	-	4/G701 SIM	AL	45	7
B1.0 C	SC	-	WS	D1	3'-6"		7'-0"	1 3/4"	HM	-	MP	F1	1/G701	2/G701	-	4/G701 SIM	AL	45	6
B1.0 D	FRP	INLG	FF	D4	3'-0"	3'-0"	7'-0"	1 3/4"	AL	-	AN	F2	5/G701	6/G701	-	7/G701	AL	-	1 DAC, KRM
B1.1 A	SC	-	WS	D1	2'-2"		7'-0"	1 3/4"	EXR	-	MP	EXR	-	-	-	4/G701	-	20	12 PAINT EXISTING FRAME
B1.1 B	SC	-	WS	D1	3'-0"		7'-0"	1 3/4"	HM	-	MP	F1	1/G701	2/G701	-	4/G701	-	45	12
B1.1 C	SC	FPSG-1	WS	D2	3'-0"	3'-0"	7'-0"	1 3/4"	HM	-	MP	F2	1/G701	2/G701 SIM	-	4/G701	-	20	4 DE, MHO
B1.2 A	SC	LG	WS	D2	3'-0"	3'-0"	7'-0"	1 3/4"	HM	-	MP	F2	1/G701	2/G701	-	4/G701	-	-	2 DAC
B1.2 B	SC	FRSG	WS	D2-D1	3'-0"	2'-4"	7'-0"	1 3/4"	HM	-	MP	F2	8/G701	6/G701	-	4/G701	-	45	5 ACTIVE LEAF: D2, INACTIVE LEAF: D1, MHO
B1.3 A	FRP	INLG	FF	D4	3'-4"	2'-2"	7'-0"	1 3/4"	AL	IP	AN	F4	5/G701	6/G701	-	7/G701	AL	-	1 DAC, KRM

DOOR and DOOR FRAME SCHEDULE NOTES									
ABBREVIATIONS :					NOTES :				
AL	ALUMINIUM	FRSG	FIRE RESISTANCE RATED SAFETY GLAZING		1.	DOOR TYPE : DESIGNATION INDICATES DOOR TYPE NUMBER.			
AN	ALUMINIUM, ANODIZED	HM	HOLLOW METAL		2.	FRAME TYPE : DESIGNATION INDICATES FRAME TYPE NUMBER.			
DAC	DOOR ACCESS CONTROL	IRSG	IMPACT RATED SAFETY GLAZING		3.	FRAME DETAILS : DESIGNATION INDICATES DETAIL NUMBER.			
EX	EXISTING	INSG	INSULATING SAFETY GLAZING		4.	FIRE RATING : 20, 45, 60, 180 INDICATES REQUIRED MINUTES OF FIRE RATING. 20-45 INDICATES 20-MINUTE DOOR RATING AND 45-MINUTE SIDELIGHT GLASS RATING			
EXMP	EXISTING METAL PAINTED	MB	MARBLE						
EXWP	EXISTING WOOD PAINTED	M	METAL						
EXR	EXISTING TO REMAIN	MHO	MAGNETIC HOLD OPEN						
FF	PRE-APPLIED FACTORY FINISH	MP	METAL PAINTED						
FRP	FIBERGLASS REINFORCED POLYESTER WITH PRE APPLIED FACTORY FINISH	WD	WOOD						
FPSG	FIRE PROTECTION RATED SAFETY GLAZING	WS	WOOD STAINED AND POLYURETHANED PRE APPLIED FACTORY FINISH						

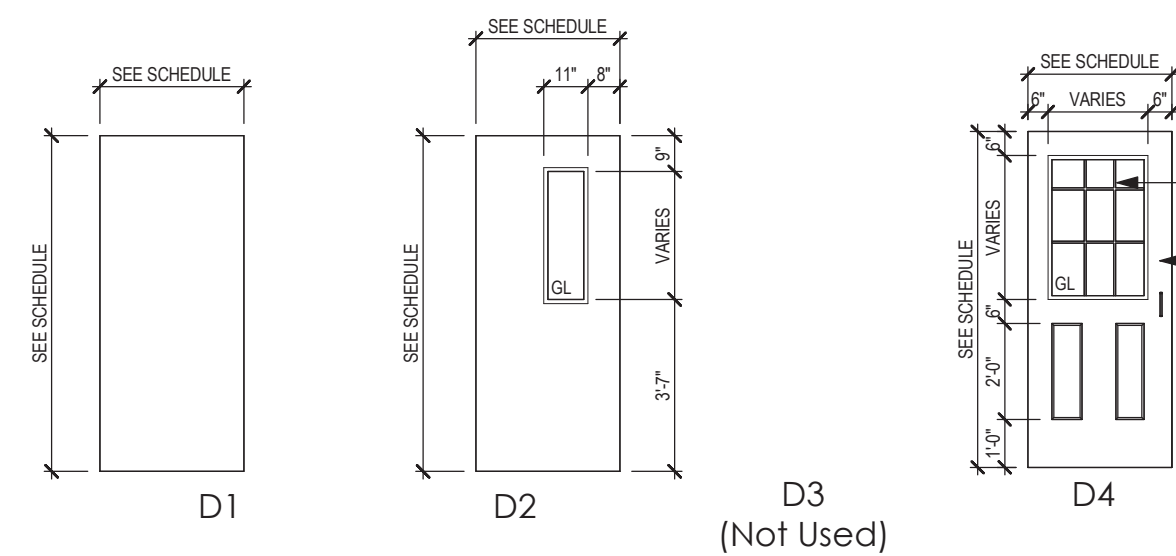
DOOR AND DOOR FRAME NOTES

- ALL DIMENSIONS ARE NOMINAL UNLESS OTHERWISE NOTED
- PLUS OR MINUS VERIFY IN FIELD (+/- VIF) NOTATIONS ARE USED IN DIMENSION STRINGS TO ACCOUNT FOR VARIATIONS IN EXISTING CONDITIONS. THE (SUB) CONTRACTOR SHALL VERIFY ALL +/- VIF DIMENSIONS PRIOR TO BIDS, TYPICAL
- SEE DOOR AND FRAME SCHEDULE FOR ANY FIRE RATING, TYPICAL
- SEE FRAME DETAILS AND WALL TYPE LEGEND FOR REQUIRED DEPTH OF DOOR FRAMES, TYPICAL
- SHIM ALL DOOR FRAMES AS REQUIRED, TYPICAL
- PROVIDE SEALANT FULL PERIMETER OF DOOR FRAMES AT EACH SIDE, TYPICAL
- PROVIDE VERTICAL AND HORIZONTAL CHANNEL REINFORCING AS REQUIRED, TYPICAL
- PROVIDE FRAME ANCHORS TO NEW CONSTRUCTION AS REQUIRED, TYPICAL. SEE SPECIFICATIONS
- PROVIDE 4" DIAMETER SAFETY GLAZING DECAL AS REQUIRED PER NEW YORK STATE DEPARTMENT OF LABOR INDUSTRIAL CODE RULE NUMBER 47
- STOPS NOT SHOWN FOR CLARITY
- "GL" INDICATES GLAZING. REFER TO SCHEDULE FOR GLAZING TYPES



