# RYE TOWN PARK - BATH HOUSE

95 DEARBORN AVENUE, RYE, NY 10580

#### ABBREVIATIONS

## ACCEGEORY ACOUSTICAL CEILING TILE ADDITIONAL ADJACENT OR ADJUSTABLE ABOVE FINISHED FLOOR AMERICAN INSTITUTE OF ARCHITECTS AMERICAN INSTITUTE OF STEEL CONSTRUCTION ALLMINUM BITUMINOUS BOARD BOTTOM BUILDING BLOCK BLOCK BY OTHERS BY OTHERS BULLET RESISTANT BRUSHED BRITISH THERMAL UNIT JANITOR CABINET CENTERLINE CUBIC FEET PER MINUTE CLOSET CEILING COLUMN CONCRETE CERAMIC TILE COMPANY CONNECTOR CONSTRUCTION CONSTRUCTION CONTINUOUS CARPET CLEAR CONNECTICUT OR COUNT CUBIC MANUFACTURER MEDIUM MAEONRY OPENING MECHANICAL MATERIAL MANAGER MOUNTED MINIMUM MAXIMUM MICCELLANEOUG METAL MOIGTURE REGISTANT DEEP/DEPTH DEGIBEL DETAIL DEPARTMENT DOWN DOUBLE DIAMETER DIAMETER DRAWING NORTH NATIONAL ELECTRICAL CODE NEGATIVE NOT IN CONTRACT NOT REGUIRED OR NONE REQUIRED NUMBER NOMINAL NUMBER OR POUNDS NON-COMBUSTIBLE NOT APPLICABLE NOT-TO-SCALE NEW YORK STATE EAST EXTERIOR INSULTION FINISH SYSTEM ELECTRIC OR ELECTRICAL ELEVATION ELEVATION OR ELEVATOR ENGINEER EQUAL EGUIPPIENT ETCETERA EXCEPT EXISTING EXPOSED OVERALL OFFICE ON CENTER OUTSIDE DIAMETER OVERHEAD OPENING

### SITE LOCATION MAP

AREA OF PROPOSED WORK

DRAWING INDEX

DEMOLITION PLAN

CONSTRUCTION PLAN

INTERIOR ELEVATIONS

INTERIOR ELEVATIONS

INTERIOR ELEVATIONS

INTERIOR ELEVATIONS

ELEVATIONS AND DETAILS

BLOW-UP INTERIOR

A-500 DOOR & HARDWARE

ARCHITECT:

SCHEDULES

ARCONICS ARCHITECTURE P.C.

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REFLECTED CEILING PLAN

EXTERIOR SIDE ELEVATIONS

ROOF PLAN & PARTIAL CELLAR PLAN

FRONT AND REAR EXT. ELEVATIONS

ARCHITECTURAL

G-100 COYER SHEET

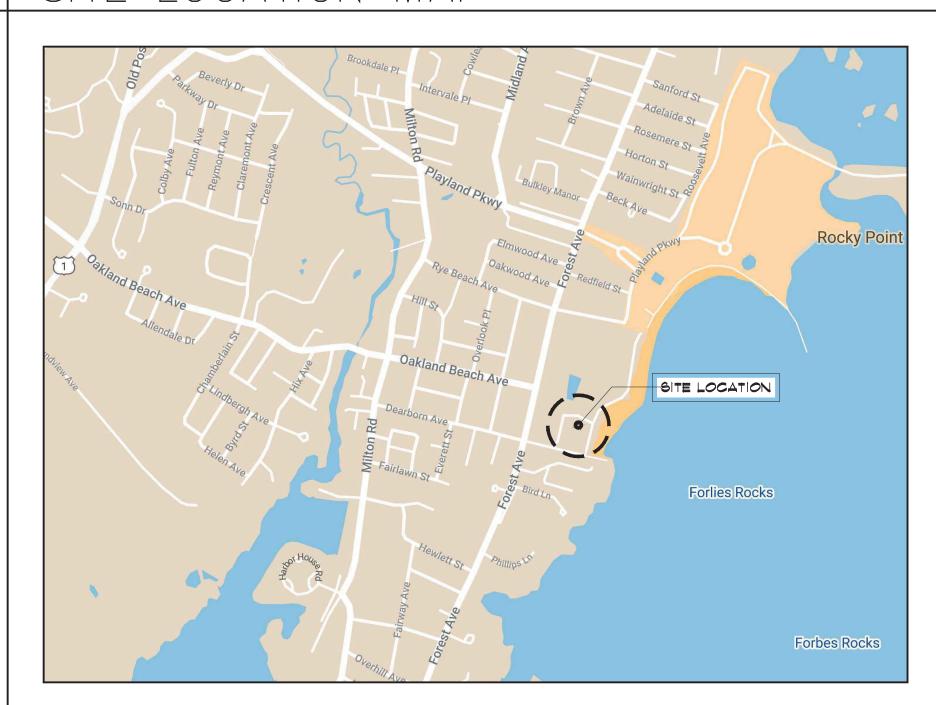
PASSAGE
POUNDS PER LINEAL FOOT
PLUMBING
POLISHED
POSITIVE
PRESCURE PRESERVATIVE TREATED
POUNDS PER SQUARE INCH
PAIR

