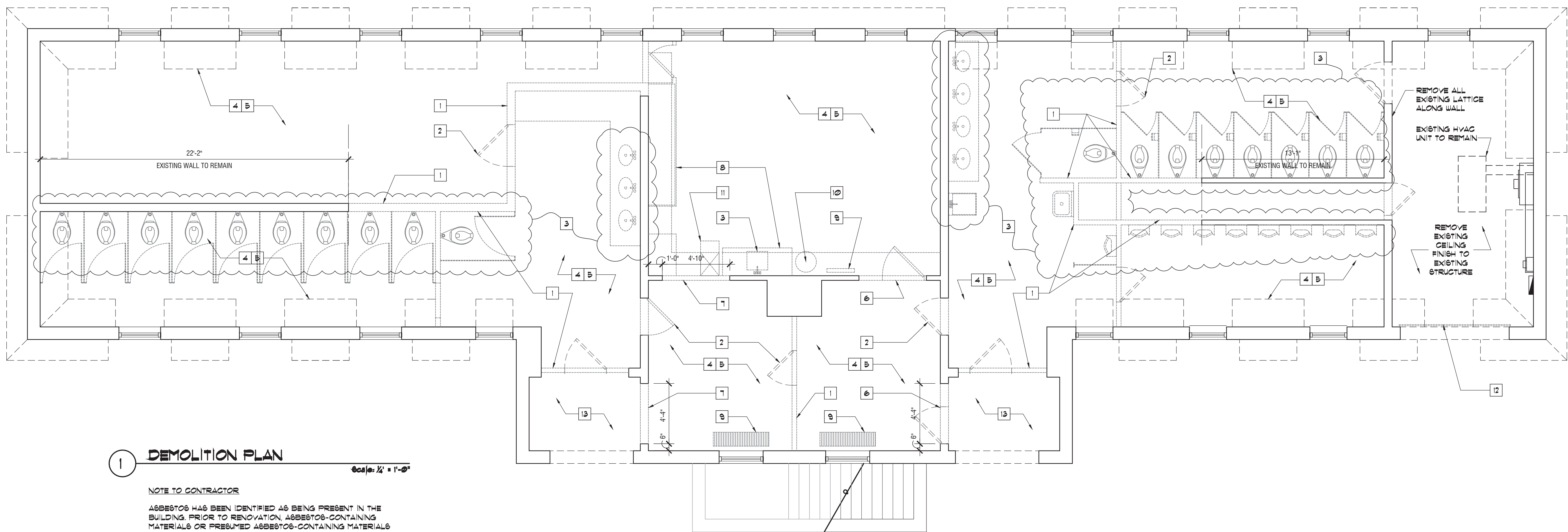




1 DEMOLITION PLAN
Scale: 1/4" = 1'-0"

NOTE TO CONTRACTOR

ASBESTOS HAS BEEN IDENTIFIED AS BEING PRESENT IN THE BUILDING. PRIOR TO RENOVATION, ASBESTOS-CONTAINING MATERIALS OR PRESUMED ASBESTOS-CONTAINING MATERIALS SHOULD BE REMOVED BY A LICENSED ASBESTOS ABATEMENT CONTRACTOR IN ACCORDANCE WITH NYS OR 56.

LEAD PAINT HAS BEEN IDENTIFIED AS BEING PRESENT IN THE BUILDING. WHENEVER LEAD PAINT IS DISTURBED OR ALTERED, OSHA WORKER SAFETY REGULATIONS MUST BE FOLLOWED. CONTRACTOR MUST HAVE EPA LEAD ABATEMENT CERTIFICATION.

NOTE: CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH THE ASBESTOS AND LEAD PAINT SURVEY REPORT PREPARED BY HYGENIX, INC., DATED JULY 10TH, 2022.

DEMO. LEGEND

- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO BE REMOVED

DEMOLITION WORK ITEMS

- 1 REMOVE EXISTING NONBEARING PARTITION AND ALL ASSOCIATED DOORS AND FRAMES, IF ELECTRICAL WIRING OR CONDUIT IS PRESENT, REMOVE IN ENTIRETY.

2 REMOVE EXISTING DOOR, DOOR FRAME AND HARDWARE.

3 REMOVE ALL EXISTING PLUMBING FIXTURES INCLUDING ALL ASSOCIATED VALVES AND BRANCH PIPING, REFER TO DRAWING ME-100.

4 REMOVE ALL EXISTING GYP. BOARD, PLASTER AND LATH ON HORIZONTAL AND SLOPED CEILING SURFACES, INCLUDING GYP. BOARD AND/OR PLYWOOD WHERE PRESENT, TO EXPOSE EXISTING STRUCTURAL FRAMING. REMOVE ALL NAILS AND ANY DEBRIS PRESENT IN CAVITIES.
- 5 REMOVE ALL BASEBOARD TRIM AND MAINSCOT, INCLUDING TILED SURFACES, IF PRESENT. REMOVE ALL NAILS, ALL RECEPTACLES, LIGHTING FIXTURES, FANS, SWITCHING AND EXPOSED PLUG MOLD, INCLUDING RECEPTACLES AT BASEBOARDS AND PANELING. REMOVE ALL FIRE SAFETY & EGRESS ASSOCIATED DEVICES. REMOVE ALL ASSOCIATED BOXES, J-BOXES AND WIRING MADE VISIBLE BY DEMO.

6 REMOVE EXISTING DOOR AND DEMOLISH EXISTING WALL AS SHOWN TO SHIFT ROUGH OPENING FOR NEW DOOR AWAY FROM FRONT WALL.

7 DEMOLISH EXISTING WALL TO CREATE NEW ROUGH OPENING TO ACCEPT NEW DOOR. REFER TO DOOR SCHEDULE. PROVIDE TEMPORARY SHORING AND BRACING AS REQUIRED.
- 8 REMOVE ALL EXISTING MILLWORK AND CABINETRY.

9 REMOVE EXISTING RADIATOR AND ALL ASSOCIATED PIPING, FILL ALL PENETRATIONS SOLID. REFER TO DRAWING ME-100

10 REMOVE EXISTING HOT WATER HEATER, REFER TO DRAWING ME-100

11 REMOVE EXISTING FURNACE, PIPING AND ALL ASSOCIATED DUCTWORK, REFER TO DRAWING ME-100

12 REMOVE EXISTING GARAGE DOOR, TRACK SYSTEM AND ALL ASSOCIATED HARDWARE.

13 REMOVE EXISTING PLYWOOD SHEATHING AND PLASTER ON CEILING TO EXPOSE EXISTING RAFTERS



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**RENOVATION OF THE
RYE TOWN PARK
BATH HOUSE**
RYE, NEW YORK, 10580

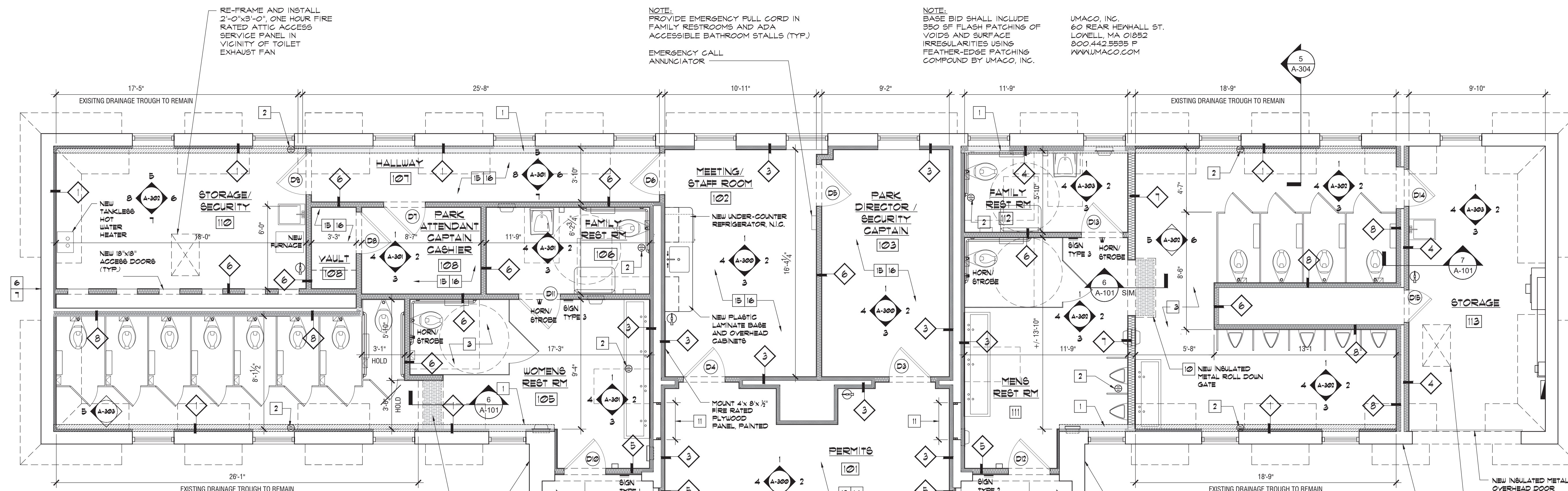
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DEMOLITION PLAN

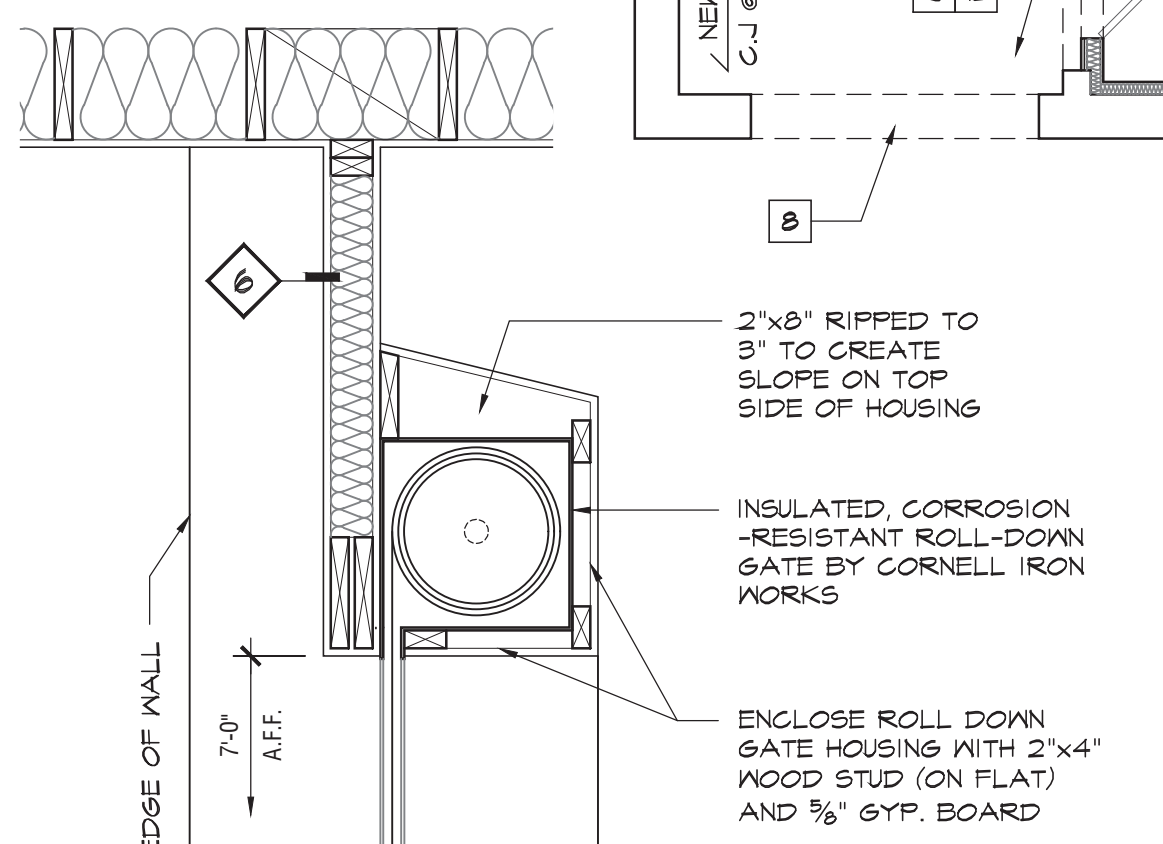
PROJECT NO.: 22105
SCALE: 1/4" = 1'-0"
DRAWN BY: JP
CHECKED BY: GG
DATE: 12/13/21

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CONST. WORK ITEMS

- EXISTING DRAINAGE TROUGH SHALL BE PATCHED.
- INSTALL NEW FLOOR DRAINS AS SHOWN, CONNECT TO EXISTING WASTE LINES, REFER TO PLUMBING DRAWINGS.
- UPON REMOVAL OF EXISTING TOILETS & URINALS AND THE INSTALLATION OF NEW ROUGHING, EXISTING CONCRETE SLAB AND FLOOR TILE SHALL BE PATCHED TO ACHIEVE SMOOTH, LEVEL SURFACE.
- EXISTING SCUFFERS SHALL BE INSPECTED AND REPAIRED AS REQUIRED. PROVIDE NEW CONDUCTORS AND LEADERS, MAINTAIN DIRECTION OF DRAINAGE RUNOFF.
- IDENTIFY PURPOSE OF EXISTING EXPOSED CONDUIT TO DETERMINE CONTINUED NEED. IF NEEDED, RE-ROUTE EXISTING CONDUIT TO WITHIN THE BUILDING ENVELOPE.
- RE-ROUTE EXISTING WATER SUPPLY BRANCH LINE (TO OUTDOOR SHOWERS) TO WITHIN THE BUILDING ENVELOPE.
- PATCH HOLE IN EXTERIOR WALL, PAINT TO MATCH EXISTING.
- PATCH HOLE AT APEX OF MASONRY ARCH, PAINT TO MATCH EXISTING.
- INSTALL NEW 2"x6" CLG. JOISTS AND TWO-COAT PLASTER BY DECORPLAST (COLOR TO MATCH EXISTING) OVER GYPSUM LATH WALL BOARD AND SINGLE LAYER 1/2" CDX PLYWOOD SHEATHING.
- FURR OUT HOUSING OF NEW ROLL DOWN GATE WITH 1/2" HAT CHANNELS AND 3/8" GYP. BOARD.
- INSTALL 1/2" PLYWOOD ON 2"x4" FRAME SURROUND AT EXISTING DOOR OPENING TO SERVE AS BACKER PANEL FOR APPLICATION OF CLOSED CELL SPRAY FOAM INSULATION.
- INSTALL NEW QUARRY TILE BY DAL-TILE OVER MUD BASE, NON-POLISHED 1/4" JOINTS, COLOR: ARID GREY, SIZE: 6"x6".
- INSTALL NEW RISID CORE VINYL PLANK FLOORING W/ FOAM BACK BY DURALUX, COLOR: STORMY ELM, SIZE: 48"x8".
- INSTALL NEW PRIMED POPLAR BASE MOLDING W/ 3/4" HALF ROUND SHOE MOLDING, ILINE COLLECTION BY INTERSTATE LUMBER, PROFILE: #1903.
- INSTALL NEW VINYL COMPOSITE TILE FLOORING BY ARMSTRONG COMMERCIAL EXCELOX USING S-SIS ADHESIVE (* SEE NOTE).
- INSTALL NEW 4"x6" VINYL BASE W/ TOE BY JOHNSONITE (TYPE TV), COLOR: TGI SNOWBOUND.