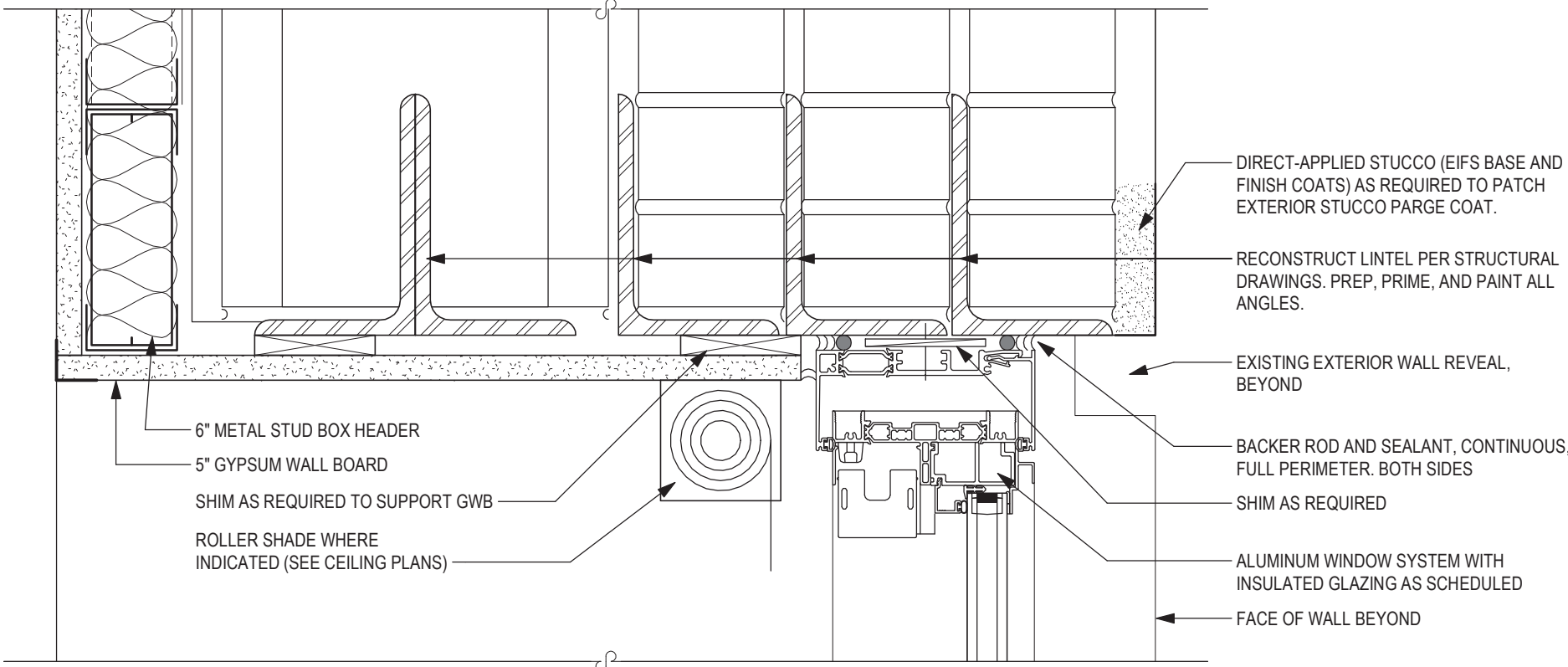
FRAME TYPES

SCALE: 1/4" = 1'-0"

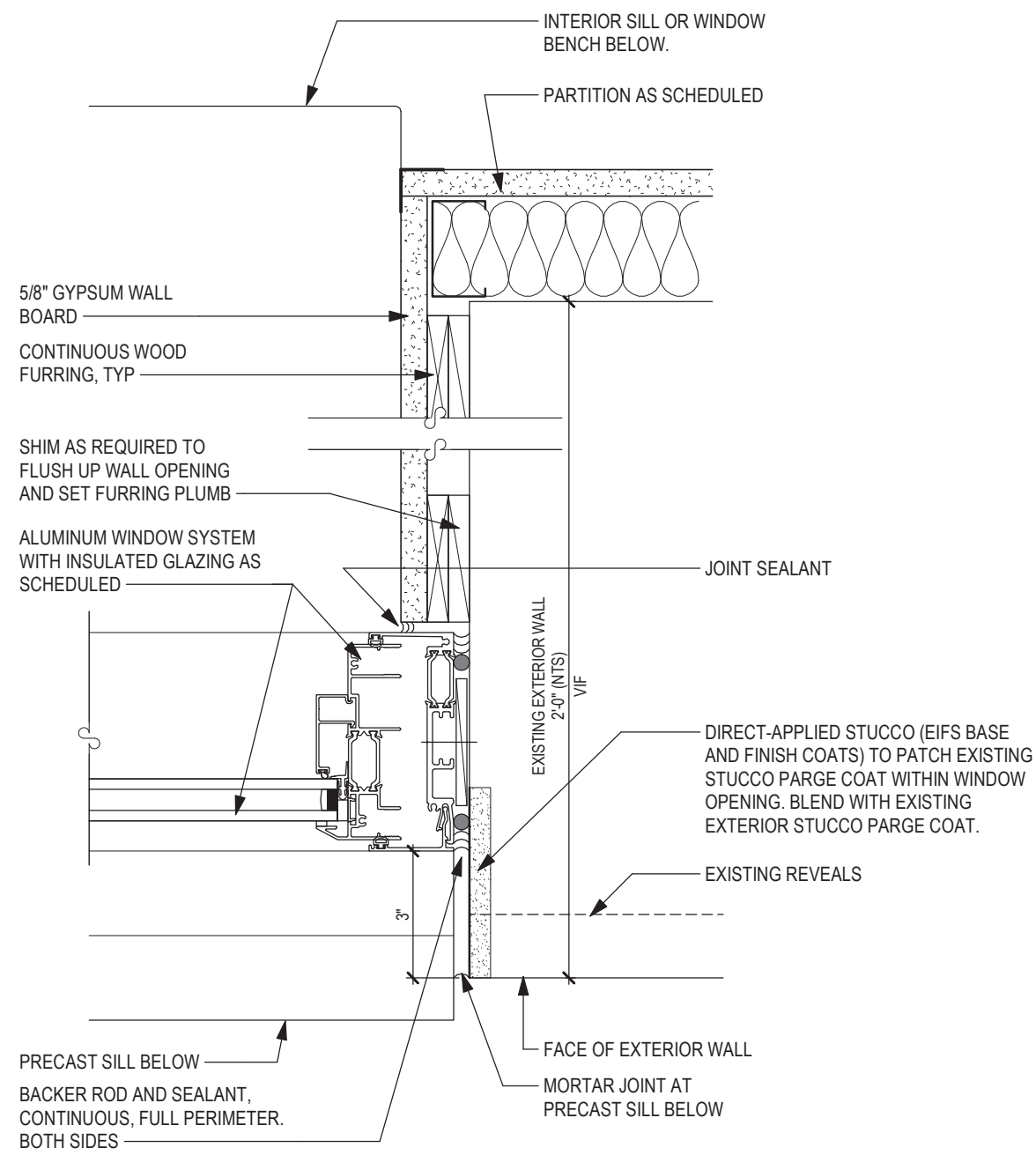


DOOR TYPES

SCALE: 1/4" = 1'-0"