SOUTH
SEPARATE
SECTION
SHEET
SPECIFICATION
OPECIFIED
SPEAKER
OPRINKLER
STORAGE
STEEL
GAURE
GAURE
FEET OR SGAURE FOOT
GUIARE FEET
STRUCTURAL
GTAINLESG STEEL
GUIARENDED

TOILET
THICKNESS
THRESHOLD
TYPICAL
TELEPHONE
TRANSOM
TSMPERED OR TEMPORARY
TO BE DETERMINED
TO BE SELECTED

VERTICAL
VOLUME
VINYL COMPOSITION TILE
VESTIBULE
VERIFY-IN-TIELD
VERSUS
VENT THROUGH ROOF

WEST OR WIDE/WIDTH
WOOD
WITH
WITHOUT
WATER CLOSET OR WALL COVERING
WATERPROOF
WEIGHT
WELDED WIRE MESH



BUBJECT STRUCTURE RYE TOWN PARK,

BATH HOUSE

FLOOR PLAN, PARTIAL CELLAR PLAN,

GAS, WATER & SANITARY RISER DIAGRAM

PROPOSED FLOOR PLAN & PARTIAL ROOF

PIPING SCHEMATIC, SCHEDULES & DETAILS

POWER/LIGHTING PROPOSED FLOOR PLAN,

PARTIAL CELLAR PLAN & PARTIAL ROOF

LIGHTING PROPOSED FLOOR PLAN &

ENGINEERING

MEP ENGINEER:

CONSULTING ENGINEERS

68 PURCHASE STREET

RYF NFW YORK 10580

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TIETJEN VENEGAS

914-967-9505

ME-100 REMOVAL PLAN

LEGEND & DETAILS

Schedules & Details

PLAN & PARTIAL ROOF PLAN

LIGHTING FIXTURE SCHEDULE

SCHEDULE, RISERS & NOTES

- ALL WORK SHALL COMPLY WITH THE 2020 BULDING CODE OF NEW YORK, AND ALL OTHER LOCAL, COUNTY,
- 2. IN GENERAL, THE CONTRACTOR(S) SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND INCIDENTALS NECESSARY AND/OR REQUIRED TO PERFORM AND COMPLETE THE ENTIRE PROJECT.
- 3. ALL WORK SHALL BE TRUE, LEVEL, AND OF THE BEST WORKMANSHIP FOR EACH TRADE. ALL MECHANICS SHALL BE SKILLED AND/OR APPROPRIATELY LICENSED BY THE AUTHORITIES HAVING JURISDICTION OVER SUCH.
- 5. ALL MILLWORK SHALL BE COMPLIANT WITH AWI (ARCHITECTURAL WOODWORK INSTITUTE) STANDARDS.
- 6. ANY VARIATIONS FROM CONDITIONS SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, WORK SHALL NOT PROCEED UNTIL CLARIFICATION HAS BEEN RECEIVED.
- IN WRITING FOR CLARIFICATION.
- 9. ALL EXISTING WORK SCHEDULED TO REMAIN WHICH IS DAMAGED OR MADE IMPERFECT SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL CONDITION AS DETERMINED BY THE ARCHITECT
- SEPARATE PERMITS ARE TO BE OBTAINED FOR ALL TRADES
- 13. EACH CONTRACTOR AND/OR SUBCONTRACTOR SHALL COORDINATE HIS OWN WORK WITH OTHER TRADES
- JCAHO INTERIM SAFETY MEASURES, STANDARDS OF THEIR TRADES, ALL CONSTRUCTION SHALL BE PERFORMED TO THESE STANDARDS.

- 17. EACH CONTRACTOR SHALL REMOVE AND DISPOSE OF HIS OWN DEBRIS AS PER CONTRACT SPECIFICATIONS AND PREMISES SHALL BE LEFT BROOM CLEANED ON A DAILY BASIS, ALL AREAS NOT INVOLVED IN THE WORK SHALL BE PROTECTED FROM DAMAGE, DUST, DEBRIS. ANY DAMAGE TO ADJACENT AREAS OCCASIONED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR.
- SURFACES OR AS INDICATED.
- SPECIFIED.
- CONTRACT FOR ISOLATED ITEMS BEYOND SUCH LIMIT LINES.
- NOT LESS THAN ONE (1) YEAR FROM THE DATE OF FINAL PAYMENT, WHICH SHALL CONSTITUTE FINAL ACCEPTANCE. THE GRANTING OF A CERTIFICATE OF OCCUPANCY SHALL NOT CONSTITUTE FINAL ACCEPTANCE.