DETAIL AT ROLL DOWN GATE

NOTE: TEST EXISTING CONCRETE SLAB TO RECEIVE NEW VGT IN ACCORDANCE WITH ASTM F2170 AND ASTM F1861 FOR MOISTURE. TEST CONCRETE FLOOR FOR ALKALINITY. INSTALL VGT IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

CONSTRUCTION PLAN

FLOOR FINISH:
SPRAY EPOXY AFTER PREP ACCORDING TO MANUFACTURER SPECIFICATION.

NOTE:
PROVIDE NEW MULTI-PURPOSE FIRE EXTINGUISHERS IN ROOMS 101, 102, 110 AND 113 AT LOCATIONS INDICATED. ALL NEW FIRE EXTINGUISHERS SHALL MEET NFPA REQUIREMENTS.

FIRE EXTINGUISHER

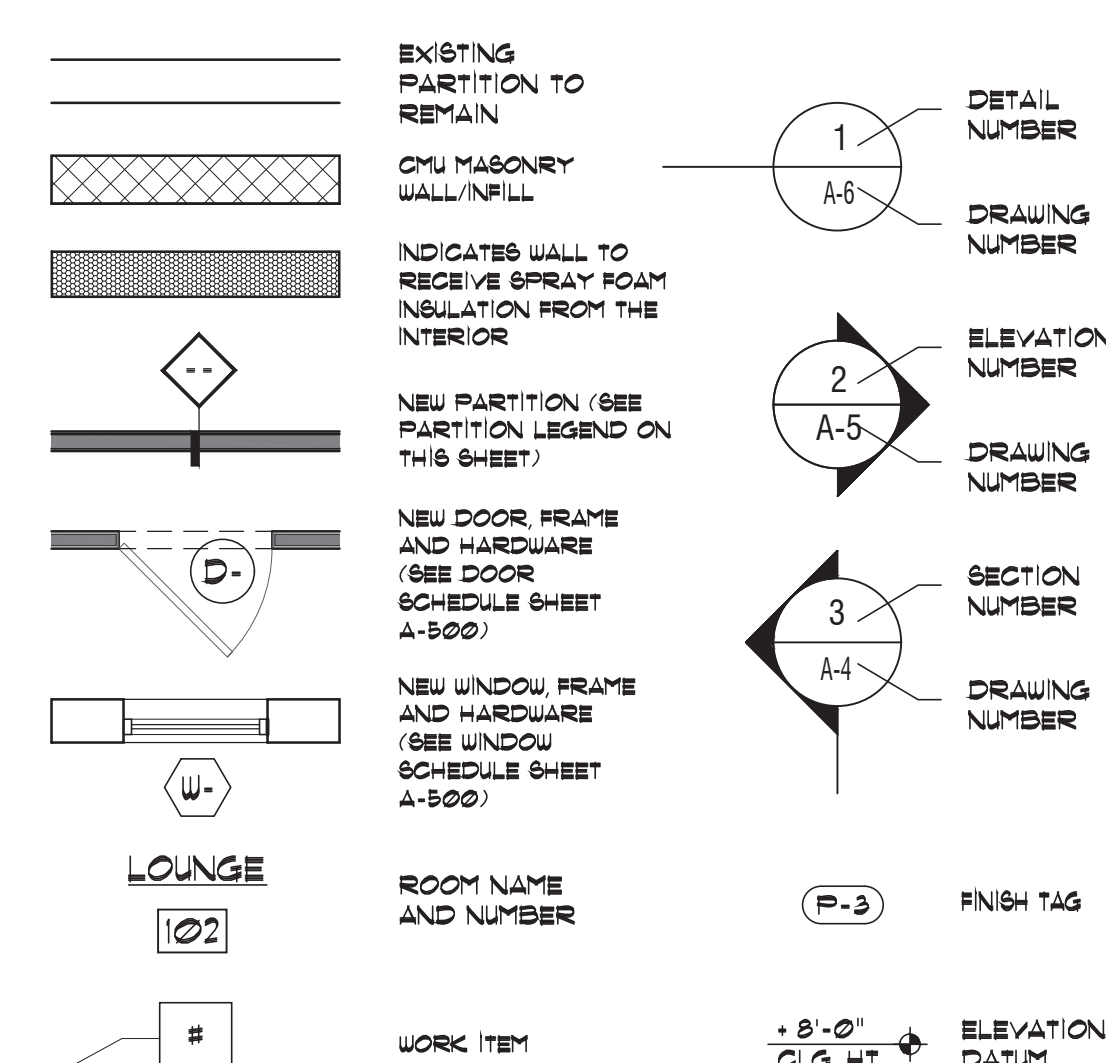
DETAIL AT NEW KNEE WALL

Scale: 1/4" = 1'-0"

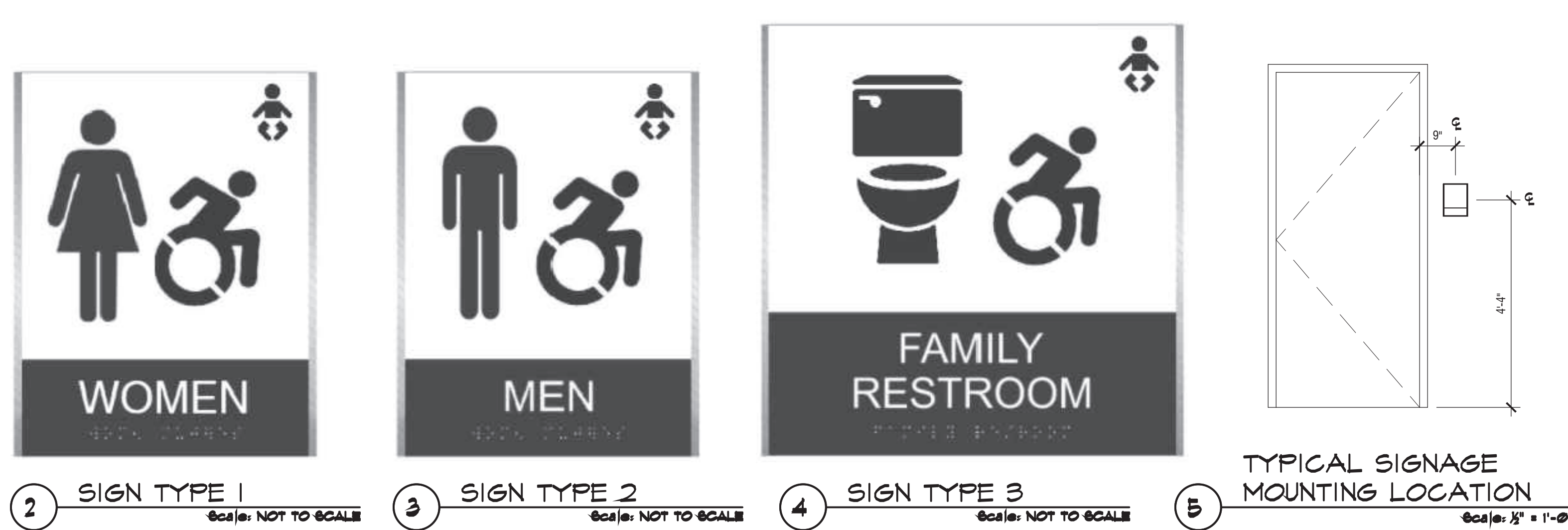
PARTITION LEGEND

- EXISTING WALL TO BE FURRED OUT USING 2"x4" PRESSURE TREATED WOOD STUDS @ 16" O.C. W/ SINGLE LAYER 5/8" USG MOLD TOUGH TYPE 'X' GYP. BOARD. FILL CAVITY WITH ROCKWOOL COMFORT BATT THERMAL BATT INSULATION - USE 2.5" THICKNESS FOR WOOD STUD APPLICATION (R-6.5).
- NOT USED
- EXISTING WALL TO BE FURRED OUT USING 2"x3" PRESSURE TREATED WOOD STUDS @ 16" O.C. W/ SINGLE LAYER 5/8" USG MOLD TOUGH TYPE 'X' GYP. BOARD. FILL CAVITY WITH ROCKWOOL COMFORT BATT THERMAL BATT INSULATION - USE 2.5" THICKNESS FOR METAL STUD APPLICATION AND TRIM WIDTH ACCORDINGLY. USE 5/8" CEMENT BOARD BY DUROCK OR EQUAL BEHIND TROUGH-STYLE LAVATORIES.
- EXISTING WALL TO BE FURRED OUT USING 2"x4" PRESSURE TREATED WOOD STUDS @ 16" O.C. W/ SINGLE LAYER 5/8" USG MOLD TOUGH TYPE 'X' GYP. BOARD. FILL CAVITY WITH ROCKWOOL COMFORT BATT THERMAL BATT INSULATION - USE 3.5" THICKNESS FOR WOOD STUD APPLICATION (R-15).
- NEW EXTERIOR PARTITION CONSISTING OF 2"x4" PRESSURE TREATED WOOD STUDS @ 16" O.C. W/ SINGLE LAYER 5/8" USG MOLD TOUGH TYPE 'X' GYP. BOARD ON INTERIOR SIDE AND TWO-COAT PLASTER OVER GYPSUM LATH WALL BOARD AND SINGLE LAYER 1/2" CDX PLYWOOD SHEATHING ON EXTERIOR SIDE. FILL CAVITY WITH ROCKWOOL COMFORT BATT THERMAL BATT INSULATION - USE 3.5" THICKNESS FOR WOOD STUD APPLICATION (R-15).
- NEW INTERIOR PARTITION CONSISTING OF 2"x4" WOOD STUD @ 16" O.C. W/ SINGLE LAYER 5/8" USG MOLD TOUGH TYPE 'X' GYP. BOARD ON OPPOSITE SIDES. FILL CAVITY WITH ROCKWOOL COMFORT BATT THERMAL BATT INSULATION - USE 3.5" THICKNESS FOR WOOD STUD APPLICATION (R-15).
- NEW INTERIOR PARTITION CONSISTING OF 2"x6" WOOD STUD @ 16" O.C. W/ SINGLE LAYER 5/8" USG MOLD TOUGH TYPE 'X' GYP. BOARD ON OPPOSITE SIDES. FILL CAVITY WITH ROCKWOOL COMFORT BATT THERMAL BATT INSULATION - USE 5.5" THICKNESS FOR WOOD STUD APPLICATION (R-23). USE 5/8" CEMENT BOARD BY DUROCK OR EQUAL BEHIND TROUGH-STYLE LAVATORIES.
- NEW INTERIOR KNEE WALL, BUILT UPON EXISTING WALL TO MEET CEILING, CONSISTING OF 2"x4" WOOD STUD @ 16" O.C. W/ SINGLE LAYER 5/8" USG MOLD TOUGH TYPE 'X' GYP. BOARD ON FINISHED SIDE. FILL CAVITY WITH ROCKWOOL COMFORT BATT THERMAL BATT INSULATION - USE 3.5" THICKNESS FOR WOOD STUD APPLICATION (R-15).

CONST. LEGEND

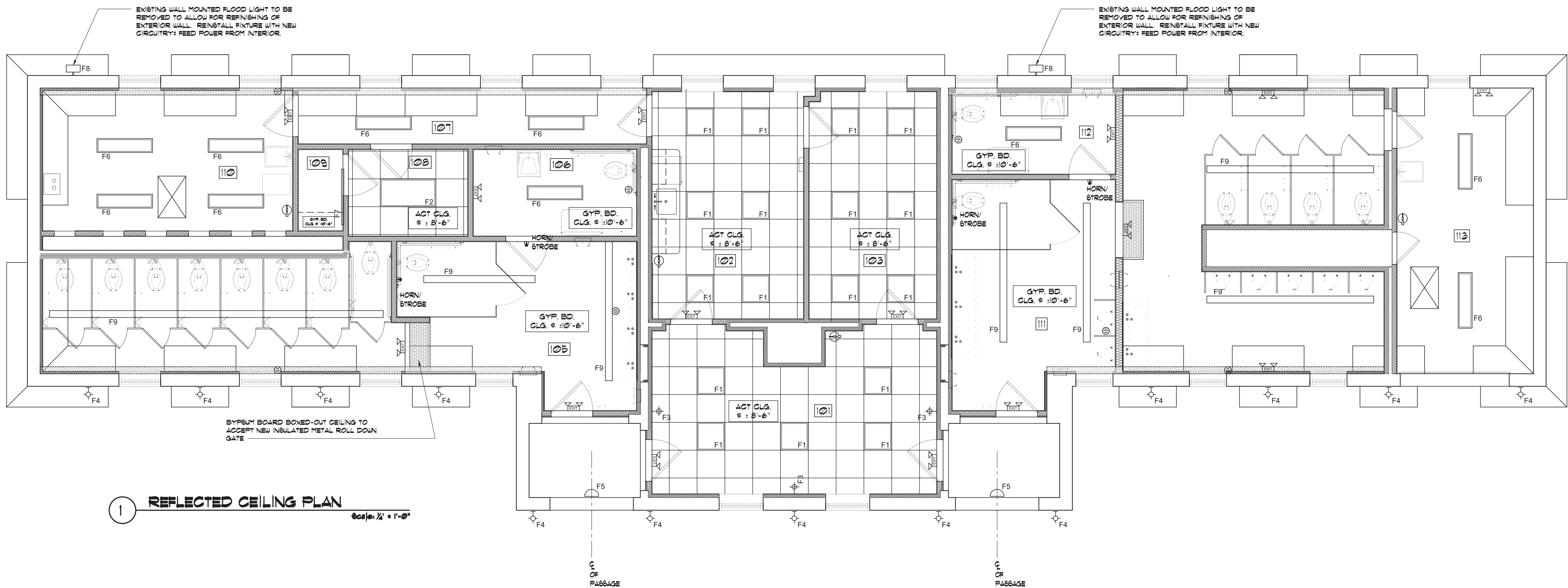


SIGN TYPES



CONSTRUCTION PLAN

PROJECT NO.:	22105
SCALE:	1/4" = 1'-0"
DRAWN BY:	JP
CHECKED BY:	GG
DATE:	12/13/21



LIGHT FIXTURE SCHEDULE	
SYMBOL	DESCRIPTION
	24"X24" FIXTURE
	24"X48" FIXTURE
	DECORATIVE WALL SCONCE - INTERIOR
	DECORATIVE WALL SCONCE - EXTERIOR
	SURFACE MOUNTED FIXTURE - EXTERIOR
	12"X48" SURFACE MOUNTED CEILING FIXTURE
	LINEAR CLOSET FIXTURE
	EXISTING WALL MOUNTED FLOOD LIGHT
	BATHROOM LINEAR SURFACE FIXTURE
	SERVICE LIGHT - EXTERIOR

NOTE:
REFER TO ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATIONS AND WIRING

GRID & CEILING TILE SPECIFICATION
ARMSTRONG - FINE FIGURED ANGLED TEGULAR 24"X24"X5/8", FIGUARD HUMIGUARD WITH BIOBLOCK. PROVIDE 3/8" EXPOSED TEE GRID SYSTEM. ALL TILE OUTS TO BE TEGULAR.