1 HEAD DETAIL
SCALE: 3" = 1'-0"



3 JAMB DETAIL
SCALE: 3" = 1'-0"

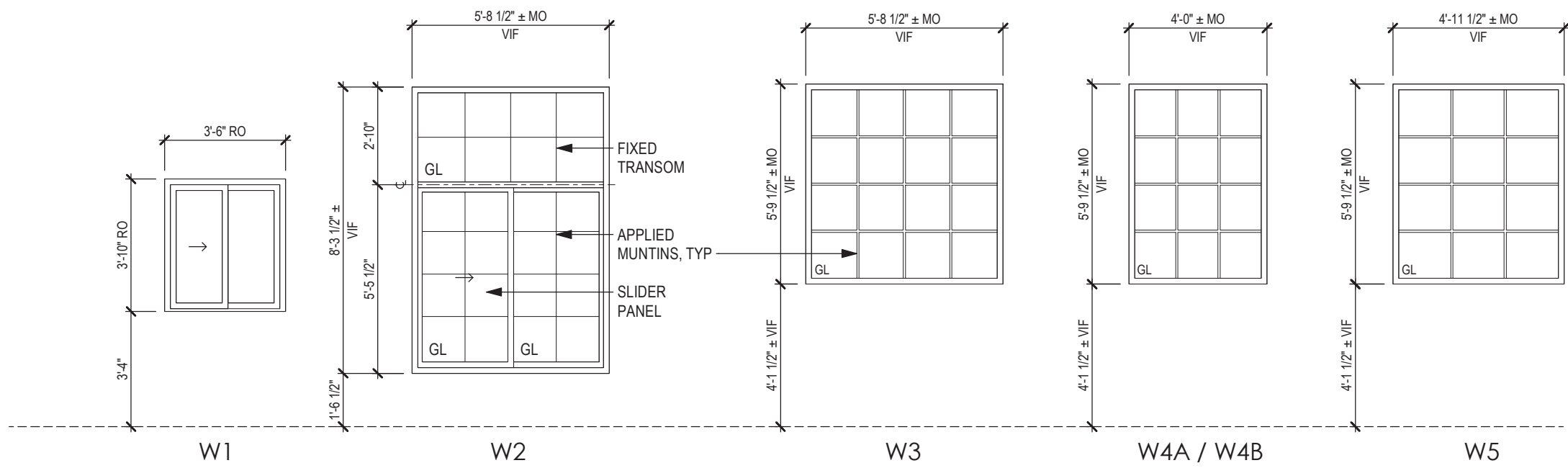
WINDOW SCHEDULE									
WINDOW TYPE	FRAME CONSTRUCTION	GLAZING TYPE	FRAME FINISH	WINDOW OPERATION	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	FIRE RATING	REMARKS
W1	AL	LG	FF	SL	2/G 702	4/G 702	6/G 702	-	ALUMINUM SLIDING SERVICE WINDOW
W2	AL	INSG-1	AN	SL	1/G 702	3/G 702	7/G 702	-	
W3	AL	INSG-1	FF	FX	1/G 702	3/G 702	5/G 702	-	
W4A	AL	INSG-1	FF	FX	1/G 702	3/G 702	5/G 702	-	
W4B	AL	INSG-2	FF	FX	1/G 702	3/G 702	5/G 702	-	
W5	AL	INSG-1	FF	FX	1/G 702	3/G 702	5/G 702	-	

WINDOW SCHEDULE NOTES

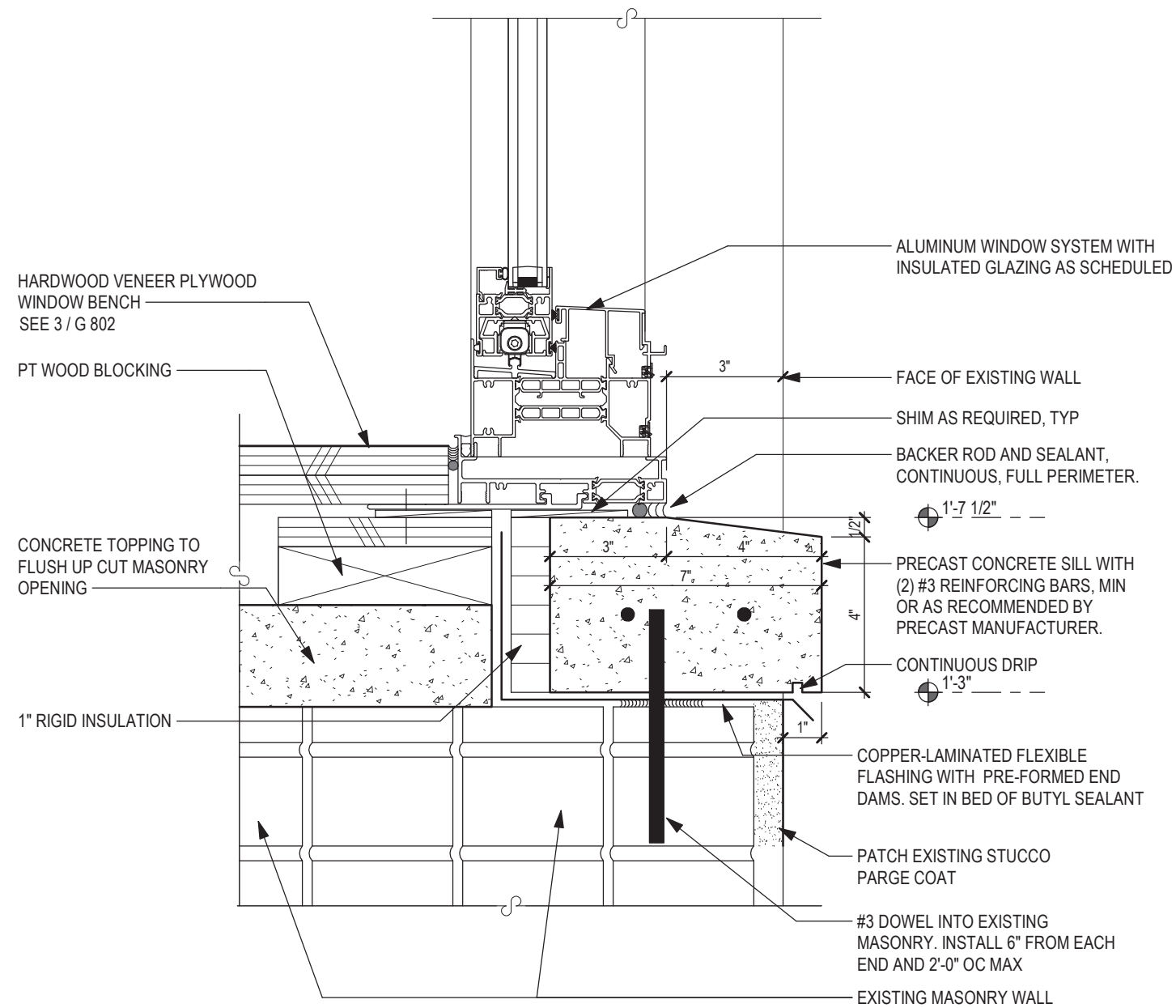
- ABBREVIATIONS:
AL ALUMINUM
AN ALUMINUM, ANODIZED
INSG INSULATED SAFETY GLAZING
- WINDOW SASH OPERATION:
FX FIXED
SL SLIDER
CS CASEMENT
- FRAME DETAILS: DESIGNATION INDICATES DETAIL NUMBER
- WINDOW TYPE: DESIGNATION INDICATES WINDOW TYPE NUMBER. SEE WINDOW TYPES FOR ADDITIONAL INFORMATION

GENERAL WINDOW NOTES

- SHIM ALL WINDOWS AS REQUIRED
- PROVIDE SEALANT AT FULL PERIMETER, BOTH SIDES OF WALL
- FILL ALL EXTERIOR FRAMES Voids WITH BATT INSULATION.
- COORDINATE WINDOW UNIT SIZES WITH MASONRY OPENING DIMENSIONS AND DETAILS.
- FIELD VERIFY SIZES OF EXISTING ROUGH OPENINGS AND ADJUST UNIT SIZES ACCORDINGLY.
- SEE ELEVATIONS FOR OPERATION DIRECTION OF EACH OPERABLE WINDOW.
- SEE CODE COMPLIANCE FLOOR PLANS FOR EMERGENCY RESCUE WINDOW (RW) LOCATIONS. PROVIDE STICKER AT EACH. EVERY RESCUE WINDOW SHALL HAVE A MINIMUM CLEAR OPERING AREA OF 5.7 SF, AND MINIMUM DIMENSION OF 24". WINDOW HARDWARE SHALL BE A MAXIMUM OF 54" A.F.F.



