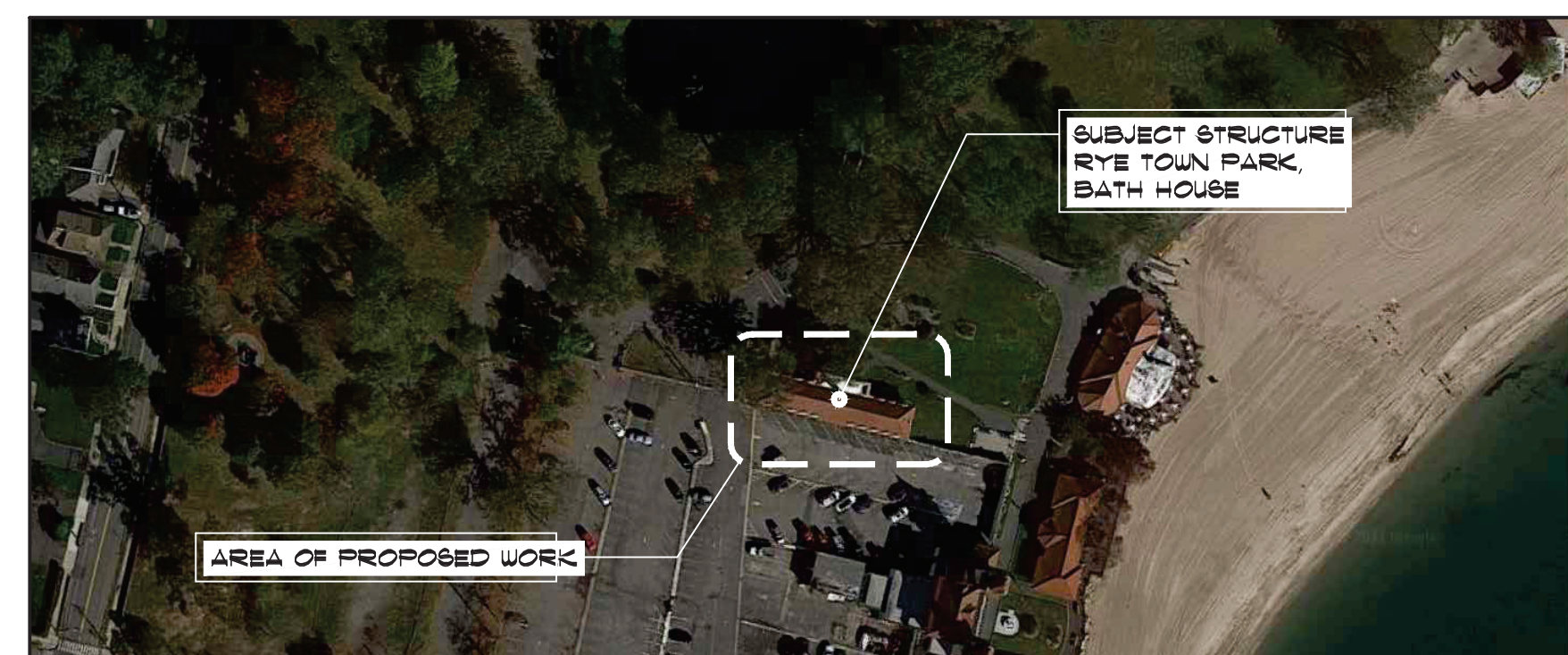


95 DEARBORN AVENUE, RYE, NY 10580

GENERAL NOTES

[illegible]

ENGINEERING

ME-100	REMOVAL PLAN
F-100	FLOOR PLAN, PARTIAL CELLAR PLAN, LEGEND & DETAILS
F-101	GAS, WATER & SANITARY RISER DIAGRAM
H-100	PROPOSED FLOOR PLAN & PARTIAL ROOF PLAN
H-101	SCHEDULES & DETAILS
H-102	PIPING SCHEMATIC, SCHEDULES & DETAILS
E-100	POWER/LIGHTING PROPOSED FLOOR PLAN, PARTIAL CELLAR PLAN & PARTIAL ROOF PLAN & PARTIAL ROOF PLAN
E-101	LIGHTING PROPOSED FLOOR PLAN & LIGHTING FIXTURE SCHEDULE
E-102	SCHEDULE, RISERS & NOTES