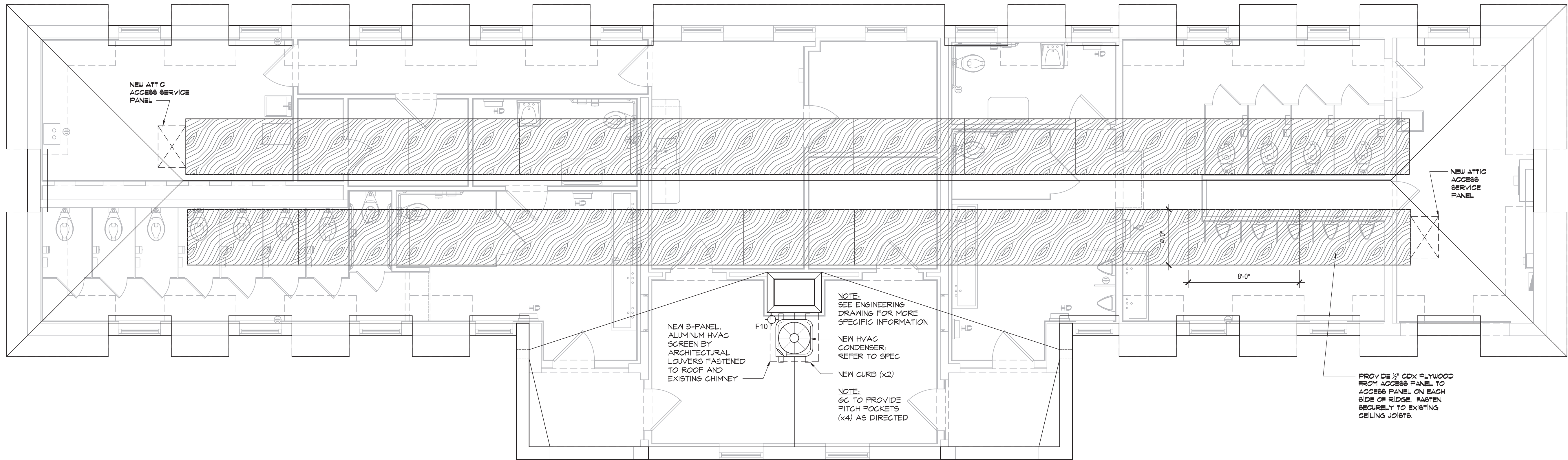
- RCP GENERAL NOTES:
- ALL FIXTURES AND EQUIPMENT SUSPENDED FROM CEILING STRUCTURE SHALL BE IN CONFORMANCE WITH INSTALLATION METHODS UNDER ASTM C-836 AND 2015 IMC.
 - ALL JOINTS AT NEW DUCTWORK TO BE SEALED WITH APPROVED SEALANT AS PER 2021 IBC (INTL. ENERGY CODE) SEE MECH. DUGS.
 - LIGHTS AT SUSPENDED CEILING: LIGHT FIXTURES WEIGHING LESS THAN 56 LBS. SHALL HAVE TWO 12 GAGE WIRES ATTACHED AT OPPOSING CORNERS OF THE FIXTURE TO THE STRUCTURE ABOVE.
 - THE STARTING POINT OF CEILING TILE IS THE CENTER OF ROOM, CENTER CEILING TILE TO THE CENTER OF THE ROOM (UNLESS NOTED OTHERWISE)
 - SEE INTERIOR AND EXTERIOR ELEVATIONS FOR HEIGHTS OF WALL MOUNTED LIGHTING.
 - ALL CENTERLINES INDICATED ARE TO CENTER OF ROOM.

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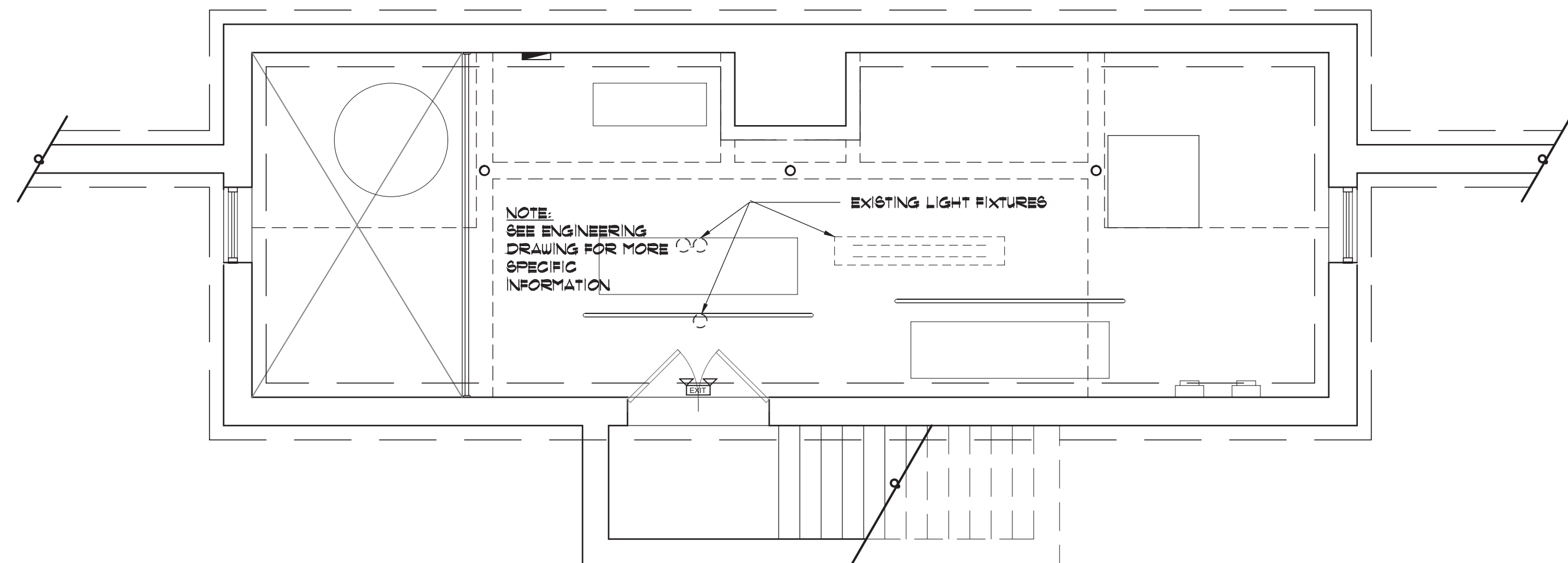
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REFLECTED CEILING PLAN

PROJECT NO.: 22103
SCALE: 1/4" = 1'-0"
DRAWN BY: JP
CHECKED BY: GG
DATE: 12/13/21



1 PARTIAL ROOF PLAN - ROOFTOP CONDENSOR
Scale: 1/4" = 1'-0"



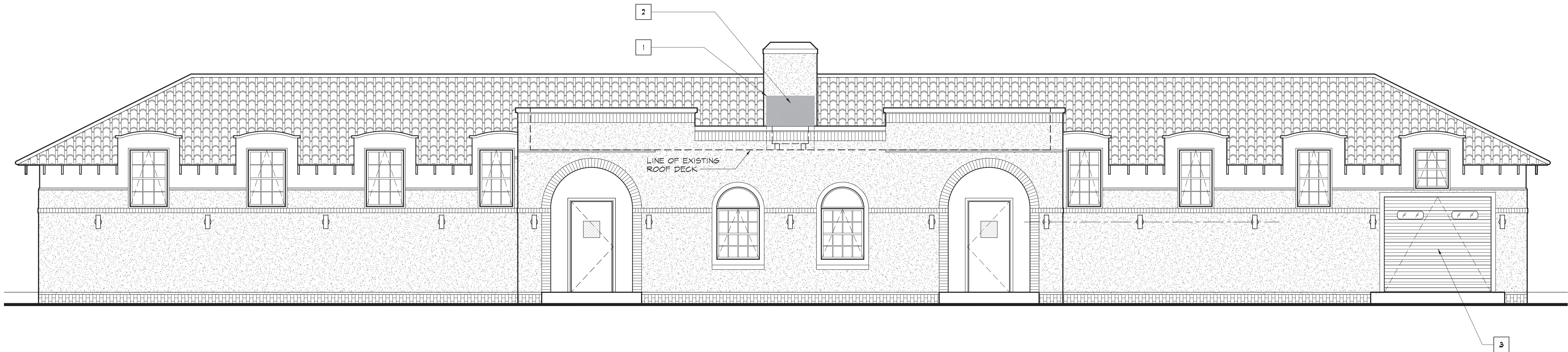
2 EXISTING PARTIAL CELLAR PLAN
Scale: 1/4" = 1'-0"

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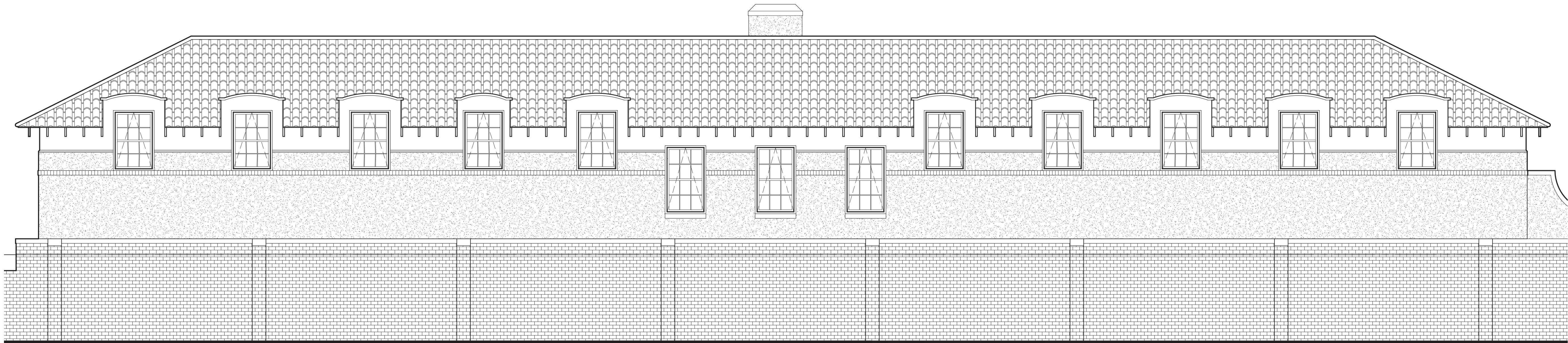
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**PARTIAL PLANS:
ROOF AND CELLAR**

PROJECT NO.: 22103
SCALE: 1/4" = 1'-0"
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DATE: 12/13/21



1 EXISTING FRONT ELEVATION
Scale: 1/4" = 1'-0"



1 EXISTING REAR ELEVATION
Scale: 1/4" = 1'-0"

WORK ITEMS

1. INSTALL NEW SCREEN AROUND CONDENSING UNIT; REFER TO SPEC
2. INSTALL NEW CONDENSING UNIT; REFER TO SPEC
3. INSTALL NEW OVERHEAD GARAGE DOOR; REFER TO SPEC

ARCHITECTURE FACILITY PLANNING INTERIORS

ARCONICS
ARCHITECTURE, P.C.

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914-937-5596

EPF-HP #230997 / 23PR10281

RENOVATION OF THE
RYE TOWN PARK
BATH HOUSE
RYE, NEW YORK, 10580

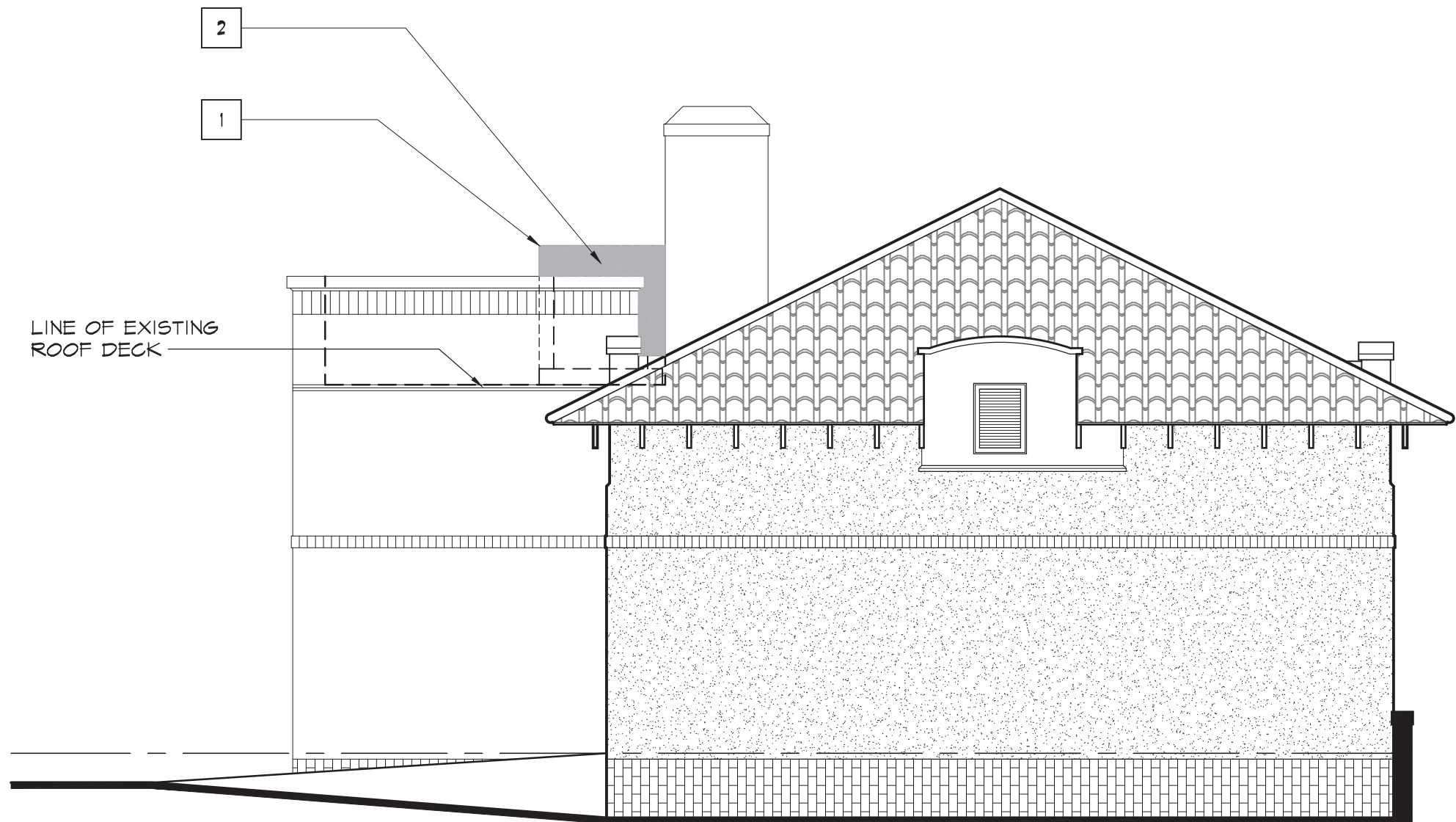
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FRONT AND REAR
EXTERIOR ELEVATIONS