WINDOW TYPES
SCALE: 1/4" = 1'-0"



7 SILL DETAIL
SCALE: 3" = 1'-0"

SED NUMBERS: 66-15-10-01-0-009-013
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WINDOW TYPES, DETAILS, &
SCHEDULE

Drawing Number:

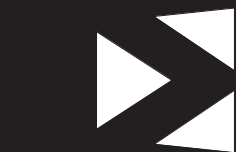
Drawing Title:

Revision:
05/21/2025

Alterations to Administration Building
Peekskill City School District
Peekskill, New York

Consultant:

Seal



Mosaic Associates Architects, DPC
The Fear Building, 2 Third Street, Suite 440, Troy, NY 12180

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702

INTERIOR WALL TYPES					GENERAL WALL TYPE NOTES
				<p>1. ALL PARTITIONS SHALL BE FROM STRUCTURE BELOW TO UNDERSIDE OF STRUCTURAL DECK ABOVE, TYPICAL UNLESS NOTED OTHERWISE.</p> <p>2. PROVIDE FIRE STOPPING, FIRE SAFING AND FIRE RATED SEALANT AT ALL VOIDS AND PENETRATIONS IN FIRE RATED ASSEMBLIES. ASSUME ALL EXISTING TO REMAIN WALLS ARE FIRE RATED.</p> <p>3. WHERE FIRE RATED PARTITIONS ARE LOCATED UNDER STEEL BEAMS OR JOISTS, EXTEND FIRE RATED CONSTRUCTION TO UNDERSIDE OF STRUCTURAL DECK ABOVE BY PROVIDING FIRE RATED CONSTRUCTION AROUND BEAM OR JOIST EQUAL TO FIRE RATING OF WALL BELOW.</p> <p>4. MAINTAIN CONTINUITY OF ALL FIRE RATED PARTITIONS THROUGH NON RATED PARTITIONS, WHERE NON RATED PARTITIONS ABUT OR BEHIND CASEWORK, FIRE EXTINGUISHERS, ELECTRICAL PANELS, ETC. TYPICAL.</p> <p>5. PROVIDE ALL CUT UNITS, ADDITIONAL FRAMING/BLOCKING, SEALANT, FIRE SAFING ETC. AS REQUIRED TO SEAL AROUND OR BETWEEN ALL CONSTRUCTION ELEMENTS AFFECTED BY NEW WALL CONSTRUCTION, TYPICAL UNLESS NOTED OTHERWISE.</p> <p>6. SEE ROOM FINISH SCHEDULE FOR WALL TILE, VINYL WALL COVERING AND PAINT LOCATIONS, TYPICAL.</p> <p>7. PROVIDE CONTINUOUS TAPEABLE EDGE BEAD AT ALL GYPSUM WALLBOARD LOCATIONS ABUTTING NEW OR EXISTING DISSIMILAR MATERIALS, TYPICAL UNLESS NOTED OTHERWISE.</p> <p>8. SEE STRUCTURAL DRAWINGS FOR BOND BEAMS, REINFORCING, GROUTING, BRACING AND LOAD BEARING ASSEMBLIES.</p> <p>9. INSTALL CONTINUOUS 6" WIDE 16 GA. GALVANIZED STEEL STRAP BLOCKING ACROSS FACE OF STUDS AT NEW METAL STUD WALLS TO RECEIVE NEW CASEWORK, SHELVING, TALL CASEWORK, TOILET PARTITIONS, TOILET ACCESSORIES, LOCKERS OR OTHER WALL MOUNTED/SECURED EQUIPMENT. COORDINATE IN FIELD EXACT LOCATIONS WITH PRIME CONTRACTOR AND SUBCONTRACTOR. PROVIDE TYPICAL STEEL STRAP BLOCKING AT NEW CASEWORK LOCATIONS AS FOLLOWS:</p> <ul style="list-style-type: none">A. TOP AND BOTTOM OF BASE CABINETSB. TOP AND BOTTOM OF WALL CABINETSC. TOP, BOTTOM AND MIDPOINT OF TALL CABINETSD. TOP, BOTTOM AND MIDPOINT OF COUNTERTOP SUPPORTSE. TOP, BOTTOM AND MIDPOINT OF SHELF STANDARDS <p>10. FIRE RATED WALL CONSTRUCTION SHALL BE PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING.</p> <ul style="list-style-type: none">A. LOCATE AT ACCESSIBLE CONCEALED FLOOR, ATTIC OR FLOOR-CEILING SPACESB. LOCATE WITHIN 15 FEET OF EACH WALL END AND AT 30 FEET OC BETWEEN WALL ENDSC. LETTERING SHALL BE 3" HIGH WITH 3/8" WIDE STROKE MINIMUM IN CONTRASTING COLORD. INCORPORATE WORDING "FIRE AND/OR SMOKE BARRIER-PROTECT ALL OPENINGS" <p>11. WHERE FINISH SCHEDULE AND/OR INTERIOR ELEVATIONS CALL FOR TILE, PROVIDE TILE BACKING PANEL IN LIEU OF GYPSUM WALL BOARD</p>	
A1	C	E	G1	H1	
1 HOUR RATED 3 5/8" STUD PARTITION NONBEARING	NON-RATED 6" CMU NONBEARING	NON-RATED 10" CMU NONBEARING	1-HOUR RATED SHAFTWALL PARTITION UL DESIGN NO. U415 - NONBEARING	1-HOUR RATED 6" STUD PARTITION NONBEARING	
	C1	E1	G2		
	1 HOUR RATED 6" CMU U.L. DESIGN NO. U906 NONBEARING	1 HOUR RATED 10" CMU U.L. DESIGN NO. U906 NONBEARING	2-HOUR RATED SHAFTWALL PARTITION UL DESIGN NO. 4415 - NONBEARING		
	C2				
	2 HOUR RATED 6" CMU U.L. DESIGN NO. U906 NONBEARING				

GENERAL WALL TYPE NOTES

- ALL PARTITIONS SHALL BE FROM STRUCTURE BELOW TO UNDERSIDE OF STRUCTURAL DECK ABOVE, TYPICAL UNLESS NOTED OTHERWISE.
- PROVIDE FIRE STOPPING, FIRE SAFING AND FIRE RATED SEALANT AT ALL VOIDS AND PENETRATIONS IN FIRE RATED ASSEMBLIES. ASSUME ALL EXISTING TO REMAIN WALLS ARE FIRE RATED.
- WHERE FIRE RATED PARTITIONS ARE LOCATED UNDER STEEL BEAMS OR JOISTS, EXTEND FIRE RATED CONSTRUCTION TO UNDERSIDE OF STRUCTURAL DECK ABOVE BY PROVIDING FIRE RATED CONSTRUCTION AROUND BEAM OR JOIST EQUAL TO FIRE RATING OF WALL BELOW.
- MAINTAIN CONTINUITY OF ALL FIRE RATED PARTITIONS THROUGH NON RATED PARTITIONS, WHERE NON RATED PARTITIONS ABUT OR BEHIND CASEWORK, FIRE EXTINGUISHERS, ELECTRICAL PANELS, ETC. TYPICAL.
- PROVIDE ALL CUT UNITS, ADDITIONAL FRAMING/BLOCKING, SEALANT, FIRE SAFING ETC. AS REQUIRED TO SEAL AROUND OR BETWEEN ALL CONSTRUCTION ELEMENTS AFFECTED BY NEW WALL CONSTRUCTION, TYPICAL UNLESS NOTED OTHERWISE.
- SEE ROOM FINISH SCHEDULE FOR WALL TILE, VINYL WALL COVERING AND PAINT LOCATIONS, TYPICAL.
- PROVIDE CONTINUOUS TAPEABLE EDGE BEAD AT ALL GYPSUM WALLBOARD LOCATIONS ABUTTING NEW OR EXISTING DISSIMILAR MATERIALS, TYPICAL UNLESS NOTED OTHERWISE.
- SEE STRUCTURAL DRAWINGS FOR BOND BEAMS, REINFORCING, GROUTING, BRACING AND LOAD BEARING ASSEMBLIES.
- INSTALL CONTINUOUS 6" WIDE 16 GA. GALVANIZED STEEL STRAP BLOCKING ACROSS FACE OF STUDS AT NEW METAL STUD WALLS TO RECEIVE NEW CASEWORK, SHELVING, TALL CASEWORK, TOILET PARTITIONS, TOILET ACCESSORIES, LOCKERS OR OTHER WALL MOUNTED/SECURED EQUIPMENT. COORDINATE IN FIELD EXACT LOCATIONS WITH PRIME CONTRACTOR AND SUBCONTRACTOR. PROVIDE TYPICAL STEEL STRAP BLOCKING AT NEW CASEWORK LOCATIONS AS FOLLOWS:
A. TOP AND BOTTOM OF BASE CABINETS
B. TOP AND BOTTOM OF WALL CABINETS
C. TOP, BOTTOM AND MIDPOINT OF TALL CABINETS
D. TOP, BOTTOM AND MIDPOINT OF COUNTERTOP SUPPORTS
E. TOP, BOTTOM AND MIDPOINT OF SHELF STANDARDS
- FIRE RATED WALL CONSTRUCTION SHALL BE PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING:
A. LOCATE AT ACCESSIBLE CONCEALED FLOOR, ATTIC OR FLOOR-CEILING SPACES
B. LOCATE WITHIN 15 FEET OF EACH WALL END AND AT 30 FEET OC BETWEEN WALL ENDS
C. LETTERING SHALL BE 3" HIGH WITH 3/8" WIDE STROKE MINIMUM IN CONTRASTING COLOR
D. INCORPORATE WORDING "FIRE AND/OR SMOKE BARRIER-PROTECT ALL OPENINGS"
- WHERE FINISH SCHEDULE AND/OR INTERIOR ELEVATIONS CALL FOR TILE, PROVIDE TILE BACKING PANEL IN LIEU OF GYPSUM WALL BOARD