- 27. ALL CONTRACTORS BIDDING ON THIS PROJECT SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS PRIOR TO SUBMISSION OF A BID, FURTHERMORE, WHERE NO SPECIFIC BRAND OR MODEL IS SPECIFIED THE CONTRACTORS SHALL PROVIDE SUCH, INCLUDING MANUFACTURERS' CUT SHEETS AS A PART
- 29. THE CONSTRUCTION DOCUMENTS CONSIST OF THE DRAWINGS IN THEIR ENTIRETY, AS LISTED ON THIS SHEET. ANY SEPARATION OF THE DRAWINGS BY TRADE AND/OR VENDOR IS AT THE RISK OF THE CONTRACTOR, AS THE CONTRACT BID PRICE IS BASED ON THE COMPLETE SET.

#### GENERAL NOTES

- STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION (AHJ) OVER THE WORK, CONFLICT IN OR BETWEEN CODES, THE MORE STRINGENT CODE SHALL APPLY

- 4. ALL DIMENSIONS SHOWN ARE NOMINAL FACE OF METAL STUD DIMENSIONS UNLESS OTHERWISE INDICATED.WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

- 7. SHOP DRAWINGS AND SUBMITTALS MUST BE SUBMITTED FOR APPROVAL BEFORE ANY ORDERING OR
- 8. DISCREPANCIES AND OMISSIONS ON DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT
- 10. NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED.
- 12. ALL SUBCONTRACTORS SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND LICENSES AND BE RESPONSIBLE FOR HAVING THEIR WORK INSPECTED BY THE AUTHORITIES HAVING JURSIDICTION
- 14. ALL CONTRACTORS AND/OR SUBCONTRACTORS ARE TO USE APPROVED STANDARD: A.I.S.C., FEDERAL, US, ETC.,
- 15. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE PRESERVATIVE TREATED.
- 16. IF AMBIGUITIES EXIST IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL INCLUDE IN HIS BID THE MORE EXPENSIVE METHOD OF WORK.
- 18. LARGE SCALE DETAILS HAVE PRECEDENCE, HOWEVER, WORK INDICATED ON SMALL SCALE DRAWINGS SHALL NOT BE OMITTED, SIMILARLY, NOTES TAKE PRECEDENCE OVER SCHEDULES, PIPING AND WIRING DIAGRAMS, HOWEVER, WORK SHOWN OR DESCRIBED BY OTHER METHODS SHALL NOT BE OMITTED.
- 19. CUT AND PATCH ALL EXISTING FINISHES AS REQUIRED BY NEW WORK, MATCH AND FINISH TO PRESENT FINISHED

20. ALL WALLS TO BE CARRIED UP AND SECURED TO ROOF DECK, FLOOR DECK OR SLAB UNLESS OTHERWISE

- 21. CONTRACT LIMIT LINES ARE SHOWN ONLY FOR GENERAL PURPOSES, THEY DO NOT LIMIT THE WORK UNDER
- 22. ALL WORK LET UNDER THIS CONTRACT SHALL BE GUARANTEED AND HONORED BY THE G.C. FOR A PERIOD OF
- 23. EACH CONTRACTOR SHALL DO THE NECESSARY CUTTING, PATCHING. REMOVAL, ETC. AS REQUIRED BY THEIR
- 24. EACH INDIVIDUAL CONTRACTOR (TRADE) SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING WORK, WHICH SHALL BE REPLACED BY NEW, UPON COMPLETION OF ALL WORK, THE CONTRACTORS SHALL REPAIR IMPROPER WORK TO THE SATISFACTION OF THE CODE ENFORCEMENT OFFICIAL AND ARCHITECT AND/OR OWNERS AT THE CONTRACTOR'S EXPENSE.
- 25. Hours of work, noise, use of building grounds, access to adjacent areas, services, etc. shall all BE COORDINATED AND APPROVED BY THE BUILDING MANAGEMENT PRIOR TO SUBMISSION OF A PROPOSAL. THE USE OF BUILDING SERVICES AND INTERRUPTION OF BUILDING UTILITIES SHALL BE COORDINATED WITH BUILDING MANAGEMENT, PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY COSTS INCURRED TO COORDINATE AND SEEK BUILDING APPROVAL OF WORK ASSOCIATED WITH HIS CONTRACT.
- 26. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE PERFORMANCE OF THE GENERAL CONTRACTOR NOR ANY ASSOCIATED SUBCONTRACTORS PERFORMING WORK UNDER THIS CONTRACT,
- 28, GENERAL CONTRACTOR RESPONSIBLE TO PROVIDE BUILDER'S, RISK COVERAGE FOR DURATION OF PROJECT,

ARCHITECTURE FACILITY PLANNING INTERIOR

545.5 WESTCHESTER AVENUE RYE BROOK, NY 10573 914-937-5596

EPF-HP #230997 / 23PR10281

**RENOVATION OF THE** RYE TOWN PARK **BATH HOUSE** 

RYE, NEW YORK, 10580

DATE	ISSUE TO	PR	ТО
04.07.2025	SHPO REVIEW		
06.05.2025	SHPO REVIEW		
06.26.2025	ISSUE FOR PERMIT		
07.07.2025	ISSUE FOR BID		

NO	DATE	REVISIONS	BY

#### LOCATION MAP. GENERAL NOTES

SCALE: 1/4"=1'-0" **DRAWN BY:** GG **CHECKED BY:** DATE:

PROJECT NO.: 22105