PROJECT NO.: 22105
SCALE: 1/4" = 1'-0"
DRAWN BY: JP
CHECKED BY: GG
DATE: 12/13/21

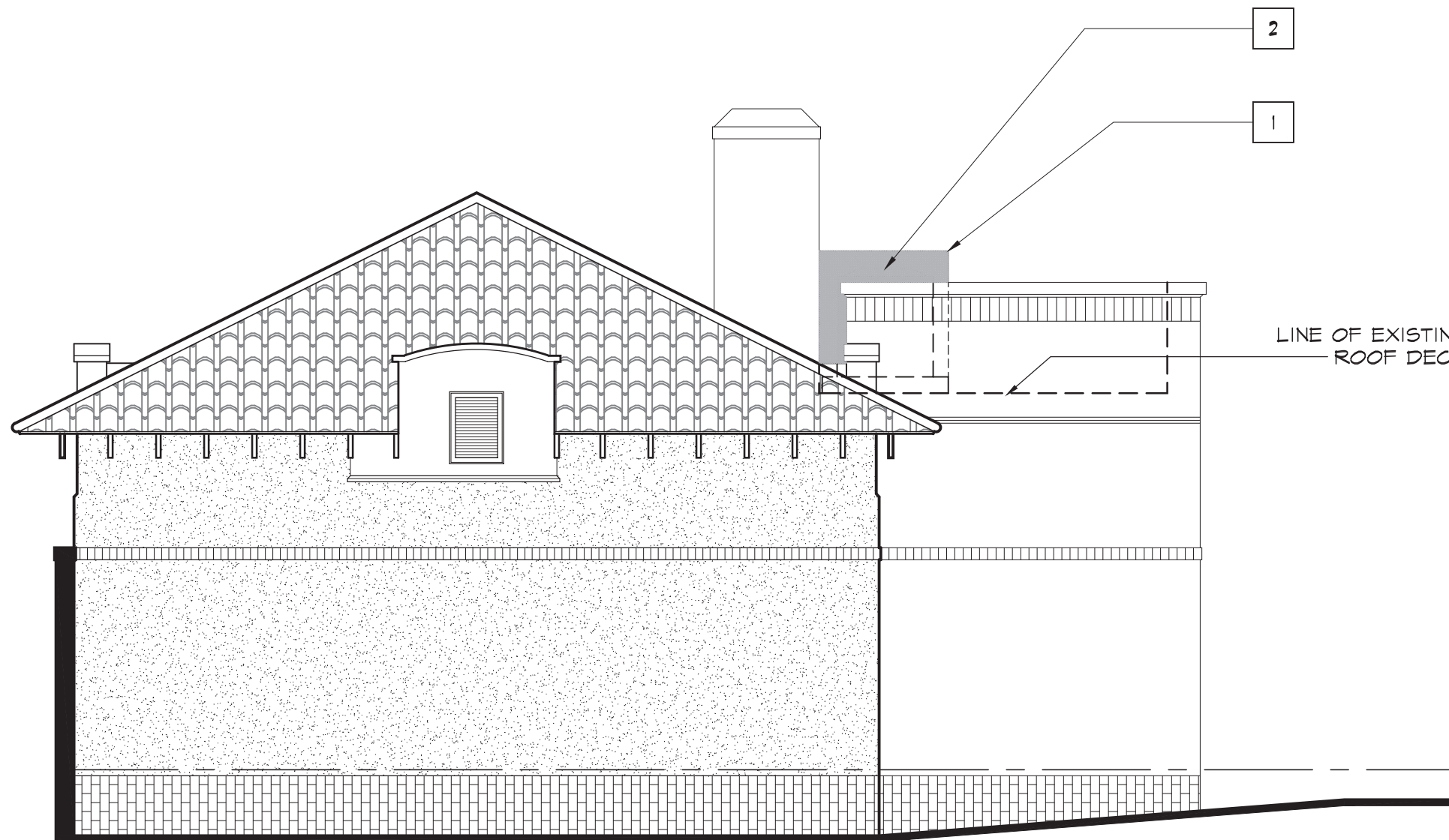
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1 EXISTING SIDE ELEVATION
Scale: 1/4" = 1'-0"

WORK ITEMS

- 1 INSTALL NEW SCREEN AROUND CONDENSING UNIT; REFER TO SPEC
- 2 INSTALL NEW CONDENSING UNIT; REFER TO SPEC
- 3 INSTALL NEW OVERHEAD GARAGE DOOR



2 EXISTING SIDE ELEVATION
Scale: 1/4" = 1'-0"

ARCHITECTURE FACILITY PLANNING INTERIORS



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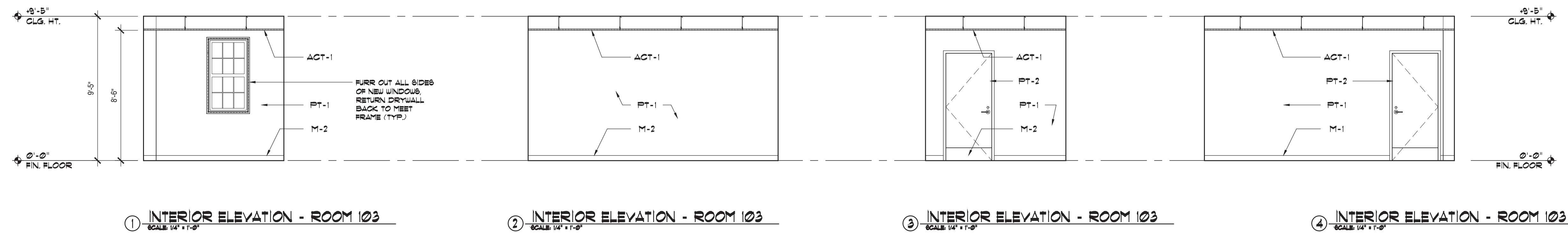
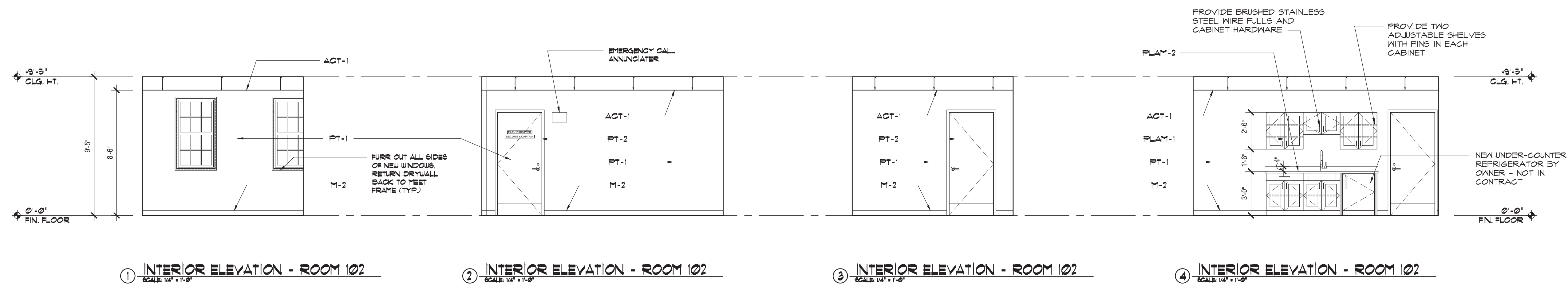
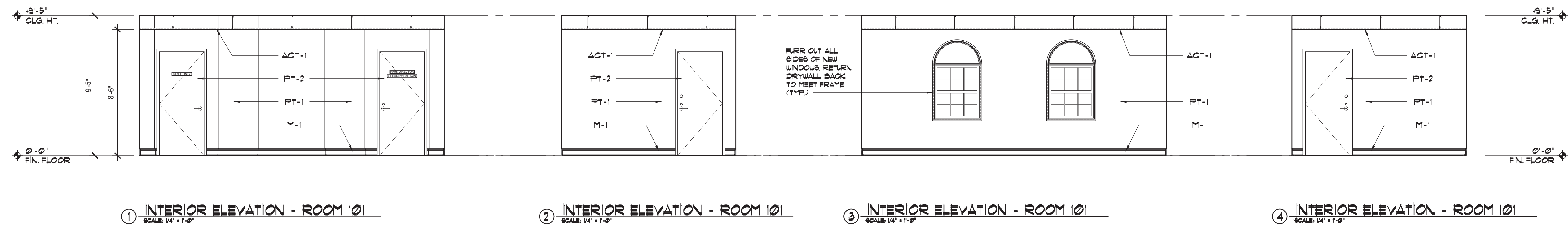
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EXTERIOR
SIDE ELEVATIONS

PROJECT NO.: 22103
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INTERIOR ELEVATIONS

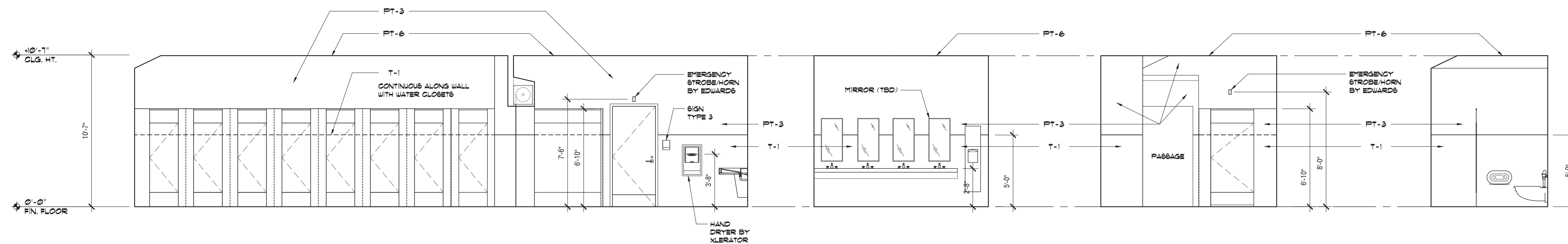
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DRAWN BY:	JP
CHECKED BY:	GG
DATE:	12/13/21

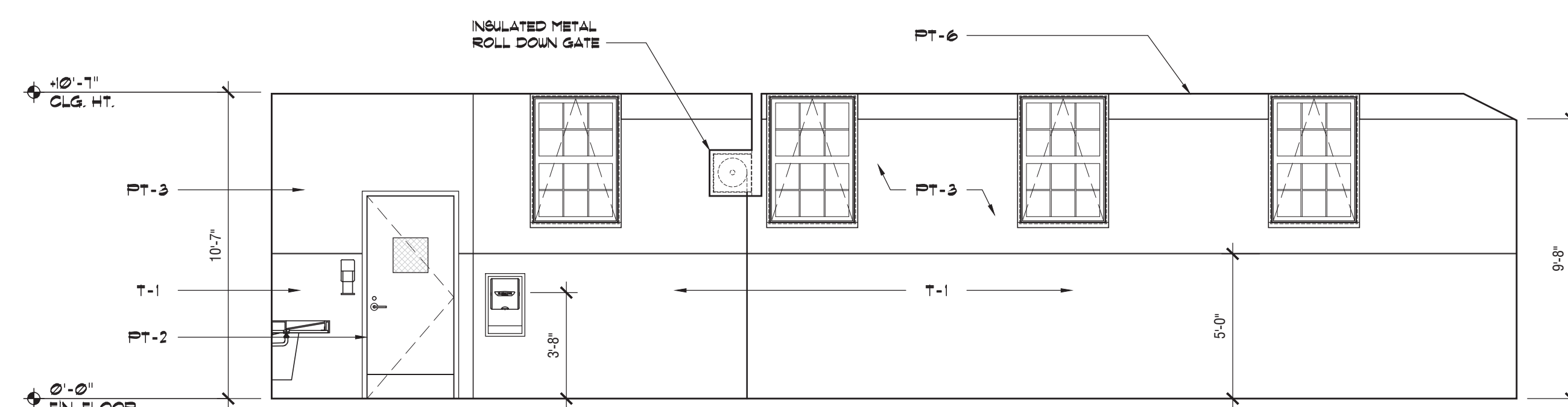


① INTERIOR ELEVATION - ROOM 105
SCALE: 1/4" = 1'-0"

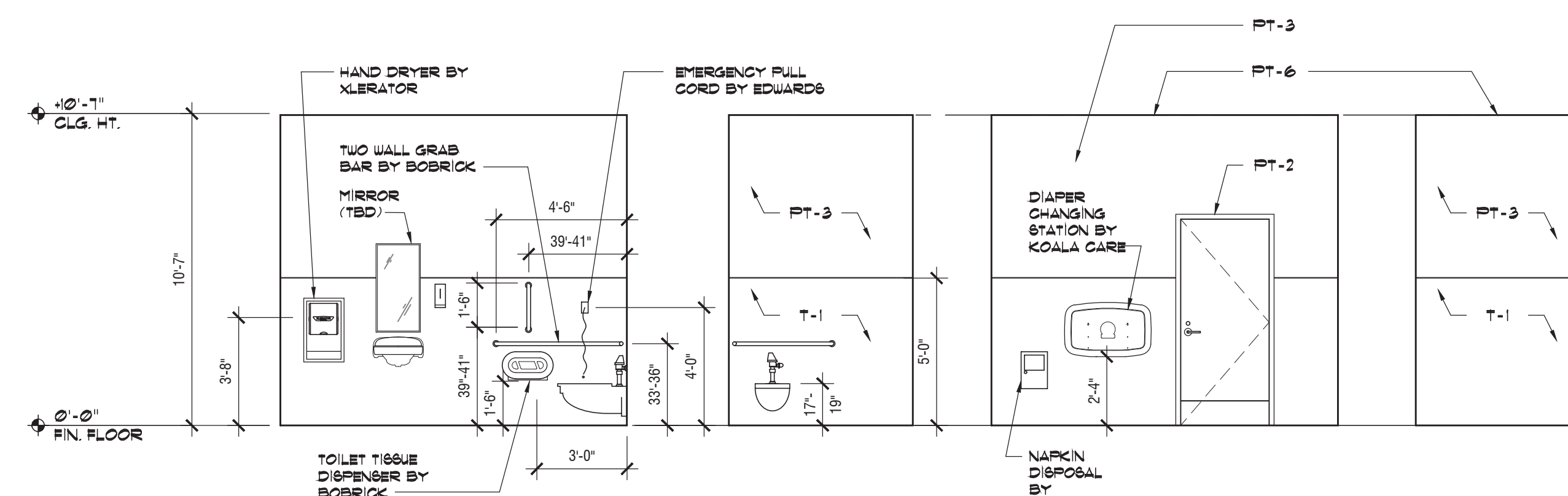
② INTERIOR ELEVATION - ROOM 105
SCALE: 1/4" = 1'-0"