WALL TYPES

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801

Alterations to Administration Building

Peekskill City School District
Peekskill, New York

SED NUMBERS: ■ Administration Building: 06-15-00-01-00-09-013
BEFORE WORK IS STARTED, CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS AT THE SITE AND IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES. ALTERATION OF THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED REGISTERED ARCHITECT IS ILLEGAL AND A VIOLATION OF SECTION 2307 OF THE NEW YORK STATE EDUCATION LAW.

Consultant:

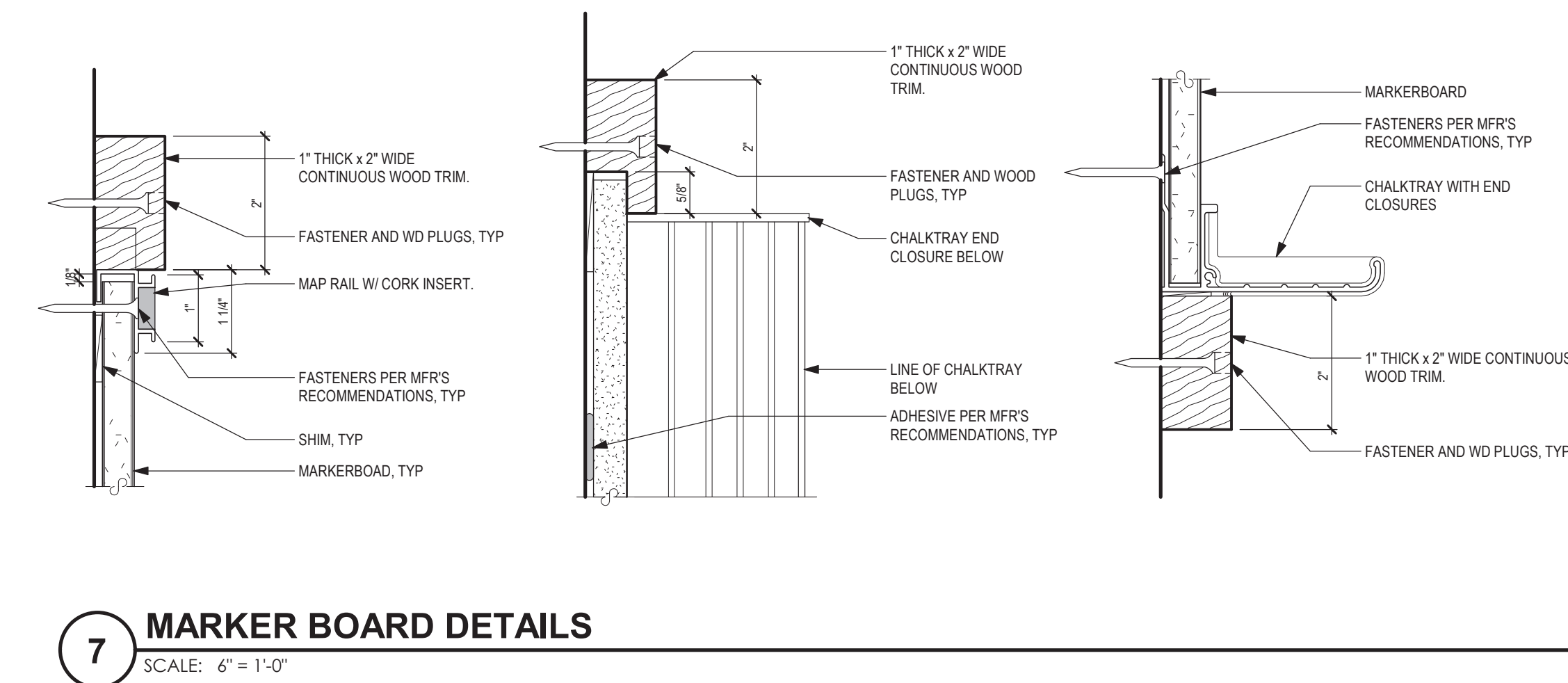
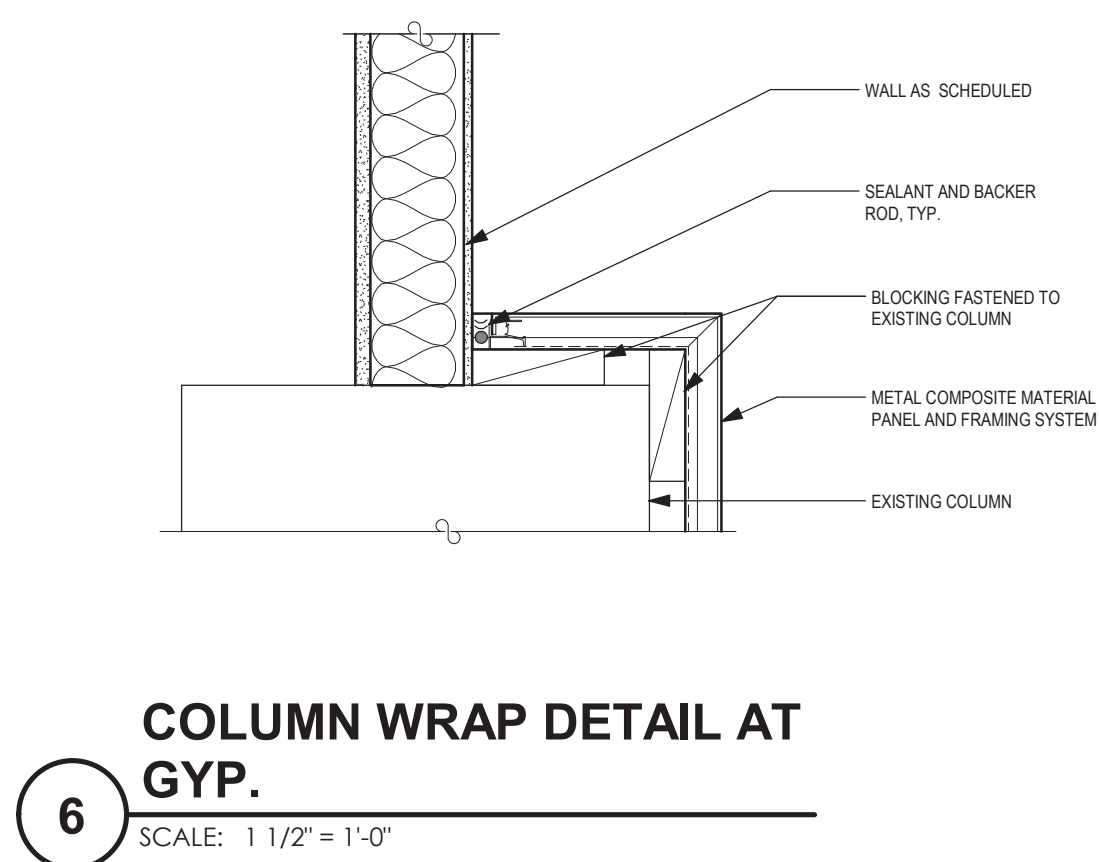
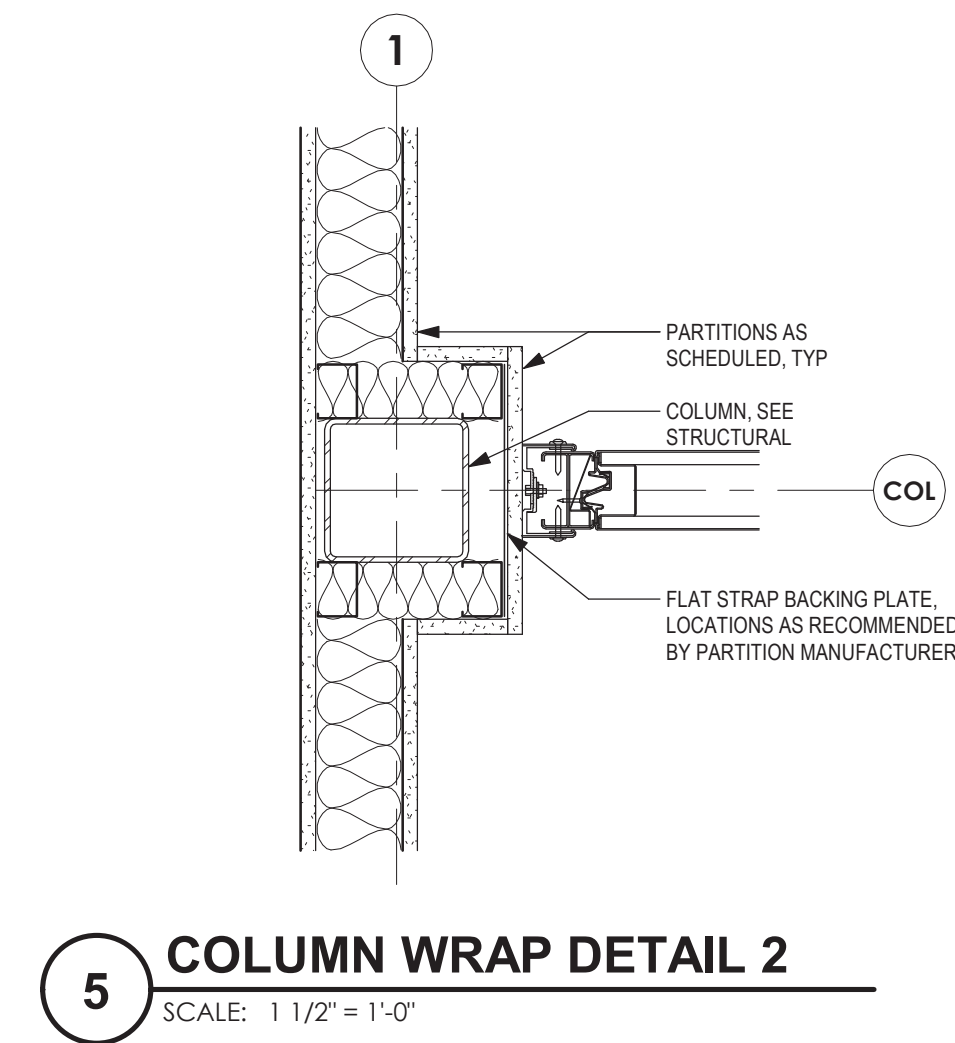
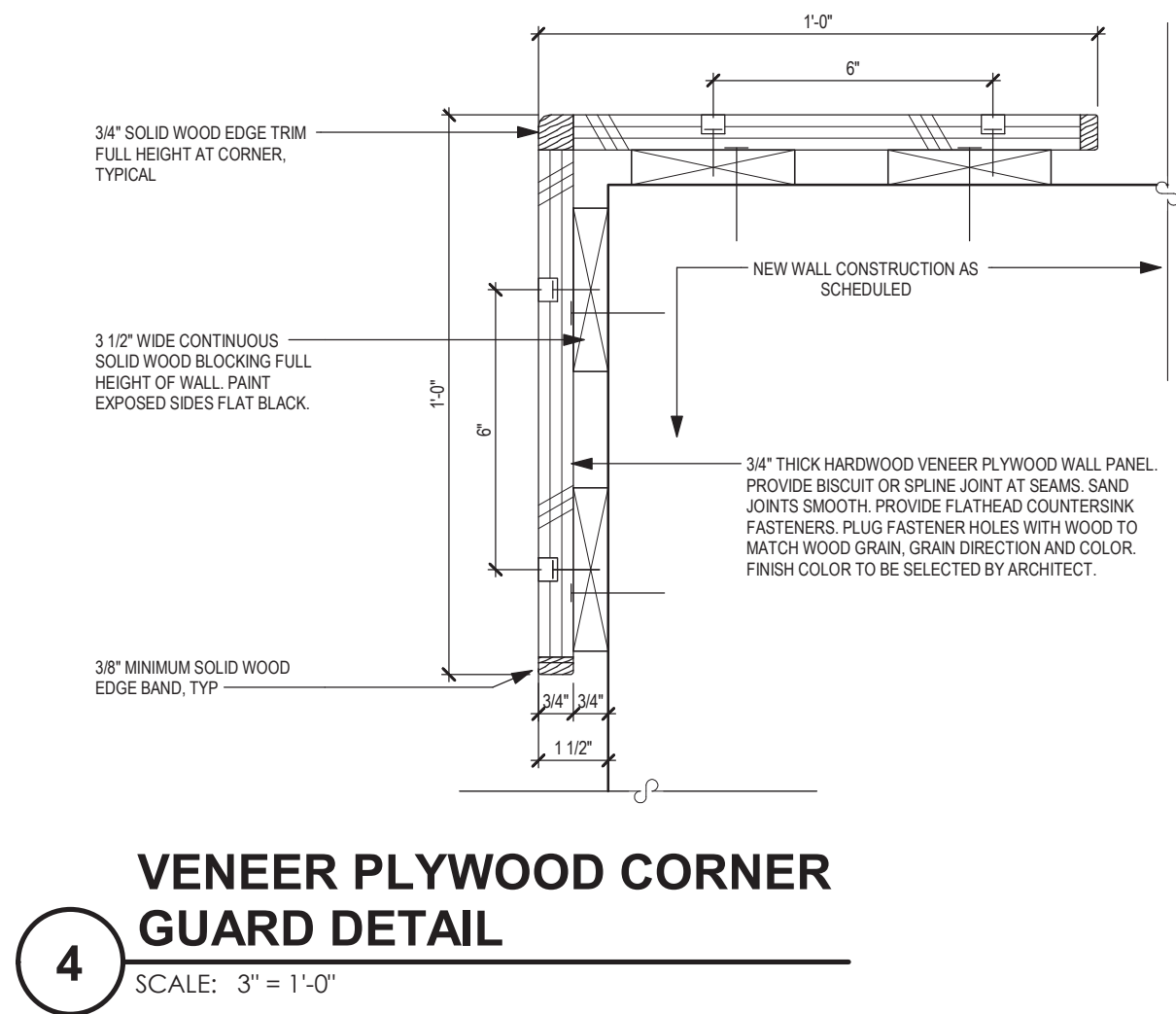
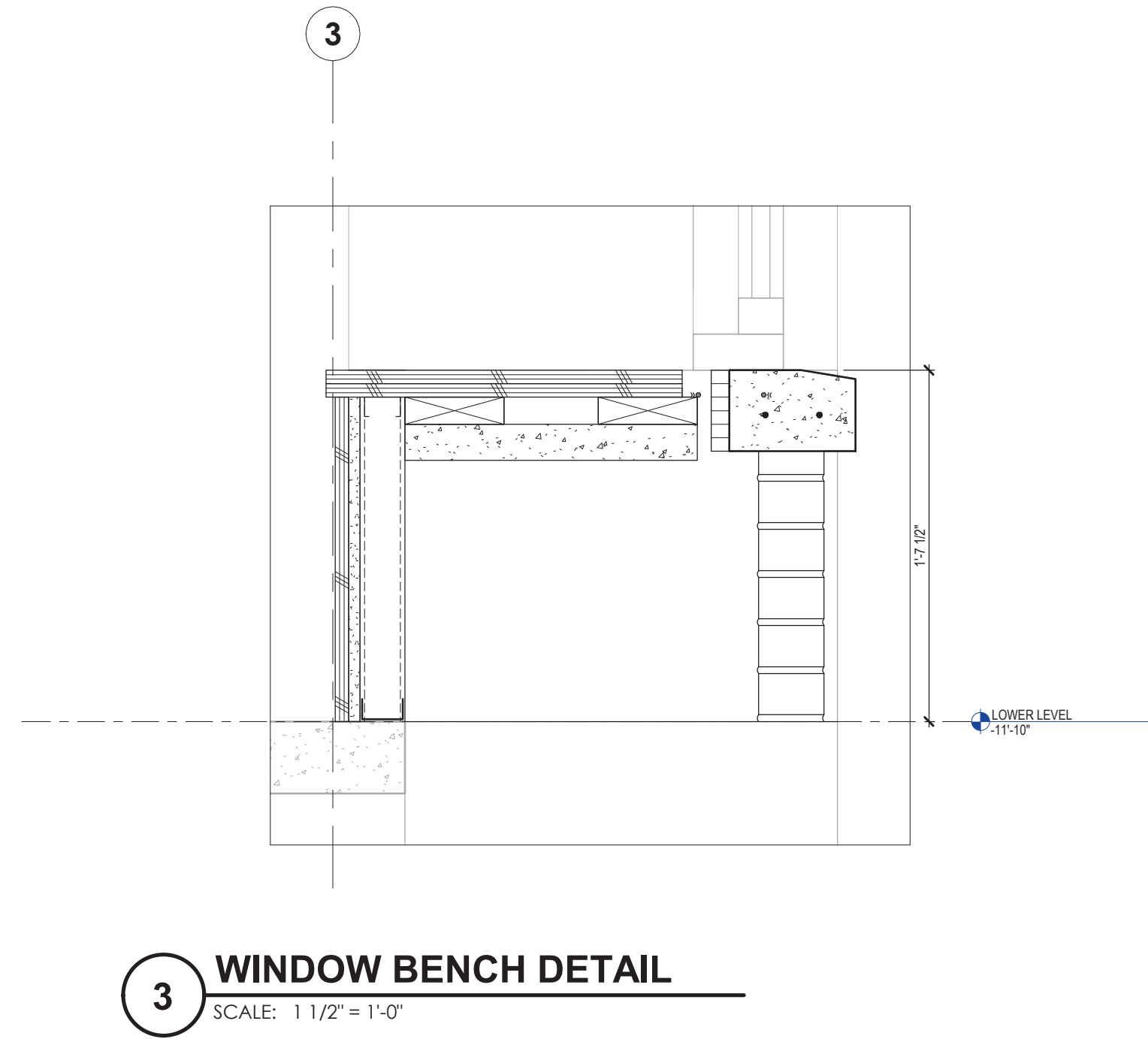
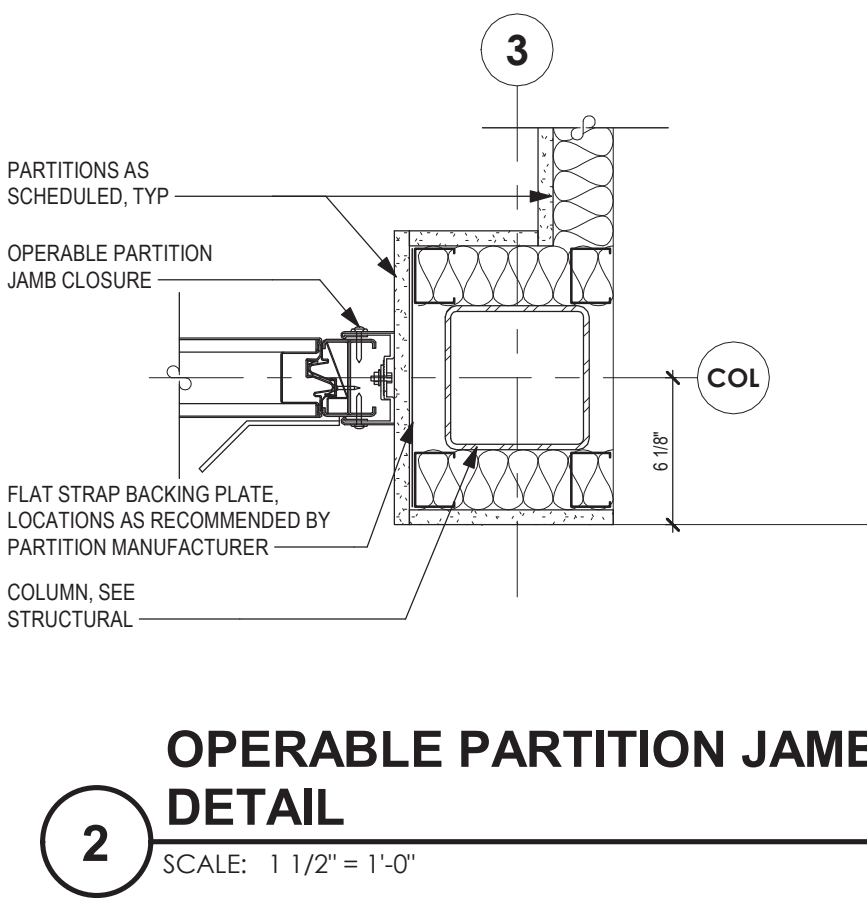
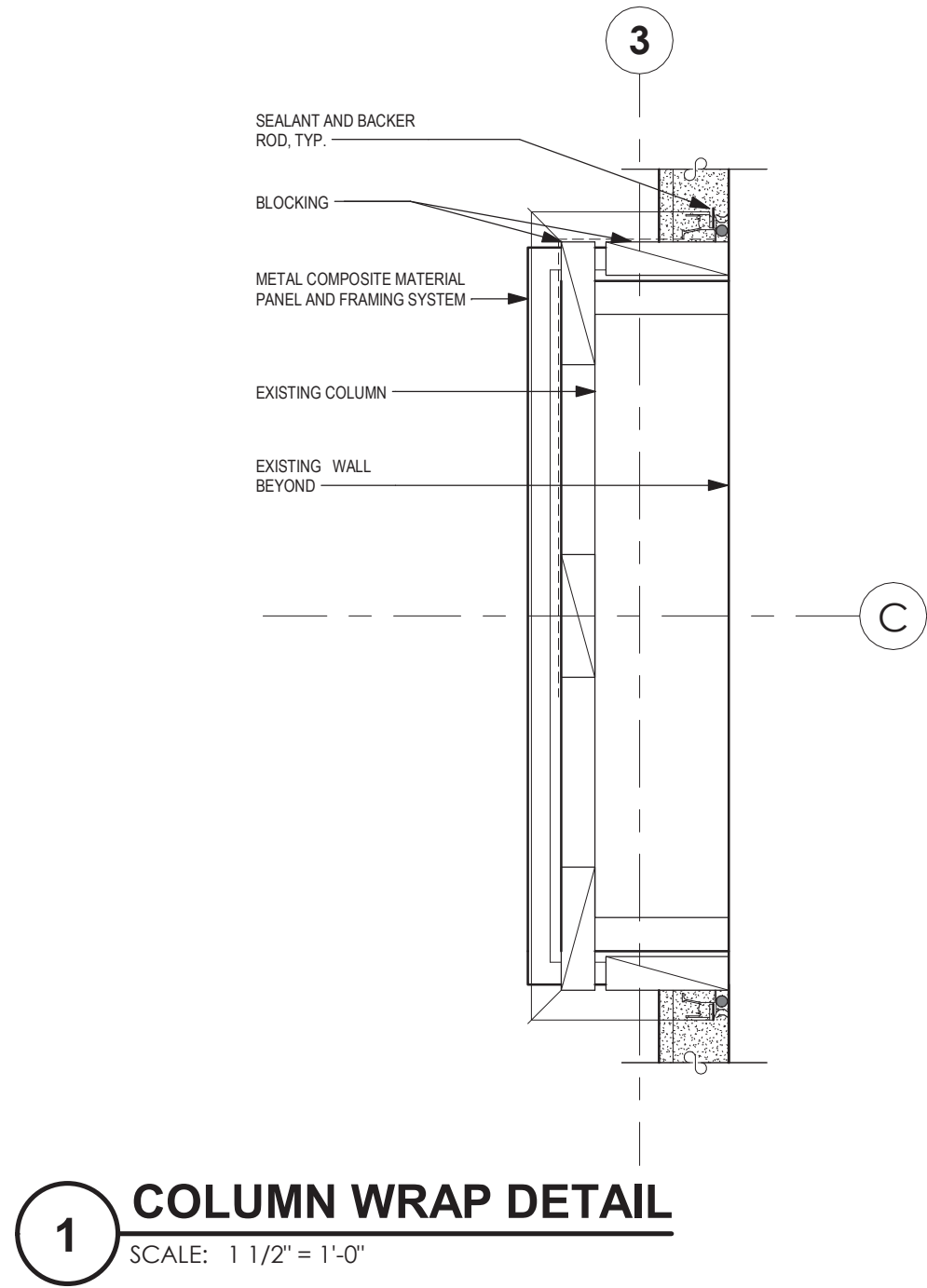
Seal