AM

MEP ENGINEER:
TJETJEN VENEGAS
CONSULTING ENGINEERS
68 PURCHASE STREET
RYE NEW YORK 10580
914-967-9505
CONTACT: EDISON VENEGAS
E-MAIL: edison@tietjenpe.com

- ALL WORK SHALL COMPLY WITH THE 2020 BUILDING CODE OF NEW YORK, AND ALL OTHER LOCAL, COUNTY, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION (AHJ) OVER THE WORK. CONFLICT IN OR BETWEEN CODES, THE MORE STRINGENT CODE SHALL APPLY.
2. IN GENERAL, THE CONTRACTOR(S) SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND INCIDENTALS NECESSARY AND/OR REQUIRED TO PERFORM AND COMPLETE THE ENTIRE PROJECT.
3. ALL WORK SHALL BE TRUE, LEVEL, AND OF THE BEST WORKMANSHIP FOR EACH TRADE. ALL MECHANICS SHALL BE SKILLED AND/OR APPROPRIATELY LICENSED BY THE AUTHORITIES HAVING JURISDICTION OVER SUCH.
4. ALL DIMENSIONS SHOWN ARE NOMINAL FACE OF METAL STUD DIMENSIONS UNLESS OTHERWISE INDICATED. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
5. ALL MILLWORK SHALL BE COMPLIANT WITH AIA (ARCHITECTURAL WOODWORK INSTITUTE) STANDARDS.
6. ANY VARIATIONS FROM CONDITIONS SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. WORK SHALL NOT PROCEED UNTIL CLARIFICATION HAS BEEN RECEIVED.
7. SHOP DRAWINGS AND SUBMITTALS MUST BE SUBMITTED FOR APPROVAL BEFORE ANY ORDERING OR FABRICATION.
8. DISCREPANCIES AND OMISSIONS ON DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT IN WRITING FOR CLARIFICATION.
9. ALL EXISTING WORK SCHEDULED TO REMAIN WHICH IS DAMAGED OR MADE IMPERFECT SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL CONDITION AS DETERMINED BY THE ARCHITECT.
10. NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED.
11. SEPARATE PERMITS ARE TO BE OBTAINED FOR ALL TRADES.
12. ALL SUBCONTRACTORS SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND LICENSES AND BE RESPONSIBLE FOR HAVING THEIR WORK INSPECTED BY THE AUTHORITIES HAVING JURISDICTION.
13. EACH CONTRACTOR AND/OR SUBCONTRACTOR SHALL COORDINATE HIS OWN WORK WITH OTHER TRADES.
14. ALL CONTRACTORS AND/OR SUBCONTRACTORS ARE TO USE APPROVED STANDARD: AISC, FEDERAL US, ETC., JOACHIM INTERIM SAFETY MEASURES, STANDARDS OF THEIR TRADES. ALL CONSTRUCTION SHALL BE PERFORMED TO THESE STANDARDS.
15. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE PRESERVATIVE TREATED.
16. IF AMBIGUITIES EXIST IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL INCLUDE IN HIS BID THE MORE EXPENSIVE METHOD OF WORK.
17. EACH CONTRACTOR SHALL REMOVE AND DISPOSE OF HIS OWN DEBRIS AS PER CONTRACT SPECIFICATIONS AND PREMISES SHALL BE LEFT BROOM CLEANED ON A DAILY BASIS. ALL AREAS NOT INVOLVED IN THE WORK SHALL BE PROTECTED FROM DAMAGE. DUST, DEBRIS, ANY DAMAGE TO ADJACENT AREAS OCCASIONED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR.
18. LARGE SCALE DETAILS HAVE PRECEDENCE. HOWEVER, WORK INDICATED ON SMALL SCALE DRAWINGS SHALL NOT BE OMITTED. SIMILARLY, NOTES TAKE PRECEDENCE OVER SCHEDULES, PIPING AND WIRING DIAGRAMS. HOWEVER, WORK SHOWN OR DESCRIBED BY OTHER METHODS SHALL NOT BE OMITTED.