3 INTERIOR ELEVATION - ROOM 105
SCALE: 1/4" = 1'-0"

4 INTERIOR ELEVATION - ROOM 105
SCALE: 1/4" = 1'-0"



5 INTERIOR ELEVATION - ROOM 105
SCALE: 1/4" = 1'-0"

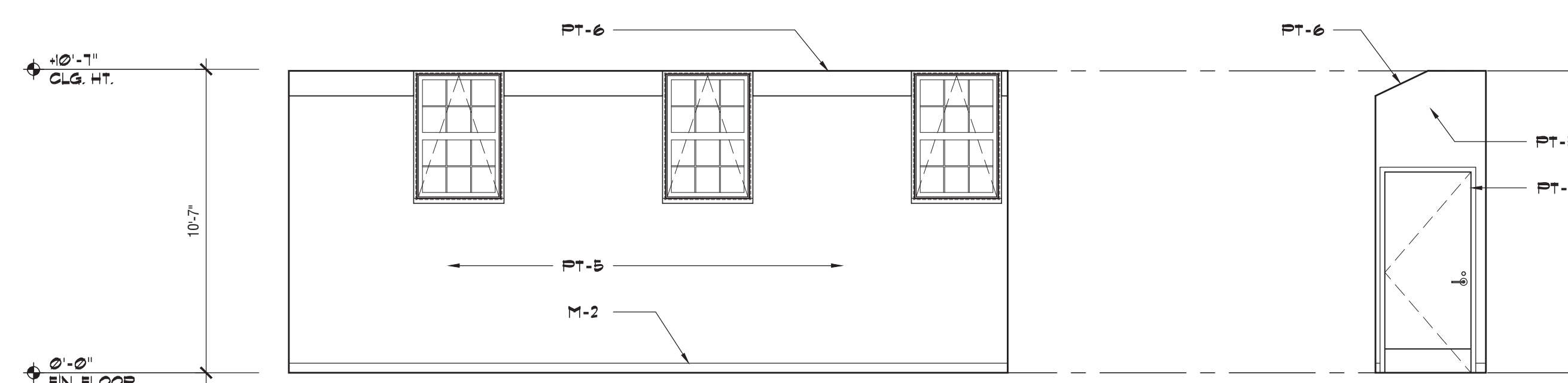


① INTERIOR ELEVATION - ROOM 100

⑤

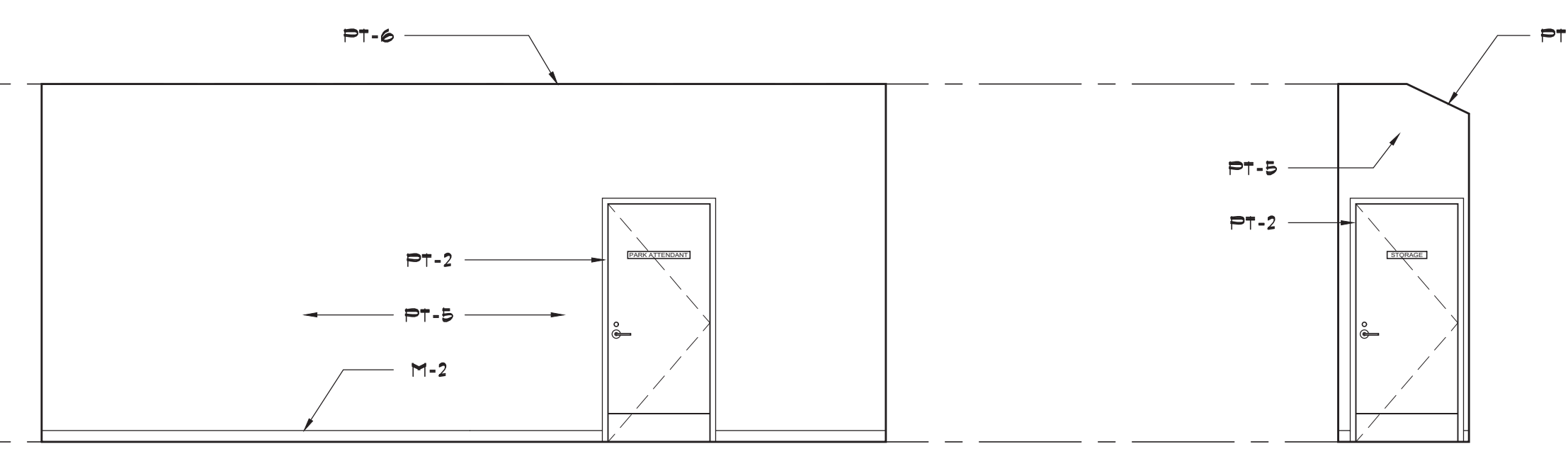
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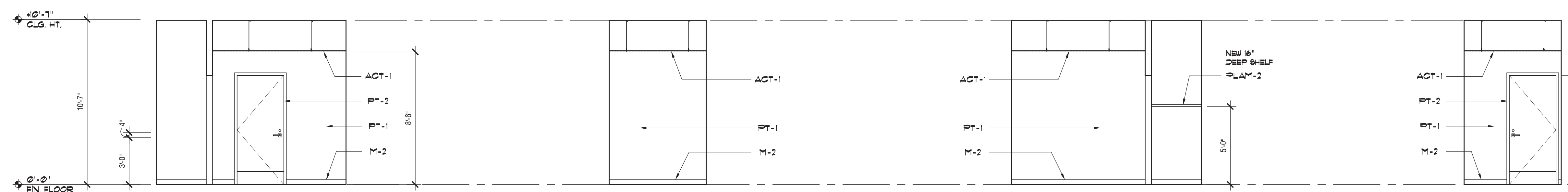
① INTERIOR ELEVATION - ROOM 107
SCALE: 1/4" = 1'-0"

② INTERIOR ELEVATION - ROOM 107
SCALE: 1/4" = 1'-0"



③ INTERIOR ELEVATION - ROOM 10
SCALE: 1/4" = 1'-0"

④ INTERIOR ELEVATION - ROOM 10
SCALE: 1/4" = 1'-0"

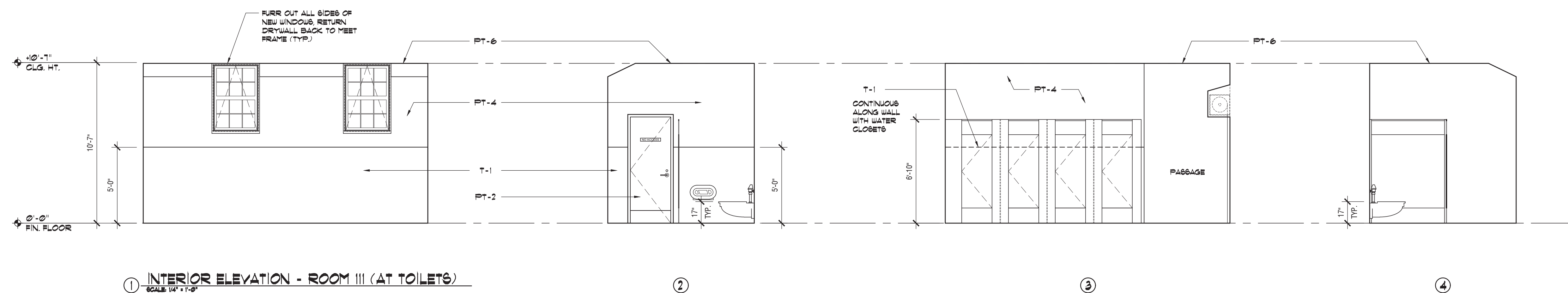
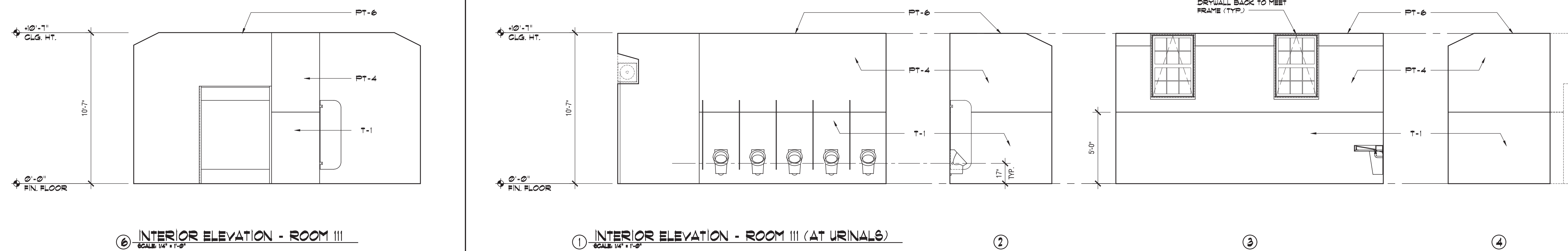
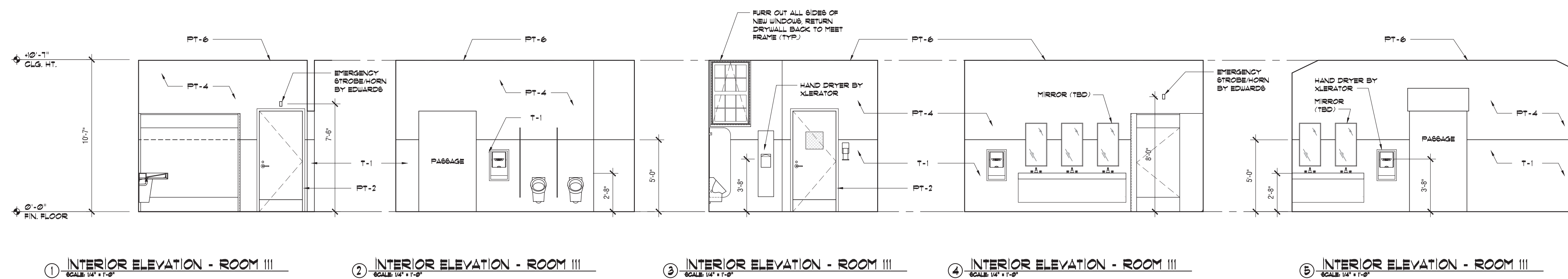
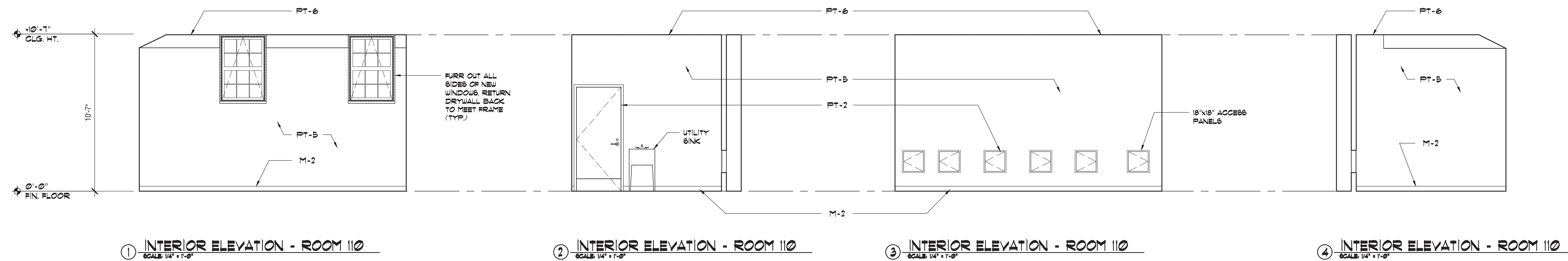


① INTERIOR ELEVATION - ROOM 108
SCALE: 1/4" = 1'-0"

② INTERIOR ELEVATION - ROOM 108

③ INTERIOR ELEVATION - ROOM 108
SCALE: 1/4" = 1'-0"

④ INTERIOR ELEVATION - ROOM 10

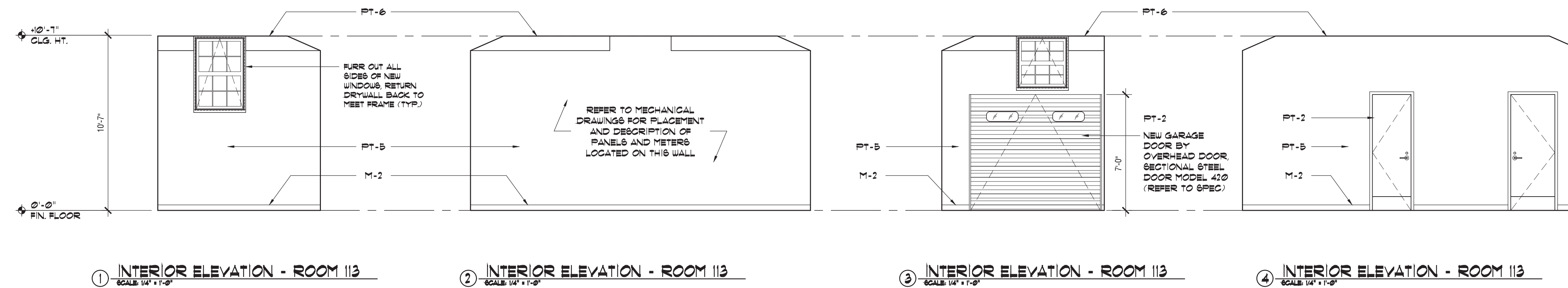


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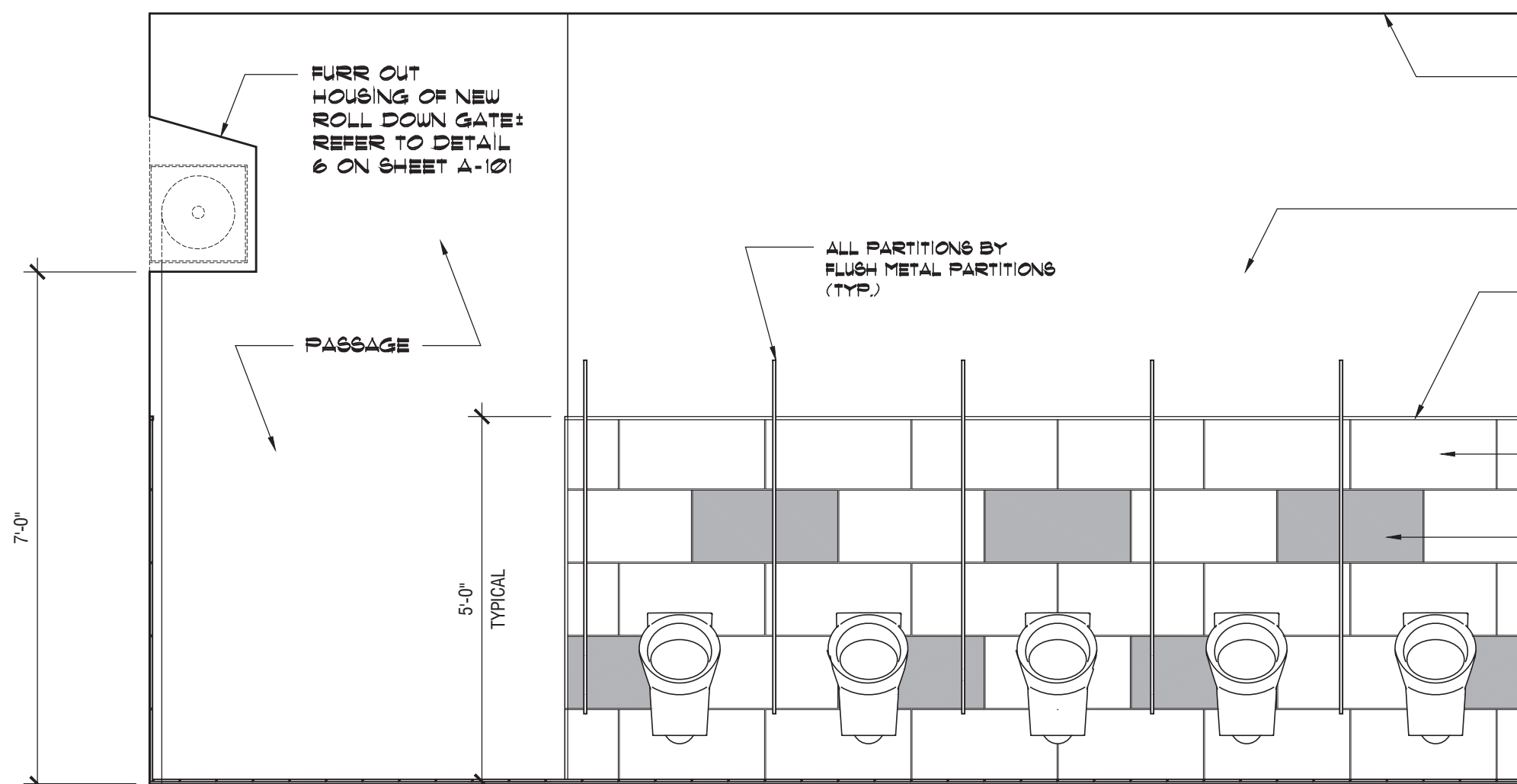
NO	DATE	REVISIONS	BY