Revision:
05/21/2025

Drawn by: hmk

Date: October 11, 2024

APN: 2226.2A



ROOM FINISH SCHEDULE						
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
BASEMENT						
001	MECHANICAL ROOM	PT CONC	--	PT	--	
LOWER LEVEL						
24.1	STAIR	CONC SLR	--	PT	--	
101	CLASSROOM	LVT	RB	PT	APC / PT / PSMEP	NOTE 1
102	CLASSROOM	LVT	RB	PT	APC / PT / PSMEP	NOTE 1
103	CLASSROOM	LVT	RB	PT	APC / PT / PSMEP	NOTE 1
104	TOILET	RES	RES	CT / PT / PWL	APC	NOTE 2, NOTE 3
105	TOILET	RES	RES	CT / PT	APC	NOTE 2
106	LOCKER	RES	RES	CT / PT / PWL	APC	NOTE 2, NOTE 3
107	TOILET	RES	RES	CT / PT / PWL	APC	NOTE 2, NOTE 3
B1.0	CORRIDOR	RES / CPT	RB	PT / PWL / CT	APC / LWC	NOTE 1 (AT CPT), NOTE 2 (AT RES), NOTE 3
B1.0 A	CUST.	PT CONC	RB	PT	APC	
B1.1	CORRIDOR	RES	RB	EXR / PT	APC / LWC	NOTE 1 (AT CPT), NOTE 2 (AT RES), NOTE 3
B1.1 B	CLOS.	LVT	RUB	PT	APC	NOTE 1
B1.1A	CLOS.	LVT	RUB	PT	APC	NOTE 1
B1.2	LOBBY	RES	RUB	PT / PWL	APC	NOTE 2, NOTE 3
B1.3	VESTIBULE	CPT	RUB	PT / PWL	APC	NOTE 1, NOTE 3

ROOM FINISH ABBREVIATIONS

APC	ACOUSTICAL PANEL CEILING SYSTEM
CONC	CONCRETE
CPT	CARPET TILE
CT	CERAMIC TILE
EXR	EXISTING TO REMAIN
LVT	LUXURY VINYL TILE
LWC	LINEAR WOOD CEILING
PME	PATCH AND FINISH TO MATCH EXISTING ADJACENT
PT	PAINT
PSMEP	PAINT EXPOSED STRUCTURE AND MEP
PWL	PLASTER WALL LINER
RES	RESINOUS
RB	RUBBER WALL BASE
SLR	SEALER

FINISH SCHEDULE REMARKS COLUMN NOTES

- NOTE 1: INSTALL SELF-LEVELING HYDRAULIC CEMENT UNDERLAYMENT SYSTEM THROUGHOUT
- NOTE 2: INSTALL SELF-LEVELING UNDERLAYMENT SYSTEM (AS PART OF RESINOUS FLOORING SYSTEM) THROUGHOUT
- NOTE 3: INSTALL PLASTER WALL LINER (SPECIFIED IN SECTION 092900) AT ALL EXISTING WALLS AND NEW CMU WALLS NOT CONCEALED BY NEW CONSTRUCTION

ROOM FINISH NOTES

- AT ALL AREAS DISTURBED BY CONSTRUCTION, PATCH AND REFINISH TO MATCH EXISTING ADJACENT FINISHES.
- CLEAN, PATCH AND PREPARE EXISTING SUBSTRATES TO RECEIVE NEW FINISHES. COMPLY WITH MANUFACTURER'S REQUIREMENTS FOR PREPARATION AND INSTALLATION OF ALL FINISHES. VERIFY PROPER ENVIRONMENTAL CONDITIONS AND SUBSTRATE CONDITIONS PRIOR TO INSTALLATION.
- PAINT ALL NEW WORK EXCEPT PRE FINISHED ITEMS, TYPICAL.
- AT CHANGE OF FLOOR MATERIALS, PROVIDE RUBBER OR METAL TRANSITION TRIM, UNLESS OTHERWISE NOTED
- AT DOOR OPENINGS, CENTER CHANGE IN FLOOR FINISH (EITHER IN TYPE OR COLOR) UNDER DOOR IN CLOSED POSITION.
- REFER TO FLOOR PLANS, REFLECTED CEILING PLANS, INTERIOR ELEVATIONS, AND BUILDING SECTIONS FOR FOR ADDITIONAL INFORMATION.
- WALL FINISH SHALL EXTEND TO 6" MIN ABOVE CEILINGS, UNLESS NOTED OTHERWISE.

SED NUMBERS:
BEFORE WORK IS STARTED, CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS AT THE SITE, AND IMMEDIATELY NOTIFY THE ARCHITECT OF ALL DISCREPANCIES.

Alterations to Administration Building

Peekskill City School District
Peekskill, New York

Revision:
09/21/2025

Revision:
09/21/2025

FINISH SCHEDULE

APN: 2226.2A | Date: October 11, 2024 | Drawn by: RK

G
1000

Drawing Number:

Seal

Consultant:

MOSAIC
ASSOCIATES

Mosaic Associates Architects, DPC
The Fear Building, 2 Third Street, Suite 440, Troy, NY 12180

SEAL: [Blank Seal Area]