19. CUT AND PATCH ALL EXISTING FINISHES AS REQUIRED BY NEW WORK. MATCH AND FINISH TO PRESENT FINISHED SURFACES OR AS INDICATED.
20. ALL WALLS TO BE CARRIED UP AND SECURED TO ROOF DECK, FLOOR DECK OR SLAB UNLESS OTHERWISE SPECIFIED.
21. CONTRACT LIMIT LINES ARE SHOWN ONLY FOR GENERAL PURPOSES. THEY DO NOT LIMIT THE WORK UNDER CONTRACT FOR ISOLATED ITEMS BEYOND SUCH LIMIT LINES.
22. ALL WORK LET UNDER THIS CONTRACT SHALL BE GUARANTEED AND HONORED BY THE G.C. FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE DATE OF FINAL PAYMENT, WHICH SHALL CONSTITUTE FINAL ACCEPTANCE. THE GRANTING OF A CERTIFICATE OF OCCUPANCY SHALL NOT CONSTITUTE FINAL ACCEPTANCE.
23. EACH CONTRACTOR SHALL DO THE NECESSARY CUTTING, PATCHING, REMOVAL, ETC. AS REQUIRED BY THEIR WORK.
24. EACH INDIVIDUAL CONTRACTOR (TRADE) SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING WORK, WHICH SHALL BE REPLACED BY NEW UPON COMPLETION OF ALL WORK. THE CONTRACTORS SHALL REPAIR IMPROPER WORK TO THE SATISFACTION OF THE CODE ENFORCEMENT OFFICIAL AND ARCHITECT AND/OR OWNERS AT THE CONTRACTOR'S EXPENSE.
25. HOURS OF WORK, NOISE, USE OF BUILDING GROUNDS, ACCESS TO ADJACENT AREAS, SERVICES, ETC. SHALL ALL BE COORDINATED AND APPROVED BY THE BUILDING MANAGEMENT PRIOR TO SUBMISSION OF A PROPOSAL. THE USE OF BUILDING SERVICES AND INTERRUPTION OF BUILDING UTILITIES SHALL BE COORDINATED WITH BUILDING MANAGEMENT, PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY COSTS INCURRED TO COORDINATE AND SEEK BUILDING APPROVAL OF WORK ASSOCIATED WITH HIS CONTRACT.
26. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE PERFORMANCE OF THE GENERAL CONTRACTOR NOR ANY ASSOCIATED SUBCONTRACTORS PERFORMING WORK UNDER THIS CONTRACT.
27. ALL CONTRACTORS BIDDING ON THIS PROJECT SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS PRIOR TO SUBMISSION OF A BID. FURTHERMORE, WHERE NO SPECIFIC BRAND OR MODEL IS SPECIFIED THE CONTRACTORS SHALL PROVIDE SUCH, INCLUDING MANUFACTURERS' CUT SHEETS AS A PART OF THEIR BID.
28. GENERAL CONTRACTOR RESPONSIBLE TO PROVIDE BUILDER'S RISK COVERAGE FOR DURATION OF PROJECT.
29. THE CONSTRUCTION DOCUMENTS CONSIST OF THE DRAWINGS IN THEIR ENTIRETY, AS LISTED ON THIS SHEET. ANY SEPARATION OF THE DRAWINGS BY TRADE AND/OR VENDOR IS AT THE RISK OF THE CONTRACTOR, AS THE CONTRACT BID PRICE IS BASED ON THE COMPLETE SET.

ARCONICS
ARCHITECTURE, P.C.

914-937-5596

RENOVATION OF THE RYE TOWN PARK BATH HOUSE

RYE, NEW YORK, 10580

DATE	ISSUE TO	PR	TO
04.07.2025	SHPO REVIEW		
06.05.2025	SHPO REVIEW		
06.26.2025	ISSUE FOR PERMIT		
07.07.2025	ISSUE FOR BID		

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NO	DATE	REVISIONS	BY

NOTES

PROJECT NO. :	22105
SCALE:	1/4" = 1' - 0"
DRAWN BY:	JP
CHECKED BY:	GG
DATE:	12/13/21

G-100