INTERIOR ELEVATIONS

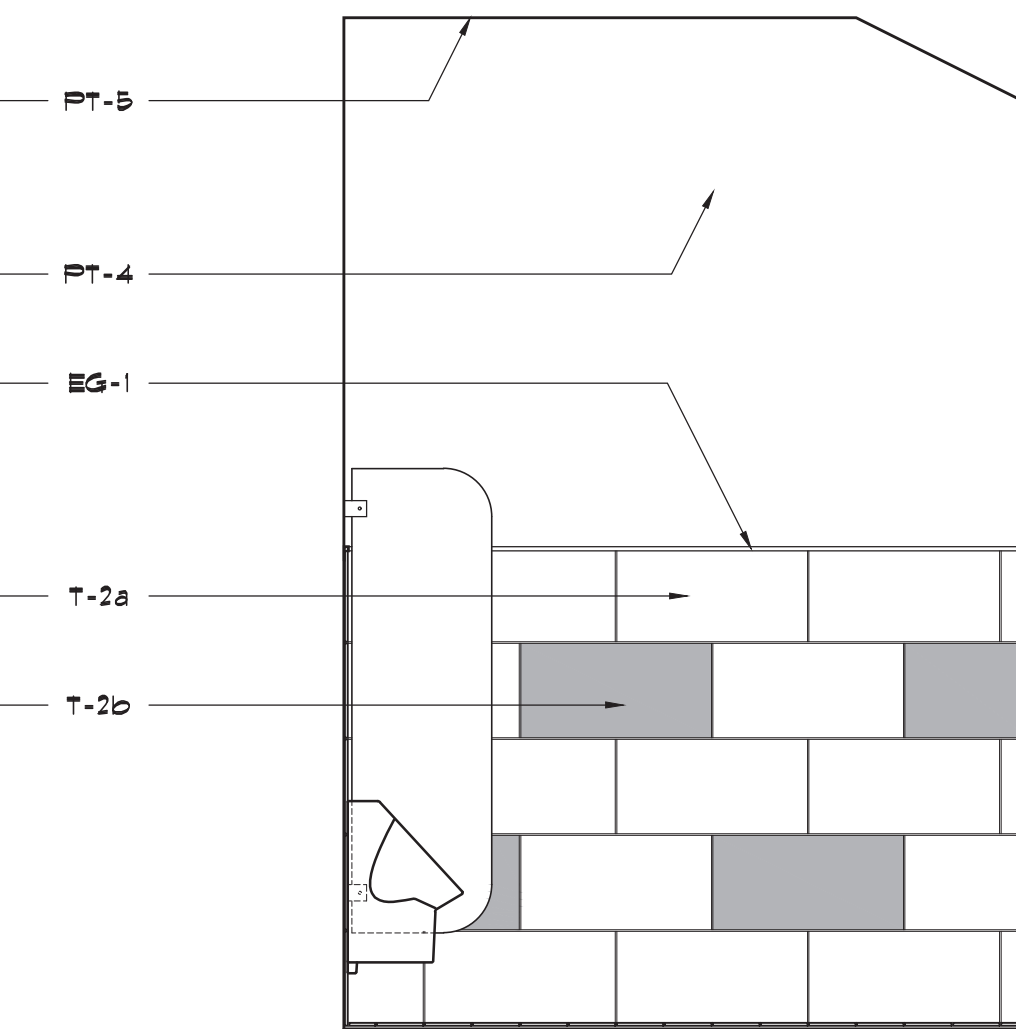
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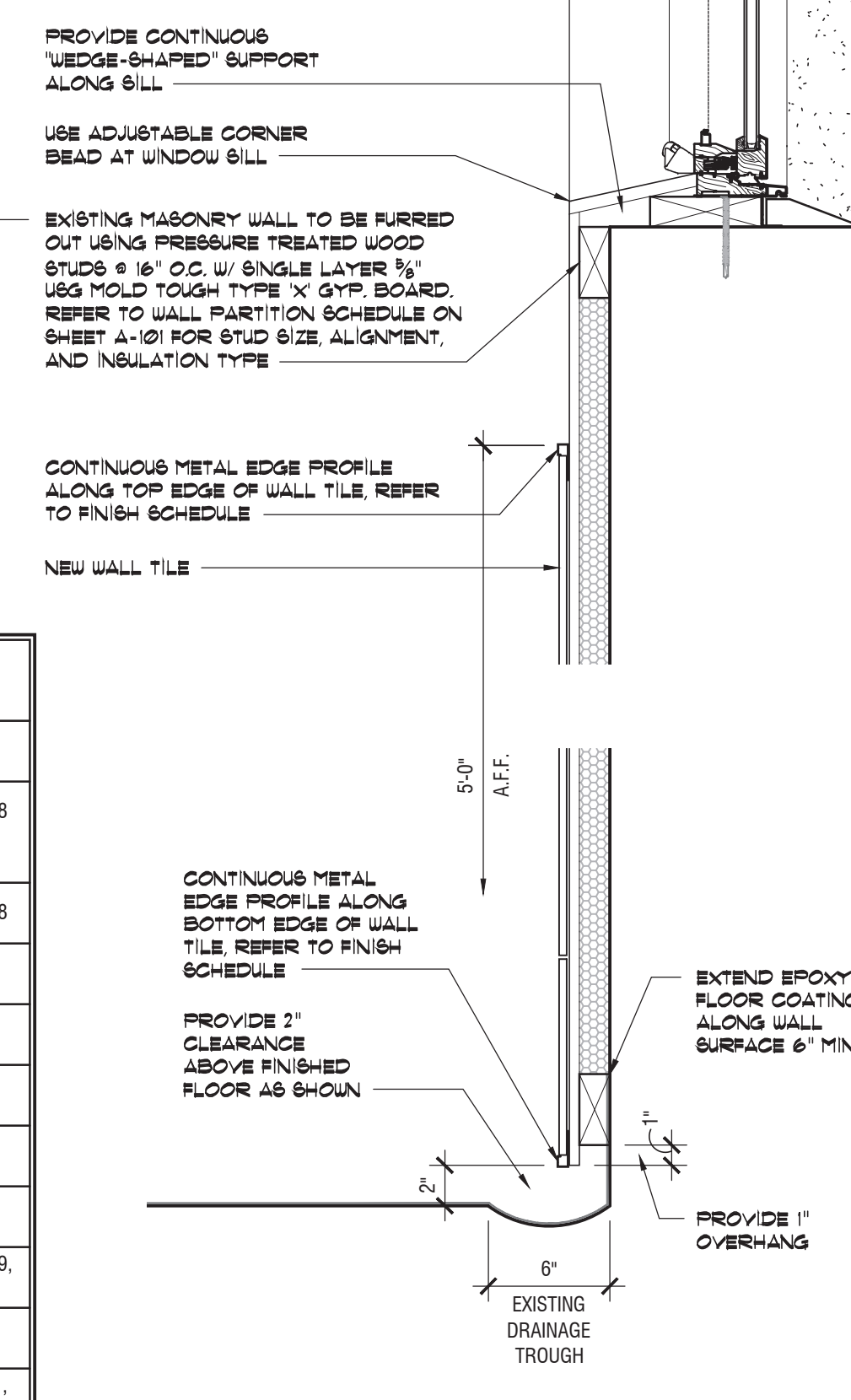
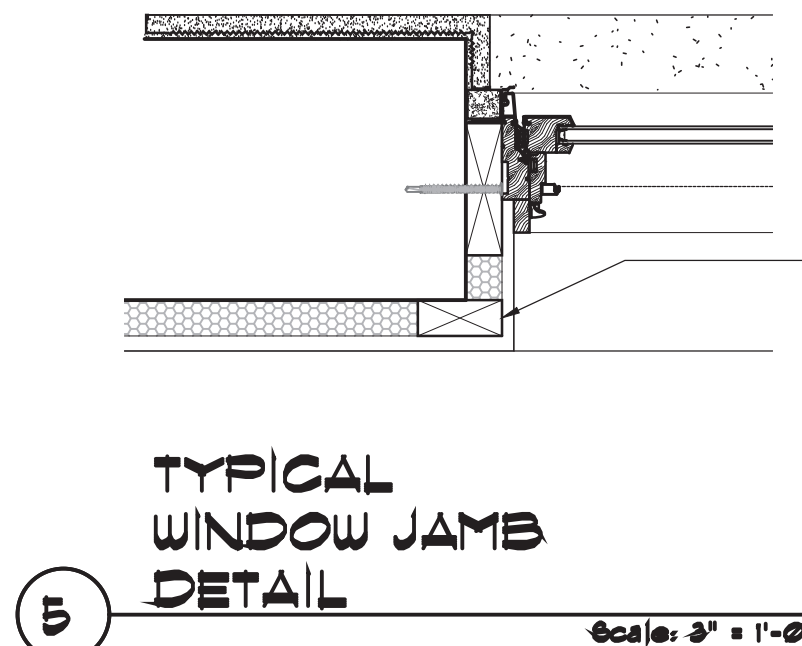
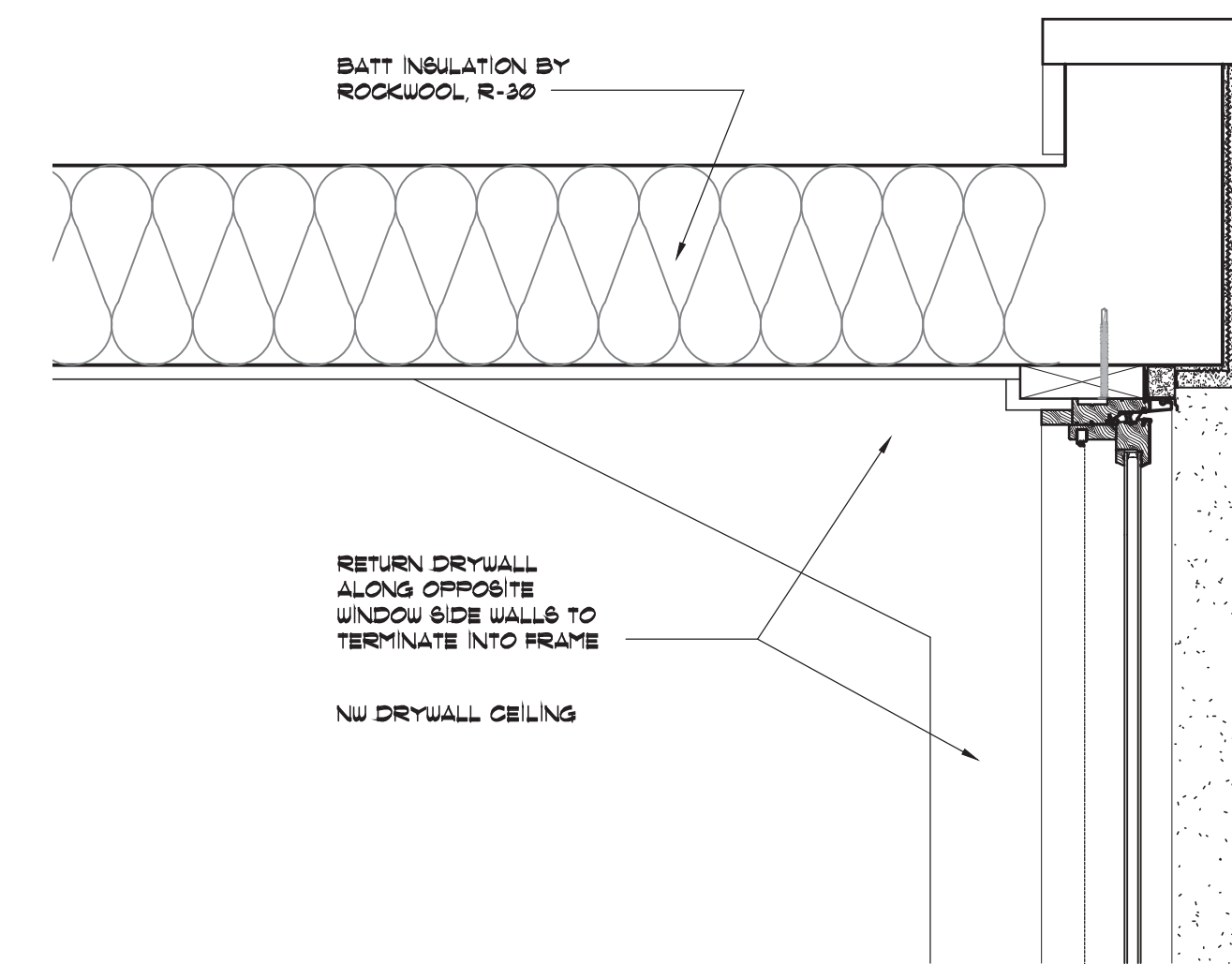
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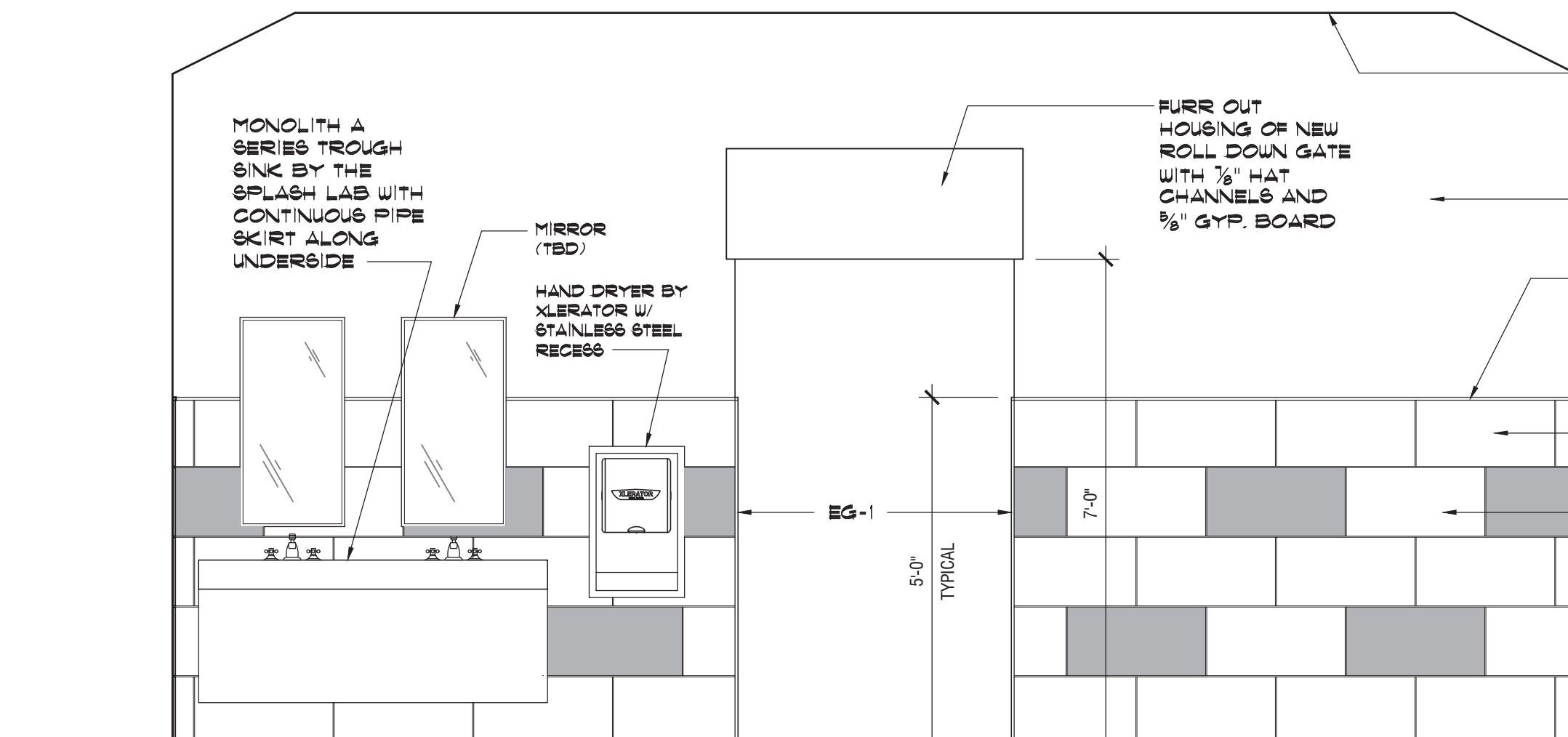
1 TYPICAL BLOW-UP INTERIOR ELEVATION (ROOM III) Scale: 3" = 1'-0"



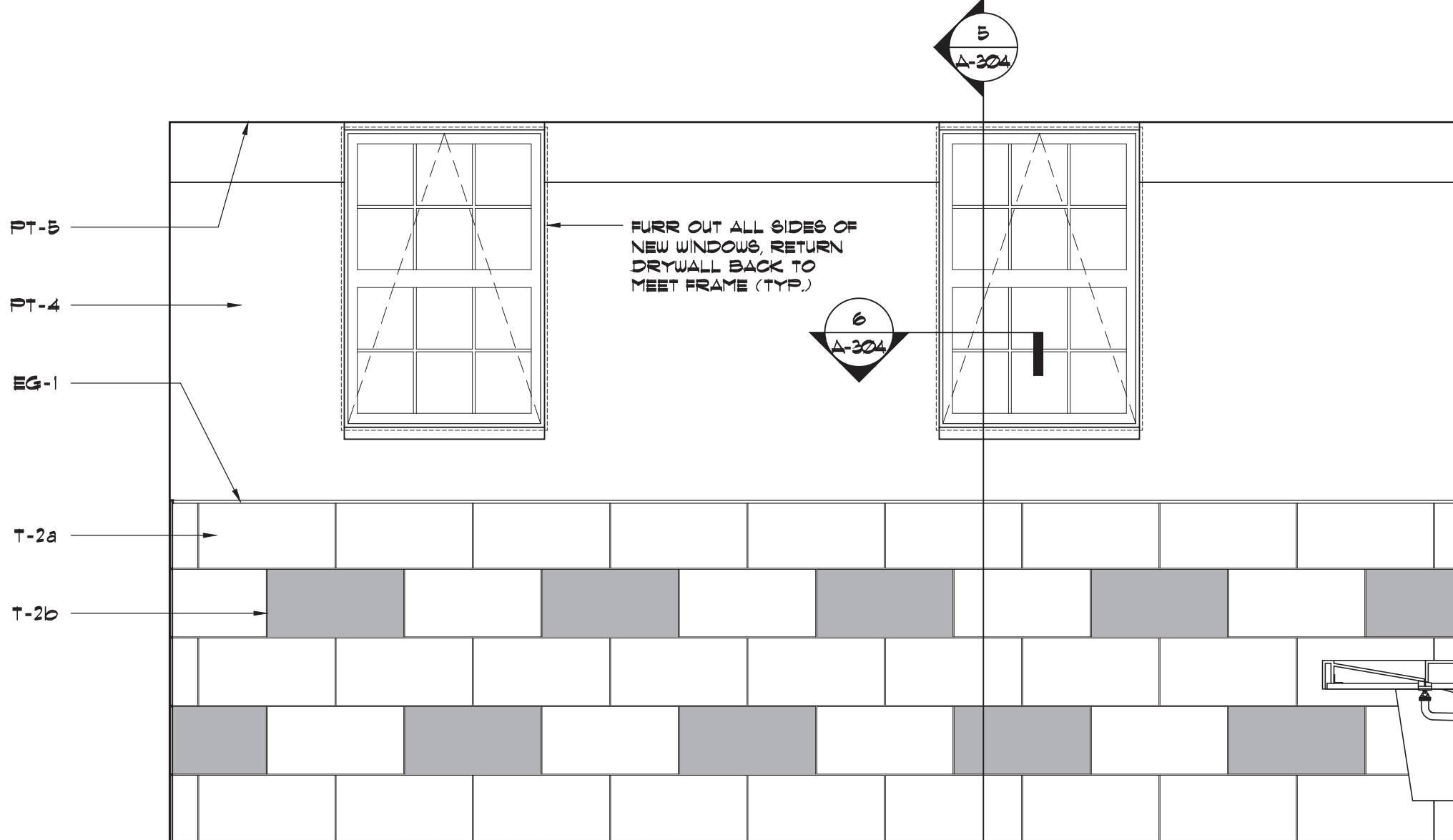
2 TYPICAL BLOW-UP INTERIOR ELEVATION (ROOM III) Scale: 3" = 1'-0"



5 TYPICAL EXTERIOR WALL SECTION Scale: 3" = 1'-0"



3 TYPICAL BLOW-UP INTERIOR ELEVATION (ROOM III) Scale: 3" = 1'-0"



4 TYPICAL BLOW-UP INTERIOR ELEVATION (ROOM III) Scale: 3" = 1'-0"

FINISH SCHEDULE					
TAG	DESCRIPTION	MANUFACTURER	SPECIFICATION	FINISH	NOTES
ACT-1	ACOUSTICAL CEILING TILE	ARMSTRONG	24"x24"x5/8" FINE FISSURED	FACTORY-APPLIED LATEX PAINT ON DURABRITE ACOUSTICALLY TRANSPARENT MEMBRANE	ROOMS: 101, 102, 103, 108
GRID-1	DROPPED CEILING GRID	ARMSTRONG	PRELUDE ML 15/16" EXPOSED TEE GRID	WHITE ALUMINUM FINISH	ROOMS: 101, 102, 103, 107, 108, 109
PT-1	PAINT: WALLS	BENJAMIN MOORE	ECO SPEC; COLOR: TBD	SEMI-GLOSS	ROOMS: 101, 102, 103, 107, 108, 109
PT-2	PAINT: DOORS, JAMBS & TRIM	BENJAMIN MOORE	ECO SPEC; COLOR: TBD	SEMI-GLOSS	---
PT-3	PAINT: WALLS	BENJAMIN MOORE	ECO SPEC; COLOR: TBD	SEMI-GLOSS	ROOMS: 105, 106
PT-4	PAINT: WALLS	BENJAMIN MOORE	ECO SPEC; COLOR: TBD	SEMI-GLOSS	ROOMS: 111, 112
PT-5	PAINT: WALLS	BENJAMIN MOORE	ECO SPEC; COLOR: TBD	SEM-GLOSS	ROOMS: 110, 113
PT-6	PAINT: CEILINGS	BENJAMIN MOORE	ECO SPEC; COLOR: TBD	EGGSHELL	ROOMS: 105, 106, 107, 109, 110, 111, 112, 113
FF-1	VINYL COMPOSITE TILE	ARMSTRONG	EXCELRON IMPERIAL; SIZE: 12"x12"; COLOR: TBD	"FAST-START" FACTORY FINISH	ROOMS: 102, 103, 107, 108, 109
FF-2	RESINOUS FLOORING	STONHARD, Inc.	STONCLAD HT COATED W/ STONKOTE HT4; COLOR: TBD	TEXTURE #3	ROOMS 105, 106, 110, 111, 112, 113
FF-3	FLOOR TILE	DALTILE	6"x6" QUARRY TILE; COLOR: ARID GREY	NON-POLISHED	EXTERIOR VESTIBULES (x2), 3/16" GROUT JOINTS
T-1	WALL TILE	DAL TILE	T-1a 12"x24"; COLOR:	---	ROOMS: 105, 106 FIELD
			T-1b 12"x24"; COLOR:	---	ROOMS: 105, 106 ACCENT
			T-1c 12"x24"; COLOR:	---	ROOMS: 111, 112 FIELD
T-2	WALL TILE	DAL TILE	T-2a 12"x24"; COLOR:	---	ROOMS: 111, 112 FIELD
			T-2b 12"x24"; COLOR:	---	ROOMS: 111, 112 ACCENT
			T-2c 12"x24"; COLOR:	---	ROOMS: 111, 112 ACCENT
EG-1	CAP TRIM ALONG T-1	SCHLUTER	QUADEC WALL PROFILE	BRUSHED STAINLESS STEEL	ROOMS: 105, 106, 111, 112 USE MATCHING CORNER ACCESSORIES WHERE APPLICABLE
M-1	WOOD BASE MOLDING	INTERSTATE LUMBER	ILINE COLLECTION; PROFILE #1903	ORDER AS PRE-PRIMED POPLAR; TO BE PAINTED PT-2	ROOM: 101 INSTALL WITH 3/4" HALF ROUND WOOD SHOE
M-2	VINYL BASE MOLDING	JOHNSONITE (TARKETT)	4 1/2" TRADITIONAL VINYL BASE W/ TOE (TYPE TV)	COLOR: TG1 SNOWBOUND	ROOMS: 102, 103, 107, 108, 109
PLAM-1	PLASTIC LAMINATE: KITCHENETTE CABINETS	WILSONART	D1573-12 FROSTY WHITE	SOFT GRAIN #12	ROOM: 102
PLAM-2	PLASTIC LAMINATE: COUNTERTOPS	WILSONART	D381-60 FASHION GRAY	MATTE #60	ROOM: 102 PROVIDE 3MM MATCHING EDGE BAND



DATE	ISSUE TO	PR	TO
04.07.2025	SHPO REVIEW		
06.05.2025	SHPO REVIEW		
06.26.2025	ISSUE FOR PERMIT		
07.07.2025	ISSUE FOR BID		

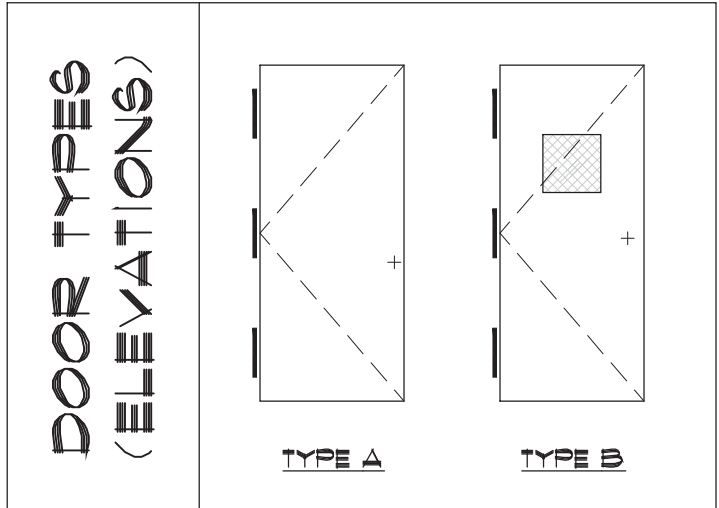
NO	DATE	REVISIONS	BY
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TYPICAL BLOW-UP INTERIOR ELEVATIONS, DETAILS AND FINISH SCHEDULE

PROJECT NO.:	22103
SCALE:	1/4" = 1'-0"
DRAWN BY:	JP
CHECKED BY:	GG
DATE:	12/13/21

DOOR							FRAME					HARDWARE SET NO.
NO.	WIDTH	HEIGHT	THICK	TYPE	MATL.	FINISH	MATL.	DETAIL			FINISH	
								HEAD	JAMB	SILL		
D1	3'-0"	7'-0"	1 3/4"	A	H.M.	PAINTED	MTL.	2/ABOON	1/ABOON	3/ABOON	PAINTED	02
D2	3'-0"	7'-0"	1 3/4"	A	H.M.	PAINTED	MTL.	2/ABOON	1/ABOON	3/ABOON	PAINTED	02
D3	3'-0"	7'-0"	1 3/4"	A	H.M.	PAINTED	MTL.	2/ABOON	1/ABOON	NONE	PAINTED	05
D4	3'-0"	7'-0"	1 3/4"	A	H.M.	PAINTED	MTL.	2/ABOON	1/ABOON	NONE	PAINTED	03
D5	3'-0"	7'-0"	1 3/4"	A	H.M.	PAINTED	MTL.	2/ABOON	1/ABOON	NONE	PAINTED	05
D6	3'-0"	7'-0"	1 3/4"	A	H.M.	PAINTED	MTL.	2/ABOON	1/ABOON	NONE	PAINTED	05
D7	3'-0"	7'-0"	1 3/4"	A	H.M.	PAINTED	MTL.	2/ABOON	1/ABOON	NONE	PAINTED	05
D8	3'-0"	7'-0"	1 3/4"	A	H.M.	PAINTED	MTL.	2/ABOON	1/ABOON	NONE	PAINTED	05
D9	3'-0"	7'-0"	1 3/4"	A	H.M.	PAINTED	MTL.	2/ABOON	1/ABOON	NONE	PAINTED	05
D10	3'-0"	7'-0"	1 3/4"	B	H.M.	PAINTED	MTL.	2/ABOON	1/ABOON	3/ABOON	PAINTED	01
D11	3'-0"	7'-0"	1 3/4"	A	H.M.	PAINTED	MTL.	4/ABOON	3/ABOON	NONE	PAINTED	04
D12	3'-0"	7'-0"	1 3/4"	B	H.M.	PAINTED	MTL.	2/ABOON	1/ABOON	3/ABOON	PAINTED	01
D13	3'-0"	7'-0"	1 3/4"	A	H.M.	PAINTED	MTL.	4/ABOON	3/ABOON	NONE	PAINTED	04
D14	2'-8"	7'-0"	1 3/4"	A	H.M.	PAINTED	MTL.	4/ABOON	3/ABOON	3/ABOON	PAINTED	05
D15	2'-4"	7'-0"	1 3/4"	A	H.M.	PAINTED	MTL.	4/ABOON	3/ABOON	3/ABOON	PAINTED	05

ALL DOORS AND FRAMES SHALL BE GALVANIZED EXCEPT FOR D3, D4, D5, D6, D7, D8



1. ALL ROUGH OPENING SIZES ARE APPROXIMATE. FIELD VERIFY ALL WINDOW AND DOOR SIZES, CONFIGURATIONS AND CONSTRUCTION.
2. THIS PROJECT HAS BEEN IDENTIFIED AS CONTAINING HAZARDOUS MATERIALS, INCLUDING (BUT NOT LIMITED TO): ASBESTOS CONTAINING MATERIALS (ACM's) AS WELL AS LEAD BASED PAINT (LBP). ALL INVOLVED PARTIES SHOULD REFER TO THE COMPLETE CONTRACT DOCUMENTS, ASBESTOS INSPECTION REPORT AND THE LEAD BASED PAINT INSPECTION REPORT PREPARED BY WILSON, INC. INCLUDED AS A PART OF THE PROJECT SPECIFICATIONS FOR FURTHER INFORMATION.
3. ANY WORK THAT WILL INVOLVE DISTURBANCE OF LEAD-BASED PAINT MUST BE PERFORMED BY AN EPA CERTIFIED CONTRACTOR OR FIRM THAT HAS AND EPA REP (RENOVATION, REPAIR AND PAINTING) CERTIFICATION OR CHECK WITH LOCAL AGENCIES FOR THEIR REQUIREMENTS.
4. ALL DEBRIS AS A RESULT OF DEMOLITION AND CONSTRUCTION OPERATIONS SHALL BE REMOVED FROM THE PROJECT AND OFF THE CONSTRUCTION SITE. ANY DEBRIS CONTAINING HAZARDOUS MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE CODES & REGULATIONS.

HARDWARE SET 02				
QTY	ITEM	ITEM NUMBER	FINISH	MANUF.
3	HINGE	TA3331	US32D	MCKINNEY
1	ENTRY SET		US15	SARGENT
1	SURFACE CLOSER	7500 / P7500	689	NORTON
1	DOOR STOP	RM850	US26D	ROCKWOOD
3	SILENCER	608 / 609		ROCKWOOD
1	DEADBOLT	487	US26D	SARGENT
2	KICK PLATE	K1050 10" HIGH BEV. CSK	US32D	ROCKWOOD
1	KICK-DOWN DOOR STOP	461L	US26D	ROCKWOOD

HARDWARE SET 04				
QTY	ITEM	ITEM NUMBER	FINISH	MANUF.
3	HINGE	TA3331	US32D	MCKINNEY
1	PRIVACY SET	T3 49 8265 TOMQ	US15	SARGENT
1	SURFACE CLOSER	7500 / P7500	689.00000	NORTON
1	DOOR STOP	RM850	US26D	ROCKWOOD
3	SILENCER	608 / 609		ROCKWOOD
2	KICK PLATE	K1050 10" HIGH BEV CSK	US32D	ROCKWOOD

HARDWARE NOTES:

1. ALL LOCKS TO BE SARGENT, COMMERCIAL GRADE LEVER SET, US-15 FINISH.
2. ALL DOORS TO RECEIVE KICK PLATES ON BOTH SIDES, CLOSERS, HINGES (x3), DOOR STOPS, AND SILENCERS (TYP.)
3. CONTRACTOR SHALL PROVIDE SUBMITTALS FOR APPROVAL PRIOR TO ORDERING. KEYING TO BE DETERMINED.



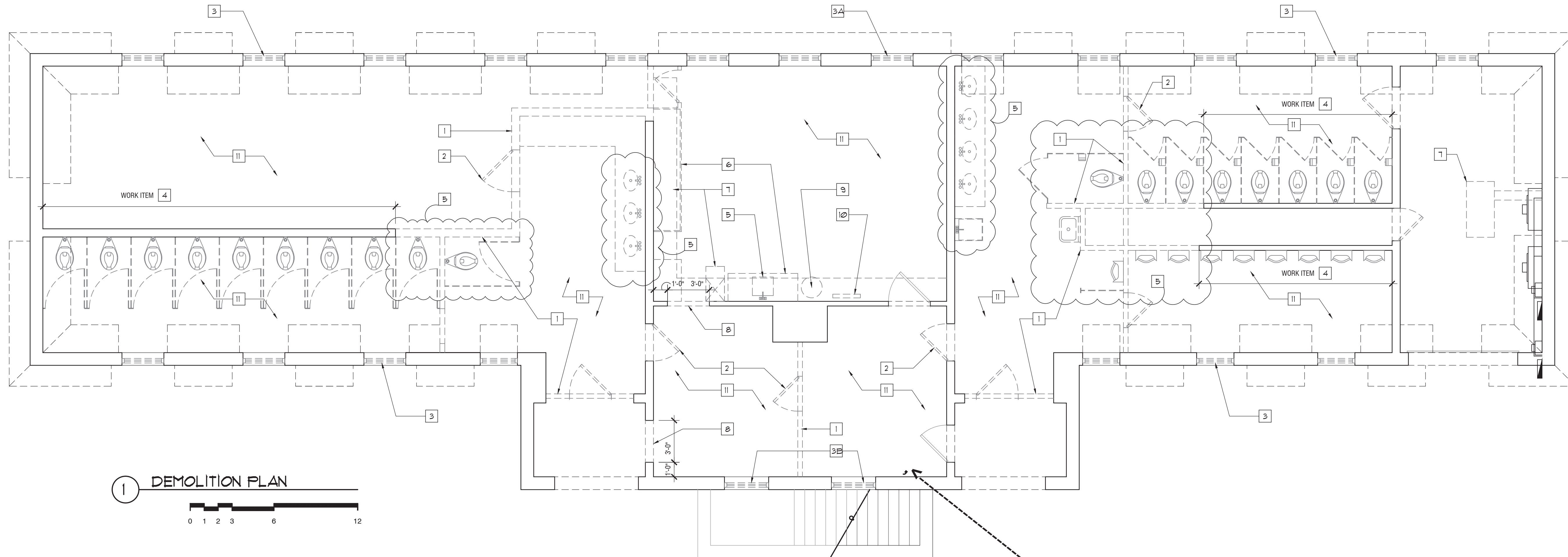
914-937-5596

RYE
NEW YORK, 10580

NO	DATE	REVISIONS	BY

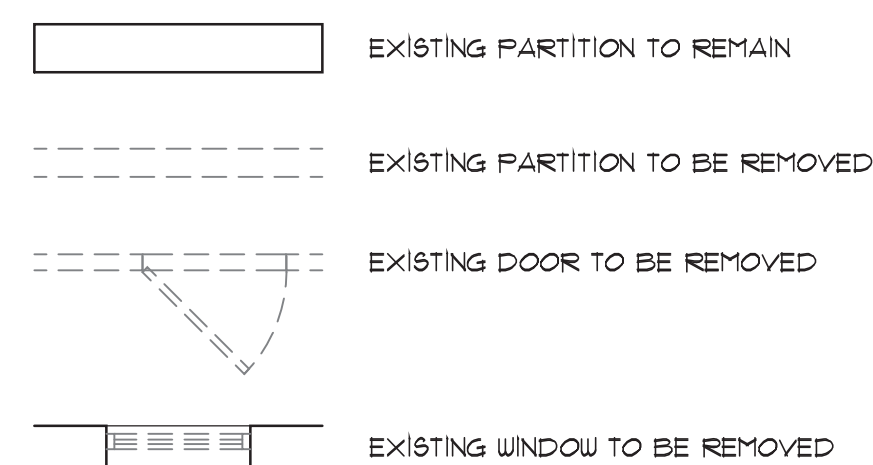
PROJECT NO. : 22105
SCALE: $\frac{1}{4}" = 1' - 0"$
DRAWN BY: JP
CHECKED BY: GG
DATE: 12/13/21

A-100

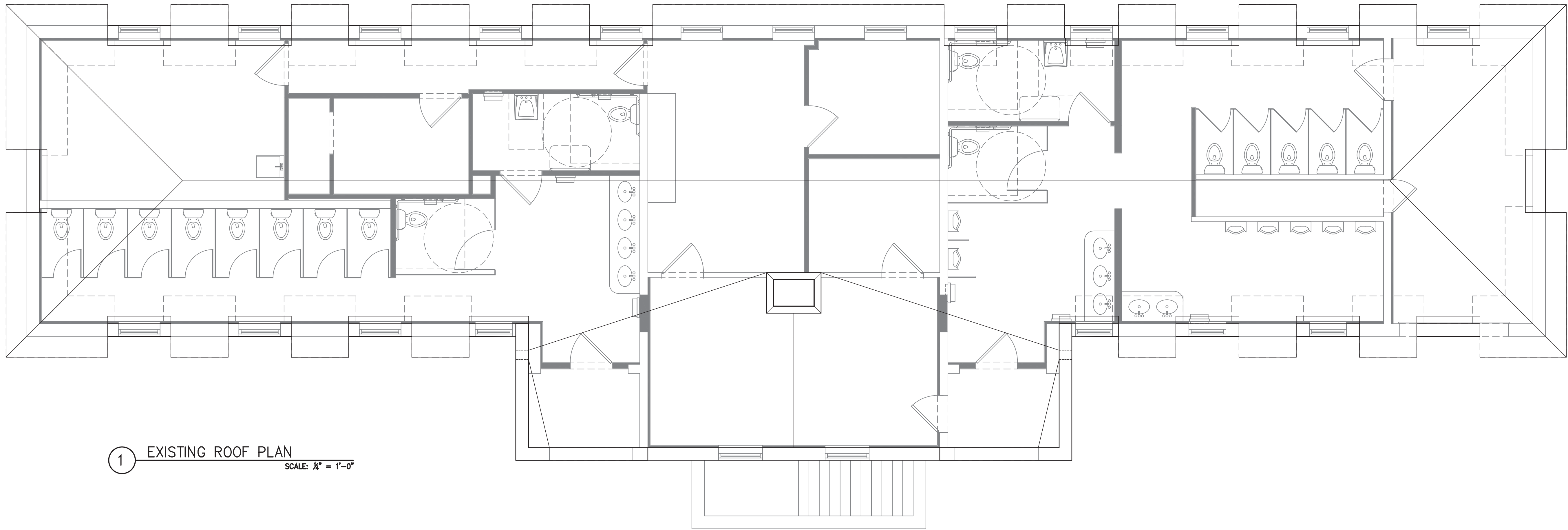


Asbestos Tar Moisture-Proofing

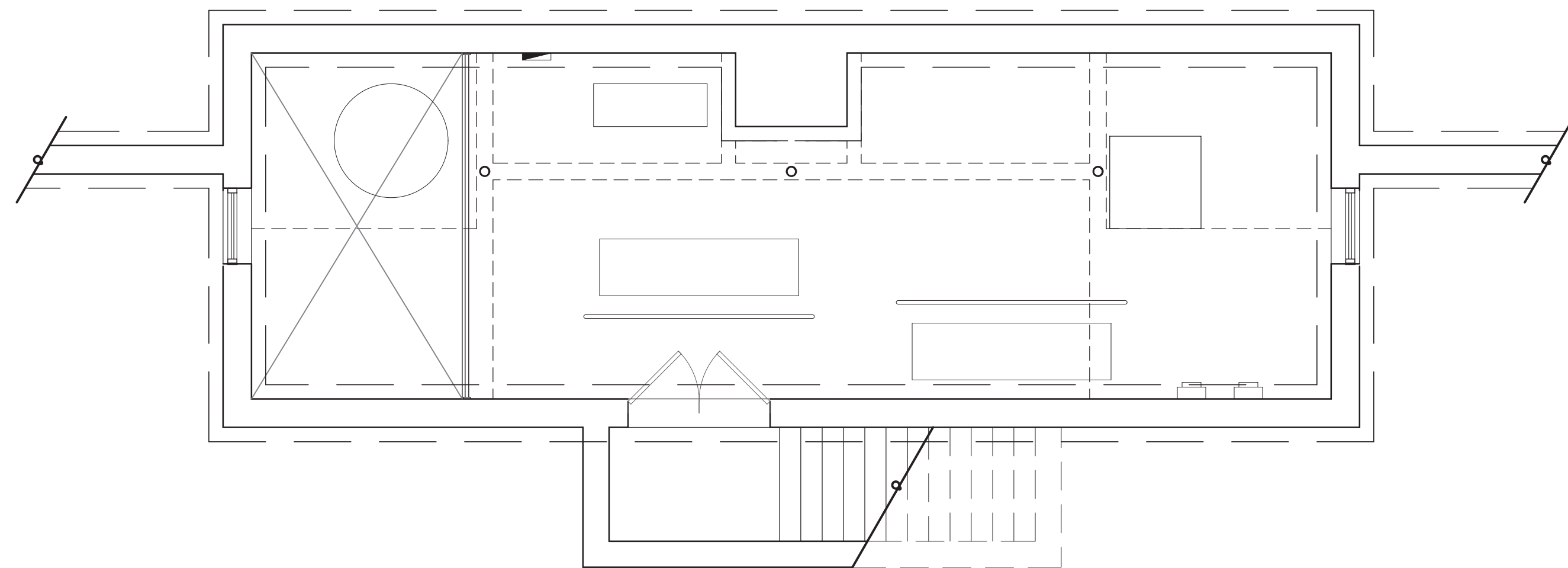
DEMOLITION WORK ITEMS



- | | | | |
|----|--|----|---|
| 1 | REMOVE EXISTING NONBEARING PARTITION AND ALL ASSOCIATED DOORS AND FRAMES. IF ELECTRICAL WIRING OR CONDUIT IS PRESENT REMOVE IN ENTIRETY. | 8 | DEMOLISH EXISTING WALL TO CREATE NEW ROOM OPENING TO ACCEPT NEW DOOR. REFER TO DOOR SCHEDULE. PROVIDE TEMPORARY SHORING/BRACING AS REQUIRED. |
| 2 | REMOVE EXISTING DOOR, DOOR FRAME AND HARDWARE. | 9 | REMOVE EXISTING HOT WATER HEATER |
| 3 | REMOVE EXISTING WINDOW. CREATE CLEAR ROUGH OPENING TO EXISTING MASONRY | 10 | REMOVE EXISTING RADIATOR AND ALL ASSOCIATED PIPING |
| 3A | CREATE CLEAR ROUGH OPENING TO EXISTING MASONRY + HEADER HEIGHT OF EXISTING MASONRY OPENING IS GREATER THAN EXISTING | 11 | REMOVE ALL FINISHED WALL AND CEILING SURFACES ENTIRELY TO STRUCTURE INCLUDING PLASTER AND LATH, GYP. BOARD AND/OR PLTWOOD. REMOVE ALL BASEBOARD TRIM, WINDOW TRIM + WAINSCOT INCLUDING TILED SURFACES IF PRESENT. REMOVE ALL NAILS, REMOVE ALL PLASTER DEBRIS AND OR MASONRY IN WALL CAVITY. REMOVE ALL RECEPTACLES, LIGHTING, FANS, SWITCHING AND EXPOSED PLUG MOLD THIS ROOM. THIS INCLUDES RECEPTACLES AT BASEBOARDS AND PANELING. REMOVE ALL FIRE SAFETY + EGRESS ASSOCIATED DEVICES. REMOVE ALL ASSOCIATED BOXES, J-BOXES AND WIRING MADE VISIBLE BY DEMO. |
| 3B | CREATE CLEAR ROUGH OPENING TO EXISTING MASONRY + HEADER HEIGHT OF EXISTING MASONRY OPENING IS GREATER THAN EXISTING | | |
| 4 | REMOVE ALL EXISTING PLUMBING FIXTURES BACK TO EXISTING FLUSH VALVE | | |
| 5 | REMOVE ALL EXISTING PLUMBING FIXTURES INCLUDING ALL ASSOCIATED VALVES AND BRANCH PIPING | | |
| 6 | REMOVE ALL EXISTING MILLWORK AND CABINTRY | | |
| 7 | REMOVE EXISTING MECHANICAL UNIT INCLUDING ALL ASSOCIATED DUCTWORK AND HANGERS | | |



1 EXISTING ROOF PLAN
SCALE: $\frac{1}{8}" = 1'-0"$



2 EXISTING PARTIAL
CELLAR PLAN
SCALE: $\frac{1}{8}" = 1'-0"$

ARCHITECTURE FACILITY PLANNING INTERIORS

ARCONICS
ARCHITECTURE, P.C.

545.5 WESTCHESTER AVENUE
RYE BROOK, NY 10573
914-937-5596

RYE TOWN PARK BATH HOUSE
RYE
NEW YORK, 10580

DATE	ISSUE TO	PR	TO
--/--/---			--

NO	DATE	REVISIONS	BY

PROJECT NO. : XXXX
SCALE: NOTED
DRAWN BY: JP
CHECKED BY: GG
DATE: 12/13/20

A-103